

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **2689255 ONTARIO INC.** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Block K, Plan 720, Part of Blocks C, D, and K, Plan 43M-848, municipally known as **0 ARMTHORPE ROAD**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit outside storage (truck trailers) whereas the by-law does not permit outside storage;
2. To permit a front yard setback of 0.904m (2.97 ft.) to a transformer whereas the by-law requires a minimum setback of 9.0m (29.53 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 9, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 25th day of February, 2021.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

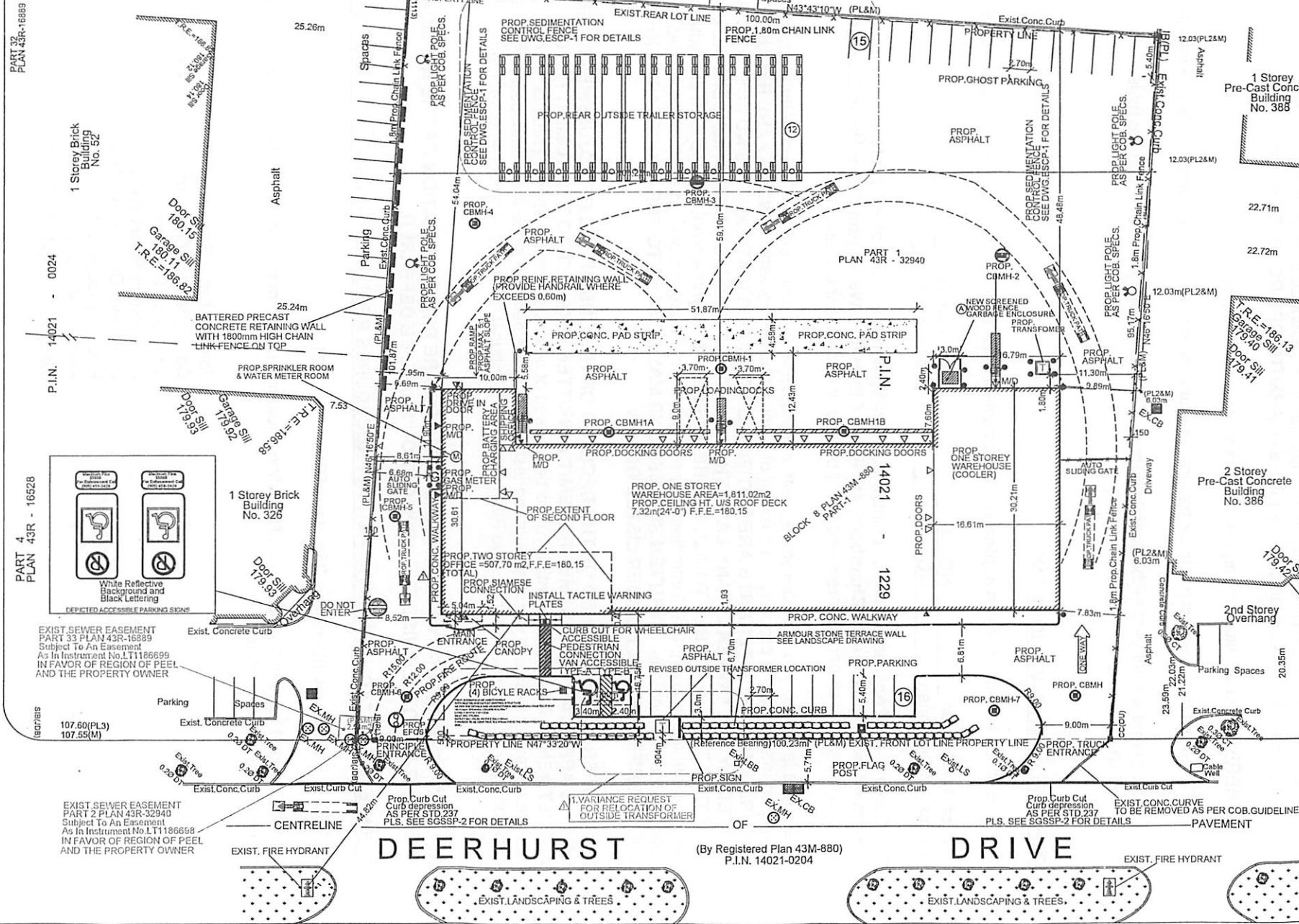
Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall
2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

