



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **DEONARINE SHEORATTAN AND SHANTA NALINI MISIR** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 56, Plan 43M-1791, municipally known as **21 SEASCAPE CRESCENT**, Brampton;

AND WHEREAS the applicants are proposing a one storey addition and are requesting the following variance(s):

1. To permit a rear yard setback of 3.02m (9.91 ft.) whereas the by-law requires a minimum rear yard setback of 7.5m (24.60 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____ **NO** _____
Application for Consent: _____ **NO** _____

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 9, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 25th day of February, 2021.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall
2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

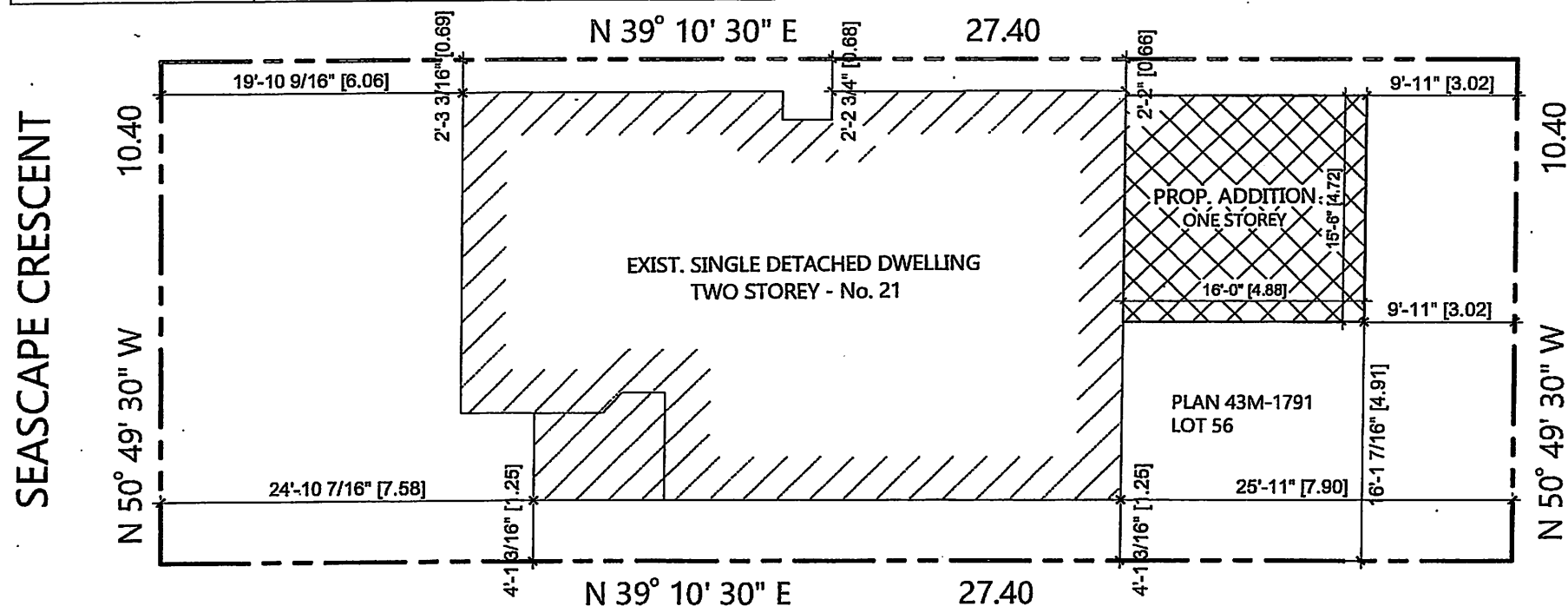
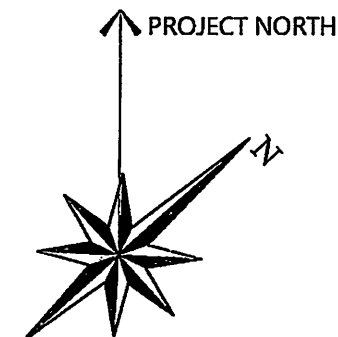
SITE STATISTICS		
	REQUIRED / PERMITTED	PROVIDED
LOT AREA	LOT WIDTH x 25 M =260 Sq. M	284.96 Sq. M
LOT WIDTH	10.40 M	10.40 M
LOT COVERAGE	-	EXISTING = 1135.00 SF / 105.45 SM PORCH = 57.00 SF / 5.30 SM ADDITION = 248.00 SF / 23.04 SM TOTAL = 1440.00 SF / 133.79 SM (53.75 %)
FRONT YARD SETBACK	4.5 M, 6.0 M TO GARAGE WALL	6.06 M
SIDE YARD SETBACK (N)	0.6 M, PROVIDED THE COMBINED TOTAL IS NOT LESS THAN 1.8 M	0.66 M & 1.25 M
SIDE YARD SETBACK (S)	0.6 M, PROVIDED THE COMBINED TOTAL IS NOT LESS THAN 1.8 M	0.66 M & 1.25 M
REAR YARD SETBACK	7.5 M	3.02 M
BUILDING HEIGHT	10.6 M	8.00 M +/- (EXIST)

