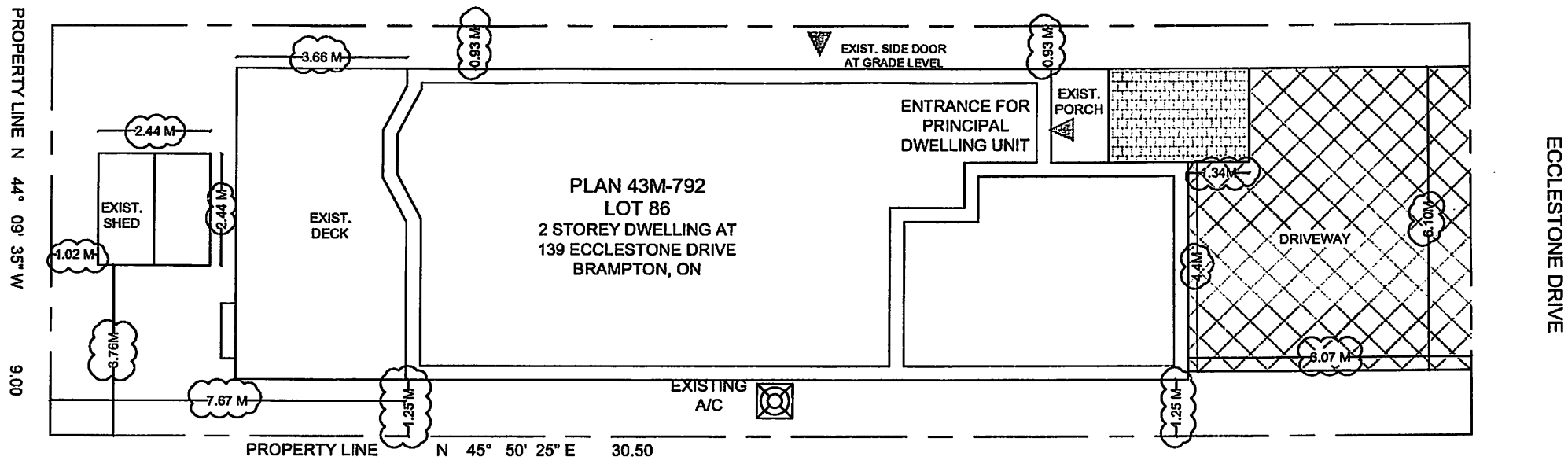




Committee of Adjustment

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall
2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



AREA STATISTICS

GROSS FLOOR AREA CALCULATIONS
 BASEMENT G.F.A = 68.45 M²

▲ ENTRANCE / EGRESS

SCOPE OF WORK

- ① LEGALIZATION OF AS BUILT FINISH BASEMENT
- ② ENLARGEMENT OF ONE WINDOW
- ③ LEGALIZATION OF AS BUILT SIDE ENTRANCE



NO.	DESCRIPTION	DATE
0	FOR BUILDING PERMIT	NOV / 30 / 2020

ENGINEER:

 2751 THAMESGATE DR.
 MISSISSAUGA, ON.
 TEL: 905-678-7778
 mechways@gmail.com

PROJECT:
 139 ECCLESTONE DRIVE
 BRAMPTON, ON

TITLE: SITE PLAN	
CHECKED: MSS	DRAWING:
DRAWN: MSA	A 0.1
SCALE: 1/4" = 1'	
DATE: NOV / 30 / 2020	

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures
How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 4, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, March 5, 2021**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, March 5, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City



