



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **PAULA PIRES AND FIRMINO PIRES**, under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 5, Concession 1 WHS, municipally known as **267 QUEEN STREET WEST**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit 38.3% of the floor area of the dwelling to be used as a home occupation (spa) whereas the by-law permits a maximum of 15% of the floor area of the dwelling to be used as a home occupation;

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____ NO _____
Application for Consent: _____ NO _____

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 9, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 25th day of February, 2021.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall
2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

1 SITE PLAN
1:150

The diagram shows a tree with its drip line and a fence line. The fence line is labeled 'FENCE LOCATION HALF, BE 2 x RADIUS OF DRIP LINE (DGH GREATER THAN 300 MM CALIPER) FROM TREE TRUNK (DGH LESS THAN 300 MM CALIPER)'. The diagram is divided into two sections by a vertical dashed line. The left section is labeled 'DGH GREATER THAN 300 MM CALIPER' and the right section is labeled 'DGH LESS THAN 300 MM CALIPER'. The tree trunk is in the center, and the fence line is shown as a grid of squares. The distance from the tree trunk to the fence line is indicated as '2 x RADIUS OF DRIP LINE'.

1. ALL HORIZONTAL DISTANCES SUBMITTED TO THE BUILDING DIVISION AS PART OF A BUILDING PERMIT APPLICATION SHALL BE IN CONFORMITY WITH THE CITY OF LOS ANGELES PLAT PLANNING AS APPROVED BY THE DEVELOPMENT SERVICES DIVISION.
2. THE OWNER IS RESPONSIBLE FOR ENSURING THAT THEIR PROTECTION OF THE SITE IS MAINTAINED AT ALL TIMES. THE OWNER SHALL MAINTAIN AND THROUGHOUT ALL PHASES OF DEVELOPMENT AND CONSTRUCTION IN THE CITY OF LOS ANGELES, THE PROTECTION OF THE SITE SHALL BE MAINTAINED NO MATTER AS FAR AS RELATED MATERIALS, SOIL, CONSTRUCTION VEHICLES, EQUIPMENT, AND THAT BE STORED WITHIN THE AREA OF DRAINAGE.
3. ALL UTILITY COMPANIES WILL BE NOTIFIED FOR LOCATIONS PRIOR TO THE BEGINNING OF THE EXCAVATIONS THAT LIES WITHIN THE LIMITS OF THE CDD BOULEVARD AREA.
4. SHOULD THE INSTALLATION OF BELOW GRADE STRUCTURES BE REQUIRED REGARDING TO BE REMOVED, OTHER EASEMENT STAKE, UTILITY, OR EASEMENT, THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND CO-OPERATION OF SUCH WORK, MAINTAIN AN ALTERNATIVE SERVICE ROUTE TO THE EXISTING UTILITY, AND BE RESPONSIBLE FOR THE PROTECTION OF THE VEGETATION AND EROSION PREVENTATION IN ORDER TO MINIMIZE THE IMPACT TO THE VEGETATION.
5. THE OWNER (OR APPLICANT AS APPLICABLE) WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITY RELOCATIONS NECESSITATED BY THE SITE AND THE EXISTING AND BEING PROPOSED DEVELOPMENT.
6. THE EXISTING ON SITE DRAINAGE PATTERNS SHALL BE MAINTAINED.
7. GRASSES SHALL BE MAINTAINED WITHIN THE PROPERTY, THE PROPERTY LINES AND WITHIN THE SITE.
8. THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 2'00" IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY, SHALL BE SUBMITTED TO THE CITY OF LOS ANGELES AND BE APPROVED BY THE CITY ENGINEER FOR THE PROJECT.
9. THE PORTIONS OF THE DRIVEWAY FROM THE MAJOR BOULEVARD SHALL BE MAINTAINED AND BE IN USE AT ALL TIMES.
10. AT THE ENTRANCES TO THE SITE, THE HANGING GARDEN AND SEWAGE HALL SHALL CONFORM WITH THE DRIVEWAY AND A CDD DISPOSITION SHALL BE MAINTAINED FOR EACH SIDE.
11. ALL PROPOSED GRADING AT THE ENTRANCES TO THE SITE IS TO TERMINATE AT THE PROPERTY LINE OR AT THE HANGING GARDEN.
12. CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR GARBAGE OR DESTRUCTION.
13. ALL DAMAGED LANDSCAPE AREAS WILL BE REINSTATED WITH TOPSOIL AND SOO FOLLOWS CONSTRUCTION ACTIVITY.
14. ANY GROUND SURFACES DAMAGED OR REMOVED ARE TO BE REINSTATED WITH TOPSOIL AND SOO FOLLOWS CONSTRUCTION ACTIVITY.
15. ALL EXCESS DRAINAGE MATERIALS WILL BE REMOVED FROM THE SITE AT THE OWNER'S EXPENSE.
16. ILLUSTRATED AND DIMENSIONED ON THE PROPERTY SHOULD BE APPLICABLE AND DIMENSIONED ON ALL OF THE DRAINAGE, IF APPLICABLE, STIPULATE ON THE DRAINAGE, THERE ARE NO EXISTING OR PROPOSED DRAINAGE OR EROSION CONTROL.

1. EXISTING TREES SHALL BE PROPERLY PROTECTED WITH TEMPORARY FENCING AS PER THE APPROVED LANDSCAPE PLAN UNTIL PRELIMINARY ACCEPTANCE.
2. AFTER THE EXISTING GRASS WITHIN FENCING LINE OF ALL TREES TO BE PRESERVED.
3. THE AREA WITHIN THE PROTECTED FENCING SHALL REMAIN UNDISTURBED AND FREE OF DEBRIS, BUILDING MATERIALS AND EQUIPMENT.
4. PRUNE DEAD WOOD ONLY UNLESS DIRECTED OTHERWISE BY THE CITY. DO NOT PRUNE LEADERS.
5. WATERING AND FERTILIZING PROGRAM SHALL BE MAINTAINED TO THE SATISFACTION OF THE CITY.
6. THE LOSS OF REPLANT DEAD OR SEVERELY DAMAGED TREES, AS DETERMINED BY THE CITY, SHALL BE BORNE BY THE DEVELOPER AND/OR GENERAL CONTRACTOR. THE SPECIES AND SIZES MUST BE APPROVED BY THE CITY.
7. ALL MEASUREMENTS ARE IN MILLIMETERS UNLESS STATED OTHERWISE.

project address:
267 QUEEN STREET
WEST BRAMPTON, ON.
owner name:
HOME
OCCUPATION/SPA &
drawing: RESIDENTIAL
SITE PLAN

true north:	const. north:
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no.: A1.1

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures
How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 4, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, March 5, 2021**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, March 5, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

February 25, 2021

To: Committee of Adjustment

**RE: APPLICATION FOR MINOR VARIANCE
PAULA PIRES AND FIRMINO PIRES
PART OF LOT 5, CONCESSION 1 WHS
A-2021-0005 – 267 QUEEN STREET WEST
WARD 3**

Please **amend** application **A-2021-0005** to reflect the following:

1. To permit 38.3% of the floor area of the dwelling to be used as a home occupation (spa) whereas the by-law permits a maximum of 15% of the floor area of the dwelling to be used as a home occupation.



Applicant/Authorized Agent



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) PAULA PIRES & FIRMINO PIRES
 Address 267 QUEEN STREET WEST BRAMPTON, ON. L6Y 1M7
 Phone # 647 237 7559 Fax # _____
 Email ftharmonymedicalspa@outlook.com
2. Name of Agent PATRYK KOT
 Address 6 TECUMSETH AVENUE MISSISSAUGA, ON. L5G 1K6
 Phone # 647-771-6559 Fax # _____
 Email info@k-lab.ca
3. Nature and extent of relief applied for (variances requested):
1. To permit a home occupation (spa) that occupies 38.3% of the dwelling, whereas the Zoning By-law permits a home occupation of a maximum 15% of the gross floor area of the dwelling.
2. To permit 2 parking spaces on the lot (2 Parking spaces in the garage, 0 parking spaces on the driveway, whereas the Zoning By-law requires a total of 4 parking spaces for both the dwelling and home occupation.
3. Proposed Home occupation is a Spa
4. Why is it not possible to comply with the provisions of the by-law?
THERE IS NOT ENOUGH PARKING SPACES ON THE PROPERTY FOR 4 CARS. 2 CARS WOULD BE IN THE 2 CAR GARAGE, AND WE WOULD BE ABLE TO FIT MORE CARS, THEY JUST WOULDNT BE CONSIDERED "LEGAL PARKING" SPOTS AS THEY WOULD BLOCK THE TWO CARS IN THE GARAGE
5. Legal Description of the subject land:
 Lot Number PART 1/2 LOT 5
 Plan Number/Concession Number CONCESSION 1 W.H.S.
 Municipal Address 267 QUEEN STREET WEST
6. Dimension of subject land (in metric units)
 Frontage 15.82 M
 Depth 51.27 M
 Area 805.84 M2
7. Access to the subject land is by:
 Provincial Highway ☐
 Municipal Road Maintained All Year ☒
 Private Right-of-Way ☐
 Seasonal Road ☐
 Other Public Road ☐
 Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

EXISTING DWELLING, SINGLE STOREY WITH BASEMENT, DWELLING GFA = 81.58 M2

EXISTING GARAGE AS PER OPEN BUILDING PERMIT = 47.90 M2

PROPOSED BUILDINGS/STRUCTURES on the subject land:
NO PROPOSED BUILDING STRUCTURES.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 11.445 M

Rear yard setback N/A

Side yard setback 2.640 M

Side yard setback 5.093 M

PROPOSED

Front yard setback 11.445 M

Rear yard setback N/A

Side yard setback 2.640 M

Side yard setback 5.093 M

10. Date of Acquisition of subject land: JULY 2018
11. Existing uses of subject property: SINGLE FAMILY DWELLING
12. Proposed uses of subject property: SINGLE FAMILY DWELLING WITH HOME OCCUPATION (SPA)
13. Existing uses of abutting properties: SINGLE FAMILY DWELLING & MIXED USES
14. Date of construction of all buildings & structures on subject land: EXISTING DWELLING 1960, GARAGE 2021
15. Length of time the existing uses of the subject property have been continued: 50+
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Patryk Kot
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY _____ OF BRAMPTON

THIS 11 DAY OF DECEMBER, 2020
25 JANUARY 21

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, PATRYK KOT, OF THE CITY OF MISSISSAUGA
IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
ad 25th City OF ad Brampton
IN THE ad City Region OF
Peel THIS 25th DAY OF
January, 2021.
April Dela Cerna.
A Commissioner etc.