ZONED: R1F-10.4, By-law as amended



Zoning

Zone Code: R1F-10.4
Category: RESIDENTIAL
Type: R1F
Special Sections:
Split Zoned: NO



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

NAME: CRISTIN MILLER
SIGNATURE: *Cristin Miller*
BCIN: 38262

SITE PLAN

General Notes

- All construction shall comply with Ontario Building Code 2012, its subsequent revisions and authorities having jurisdiction. New specific materials and products have to be authorized by agencies like: Canadian Construction Materials Centre C.M.C. or Building Materials Evaluation Commission B.M.E.C. Manufacturer's items, materials and construction must comply with requirements of Canada Mortgage and Housing Corporation C.M.H.C.
- All lumber shall be No. 1 and 2, or better.
- All plywood shall be stamped exterior grade.
- Joints spanning more than 2100 mm are to have bridging at least every 2100 mm O.C.
- Contractor shall be responsible for verifying the locations of all existing above or below grade utilities and services. Applicable utilities shall be given required notice prior to any digging for stake out.
- Electrical facilities shall comply with O.B.C. 9.3.4. All electrical work shall be performed by a licensed electrician.
- Smoke Alarm installed at all levels, and in each bedroom.
- Carbon Monoxide Alarms installed at all levels adjacent to sleeping areas.
- Handrails shall be provided at all exterior stairs with more than three risers at height of 3'-0".
- Exterior guards shall be 3'-6" high. Guards shall be designed to prevent climbing and be provided around every surface with difference in elevation of more than 2'-0". Guards shall be anchored to the deck to resist uniformly distributed top rail load of 0.5 KN/m horizontal as well as 1 KN/m applied at any point. O.B.C. 9.8.8.2.

No.	Revision/Date	Date

Firm Name and Address

CM
Design
6456 Main Street, Stouffville
Ontario, L4A 5Z4
(416) 795-3520

Project Name and Address

MISIR
21 SEASCAPE CRESCENT
BRAMPTON, ONTARIO
L6P 3C7

Project:
20-022
Date:
12.30.20
Scale:
1:100

Sheet:
SP1

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures
How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 4, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, March 5, 2021**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, March 5, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION**Minor Variance or Special Permission**

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** DEONARINE SHEORATTAN & SHANTA NALINI MISIR
Address 21 SEASCAPE CRESCENT, BRAMPTON, ONTARIO, L6P 3G4

Phone # 416-618-7450 **Fax #** _____
Email SHANTA.MISIR@GMAIL.COM

2. **Name of Agent** CRISTIN MILLER
Address 6456 MAIN STREET, STOUFFVILLE, ONTARIO, L4A 5Z4

Phone # 416-795-3620 **Fax #** _____
Email CML.DESIGN@LIVE.COM

3. **Nature and extent of relief applied for (variances requested):**

TO PERMIT A MINIMUM REAR YARD OF 3.02 METRES; WHEREAS A MINIMUM OF 7.5 METRES IS REQUIRED.