brampton.ca

FILE NUMBER: A-2021-0018

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) MOHAMMED ALI
Address 139 ECCLESTONE DR, BRAMPTON, ON L6X 3P7
Phone # 226-808-4444 Fax # _____
Email MOHAMMED.YASEEN.A.A@GMAIL.COM
2. Name of Agent VALI UDDIN MOHAMMED
Address 8751 THAMESGATE DR, MISSISSAUGA, ON L4T 1G5
Phone # 647-786-5940 Fax # _____
Email INFO@MECHWAYS.COM
3. Nature and extent of relief applied for (variances requested):
THE AS-BUILT ABOVE GRADE SIDE ENTRANCE IS ON THE
RIGHT SIDE OF THE HOUSE AND THE AVAILABLE SET BACK
AS PER THE SURVEY IS 0.94 m WHEREAS A SETBACK
OF 1.2 m IS REQUIRED AS PER THE ZONING BY LAW.
A RELIEF OF 0.26 m IS REQUIRED.
4. Why is it not possible to comply with the provisions of the by-law?
EXISTING SETBACK IS 0.94 m AS PER THE SURVEY
AND IT CANNOT BE CHANGED.
5. Legal Description of the subject land:
Lot Number 86
Plan Number/Concession Number PLAN M792
Municipal Address 139 ECCLESTONE DR, BRAMPTON, ON L6X 3P7
6. Dimension of subject land (In metric units)
Frontage 9.02 m
Depth 30.48 m
Area 274.06 m²
7. Access to the subject land is by:
Provincial Highway ☐ Seasonal Road ☐
Municipal Road Maintained All Year ☒ Other Public Road ☐
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

DWELLING UNIT :

Ground Floor Area : 74.18 m	Length : 15.05 m
Gross Floor Area : 169.17 m	Height : 6.84 m
Number of Storeys : 2 m	
Width = 6.82 m	

PROPOSED BUILDINGS/STRUCTURES on the subject land:

DWELLING UNIT :

Ground Floor Area : 74.18 m	Length : 15.05 m
Gross Floor Area : 169.17 m	Height : 6.84 m
Number of Storeys : 2 m	
Width = 6.82 m	

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	6.07 m
Rear yard setback	7.19 m
Side yard setback	0.94 m (Right)
Side yard setback	1.29 m (Left)

PROPOSED

Front yard setback	6.07 m
Rear yard setback	7.19 m
Side yard setback	0.94 m
Side yard setback	1.29 m

10. Date of Acquisition of subject land: Nov 2015
11. Existing uses of subject property: Residential Single dwelling Unit
12. Proposed uses of subject property: Residential Single dwelling unit
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 1993
15. Length of time the existing uses of the subject property have been continued: Since 1990
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Mississauga
THIS 15th DAY OF January, 2021.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Valiuddin Mohammed OF THE City OF Mississauga.

IN THE Region OF Peel, SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Toronto

IN THE Province OF

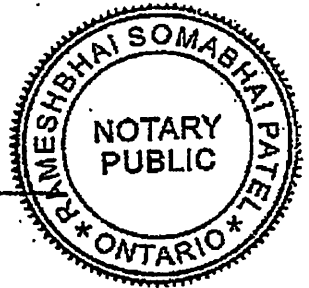
Ontario THIS 15th DAY OF

January, 2021

[Signature]

RAMESHBHAI S. PATEL
Barrister, Solicitor & Notary Public
127 Westmore Dr, Unit #101
Toronto, ON M6V 3Y5
Ph: (416) 742-2800

Signature of Applicant or Authorized Agent



FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1D - SECTION 377, Mature Neighbourhood