Patryk K
Patryk Kot
Signature of Applicant or Authorized Agent

April Dela Cerna,
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires May 8, 2021.

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R1B - MATURE

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

HOTHU S.

Zoning Officer

JAN 25 2021

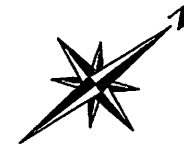
Date

DATE RECEIVED January 25th 2021

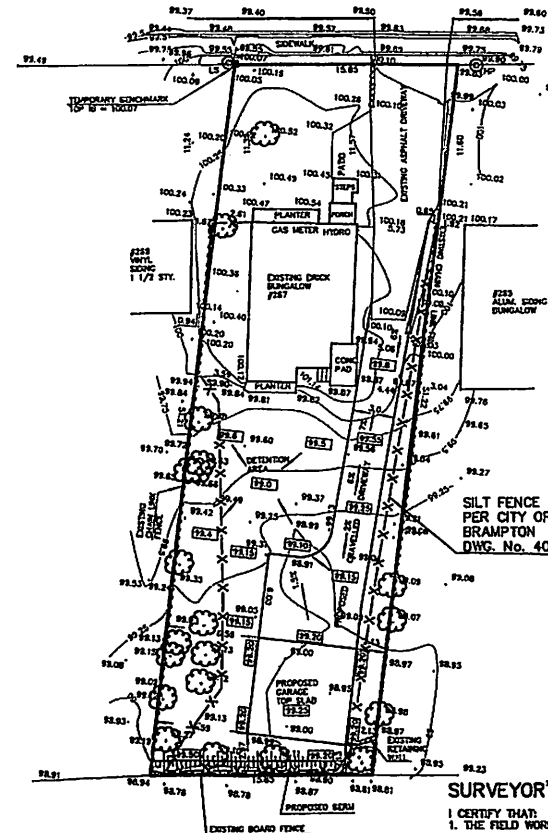
KEY MAP



SUBJECT PROPERTY



QUEEN STREET WEST



SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THE FIELD WORK REPRESENTED ON THIS PLAN WAS COMPLETED ON JULY 17, 2019.

OCTOBER 2, 2019
DATE

SKETCH SHOWING PROPOSED GRADING FOR BUILDING PERMIT

**PART OF LOT 5
CONCESSION 1 WEST OF HURONTARIO STREET
FORMERLY TOWN OF BRAMPTON, NOW IN THE
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL**

J. R. FINNIE O.L.S.
SCALE: 1:250 METRIC



METRIC

DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES

ELEVATIONS ARE METRIC AND REFERRED TO THE TOP OF THE IRON BAR AT THE NORTHWESTERLY CORNER HAVING AN ELEVATION OF 100.07 METRES.

92.74 DENOTES EXISTING ELEVATION

92.1 DENOTES PROPOSED ELEVATION

CONTOURS RELATE TO EXISTING GROUND LEVELS

LS DENOTES LIGHT STANDARD

HP DENOTES HYDRO POLE

ALUM. DENOTES ALUMINUM

STY. DENOTES STOREY

☼ DENOTES DECIDUOUS TREE

DOWNSPOUTS TO DISCHARGE TO THE FRONT OF THE GARAGE AND THEY SHOULD DISCHARGE ONTO THE GROUND VIA SPLASH PADS DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS LAWNS SHALL HAVE A MINIMUM SLOPE OF 1% AND A MAXIMUM OF 6% EXCEPT IN THE DETENTION AREA WHERE A 15% SLOPE IS PERMITTED. ALL DISTURBED AREAS MUST BE SEED OR SODDED WITH A MINIMUM TOPSOIL DEPTH OF 0.15m. DRAINAGE SHALL NOT ADVERSELY IMPACT ADJOINING PROPERTIES. ALL WORK SHALL COMPLY WITH THE STANDARD DRAWINGS AND SPECIFICATION OF THE CITY OF BRAMPTON AND THE ONTARIO PROVINCIAL STANDARDS. SILT FENCE TO REMAIN IN PLACE AND REPAIRED AS NECESSARY UNTIL CONSTRUCTION IS COMPLETE. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED, AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THEIR LOCATION. SILT FENCE TO CONFORM TO CITY OF BRAMPTON DRAWING No. 408. BERM TO BE APPROXIMATELY 0.3 METRE HIGH, SUFFICIENT TO PREVENT FLOW TO PROPERTY AT REAR, WITH 3:1 MAXIMUM SIDESLOPES.

DUE TO THE SLOPE OF THE LAND AND THE IMPERVIOUS SOILS, IT IS PROPOSED THAT THE DRIVEWAY BE GRAVELLED RATHER THAN ASPHALTED AND THAT RUNOFF FROM THE GARAGE BE DIRECTED TO THE DETENTION AREA FOR EVAPORATION.

CAUTION

THIS IS NOT A PLAN OF SURVEY AND SHALL ONLY BE USED FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

CLIENTS: FIRMINO & PAULA PIRES

J. R. FINNIE
ONTARIO LAND SURVEYOR
BOX 31, ERIN ON NOB 170
PH (519) 833-2380 FAX (519) 833-0208
EMAIL: rfinnie@jrfinnie.com
www.jrfinnie.com

DRAWN BY: JF PROJECT: 19-1972SP

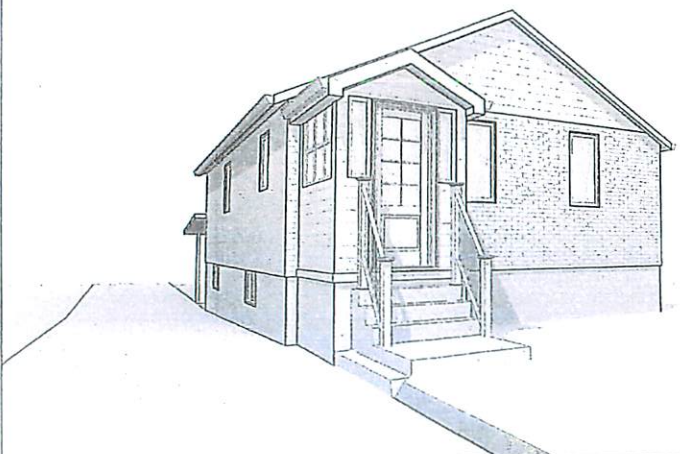
© J. R. FINNIE O.L.S. - 2019

267 QUEEN STREET WEST

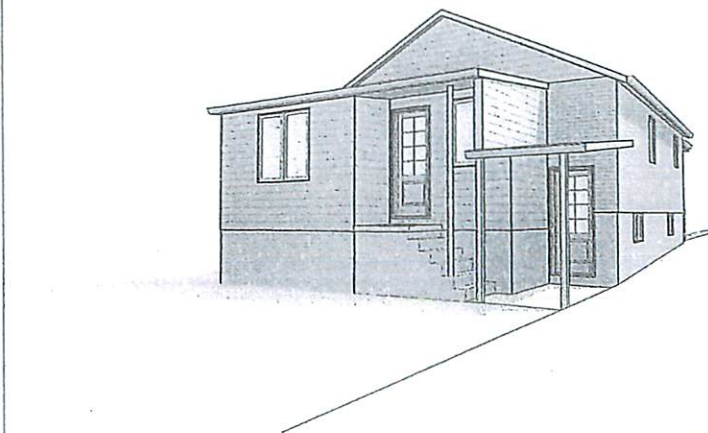
BRAMPTON, ON

SINGLE FAMILY DWELLING WITH HOME OCCUPATION/SPA
RESIDENTIAL

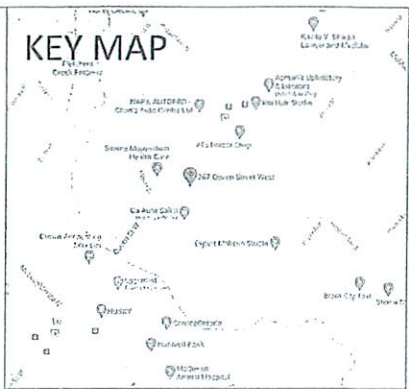
FRONT



REAR



KEY MAP



DRAWING LIST

TITLE SHEET	A0.1
LEGENDS & NOTES	A0.2
SITE PLAN	A1.1
BASEMENT PLAN	A1.2
FIRST FLOOR PLAN	A1.3
ROOF PLAN	A1.5
ELEVATIONS 1	A3.1
ELEVATIONS 2	A3.2

PAULA PIRES

Revision schedule:		
No.	Date	Description

project status:	Project Status
Issue Date	

structural notes:

DO NOT SCALE DRAWINGS.



1.) Contractor must verify all drawings, dimensions, details and specifications, and report any discrepancies to the home owner, before proceeding with work. Materials may not be substituted without written approval from the owner.