4. **Why is it not possible to comply with the provisions of the by-law?**

THE EXISTING BUILDING IS AT THE REAR YARD SETBACK, ANY ADDITION REQUIRES FURTHER APPROVAL.

5. **Legal Description of the subject land:**

Lot Number LOT 56
Plan Number/Concession Number 43M-1791
Municipal Address 21 SEASCAPE CRESCENT

6. **Dimension of subject land (in metric units)**

Frontage 10.4 METRES
Depth 27.40 METRES
Area 284.96 SQUARE METRES

7. **Access to the subject land is by:**

Provincial Highway ☐
Municipal Road Maintained All Year ☒
Private Right-of-Way ☐

Seasonal Road ☐
Other Public Road ☐
Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

EXISTING TWO STOREY DWELLING
FOOTPRINT = 1135.00 Sq. Ft. / 105.45 Sq. M

EXISTING COVERED PORCH
FOOTPRINT = 57.00 Sq. Ft. / 5.30 Sq. M

PROPOSED BUILDINGS/STRUCTURES on the subject land:

PROPOSED REAR YARD ADDITION - SINGLE STOREY
16'-0" x 15'-6" = 248.00 Sq. Ft. / 23.04 Sq. M

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	6.06 METRES
Rear yard setback	7.90 METRES
Side yard setback	0.66 METRES
Side yard setback	1.25 METRES

PROPOSED

Front yard setback	6.06 METRES
Rear yard setback	3.02 METRES
Side yard setback	0.66 METRES
Side yard setback	1.25 METRES

10. Date of Acquisition of subject land: _____
11. Existing uses of subject property: SINGLE DETACHED RESIDENTIAL DWELLING
12. Proposed uses of subject property: SINGLE DETACHED RESIDENTIAL DWELLING
13. Existing uses of abutting properties: SINGLE DETACHED RESIDENTIAL DWELLING
14. Date of construction of all buildings & structures on subject land: 2009
15. Length of time the existing uses of the subject property have been continued: SINCE CONSTRUCTION
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☐ x Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

[Signature]
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 5TH DAY OF FEBRUARY, 20 21.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, DEONARINE SHEORITAN, OF THE CITY OF BRAMPTON

IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 5TH DAY OF

February, 20 21.

April Dela Cerna
A Commissioner etc.

[Signature]
Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation:

R1F

Present Zoning By-law Classification:

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

HOTHU S.

Zoning Officer

FEB 05 2021

Date

DATE RECEIVED Feb. 05, 2021

Date Application Deemed
Complete by the Municipality

SURVEYOR'S REAL PROPERTY REPORT PART 1

PLAN OF LOTS 47, 48, 51, 52, 53,
54, 55, 56 AND 57

PLAN 43M-1791

CITY OF BRAMPTON

REGIONAL MUNICIPALITY OF PEEL

SCALE 1:300
10m 5m 0 10m 20m 30 metres

RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN
BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1750302



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
IN ACCORDANCE WITH
REGULATION 1028, SECTION 28(3).

NOTES

D DENOTES MONUMENT SET
IB DENOTES MONUMENT FOUND
SSIB DENOTES IRON BAR
D.U.C. DENOTES SHORT STANDARD IRON BAR
P.I.N. DENOTES DWELLING UNDER CONSTRUCTION
PL DENOTES PROPERTY IDENTIFIER NUMBER
P DENOTES PLAN 43M-1791
P DENOTES PORCH

ALL FOUND MONUMENTS BY J. D. BARNES LIMITED, O.L.S.
ALL TIES TO CONCRETE FOUNDATION.

BEARINGS ARE GRID AND ARE REFERRED TO THE
NORTHEAST LIMIT OF SEASCAPE CRESCENT AS SHOWN ON
PLAN 43M-1791 HAVING A BEARING OF N50°49'30"W.