PART 2 - SURVEY REPORT

1) PLEASE NOTE LOCATION OF FENCES
2) REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:
SUBJECT TO AN EASEMENT OVER PART 2, PLAN 43R-32940
AS IN INSTRUMENT No. LT1186698;
TOGETHER WITH AN EASEMENT OVER PART 33, PLAN 43R-163889
AS IN INSTRUMENT No. LT1186699
3) THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING
BY-LAWS

LEGAL DESCRIPTION
SURVEY INFORMATION SHOWN ON
THIS PLAN TAKEN FROM
PLAN OF TOPOGRAPHY OF
PART OF BLOCK 6
REGISTERED PLAN 720
AND
PART OF BLOCKS 6, 8, 9 AND 10
REGISTERED PLAN 840
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF P.E.E.
A RECORD OF
SURVEY AND EASEMENTS
SEE (S) 43R-32940

ARMTHORPE ROAD



LOCATION PLAN (N.T.S.)

KEY PLAN (N.T.S.)

DATE PLOTTED
NOV. 2019

ISSUED FOR
MINOR VARIANCE APPL.

1. VISIT AND INSPECT THE SITE AND ALL OTHER DRAWINGS. NO ALLOWANCE WILL BE MADE FOR FAILURE TO DO SO.
2. VERIFY AND CHECK ALL DIMENSIONS PRIOR DURING CONSTRUCTION. ANY ERROR OR OMISSION MUST BE REPORTED TO THE OWNER PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWING.
3. ALL WORK SHALL CONFORM TO THE BASE BUILDING SPECIFICATION AND THE LATEST EDITION OF THE NATIONAL OR PROVINCIAL BUILDING CODE.
4. APPLY AND PAY FOR ALL PERMITS, INSPECTIONS BEFORE FINAL INSPECTION FOR OCCUPANCY PERMIT.
5. SUPPLY AND INSTALL ALL ITEM ARTICLES, MATERIAL OPERATIONS INCLUDE ALL LAZER, EQUIPMENTS, TOOL AS NECESSARY TO COMPLETE ALL SYSTEM SHOWN ON THE DRAWING RENDERING A COMPLETE AND OPERATING SYSTEM.
6. SUBMIT A CERTIFICATE OF GUARANTEE OF WORKMANSHIP AND MATERIALS FOR ONE YEAR ACCEPTANCE. THIS GUARANTEE SHALL BIND THE CONTRACTOR TO CORRECT REPAIR OR REPLACE PROMPTLY ANY DEFECTIVE EQUIPMENT OR WORKMANSHIP WITHOUT COST TO THE OWNER.
7. THE CONTRACTOR SHALL REMOVE ALL THE DEBRIS FROM THE CONSTRUCTION SITE AND ENSURE THAT ALL PUBLIC SPACES ARE FREE OF CONSTRUCTION MATERIALS AND DEBRIS.
8. THIS DESIGN AND DRAWING HAVE BEEN PREPARED FOR THE SPECIFIC USE OF THIS PROJECT AND AS SUCH SHALL REMAIN THE PROPERTY OF THE CONSULTANT. DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS BY CLIENT OR CLIENTS REPRESENTATIVE BELOW AUTHORIZED SIGNATURE.