2.) All drawings and specifications are instruments of service and the property of the home owner. These drawings may not be used for any other project than for what they were prepared.

3.) All works to be in accordance with the ONTARIO BUILDING CODE.

plot date: 11/24/2020 7:19:21 PM 19 - project No:

project address:
267 QUEEN STREET
WEST BRAMPTON, ON.
owner name:
HOME
OCCUPATION/SPA &
drawing: RESIDENTIAL
TITLE SHEET

scale:
true north: 
const. north: 

drawing no.: A0.1

GENERAL SPECIFICATIONS

GENERAL SPECIFICATIONS

- 1.) ALL CONSTRUCTION TO MEET OR EXCEED ONTARIO BUILDING CODE 2012.
2.) SITE VERIFY WHEN ADDING ON TO OR REMOVING FROM AN EXISTING BUILDING THAT ALL EXISTING OR NEW STRUCTURAL COMPONENTS ARE CAPABLE OF WITHSTANDING THE STRUCTURAL LOADS IMPOSED, AND REPORT ANY DISCREPANCIES AND/OR DEFICIENCIES TO THE DESIGNER.
3.) ENSURE THAT ALL CONSTRUCTION, MATERIALS, METHODS OF INSTALLATION, AND BRACING COMPLY WITH REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.
4.) MAKE GOOD ALL DISTURBED OR DAMAGED DURING CONSTRUCTION WHETHER SHOWN ON THE DRAWINGS OR NOT.
5.) REPORT ANY CONTEMPLATED DEVIATIONS FROM THE APPROVED DRAWINGS OR SPECIFICATIONS TO THE DESIGNER PRIOR TO MAKING ANY CHANGES.
6.) PROVIDE CUTTING, PATCHING AND REMEDIAL WORK IN ORDER TO ENSURE PARTS OF THE WORK COME TOGETHER PROPERLY.
7.) TEMPORARY BRACING TO BE USED WHEREVER NECESSARY TO WITHSTAND ALL LOADS DURING ERECTION AND SUBSEQUENT CONSTRUCTION.

CONCRETE FOOTING, FOUNDATION WALLS & SLABS.

- 1.) CONCRETE FOOTING TO REST ON UNDISTURBED SOIL, CAPABLE OF SUSTAINING A LOAD OF 1570 LBS. PER SQUARE FOOT MINIMUM 4'-0" BELOW GRADE.
2.) FOOTINGS TO CONFORM TO O.B.C. SECTION 9.15.
3.) STEPPED FOOTINGS MAX. 2'-0" HORIZONTAL AND VERTICAL STEP 2/3 HORIZONTAL STEP TO MAX. 5'-0".
4.) FOUNDATION WALLS TO BE MIN. 8" THICK UNLESS OTHERWISE NOTED.
5.) ALL FOUNDATION WALLS TO EXTEND MIN. 8" ABOVE GRADE.
6.) FOR BASEMENT WINDOWS OR DOORS OVER 4'-0" WIDE REINFORCE WITH #1011 BARS EXTENDING 12" EACH SIDE.
7.) HABITABLE ROOMS ON CONCRETE SLABS TO BE DAMPROOFED WITH 6 MIL. POLY VAPOUR BARRIER.

STEEL COLUMNS.

- 1.) STEEL COLUMN PLATES TO BE ANCHORED TO FOOTING WITH MIN. TWO 1/2" DIA. BOLTS MIN. 4" INTO FOOTING.
2.) STEEL COLUMN PLATES TO BE CONNECTED TO STEEL BEAMS WITH MIN. TWO 1/2" DIA. BOLTS, OR WELD PLATES TO BEAM FLANGES.
3.) STEEL COLUMNS TO BE MINIMUM 3/4" OUTSIDE DIAMETER AND 3/16" WALL THICKNESS. STEEL COLUMNS SHALL BE TREATED WITH AT LEAST ONE COAT RUST INHIBITIVE PAINT.

WOOD FRAMING.

- 1.) ALL FRAMING LUMBER TO O.B.C. STANDARDS. ALL FRAMING LUMBER INDICATED ON DRAWINGS TO BE S.P.F. No.3 UNLESS OTHERWISE SPECIFIED.
2.) BEAMS TO HAVE MIN. BEARING OF 3/4" LATERAL SUPPORT, WALLS SUPPORTING JOISTS, ANCHOR SILL PLATE WITH 1/2" DIA. ANCHOR BOLTS MAX. 7'-10" O.C. EMBEDDED 4" INTO MASONRY OR ANCHORED EVERY 4TH JOISTS NOT RESTING ON A PLATE WITH 3/16" X 1 1/2" STEEL JOIST ANCHORS.
3.) LATERAL SUPPORT, WALLS PARALLEL TO JOISTS, BEND 3/16" X 1 1/2" STEEL STRAP 2" INTO MASONRY AND FIX TO 3 PARALLEL JOISTS OR FIX SILL PLATE TO 3 REGULARLY CONNECTED FLOOR JOISTS AT 7'-10" MAX.
4.) ALL JOISTS TO HAVE BRIDGING OVER INTERIOR BEARING WALLS AND BEAMS.
5.) MIN. SILL PLATE 2" X 4".
6.) SILL PLATE ANCHORS TO BE MIN. 1/2" DIA. BOLTS EMBEDDED 4" INTO FOUNDATION WALLS.
7.) SPACE FLOOR JOISTS AT 12" O.C. UNDER KITCHEN AREAS.
8.) MIN. 1 1/2" END BEARING REQUIRED FOR FLOOR JOISTS, CEILING JOISTS, ROOF JOISTS AND RAFTERS.
10.) PROVIDE METAL JOISTS HANGERS FOR SUPPORT OF JOISTS FRAMING INTO SIDES OF WOOD BEAMS, HEADER AND TRIMMER JOISTS WHEN REQUIRED.

PRE-MANUFACTURED WOOD FRAMING.

- 1.) ALL FRAMING MATERIALS AND METHODS FOR PRE-MANUFACTURED WOOD CONSTRUCTION (WOOD T FLOOR JOISTS) ARE TO BE INSTALLED AS PER MANUFACTURERS DETAILS AND SPECIFICATIONS.
2.) PRE-MANUFACTURED WOOD SUPPLIER SHALL SUBMIT SHOP DRAWINGS SHOWING LOCATION, LOADS, ALLOWABLE AND ACTUAL DESIGN STRESSES, DEFLECTION LIMITATION, TEMPORARY AND PERMANENT BRACING, CONNECTION AND BEARING DETAILS AND SHALL BEAR THE SEAL OF A PROFESSIONAL ENGINEER LICENSED AND INSURED TO PRACTICE IN THE PROVINCE OF ONTARIO.
3.) SHOP DRAWINGS ARE TO BE SUBMITTED TO THE DESIGNER FOR APPROVAL PRIOR TO COMMENCEMENT OF CONSTRUCTION.

GLUE LAMINATED WOOD BEAMS.

- 1.) ALL FRAMING MATERIALS AND METHODS FOR GLUE LAMINATED WOOD BEAMS TO BE INSTALLED AS PER MANUFACTURERS DETAILS AND SPECIFICATION.
2.) ALL BEAM TO BEAM AND BEAM TO COLUMN CONNECTIONS SHALL BE MIN 1/2" METAL PLATE CONNECTIONS CAN MIN 2-5/8" DIA. THROUGH BOLTS AT EACH MEMBER BEING CONNECTED.
3.) ALL EXPOSED CONNECTIONS INCLUDING BOLTS MUST BE COATED TO RESIST CORROSION.
4.) SUBSTITUTION OF BEAMS FOR DIFFERENT SIZES OR MATERIALS MUST BE APPROVED BY THE DESIGNER PRIOR TO INSTALLATION.
5.) BEAM SUPPLIER SHALL SUBMIT SHOP DRAWINGS AND ENGINEERING CALCULATIONS FOR BEAMS SHOWN ON DRAWINGS OR FOR SUBSTITUTIONS BEING PROPOSED AND SHALL BEAR THE SEAL OF PROFESSIONAL ENGINEER LICENSED AND INSURED TO PRACTICE IN THE PROVINCE OF ONTARIO. SHOP DRAWINGS MUST BE SUBMITTED TO THE DESIGNER FOR APPROVAL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

MASONRY VENEER WALL.

- 1.) MIN 3/8" THICKNESS UP TO 24'-0" MAX. HEIGHT.
2.) MASONRY TIES TO BE GALVANIZED, CORROSION RESISTANT CORRUGATED 22ga., 7/8" WIDE SPACED 16" O.C. HORIZONTALLY, AND 24" O.C. VERTICALLY NAILED TO STUDS THROUGH THE SHEATHING.
3.) PROVIDE 1" AIR SPACE BETWEEN VENEER AND WALL SHEATHING.
4.) DRAIN BOTTOM OF WALL WITH WEEP HOLES AT MIN. 2'-0" O.C. IN STARTER COURSED 4" ABOVE FINISHED GRADE CW 3/8" DIA. WEEP HOLES.
5.) PROVIDE 6 MIL. POLY FLASHING UNDER STARTER COURSE UNDER WEEP HOLES AND UP WALL MIN. 8" UNDER SHEATHING PAPER.
6.) MAX. CORDEL OVER FOUNDATION WALL 1/2".

ROOF CONSTRUCTION.