PART 2 (SURVEY REPORT)

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: NONE
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

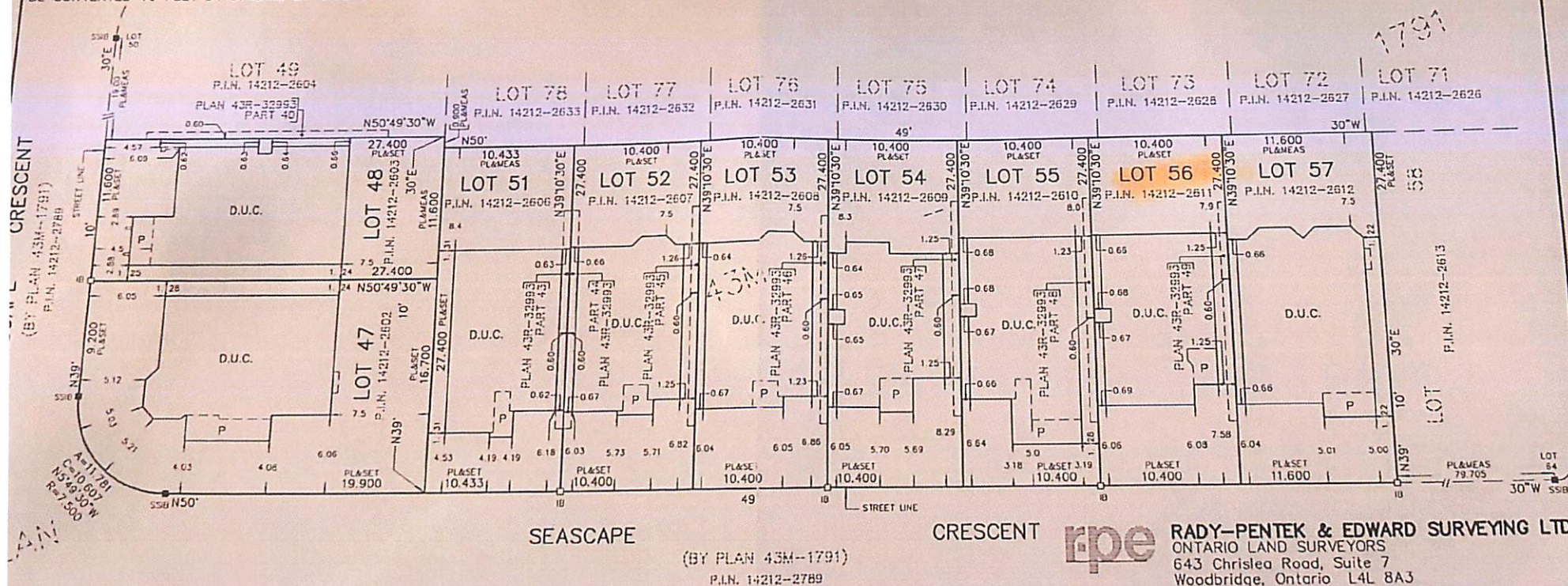
SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND
TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 24 DAY OF Oct., 2009

DATE Oct. 30, 2009

J. Singh
J. SINGH
ONTARIO LAND SURVEYOR



REPORT WAS PREPARED FOR
BY HOMES
E UNDERSIGNED ACCEPTS NO
LIABILITY FOR USE BY OTHER PARTIES.

RADY-PENTEK & EDWARD SURVEYING LTD. O.L.S. 2009

RADY-PENTEK & EDWARD SURVEYING LTD.