No. Date Plotted Revisions
CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR SAME. REPORTING ANY DISCREPANCIES TO THE SANPRO ENGINEERING INC. BEFORE COMMENCING WORK. ALL DRAWINGS, PRINTS AND SPECIFICATIONS ARE THE PROPERTY OF THE SANPRO ENGINEERING INC. AND MUST BE RETURNED TO HIM ON COMPLETION OF WORK. LATEST APPROVED DRAWINGS ONLY TO BE USED FOR CONSTRUCTION. PRINTS ARE NOT TO BE SCALED.



CONSULTANT :
SANPRO ENGINEERING INC.

3096 HAROLD SHEARD DR.
MISSISSAUGA, ON L4T1V5 CELL (416) 802-4885

PROJECT :

0 ARMTHORPE RD.
BRAMPTON, ON, L6T 5M4

FILE: SPA-2019-0065

DRAWING TITLE

SITE PLAN

DRAWN BY: SK APPROVED BY: SK

DATE NOV./2019 SCALE 1:250

PROJECT NO. 2019-425 DRAWING NO. SP-1

1 TO 2

SANPRO ENGINEERING INC.

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures
How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 4, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, March 5, 2021**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, March 5, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



FILE NUMBER: A-2021-0007

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) KULWANT SHOTA / 2689235 ONTARIO INC.
Address 48 SNOWBOAT CRESCENT, BRAMPTON, ON. L6V 4R5

Phone # 416-895-3261 Fax # _____
Email KSahota@actionforcetransport.com

2. Name of Agent SANJEEV KUMAR
Address 3086 HAROLD SHEARD DR., MISSISSAUGA, ON., L4T 1V5

Phone # 416-802-4885 Fax # _____
Email Sanjeev.kumar@gmail.com

3. Nature and extent of relief applied for (variances requested):
1. Proposed outside storage for the rear side truck trailer park.
2. Requesting a variance for a reduced setback to the transformer.
Proposed front set back for transformer will be 0.904m from the
Exist. front yard property line.

4. Why is it not possible to comply with the provisions of the by-law?
1. Outside storage is not allowed as per Zoning by law, City of
Brampton, ON.
2. The proposed reduced front location of the outside transformer
is not complying.
The required setback is 9.0m as per Zoning by law, City of Brampton,
ON.

5. Legal Description of the subject land:
Lot Number PART OF BLOCK 'K' ON REGISTERED PLAN 720 PART OF BLOCKS C, D, K
Plan Number/Concession Number 413M-880 8 M. ON REGISTERED 848
Municipal Address 0 ARMTHORPE ROAD, BRAMPTON, ON.

6. Dimension of subject land (in metric units)
Frontage 100.23m.
Depth 99.02m.
Area 0.88 ha (2.43 Acres)

7. Access to the subject land is by:
Provincial Highway ☐ Seasonal Road ☐
Municipal Road Maintained All Year ☒ Other Public Road ☐
Private Right-of-Way ☐ Water ☒

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

A VACANT LOT.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

TO BUILD AN INDUSTRIAL WAREHOUSE BUILDING OF 1,811.02m²
AND ASSOCIATED TWO STOREYED OFFICE OF 304.70m² ON THE
EXISTING VACANT LOT.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 0

Rear yard setback 0

Side yard setback 0

Side yard setback 0

PROPOSED

Front yard setback 16.75m.

Rear yard setback 59.10m.

Side yard setback 7.83m North.

Side yard setback 7.95m South.

10. Date of Acquisition of subject land: 28-10-2019
11. Existing uses of subject property: INDUSTRIAL
12. Proposed uses of subject property: INDUSTRIAL
13. Existing uses of abutting properties: INDUSTRIAL
14. Date of construction of all buildings & structures on subject land: JUNE/2021
15. Length of time the existing uses of the subject property have been continued: Six MONTHS

16. (a) What water supply is existing/proposed?

Municipal ☒

Well ☐

Other (specify) _____

- (b) What sewage disposal is/will be provided?

Municipal ☒

Septic ☐

Other (specify) _____

- (c) What storm drainage system is existing/proposed?