- 1.) ALL ROOF TRUSSES MUST BE DESIGNED AND FABRICATED IN ACCORDANCE WITH O.B.C./N.L.C. PART 9.
2.) TRUSS SUPPLIER SHALL SUPPLY ALL NECESSARY PLANS INCLUDING DRAWINGS SHOWING LOCATION, LOADING, ALLOWABLE STRESSES, TEMPORARY AND PERMANENT BRACING AND SHALL BEAR THE SEAL OF A PROFESSIONAL ENGINEER LICENSED AND INSURED TO PRACTICE IN THE PROVINCE OF ONTARIO. TRUSS DRAWINGS MUST BE SUBMITTED TO THE DESIGNER AND THE CHIEF BUILDING OFFICIAL FOR APPROVAL AND TO VERIFY ALL BEAM AND LINTEL SIZES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3.) HIP AND VALLEY RAFTERS TO BE 2" DEEPER THAN COMMON RAFTERS.
4.) ROOF EDGE SUPPORTS TO BE MIN. 2"x2" BLOCKING.
5.) PROVIDE 2"x4" CONTINUOUS TRUSS BRACING AT 7'-0" O.C. MAXIMUM.
6.) PROVIDE 2"x4" WALL TIES ACROSS JOISTS OR BOTTOM TRUSS CORDS AT MIN. 4'-0" O.C. FOR ROOF SLOPES 4/12 OR GREATER.

FLASHING.

- 1.) FLASHING IS REQUIRED UNDER ALL JOINTED BELLS AND OVERHEADS OF WINDOW AND DOORS IN EXTERIOR WALLS IF DISTANCE BELOW EAVE IS MORE THAN 1/4" OF THE ROOF OVERHANG.
2.) CHIMNEY FLASHING IS REQUIRED AT INTERSECTION WITH ROOF. FLASH OVER A CHIMNEY SHALL BE MIN. 1/2" LATERAL SUPPORT, WALLS SUPPORTING JOISTS, ANCHOR SILL PLATE WITH 1/2" DIA. ANCHOR BOLTS MAX. 7'-10" O.C. EMBEDDED 4" INTO MASONRY OR ANCHORED EVERY 4TH JOISTS NOT RESTING ON A PLATE WITH 3/16" X 1 1/2" STEEL JOIST ANCHORS.
3.) FLASHING REQUIRED AT INTERSECTION OF ROOFS AND WALL, VALLEYS, AND OVER PARAPET WALLS.
4.) FLASHING BETWEEN ROOF SHINGLES AND WALL SIDING TO BE 20ga. GALV. METAL AND TO EXTEND 6" VERTICALLY AND HORIZONTALLY.

HEATING.

- 1.) HEATING DESIGN HAS BEEN LOCATED AS A SUGGESTED GUIDE ONLY. INSTALLATION AND DESIGN IS TO BE AS PER THE ONTARIO BUILDING CODE, PART 6, HEATING PLANS AND HEAT LOSS/HEAT GAIN CALCULATIONS ARE TO BE SUBMITTED TO THE LOCAL BUILDING OFFICIAL AND THE DESIGNER FOR REVIEW AND APPROVAL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

FIRE SEPARATIONS.

- 1.) VERTICAL JOINTS BETWEEN MASONRY FIRE SEPARATIONS AND EXTERIOR WALLS SHALL BE CAULKED.
2.) ELECTRICAL SWITCHES, RECEPTACLES, ETC. ON OPPOSITE SIDES OF MASONRY FIRE SEPARATIONS SHALL NOT BE LOCATED WITHIN THE SAME MASONRY UNIT OR CORE.
3.) BEAMS AND JOISTS FRAMED INTO THE FIRE SEPARATIONS SHALL NOT REDUCE THE THICKNESS TO LESS THAN 4" OF MASONRY.

SMOKE ALARMS.

- 1.) SMOKE ALARMS SHALL BE INSTALLED IN EACH DWELLING UNIT.
2.) SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM.
3.) SMOKE ALARMS SHALL BE LOCATED ON EACH FLOOR LEVEL, NEAR THE STAIRS CONNECTING THE FLOOR LEVELS, AND SHALL BE LOCATED BETWEEN BEDROOMS AND OTHER LIVING AREAS SUCH AS IN A HALLWAY OR CORRIDOR SERVING SUCH AREAS.
3.) ALL SMOKE ALARMS SHALL BE INSTALLED BY PERMANENT CONNECTIONS TO AN ELECTRICAL CIRCUIT, AND WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED THEY SHALL BE INSTALLED SO THAT THE ACTIVATION OF ONE ALARM WILL CAUSE ALL ALARMS WITHIN THE DWELLING UNIT TO SOUND.

STAIRS.

- 1.) INTERIOR AND EXTERIOR STAIRS SHALL BE CONSTRUCTED AS FOLLOWS:










- MAX. RISE = 7 1/2"
MIN. RUN = 10 1/2"
MIN. TREAD = 9 1/2"
MIN. HEADROOM INTERIOR = 6'-6"
MIN. HEADROOM EXTERIOR = 6'-6"
HANDRAIL HEIGHT AT STAIR = 32"
HANDRAIL HEIGHT AT INTERMEDIATE LANDINGS = 32"
HANDRAIL HEIGHT AT MAIN LANDINGS = 36"
MIN. STAIR WIDTH 2'-10" CW/ LANDING
THE SAME WIDTH AS THE STAIR.

- 2.) GUARDS REQUIRED ON EXTERIOR BALCONIES AND PORCHES IF OVER 2'-0" ABOVE FINISHED GRADE. MIN. GUARD RAIL HEIGHT = 32"
3.) EXTERIOR WOOD STAIRS TO BE SUPPORTED ON CONCRETE BASE ON APRON MIN 1" ABOVE GRADE. FOUNDATIONS REQUIRED IF EXTERIOR STAIRS HAVE MORE THAN 2 TREADS AND 2 RISERS.

THERMAL RESISTANCE VALUES.

- 1.) ALL INSULATION VALUES TO BE INSTALLED IN CONJUNCTION WITH THE COMPLIANCE PACKAGE LABELED ON THE EEDS IN ACCORDANCE WITH THE AMENDED S8-12

LEGEND	WALL CONSTRUCTION
	IN1 - 1/2" GYPSUM BOTH SIDES - 2"x4" WOOD STUDS @ 16" o.c.
	IN2 - 1/2" GYPSUM BOTH SIDES - 2"x6" WOOD STUDS @ 16" o.c.
	IN3 - 2"x4" WOOD STUDS @ 16" o.c. - GYPSUM 1 SIDE
	IN4 - 2"x6" WOOD STUDS @ 16" o.c. - GYPSUM 1 SIDE
	ST1 • MOISTURE BARRIER • 2"x2" WOOD STUDS @ 16" o.c. • 1/2" GYPSUM
	ST2 • 2" RIGID FOAM INSULATION (XPS) (R10d) • 2"x4" WOOD STUDS @ 16" o.c. w/ BATT INSULATION IN CAVITY (R12 MIN.) • 6mil POLY VAPOUR BARRIER • 1/2" GYPSUM
	GL • 5/8" TEMPERED GLASS
	CW • CURTAIN WALL SYSTEM, BY OTHERS
	EW1 • WOOD SIDING • 1/2" STRAPPING • AIR BARRIER • 2"x6" SPRUCE PLY • 2"x6" SPF STUDS @ 16" o.c. • MIN. R22 BATT INSUL • 6 mil POLY VAPOUR BARRIER • 1/2" GYPSUM BOARD
	EW2 • WOOD SIDING • 1/2" STRAPPING • AIR BARRIER • 1" RIGID INSULATION (R5d) • 1/2" SPRUCE PLY • 2"x6" SPF STUDS @ 16" o.c. • MIN. R19 BATT INSUL • 6 mil POLY VAPOUR BARRIER • 1/2" GYPSUM BOARD
	EW3 • 1/2" BRICK VENEER • MIN. 1" AIR SPACE • 1/2" SPRUCE PLY • 2"x6" SPF STUDS @ 16" o.c. • W/ BATT INSUL, R22 MIN. • 6 mil POLY VAPOUR BARRIER • 1/2" GYPSUM BOARD
	EW4 • 3/4" BRICK VENEER • MIN. 1" AIR SPACE • 1/2" SPRUCE PLY • 2"x6" SPF STUDS @ 16" o.c. • W/ BATT INSUL, R22 MIN. • 6 mil POLY VAPOUR BARRIER • 1/2" GYPSUM BOARD
	EW5 • 2" DURLOCK STUCCO OR SIMILAR EIFS • MOISTURE BARRIER • MIN. R22 BATT INSUL • 2"x6" SPF STUDS @ 16" o.c. • 6 mil POLY VAPOUR BARRIER • 1/2" GYPSUM BOARD
	EW6 • 1/2" GYPSUM BOARD, GASPROOFED • 2"x6" SPF STUDS @ 16" o.c. • MIN. R22 INSULATION • 6mil POLY VAPOR BARRIER • 1/2" GYPSUM BOARD
	GP • MIRADRAIN DRAINAGE MEMBRANE • DAMPROOFING • 10" POURED CONCRETE WALL
	FW1 • MIRADRAIN DRAINAGE MEMBRANE • DAMPROOFING • 10" POURED CONCRETE WALL • REINFORCED W/ 15M BARS @ 8" o.c. BOTH WAYS
	FW2 • MIRADRAIN DRAINAGE MEMBRANE • DAMPROOFING • 8" POURED CONCRETE WALL
	FW3 • MIRADRAIN DRAINAGE MEMBRANE • DAMPROOFING • 10" CONC. BLOCK WALL
	FW4 • MIRADRAIN DRAINAGE MEMBRANE • DAMPROOFING • 8" CONC. BLOCK WALL
	FW5 • MIRADRAIN DRAINAGE MEMBRANE • DAMPROOFING • 8" CONC. BLOCK WALL