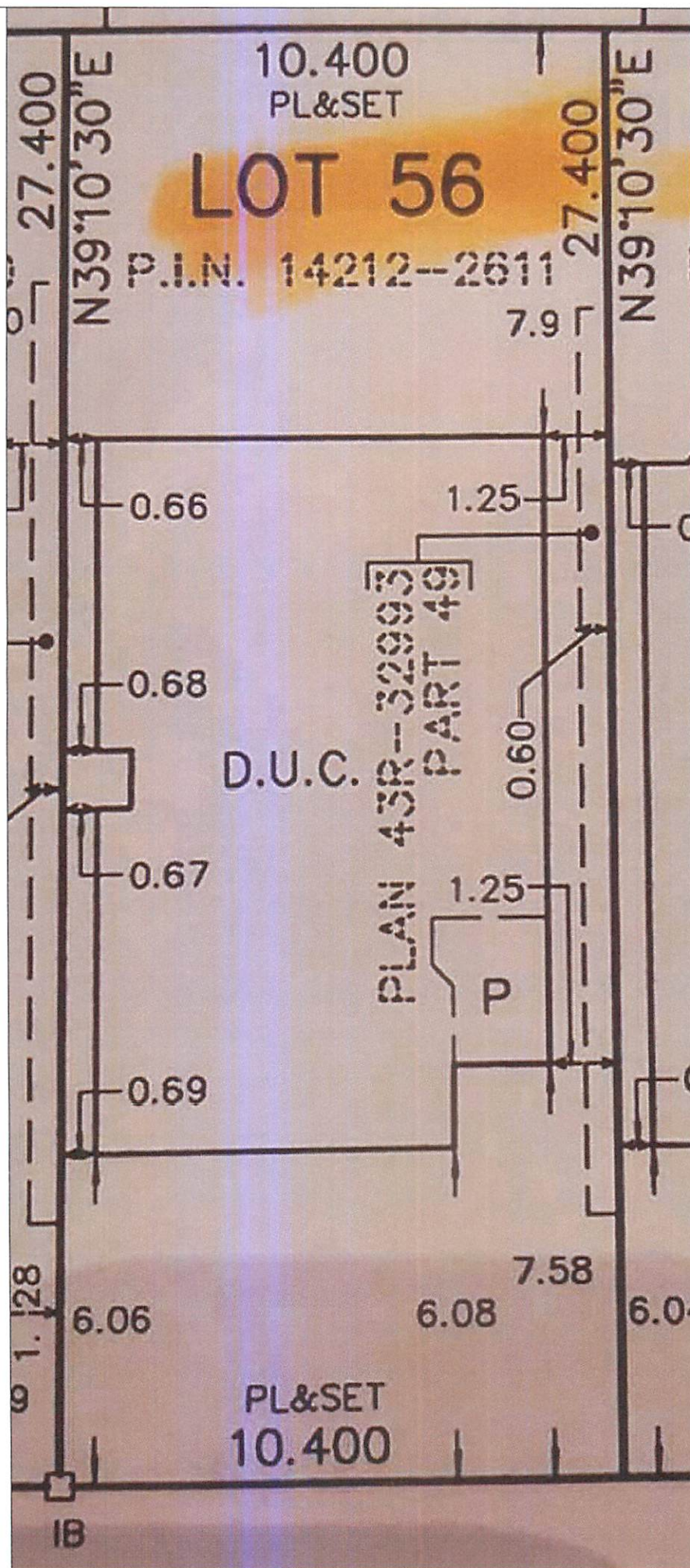
ONTARIO LAND SURVEYORS
643 Chrislea Road, Suite 7
Woodbridge, Ontario L4L 8A3
Tel. (416) 635-5000 Fax (416) 635-5001
Tel. (905) 264-0881 Fax (905) 264-2099

Website: www.r-pe.ca

DRAWN: V.K.