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

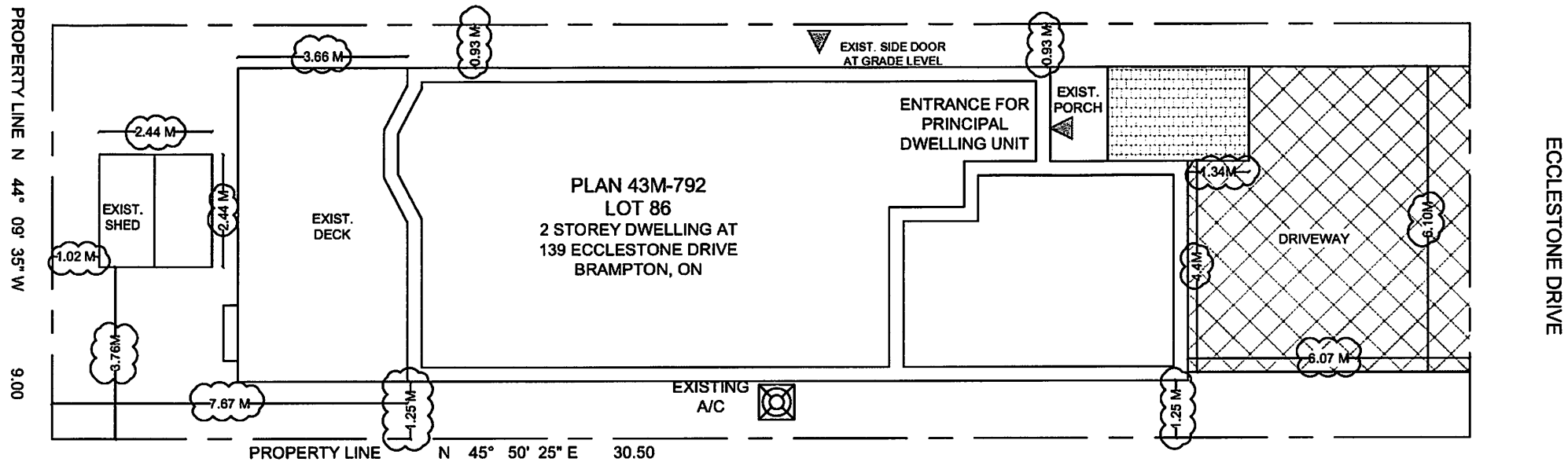
J. Chau
Zoning Officer

February 9, 2021

Date

DATE RECEIVED FEBRUARY 5, 2021

Revised 20200107



AREA STATISTICS

GROSS FLOOR AREA CALCULATIONS

BASEMENT G.F.A = 68.45 M²