Sewers ☒

Ditches ☐

Swales ☐

Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Sanjeev Kumar
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF MISSISSAUGA

THIS 21st DAY OF JANUARY, 20 21.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Sanjeev Kumar, OF THE CITY OF MISSISSAUGA
IN THE CITY OF MISSISSAUGA SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 1st DAY OF
February, 20 21.

April Dela Cerna
A Commissioner etc.

Sanjeev Kumar
Signature of Applicant or Authorized Agent
April Dela Cerna,
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires May 8, 2021.

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

M4-1566

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

[Signature]

Zoning Officer

February 3, 2021

Date

DATE RECEIVED February 01, 2021

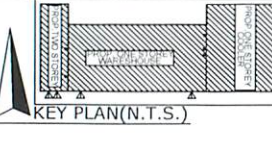
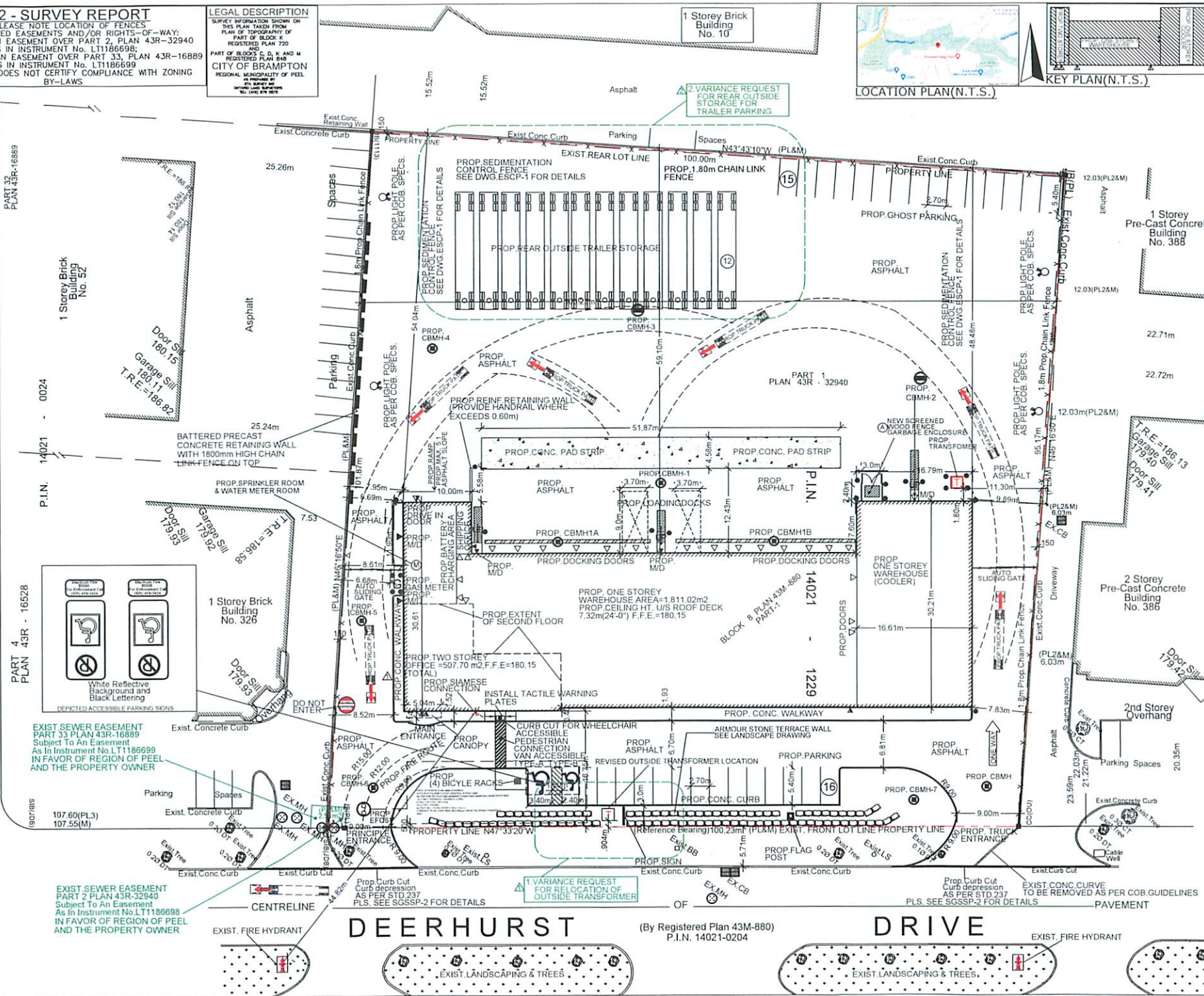
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AS IN INSTRUMENT NO. LT1186698;
TOGETHER WITH AN EASEMENT OVER PART 33, PLAN 43R-16889
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BY-LAWS