CAD FILE No. 1791-47

CHECKED: T.S.
JOB No. 09-119

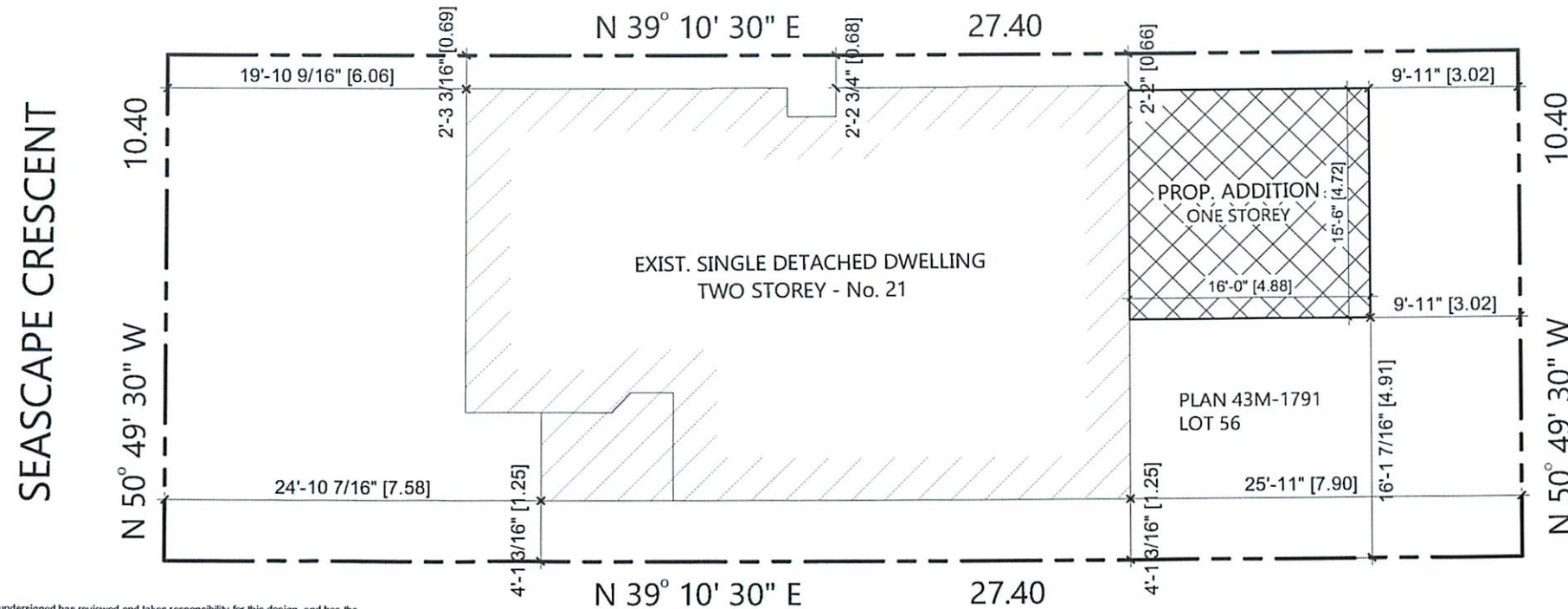
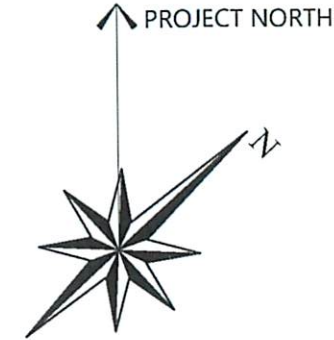


SITE STATISTICS		
	REQUIRED / PERMITTED	PROVIDED
LOT AREA	LOT WIDTH x 25 M =260 Sq. M	284.96 Sq. M
LOT WIDTH	10.40 M	10.40 M
LOT COVERAGE	--	EXISTING = 1135.00 SF / 105.45 SM PORCH = 57.00 SF / 5.30 SM ADDITION = 248.00 SF / 23.04 SM TOTAL = 1440.00 SF / 133.79 SM (53.75 %)
FRONT YARD SETBACK	4.5 M, 6.0 M TO GARAGE WALL	6.06 M
SIDE YARD SETBACK (N)	0.6 M, PROVIDED THE COMBINED TOTAL IS NOT LESS THAN 1.8 M	0.66 M & 1.25 M
SIDE YARD SETBACK (S)	0.6 M, PROVIDED THE COMBINED TOTAL IS NOT LESS THAN 1.8 M	0.66 M & 1.25 M
REAR YARD SETBACK	7.5 M	3.02 M
BUILDING HEIGHT	10.6 M	8.00 M +/- (EXIST)

ZONED: R1F-10.4, By-law as amended



Zoning
 Zone Code: R1F-10.4
 Category: RESIDENTIAL
 Type: R1F
 Special Section:
 Split Zoned: NO