▲ ENTRANCE / EGRESS

SCOPE OF WORK

- ① LEGALIZATION OF AS BUILT FINISH BASEMENT
- ② ENLARGEMENT OF ONE WINDOW
- ③ LEGALIZATION OF AS BUILT SIDE ENTRANCE

ECCLESTONE DRIVE



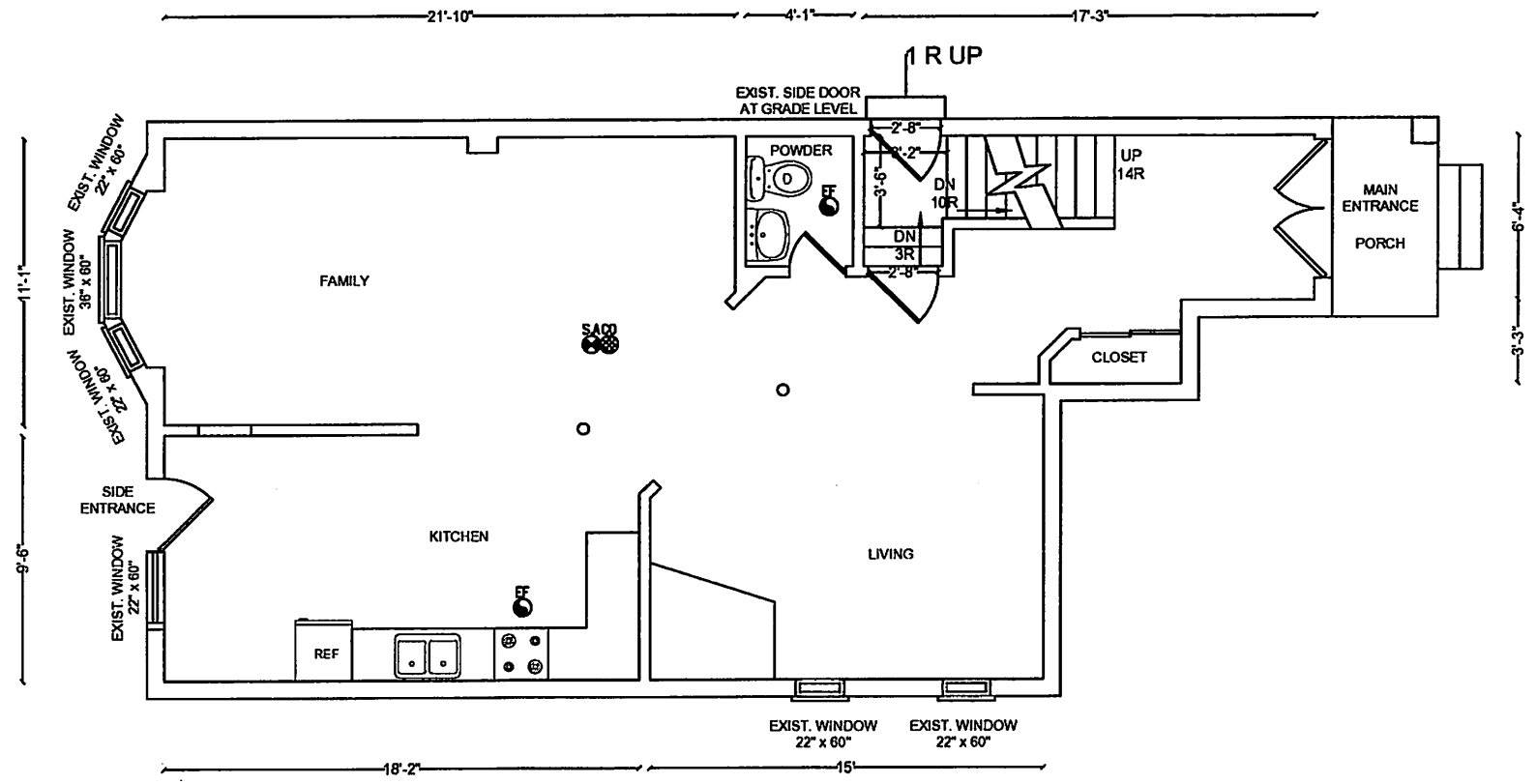
NO.	DESCRIPTION	DATE
0	FOR BUILDING PERMIT	NOV / 30 / 2020