LEGEND	CONSTRUCTION	
	EXISTING WALL	
	INTERIOR BEARING WALL	
	REMOVE WALL	
	BEAM BY OTHERS	
	DOUBLE JOIST	
	TRIPLE JOIST	
	POST ABOVE	
	CARBON MONOXIDE ALARM	
	SMOKE ALARM	
DOOR SCHEDULE		
WIDTH	HEIGHT	QUANTITY
2'-2"	6'-6"	1
2'-2"	6'-6"	1
TOTAL: 2		
WINDOW SCHEDULE		
W	H	Q

PAULA PIRES

Revision schedule:

No.	Date	Description

project status:

Issue Date | Project Status

structural notes:

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3.) All works to be in accordance with the ONTARIO BUILDING CODE.

plot date:

project No:
11/24/2020 7:19:22 PM 19 -

project address:

267 QUEEN STREET
WEST BRAMPTON, ON.

owner name:
HOME
OCCUPATION/SPA &
drawing: RESIDENTIAL
LEGENDS & NOTES

scale: As Indicated

true north:

const. north:

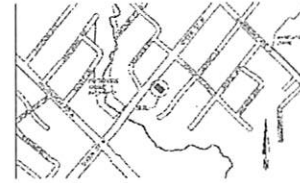
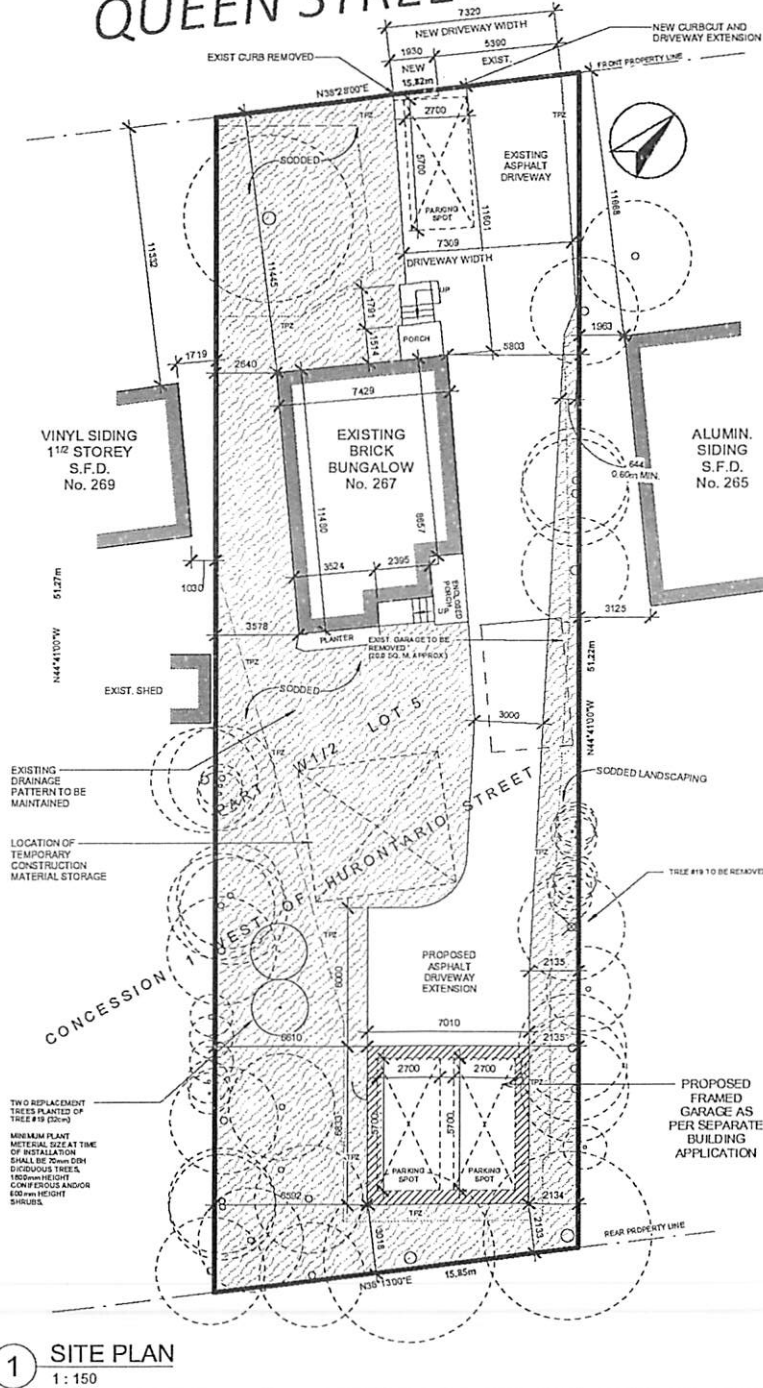
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A0.2

NOTE: GENERAL CONTRACTOR TO MAKE SITE VISIT TO VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING QUOTATION. REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO SUBMITTING QUOTATION. FAILURE TO DO SO WILL NOT RELIEVE THIS CONTRACTOR FROM EXTRA COST RESULTING FROM ADDITIONAL WORK

TITLE - GENERAL SPECIFICATIONS

QUEEN STREET WEST

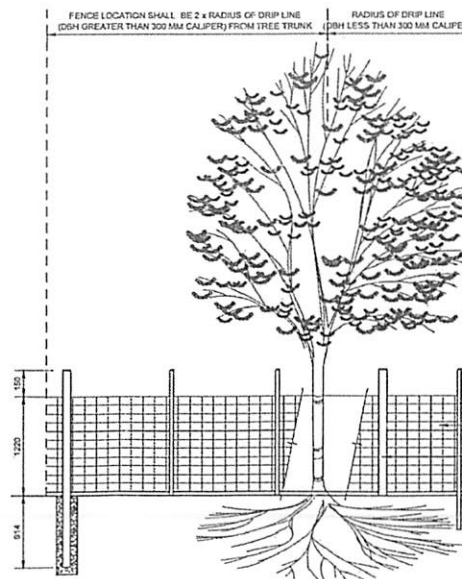


SITE STATISTICS:

LOT AREA	= 805.81m ²
TOTAL LOT COVERAGE (DWELL'G + GARAGE + FRONT & REAR PORCH)	= 136.23m ²
DWELL'G G.F.A.	= 81.56m ²
GARAGE AREA	= 41.42m ²
FRONT PORCH + STAIRS	= 4.30m ²
REAR PORCH + STAIRS	= 2.25m ²

SEE SURVEY BY O.L.S. FOR VERIFICATION
SURVEY INFORMATION TAKEN FROM
SURVEYOR'S REAL PROPERTY REPORT
PLAN SHOWING BUILDING LOCATION ON
PART OF THE WEST HALF OF LOT 5
CONCESSION 1
WEST OF HURONTARIO STREET
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
(FORMERLY IN THE TOWN OF BRAMPTON AND COUNTY OF PEEL)
AS PREPARED BY
DUNCAN ASHBORTH SURVEYING LTD.
(O.L.S.) ONTARIO LAND SURVEYOR
DATED: 1990

- NOTES:**
- ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF A BUILDING PERMIT APPLICATION SHALL BE IN CONFORMITY WITH THE APPROVED SITE PLAN DRAWINGS AS APPROVED BY THE DEVELOPMENT SERVICES DIVISION.
 - THE OWNER IS RESPONSIBLE FOR ENSURING THAT TREE PROTECTION HEARDINGS PLACED AT THE DRIP LINE OF THE TREES IS MAINTAINED THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DIVISION. NO MATERIALS SHALL BE PLACED WITHIN THE AREA OF HEARDINGS.
 - ALL UTILITY COMPANIES WILL BE NOTIFIED FOR LOCATED PRIOR TO THE INSTALLATION OF THE HEARDINGS THAT LIES WITHIN THE LIMITS OF THE CONVEYANCE AREA.
 - SHOULD THE INSTALLATION OF BELOW GROUND SERVICES REQUIRE HEARDINGS TO BE REMOVED, OPEN SPACE STAFF (AT 2000 BOLLER/200000) AND TO BE SUBMITTED PRIOR TO THE COMMENCEMENT OF SUCH WORK. SHOULD AN ALTERNATIVE SURVEY BE WANTED NOT BE POSSIBLE, STAFF WILL INSPECT AND DOCUMENT THE CONDITION OF THE VEGETATION AND SERVICES INSTALLATION IN ORDER TO MINIMIZE DAMAGE TO THE VEGETATION.
 - THE OWNER OR APPLICANT AS APPLICABLE WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITY RELOCATIONS NECESSARY BY THE SITE PLAN APPROVAL AND BUILDING PERMIT.
 - THE EXISTING ON SITE DRAINAGE PATTERN SHALL BE MAINTAINED.
 - GRADES MUST BE SET WITHIN 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.
 - THE STRUCTURAL DESIGN OF ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS SHOWN ON THE SITE PLAN AND GRADING PLAN AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.
 - THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOLLERVAIR WILL BE PAVED BY THE OWNER AT THEIR OWN EXPENSE.
 - AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURBS AND SIDEWALKS WILL BE CONTINUED THROUGH THE DRIVEWAY AND A SIDEWALK CONNECTION WILL BE PROVIDED FOR EACH ENTRANCE.
 - ALL PROPOSED CURBS AT THE ENTRANCES TO THE SITE IS TO TERMINATE AT THE PROPERTY LINE OR AT THE MUNICIPAL SIDEWALK.
 - CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR RAINWATER COLLECTION.
 - ALL DAMAGED LANDSCAPE AREAS WILL BE REINSTATED WITH TOPSOIL AND 100% FOLLOWING CONSTRUCTION ACTIVITY.
 - ANY GROUND BUILT HARD TREES DAMAGED OR REMOVED ARE TO BE REPLACED WITH HONEY LOCUS CALIBER 100mm TO 150mm TO THE SATISFACTION OF THE CITY.
 - ALL EXCESS EXCAVATED MATERIALS WILL BE REMOVED FROM THE SITE AT THE OWNER'S EXPENSE.
 - ALL EXISTING OR PROPOSED EASEMENTS ON THE PROPERTY SHALL BE ILLUSTRATED AND DIMENSIONED ON ALL OF THE DRAWINGS. IF APPLICABLE, STIPULATE ON THE DRAWINGS, THERE ARE NO EXISTING OR PROPOSED EASEMENTS ON THE PROPERTY.