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

NAME SIGNATURE BCIN
 CRISTIN MILLER *Cristin Miller* 38262

SITE PLAN

General Notes

- All construction shall comply with Ontario Building Code 2012, its subsequent revisions and authorities having jurisdiction. New specific materials and products have to be authorized by agencies like: Canadian Construction Materials Centre C.C.M.C. or Building Materials Evaluation Commission B.M.E.C. Manufacturer's items, materials and construction must comply with requirements of Canada Mortgage and Housing Corporation C.M.H.C.
- All lumber shall be No. 1 and 2, or better.
- All plywood shall be stamped exterior grade.
- Joists spanning more than 2100 mm are to have bridging at least every 2100 mm O.C.
- Contractor shall be responsible for verifying the locations of all existing above or below grade utilities and services. Applicable utilities shall be given required notice prior to any digging for stake out.
- Electrical facilities shall comply with O.B.C. 9.3.4. All electrical work shall be performed by a licensed electrician.
- Smoke Alarm installed at all levels, and in each bedroom.
- Carbon Monoxide Alarms installed at all levels adjacent to sleeping areas.
- Handrails shall be provided at all exterior stairs with more than three risers at height of 3'-0".
- Exterior guards shall be 3'-6" high. Guards shall be designed to prevent climbing and be provided around every surface with difference in elevation of more than 2'-0". Guards shall be anchored to the deck to resist uniformly distributed top rail load of 0.5 kN/m horizontal as well as 1 kN/m applied at any point. O.B.C. 9.8.8.2.

No. Revision/Issue Date

Firm Name and Address

CM
 Design
 6456 Main Street, Stouffville
 Ontario, L4A 5Z4
 (416) 795-3620

Project Name and Address

MISIR
 21 SEASCAPE CRESCENT
 BRAMPTON, ONTARIO
 L6P 3C7

Project

20-022

Date

12.30.20

Scale

1:100

Sheet

SP1

EXISTING ROOF @ SECOND STOREY
TO REMAIN UNALTERED

16'-0" [4.88 M]

1'-0"

1'-0"

15'-6" [4.72 M]

**ALUM. FLASHINGS & SILICONE SEALANT AT RIDGE
MIN. 0.48 mm THICK ALUM COATED FLASHING
SEAL AT RIDGE**

SUPPLY AND INSTALL CRAFTBUILT ROOF PANEL SYSTEM
6" INSULATED ROOF PANELS
ASTM 3105 ALLOY MAINTENANCE FREE ALUMINUM SKIN ON EACH SIDE
WITH BAKED ENAMEL FINISH AND CLEAR COAT.
PANEL CORE IS TYPE II HIGH DENSITY EXPANDED POLYSTYRENE

SUPPLY AND INSTALL 25 YEAR ASPHALT SHINGLES ON ROOF PANEL SYSTEM
SHINGLES TO MATCH EXISTING DWELLING - AS CLOSE AS POSSIBLE
ICE AND WATER SHIELD - MIN.
EXTRUDED ALUMINUM GUTTERS AND DOWNSPOUT TO GRADE - EACH SIDE.

- | | | |
|-----|----------------|------|
| | | |
| | | |
| No. | Revision/Issue | Date |