ENGINEER:
 **Mechways Inc.**
 2751 THAMESGATE DR.
 MISSISSAUGA, ON
 TEL: 905-678-7778
 mechways@gmail.com

PROJECT:
 139 ECCLESTONE DRIVE
 BRAMPTON, ON

TITLE:
 SITE PLAN

CHECKED: MSS	DRAWING:
DRAWN: MSA	A 0.1
SCALE: 1/8" = 1'	
DATE: NOV / 30 / 2020	



GROUND FLOOR PLAN

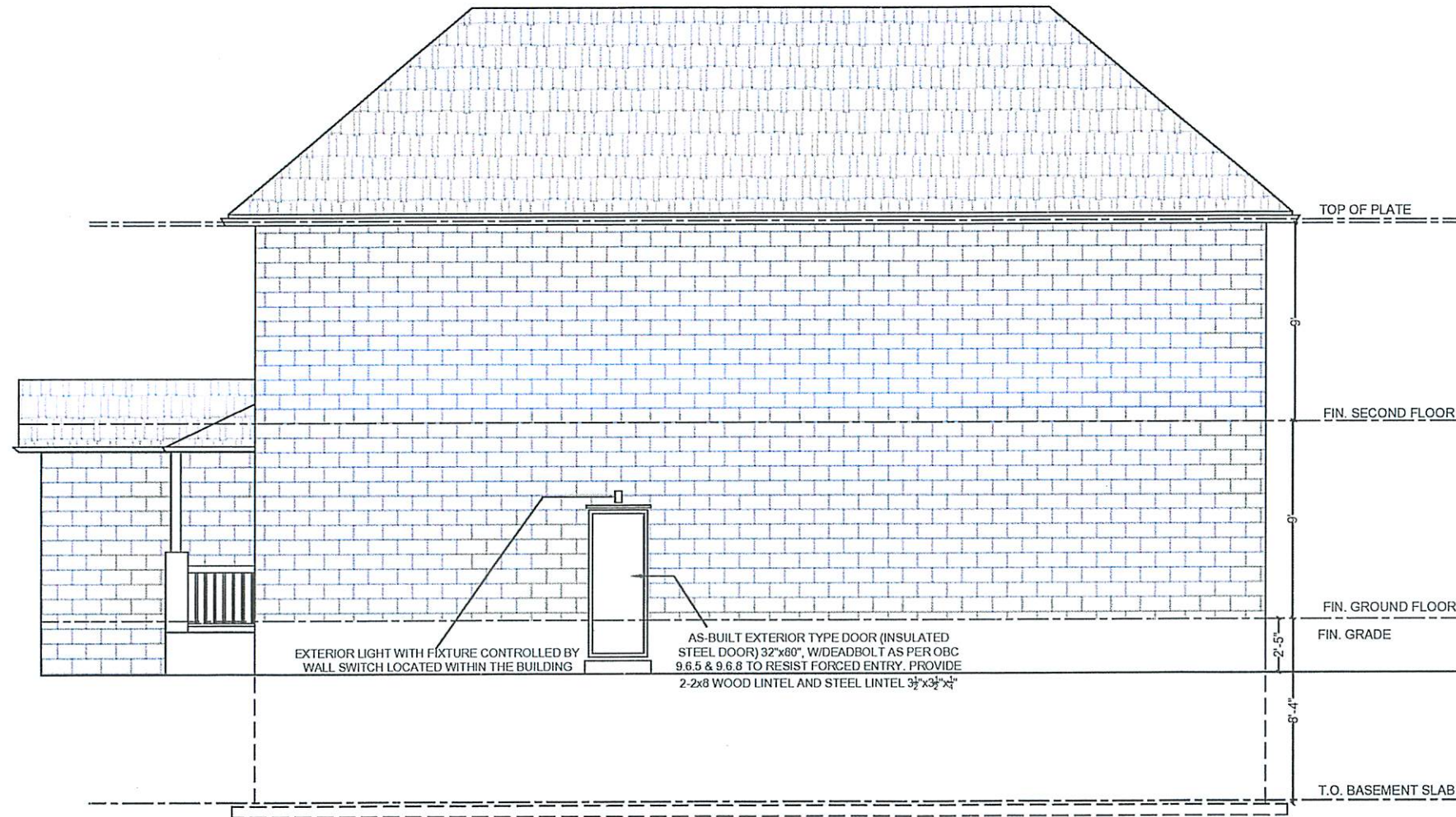


NO.	DESCRIPTION	DATE
0	FOR BUILDING PERMIT	NOV / 30 / 2020

ENGINEER:
 **Mechways Inc.**
 2751 THAMESGATE DR.
 MISSISSAUGA, ON.
 TEL: 905-678-7770
 mechways@gmail.com