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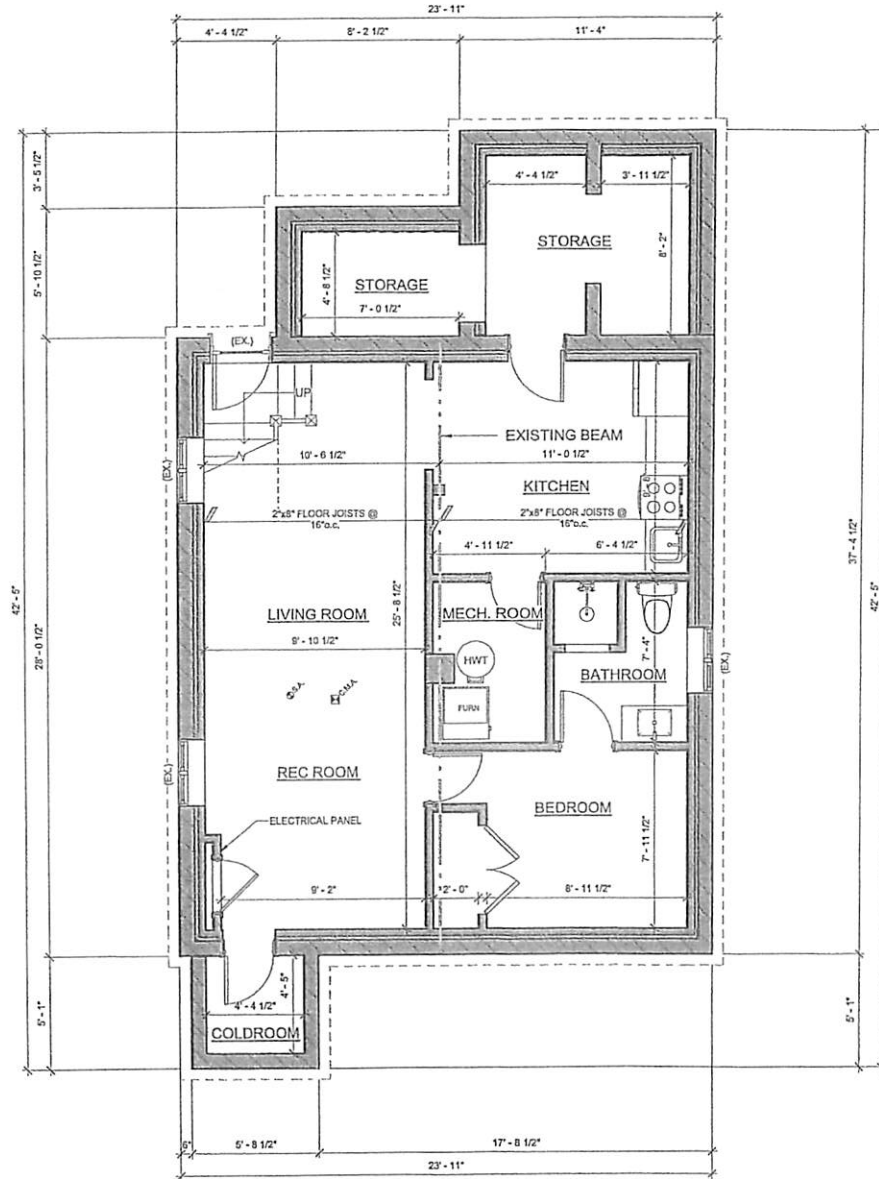
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**267 QUEEN STREET
WEST BRAMPTON, ON.**
owner name:
**HOME
OCCUPATION/SPA &
RESIDENTIAL
SITE PLAN**

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const. north:

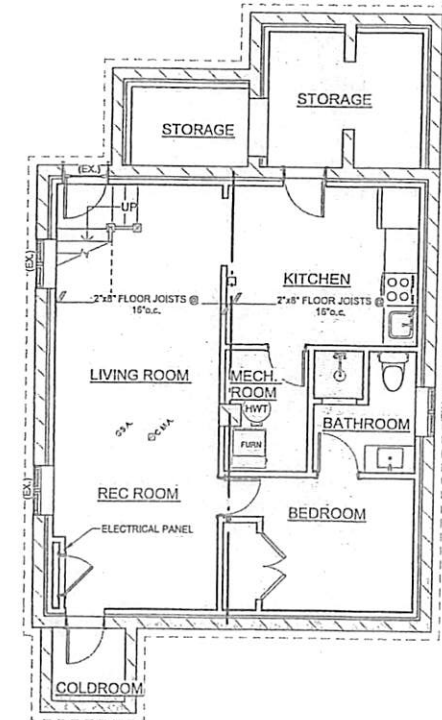
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NO CHANGES TO EXTERIOR OR INTERIOR PARTITION WALLS



1 BASEMENT FLOOR PLAN
1/4" = 1'-0"

LEGEND	BASEMENT	AREA (M2)
	RESIDENTIAL AREA	79.2 m2
	HOME OCCUPATION - SPA	0.0 m2



2 BASEMENT FLOOR PLAN- AREA PLAN
3/16" = 1'-0"

PAULA PIRES

Revision schedule:

No.	Date	Description

Project status: Issue Date Project Status

structural notes:

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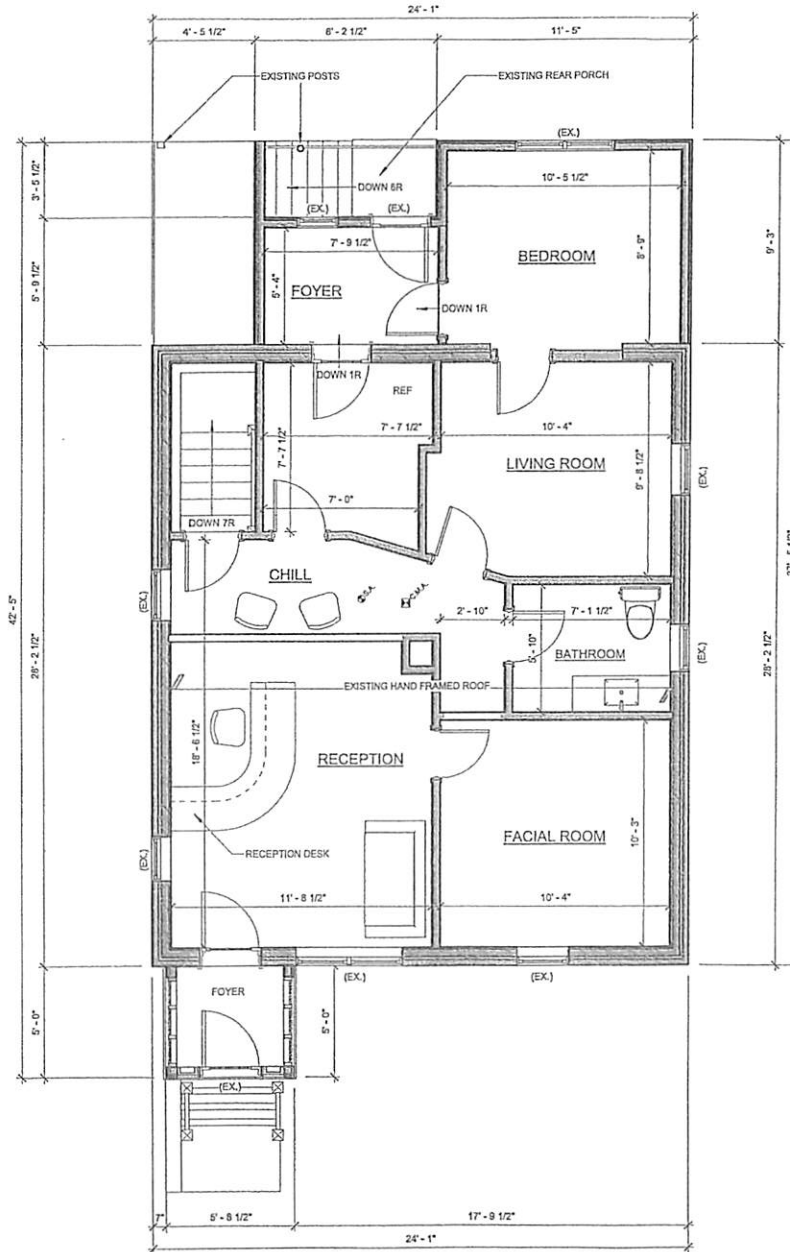
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project address:
267 QUEEN STREET
WEST BRAMPTON, ON.
owner name:
HOME
OCCUPATION/SPA &
drawing: RESIDENTIAL
BASEMENT PLAN

scale: As Indicated

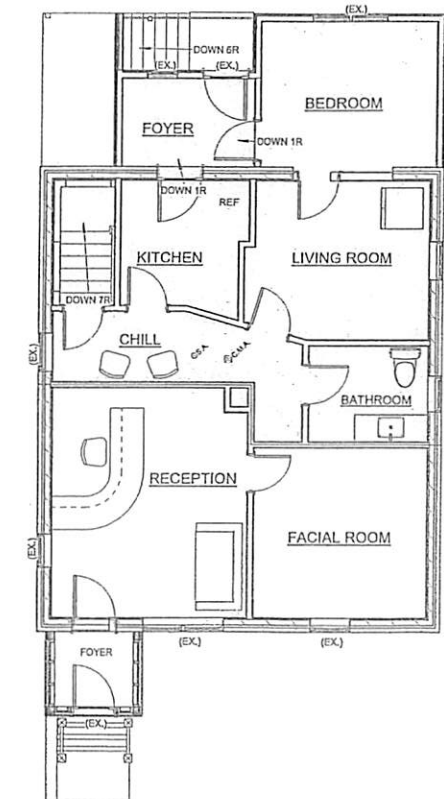
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drawing no.: A1.2