LEGAL DESCRIPTION

SURVEY INFORMATION SHOWN ON
THIS PLAN TAKEN FROM
PLAN OF TOPOGRAPHY OF
PART OF BLOCK 8
REGISTERED PLAN 720
AND
PART OF BLOCKS C, D, K AND M
REGISTERED PLAN 840
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEELE
AS PREPARED BY
SANPRO ENGINEERING INC.
NO DATE FOR THIS
PLAN

ARMTHORPE ROAD



DATE PLOTTED NOV.2019	ISSUED FOR MINOR VARIANCE APPL.
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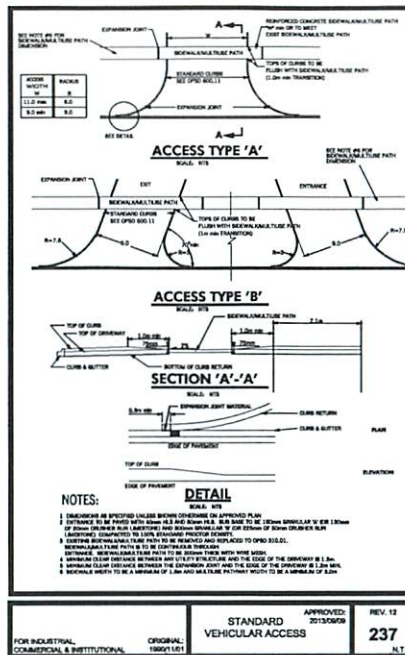
SANPRO ENGINEERING INC.

STANDARD NOTES FOR SITE PLAN:

- Standard drawings of the City of Brampton & OPD constitute part of the site plan drawing(s).
- All construction work to be carried out in accordance with the requirements of the Occupational Health and Safety Act and Regulations for construction projects.
- The General Contractor shall rectify all disturbed areas to original condition or better and to the satisfaction of the City.
- The location of all under/above ground utilities and structures is approximate only, and where shown on the drawing(s) the accuracy of the location of such utilities is not guaranteed. The General Contractor shall determine the location of all such utilities and structures by consulting the appropriate authorities or utility companies concerned. The General Contractor shall prove the location of all such utilities and structures and shall assume all liability for damage or restoration.
- Any conflicts with existing services shall be rectified at the General Contractor's expense.
- Sanitary and storm control manholes shall be in accordance with Town Standard & OPD Drawings. Frame and cover shall be to the Town's Standard. The manholes shall be benched to the obvert of pipes.
- All sanitary manhole covers in the ponding areas to be water tight sealed covers.
- All catchbasins shall be installed in accordance with Town Standard Drawings. All catchbasin frames and covers shall be to Town's standards.
- All industrial/commercial/condominium watermain connections shall be constructed in accordance with Town Standard Drawings.
- Watermain shall have a minimum vertical separation of 0.5 m and horizontal separation of 2.5 m between any sewer or manhole.
- Hydrants to be installed as per City of Brampton Standard.
- Driveway entrance shall be constructed with heavy duty asphalt from the back of the municipal curb or edge of pavement to the property line (area highlighted on drawing(s)).
 - 50 mm compacted depth of HL3 asphalt - top course
 - 100 mm compacted depth of HL8 asphalt - binder course
 - 300 mm compacted depth of 20 mm crusher run limestone - granular base
 - 300 mm compacted depth of 50 mm crusher run limestone - granular sub-base
- All concrete curbs from existing road curb to street line shall be barrier curb to Town Standard. All concrete curb heights shall be 150 mm unless otherwise noted. Driveway curb to be discontinuous at sidewalk and tapered back 600 mm minimum.
- All required curb cutting at driveway entrance(s) and curb depressions at sidewalk crossings shall be installed to the satisfaction of the City.
- Sidewalk to be 200 mm thick through driveway entrance per Town Standard.
- Frost collars are to be provided on curb stops and valve boxes when located within the limits of the driveway.
- Driveways shall be setback a minimum clearance of 1.0 m from all above ground services or other obstructions.
- Appropriate construction details should be provided for retaining walls higher than 1.0 m. Details shall be designed and certified by a professional engineer upon approval. Handrail/guard is required when height exceeds 0.60 m.
- Landscaping shall not encroach on boulevard nor shall boulevard grades be altered.
- Slopes in landscaped areas and on berms shall not exceed 3 horizontal to 1 vertical.
- Pavement grades (min. 0.5%, max. 5%).
- Drainage swales with grades (min. 2%, max. 5%).
- Cutoff light level distribution at the property line.
- Sanitary, storm and water service connections which are not in place on the municipal road allowance to the property line shall be arranged for installation by the Town on payment of installation costs by the owner. To initiate the installation of the service connection(s), the owner shall file an application with the Construction Services Division.
- Silt fence(s) to be installed and maintained to prevent silt flowing onto adjacent lands.
- Construction access shall be constructed with a minimum depth of 450 mm crushed stone base from the municipal curb or edge of pavement to the property line, to the satisfaction of the Town.
- The surface of all loading spaces and related driveways, parking spaces, and manoeuvring areas within the site shall be paved with a hard surface. The recommended minimum depth requirements are as follows:
 - 40 mm compacted depth HL3 asphalt - top course
 - 75 mm compacted depth HL8 asphalt - binder course
 - 200 mm compacted depth 20 mm crusher run limestone - granular base
 - 200 mm compacted depth 50 mm crusher run limestone - granular sub-base

NOTE:

- Gas meters shall not be located on building facades that face streets and shall be located discreetly, away from pedestrian travel routes and screened from public view.
- Gas pipes servicing roof top mechanical equipment shall not be visible to any public view and shall be installed within the wall construction.



FOR INDUSTRIAL, COMMERCIAL & INSTITUTIONAL

STANDARD VEHICULAR ACCESS

APPROVED 2013/05/09

REV. 12

237

N.T.S.

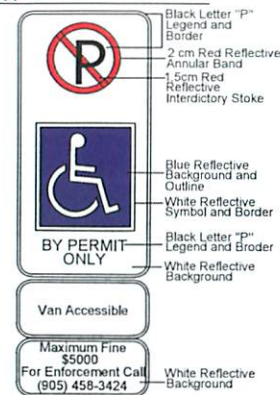
DESCRIPTIONS OF EXIST.EASEMENTS

- EXIST. SEWER EASEMENT PART 33, PLAN 43-R 16889 SUBJECT TO AN EASEMENT AS IN INSTRUMENT NO. LT 11866699.
- EXIST. SEWER EASEMENT PART 2, PLAN 43-R 32940 SUBJECT TO AN EASEMENT AS IN INSTRUMENT NO. LT 11866699.