PROJECT:
 139 ECCLESTONE DRIVE
 BRAMPTON, ON

TITLE: GROUND FLOOR PLAN	
CHECKED: MSS	DRAWING:
DRAWN: MSA	A 1.3
SCALE: 1/4" = 1'	
DATE: NOV / 30 / 2020	



RIGHT ELEVATION

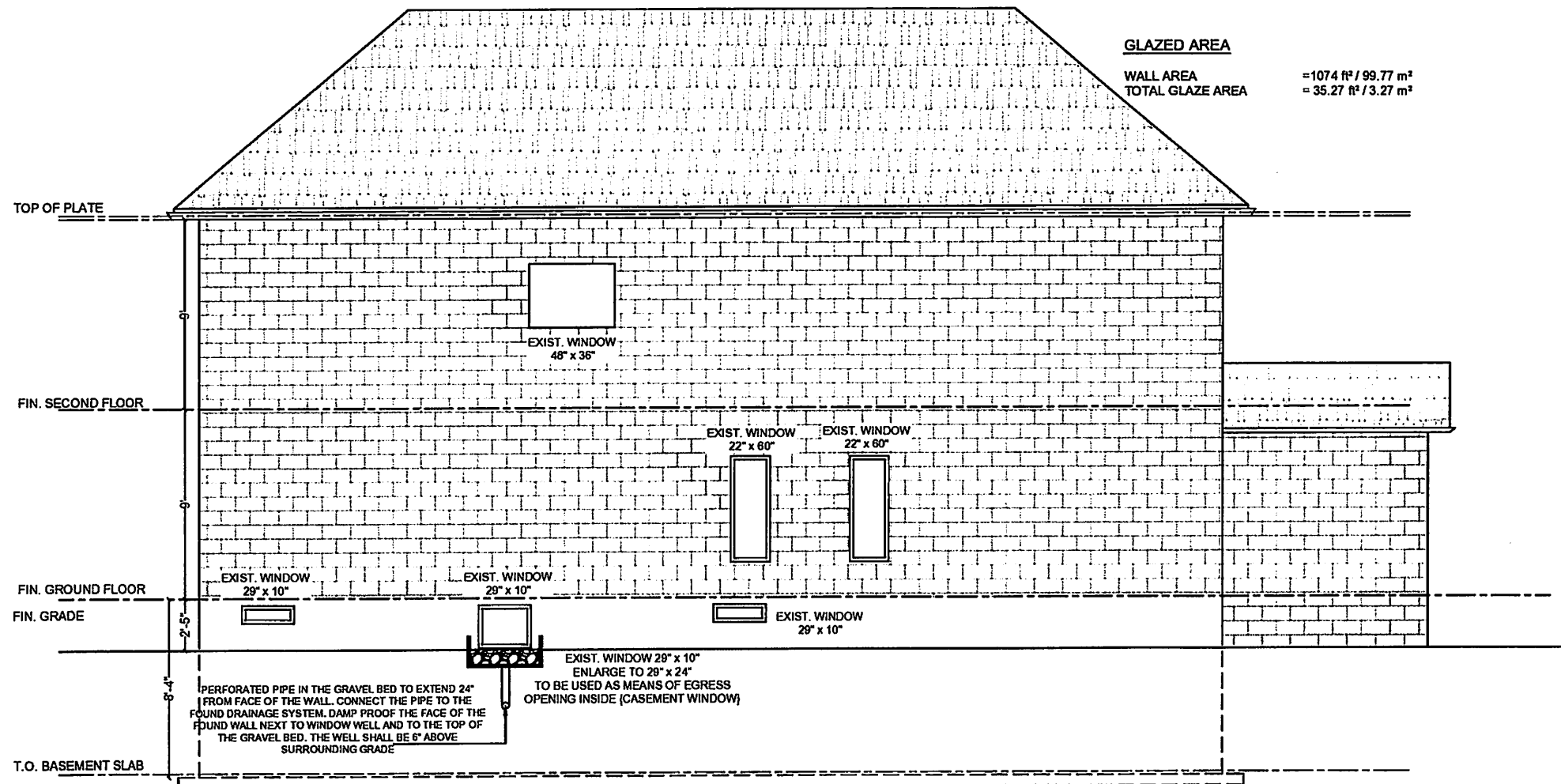


NO.	DESCRIPTION	DATE
0	FOR BUILDING PERMIT	NOV / 30 / 2020

ENGINEER:
 **Mechways Inc.**
 2751 THAMESGATE DR.
 MISSISSAUGA, ON
 TEL: 905-678-7778
 mechways@gmail.com

PROJECT:
**13911 BIRCHSTONE CREEK
 BRAMPTON, ON**

TITLE: RIGHT ELEVATION PLAN	
CHECKED: MSS	DRAWING:
DRAWN: MSA	A 2.1
SCALE: 1/4" = 1'-0"	
DATE: NOV / 30 / 2020	



LEFT ELEVATION

GLAZED AREA

WALL AREA
TOTAL GLAZE AREA

=1074 ft² / 99.77 m²
= 35.27 ft² / 3.27 m²



NO.	DESCRIPTION	DATE
0	FOR BUILDING PERMIT	NOV / 30 / 2020

ENGINEER:
 **Mechways Inc.**
 2751 THAMESGATE DR.
 MISSISSAUGA, ON
 TEL: 905-670-7778
 mechways@gmail.com

PROJECT:
 139 ECCLESTONE DRIVE
 BRAMPTON, ON

TITLE:
 LEFT SIDE ELEVATION PLAN

CHECKED: MSS	DRAWING:
DRAWN: MSA	A 2.3
SCALE: 1/4" = 1'-0"	
DATE: NOV / 30 / 2020	

ROOM FINISHED SCHEDULE - BASEMENT								
ROOM NAME	FLOOR		WALL		CEILING		HEIGHT	REMARKS
	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH		
REC. AREA	WOOD		DRYWALL	PAINT	GYP SUM BD.	PAINT	2235	
BEDROOM	WOOD		DRYWALL	PAINT	GYP SUM BD.	PAINT	2235	
WASHROOM	CERAMIC		DRYWALL	PAINT	GYP SUM BD.	PAINT	2235	
COLD ROOM	CONCRETE		CONCRETE		CONCRETE			
UTILITY ROOM	CONCRETE		DRYWALL		GYP SUM BD.		2235	

DOOR SCHEDULE

1. ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS ARE 80"
2. EGRESS DOOR - EXISTING ABOVE GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE

WINDOW SCHEDULE

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m² W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1m ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS

CONSTRUCTION NOTES

- ① FOUNDATION WALL INSULATION
FOUNDATION WALL, MOISTURE BARRIER, 2x4 STUDS @ 16" O.C., R12 INSULATION, 1/2" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED
- ② INTERNAL WALLS
EXISTING WOOD FRAMED WALL CONSISTING OF 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED. WATER RESISTANT GWB ON BATHROOMS WALLS. PROVIDE 30 MINUTE F.R.R (5/8" TYPE 'X' DRYWALL) ON THE WALLS SEPARATING BASEMENT APARTMENT FROM THE PRINCIPAL RESIDENCE, STAIRWELL AND COMMON AREA. NO DRYWALL ON INSIDE OR UTILITY
- ③ EXISTING CEILING
EXISTING DRYWALL CEILING (1/2" GYPSUM BOARD) ATTACHED TO BOTTOM OF FLOOR JOISTS OF GROUND FLOOR ASSEMBLY SATISFIES THE HORIZONTAL FIRE SEPARATION OF 15 MINUTES AS PER COMPLIANCE ALTERNATIVE C-152(b)
- ④ 20 MIN. FIRE RESISTANCE RATED DOOR FOR COMMON AREA AND BETWEEN BASEMENT APARTMENT AND PRINCIPAL RESIDENCE WITH SELF CLOSING DEVICE
- ⑤ EXISTING DUCT WORK LOCATED IN THE CEILING AND WALL HAS THE DIRECTION OF THE HEAT FLOW TOWARDS THE FLOOR
- ⑥ MECHANICAL VENTILATION
50 CFM EXHAUST FANS IN KITCHEN AND WASHROOM
- ⑦ IN COMPLIANCE WITH C152(b) SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING
- ⑧ PROVIDE CARBON MONOXIDE ALARM CONFIRMING TO CAN/CSA-6.19 "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES" ADJACENT TO EACH SLEEPING AREA WITHIN EACH DWELLING UNIT. CARBON MONOXIDE ALARMS MAY BE HARDWIRED, BATTERY OPERATED OR THE TYPE THAT CAN BE PLUGGED INTO ELECTRICAL OUTLET
- ⑨ FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS AND RESOLVE ANY DISCREPANCIES WITH THE ENGINEER PRIOR TO START OF WORK
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF ONTARIO BUILDING CODE 2012 AND CITY BY-LAWS AND STANDARDS
- IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKMEN HAVING WORKING KNOWLEDGE OF THE APPLICABLE CODE, STANDARDS, INSURANCES AND REQUIREMENTS OF INDUSTRY ACCEPTED STANDARD, AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS.
- BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE DRAWINGS, THE OWNER AND/OR BUILDER ACKNOWLEDGES THAT THE GENERAL NOTES HAVE BEEN READ AND UNDERSTOOD
- THE DRAWINGS PREPARED BY THE DESIGNER IS FOR THE PERMIT IN COMPLIANCE WITH OBC AND CITY BY-LAWS.
- THE DESIGNER IS NOT LIABLE FOR COST INCURRED FOR RE-WORK, ALTERATION, DISCREPANCIES OR ANY KIND OF CONSTRUCTION RELATED WORK
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE NOTICE OF ENGINEER PRIOR TO START OF WORK
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW / DOOR OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET

- \$ SWITCH
- \$3 3 WAY SWITCH
INSTALL AT 3'-3" AFF
3 DENOTES 3-WAY SWITCH
SPECIFICATION GRADE WHITE,
WITH WHITE COVER PLATE
SHALL BE INSTALLED AT THE
ENDS OF EACH STAIRWAYS
- 15A, 120V DUPLEX RECEPTACLE
SPECIFICATION GRADE WHITE,
C/W WHITE COVER PLATE
GFI - GROUND FAULT TYPE
WP -WEATHERPROOF COVER
C - ABOVE COUNTER
- RECEPTACLE 50A, 208V,
STOVE OR DRIER OUTLET.
- RECEPTACLE
- LIGHT
- SPOT LIGHT
- EMERGENCY LIGHT
- FD: FLOOR DRAIN
- SPRINKLER
- DUCT TYPE SMOKE DETECTOR
- SMOKE ALARM
- CARBON MONOXIDE DETECTOR
- EXHAUST FAN



NO.	DESCRIPTION	DATE
0	FOR BUILDING PERMIT	NOV / 30 / 2020

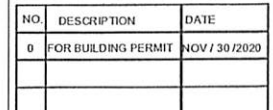
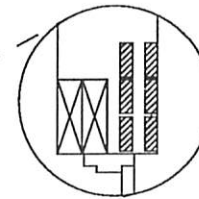
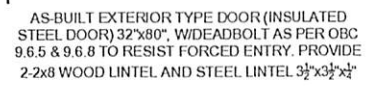
ENGINEER:

2751 THAMESGATE DR.
MISSISSAUGA, ON
TEL: 905-878-7778
mechways@gmail.com

PROJECT:

139 ECCLESTONE DRIVE
BRAMPTON, ON

TITLE: GENERAL NOTES	
CHECKED: MSS DRAWN: MSA SCALE: 1/75 DATE: NOV / 30 / 2020	DRAWING: A 4.1

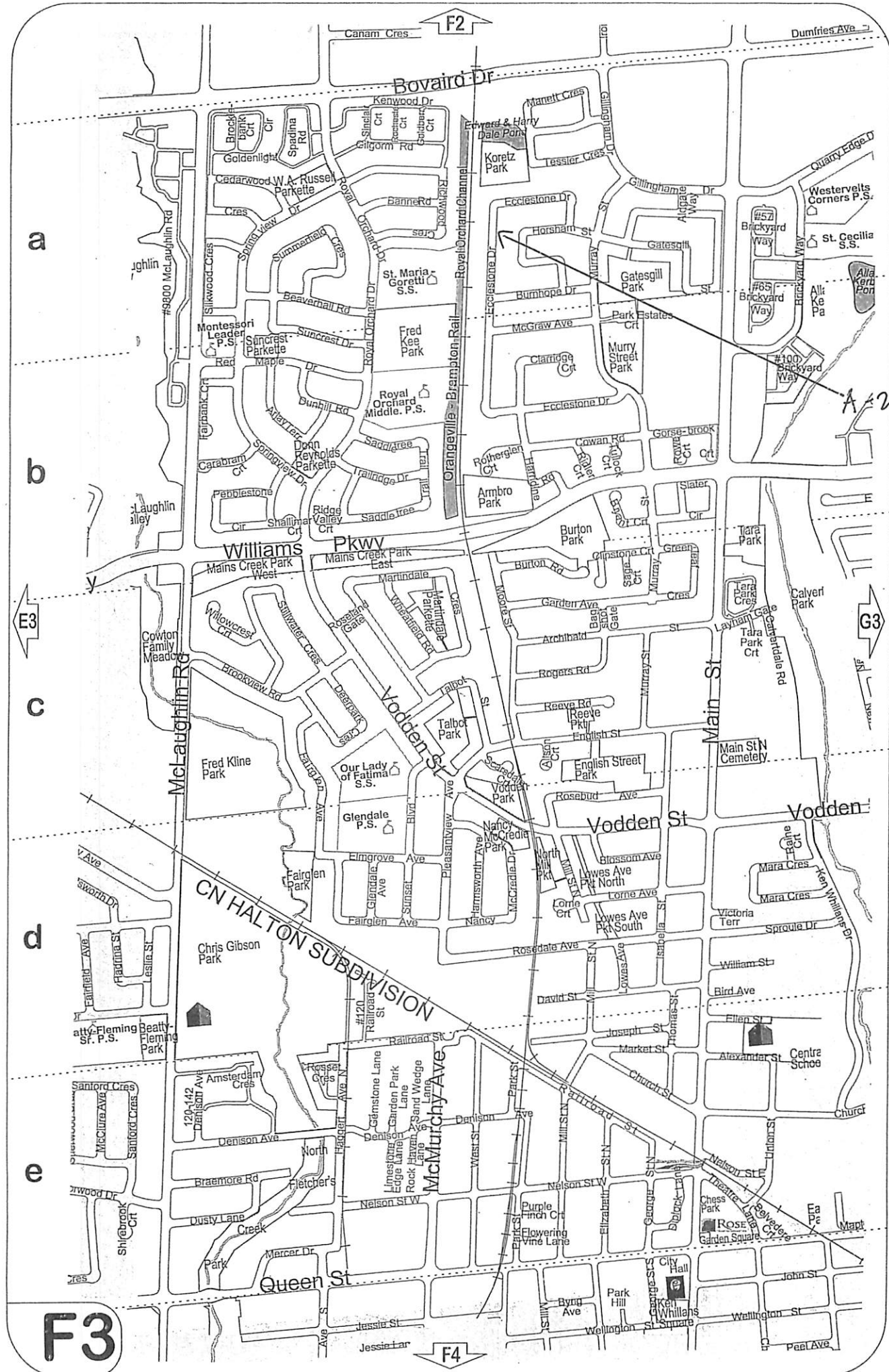


Mechways Inc.

139 ECCLESTONE DRIVE
BRAMPTON, ON

SECTION PLAN

A1



A-2021-0018