1 FIRST FLOOR PLAN
1/4" = 1'-0"

LEGEND	BASEMENT	AREA (M2)
	RESIDENTIAL AREA	47.8 m2 61.8%
	HOME OCCUPATION - SPA	29.5 m2 38.2%
	TOTAL	77.3 m2



2 FIRST FLOOR PLAN - AREA PLAN
3/16" = 1'-0"

PAULA PIRES

Revision schedule:		
No.	Date	Description

project status:
Issue Date Project Status

structural notes:

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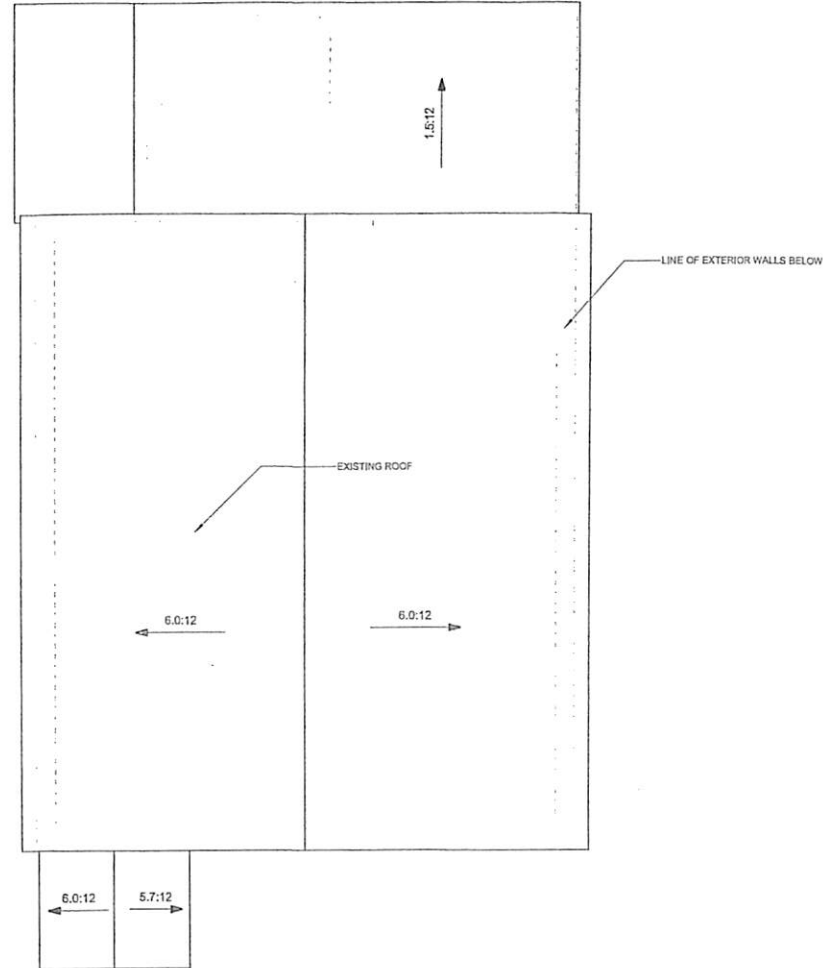
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project address:
267 QUEEN STREET
WEST BRAMPTON, ON.
owner name:
HOME
OCCUPATION/SPA &
drawing: RESIDENTIAL
FIRST FLOOR PLAN

scale: As Indicated

true north: const. north:
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drawing no.:
A1.3



PAULA PIRES

Revision schedule:		
No.	Date	Description

project status:
Issue Date: Project Status:

structural notes:

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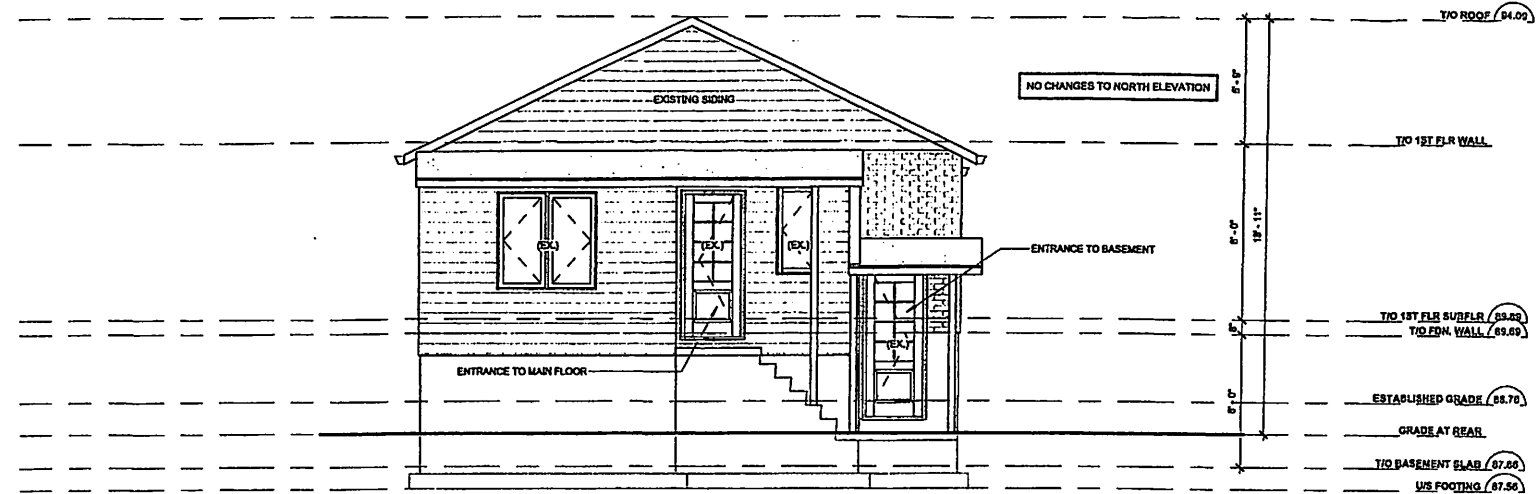
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owner name:
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drawing: OCCUPATION/SPA &
RESIDENTIAL
ROOF PLAN

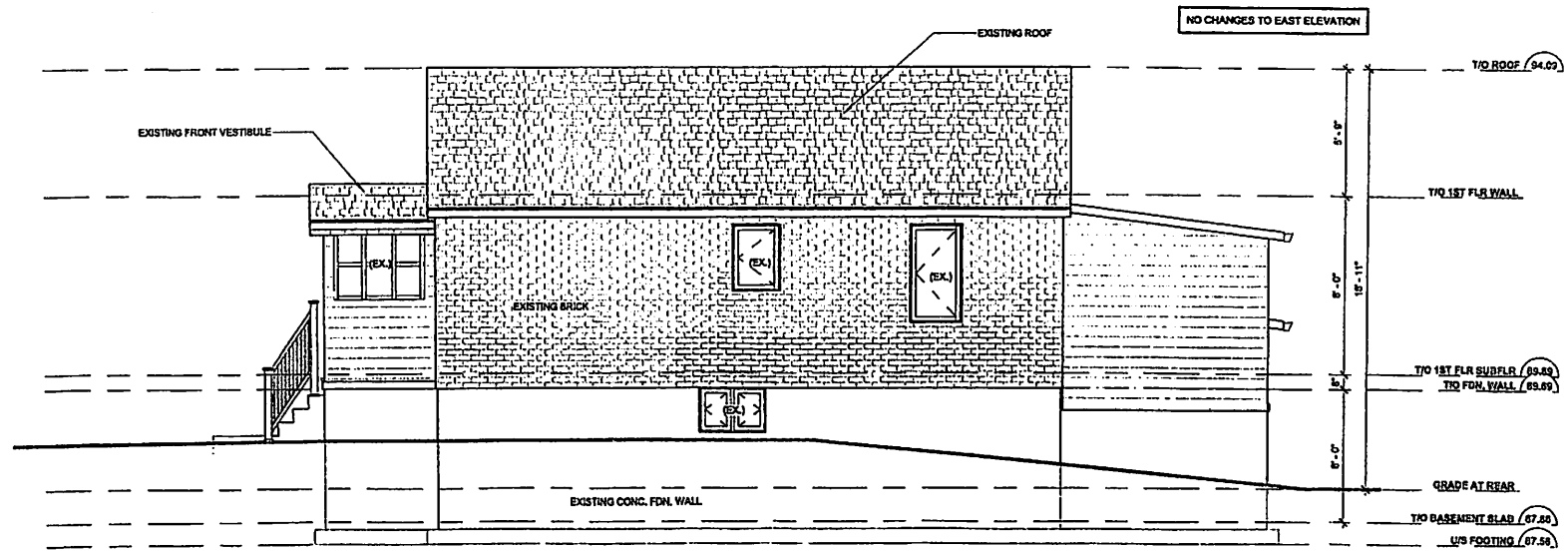
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true north: const. north:
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drawing no.:
A1.5