LEGEND

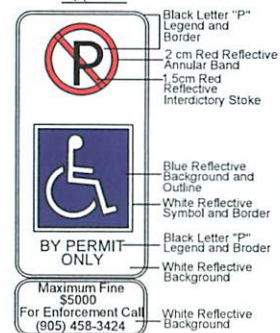
F.F.E	180.15
T.C.	TOP OF CURB
C.B.	CATCH BASIN
PROP. DRIVE-IN DR LOCATIONS	
PROP. LOADING DOCK DOOR	
EXIST. MANHOLE	
PROP. INTERIOR DOORS	
PROP. GAS & SERVICE METER	
EXIST. FIRE HYDRANT	
MH	DENOTES MANHOLE
DENOTES EXIST. CATCH BASIN	
DENOTES PROP. SIAMESE CONNECTION	
DENOTES NEW MAIN DOOR	
DENOTES NEW MAIN ENTRANCE DOOR	
DENOTES NEW MAN DOOR	
YELLOW PAINTED 200mm DIA. STEEL PIPE/FILLED WITH CONC. BOLLARD	
PROP. INTERIOR LOT LIGHT POLE AS PER CITY OF BRAMPTON GUIDELINES	
EXIST. TREE	
PROP. 1.80m CHAIN LINK FENCE	
LS	DENOTES STREET LIGHT
BB	DENOTES BELL BOX
DENOTES PROP. STORMCEPTOR	

Type A- Van Accessible



City of Brampton Traffic By-law 93-93 Accessible Parking Sign N.T.S.

Type B



City of Brampton Traffic By-law 93-93 Accessible Parking Sign

SITE STATISTICS:

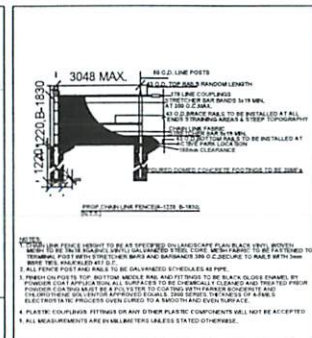
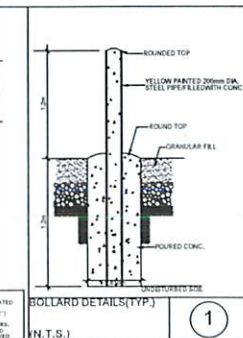
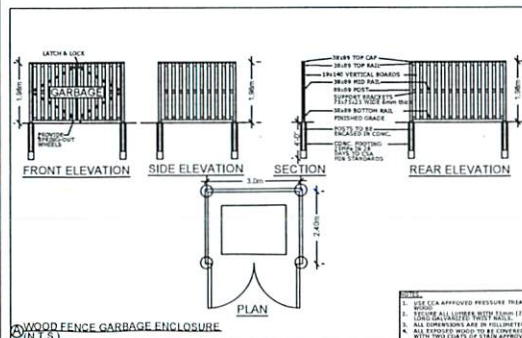
LOT AREA (0.98ha=2.43 Acres)	9,852.80m ²	106,058.12 ft ²
PROPOSED BUILDING		
GROUND FLOOR AREA	263.35 m ²	2,834.76 ft ²
SECOND FLOOR AREA (EXCLUDING STAIR HALL)	244.35 m ²	2,630.25 ft ²
GROUND FLOOR WAREHOUSE	1,811.02 m ²	19,494.29 ft ²
TOTAL GROSS FL. AREA	2,318.72 m ²	24,959.31 ft ²
TOTAL GROUND FL. AREA	2,074.37 m ²	22,329.06 ft ²
PROP. LOT COVERAGE	21.05%	

SET BACK

	REQUIRED	PROVIDED
INTERIOR SIDE SET BACK (NORTH SIDE)	4.00 m	7.83m
INTERIOR SIDE SET BACK (SOUTH SIDE)	4.00 m	7.95m
REAR YARD SET BACK	7.00 m	59.10m

PARKING CALCULATIONS:

ZONING: INDUSTRIAL (M-2)	REQUIRED	PROVIDED
(A) PROP. OFFICE = (507.70 m ²) BOTH FLOORS		
OFFICE AREA GREATER THAN 15%		
TOTAL GFA = 172.338m ² @ 1/25	7	7
1 PARKING SPACE / 25m ²		
(B) WAREHOUSE = (1,811.02 m ²)		
TOTAL GFA = 2,318.72 - 172.338 = 2,146.382m ²	24	24
2,063.542m ² @ 1/90		
TOTAL PARKING REQUIRED (INCLU. TYPE-A (VAN ACCESSIBLE) & TYPE-B)	31 SPACES	31 SPACES
LOADING SPACE (PROPOSED)		
3.70 m X 9.00 m	2 SPACES	2 SPACES
STANDARD PARKING ISLE =	2.70 m X 5.40 m	
PROPOSED WAREHOUSE BUILDING HEIGHT =	7.32m (24'-0")	U/S METAL ROOF DECK



DATE PLOTTED	ISSUED FOR
NOV 2019	MINOR VARIANCE APPL.

- VISIT AND INSPECT THE SITE AND ALL OTHER DRAWINGS. NO ALLOWANCE WILL BE MADE FOR FAILURE TO DO SO.
- VERIFY AND CHECK ALL DIMENSIONS PRIOR DURING CONSTRUCTION. ANY ERROR OR OMISSION MUST BE REPORTED TO THE OWNER PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWING.
- ALL WORK SHALL CONFORM TO THE BASE BUILDING SPECIFICATION AND THE LATEST EDITION OF THE NATIONAL OR PROVINCIAL BUILDING CODE.
- APPLY AND PAY FOR ALL PERMITS, INSPECTIONS BEFORE FINAL INSPECTION FOR OCCUPANCY PERMIT. OPERATIONS INCLUDE ALL LABOR, EQUIPMENT, TOOL, AS NECESSARY TO COMPLETE ALL SYSTEM SHOWN ON THE DRAWING RENDERING A COMPLETE AND OPERATING SYSTEM.
- SUBMIT A CERTIFICATE OF GUARANTEE OF WORKMANSHIP AND MATERIALS FOR ONE YEAR. ACCEPTANCE OF THIS GUARANTEE SHALL BIND THE CONTRACTOR TO CORRECT REPAIR OR REPLACE PROMPTLY ANY DEFECTIVE EQUIPMENT OR WORKMANSHIP WITHOUT COST TO THE OWNER.
- THE CONTRACTOR SHALL REMOVE ALL THE DEBRIS FROM THE CONSTRUCTION SITE AND ENSURE THAT ALL PUBLIC SPACES ARE FREE OF CONSTRUCTION MATERIALS AND DEBRIS.
- THIS DESIGN AND DRAWING HAVE BEEN PREPARED FOR THE SPECIFIC USE OF THIS PROJECT AND AS SUCH SHALL REMAIN THE PROPERTY OF THE CONSULTANT. DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS BY CLIENT OR CLIENTS REPRESENTATIVE BELOW AUTHORIZED SIGNATURE.

No.	Date Plotted	Revisions



City of Brampton Traffic By-law 93-93 Accessible Parking Sign

CONSULTANT :

SANPRO ENGINEERING INC.

3096 HAROLD SHEARD DR. MISSISSAUGA, ON. L4T1V5 CELL (416) 802-4885

PROJECT :

0 ARMTHORPE RD. BRAMPTON, ON., L6T 5M4

FILE: SPA-2019-0065

DRAWING TITLE

SITE PLAN

GENERAL NOTES

DRAWN BY: SK

APPROVED BY: SK

DATE

NOV/2019

SCALE

1:250

PROJECT NO.

2019-425

DRAWING NO.

SP-2

2 TO 2

SANPRO ENGINEERING INC.