1 NORTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"

PAULA PIRES

Revision schedule:

No.	Date	Description

Project status:

Issue Date Project Status

Structural notes:

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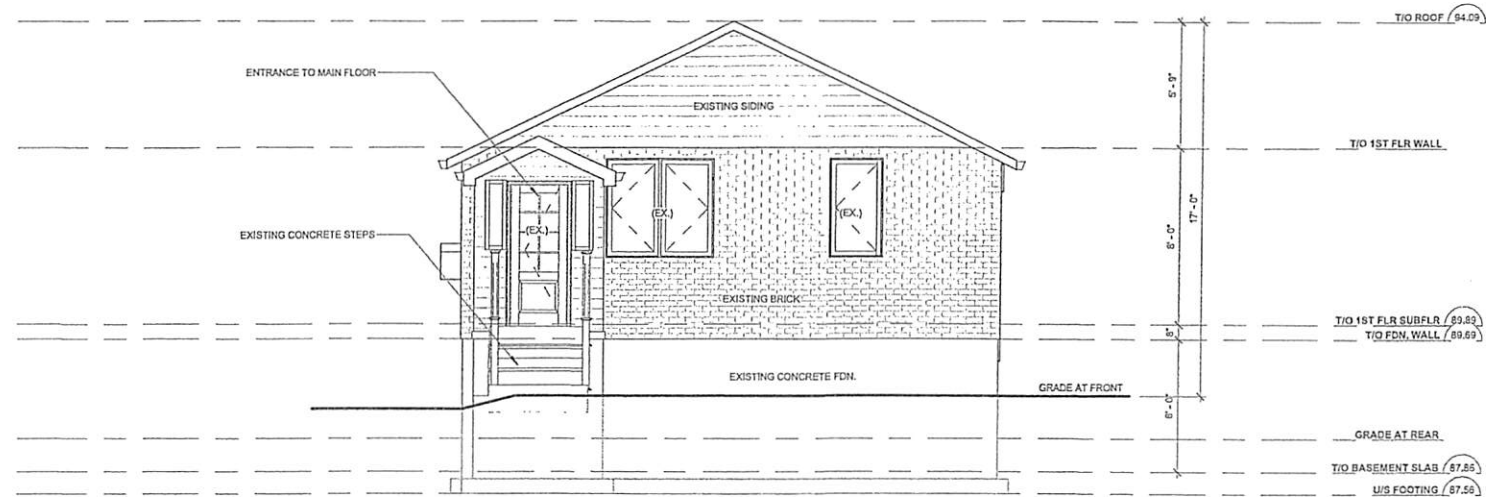
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Owner name:
HOME
OCCUPATION/SPA &
drawing: RESIDENTIAL
ELEVATIONS 1

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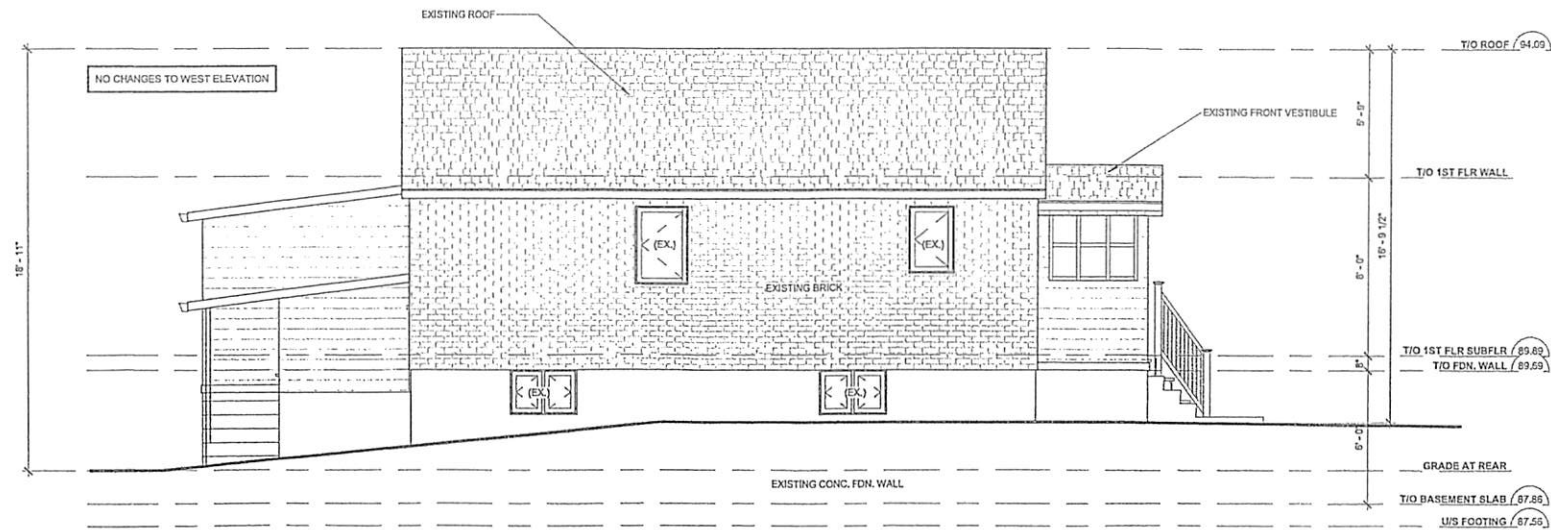
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Drawing no.:

A3.1



1 SOUTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

PAULA PIRES

Revision schedule:

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project status:
Issue Date Project Status

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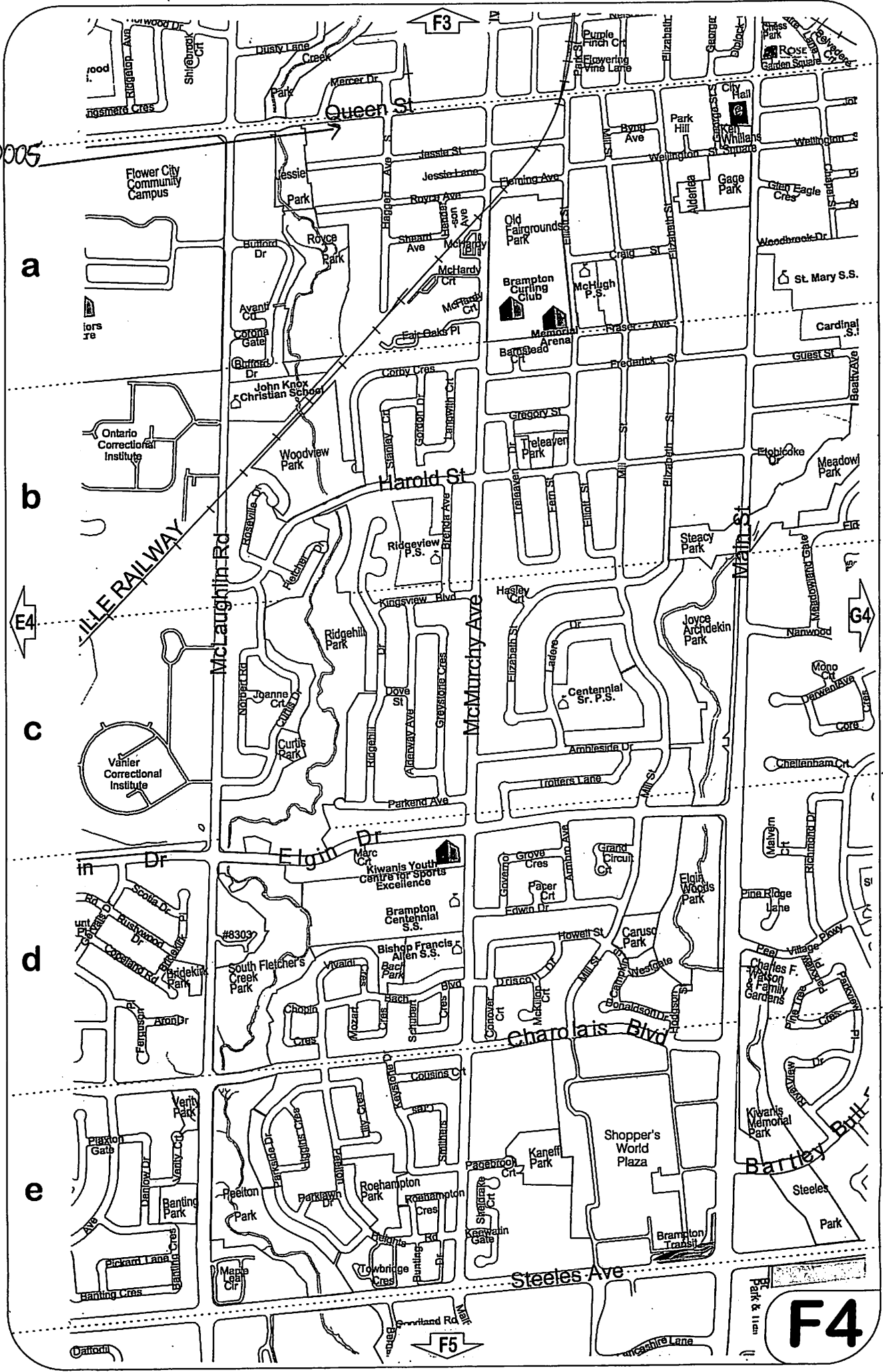
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267 QUEEN STREET
WEST BRAMPTON, ON.
owner name:
HOME
OCCUPATION/SPA &
drawing: RESIDENTIAL
ELEVATIONS 2

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drawing no.:
A3.2

4-2021-0005



a

b

c

d

e

F4

F3

F5