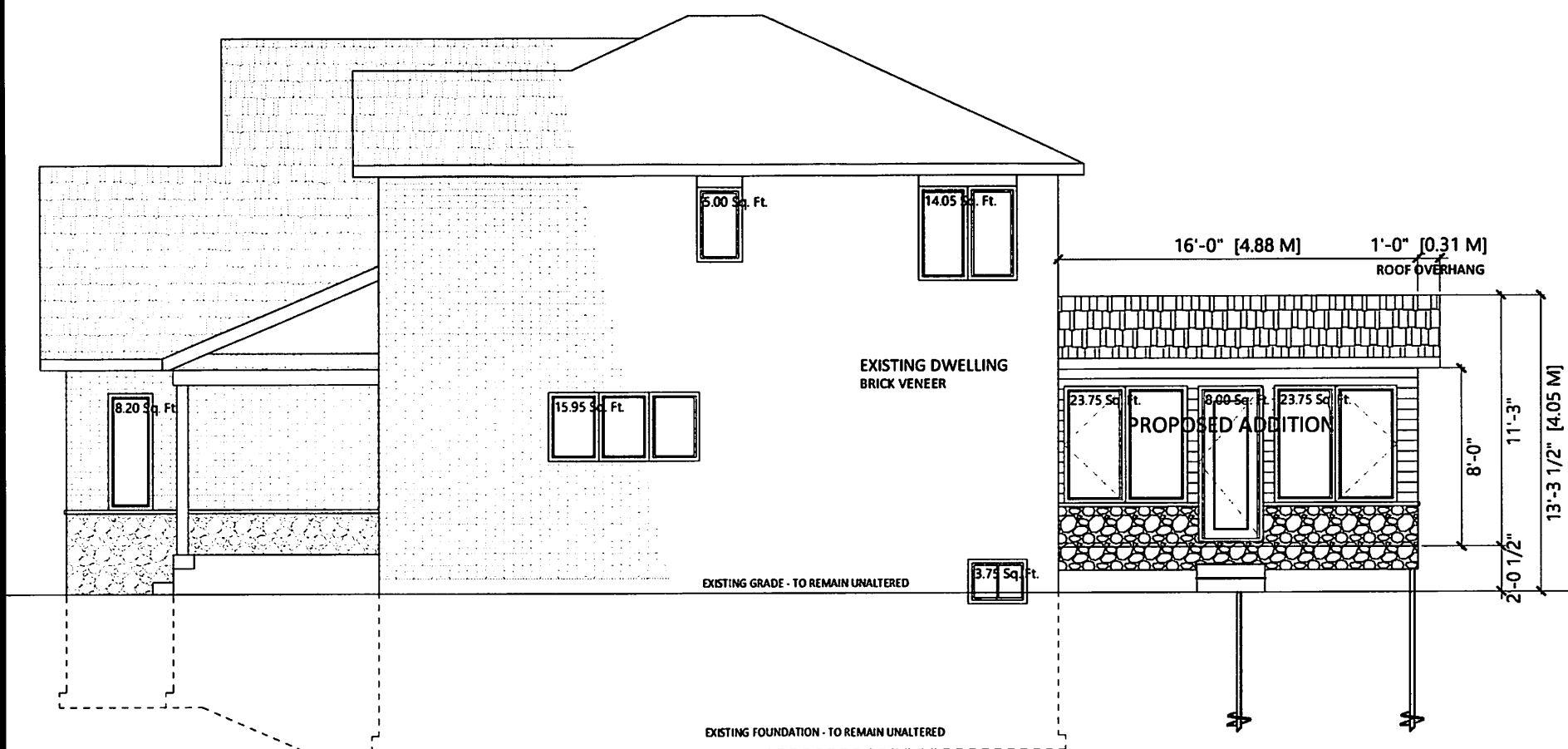
CM 
Design
6456 MAIN STREET, STOUFFVILLE
ONTARIO, L4A 5Z4
(416) 795-3520

MISIR
21 SEASCAPE CRESCENT
BRAMPTON, ONTARIO
L6P 3C7

Sheet
A3

NAME	SIGNATURE	BCIN
CRISTIN MILLER	<i>Cristin Miller</i>	38262

ROOF PLAN



EXPOSING BUILDING FACE - TOTAL 864.06 SF [80.27 SM]
EXPOSING BUILDING FACE - EXISTING 703.39 SF [65.34 SM]
LIMITING DISTANCE - ADDITION 1.25 M @ 7 %
ALLOWABLE OPENINGS 49.23 SF
TOTAL PROPOSED OPENINGS 46.95 SF

EXPOSING BUILDING FACE - TOTAL 864.06 SF [80.27 SM]
EXPOSING BUILDING FACE - ADDITION 160.67 SF [14.93 SM]
LIMITING DISTANCE - ADDITION 4.91 M @ 31.56 %
ALLOWABLE OPENINGS 50.70 SF
TOTAL PROPOSED OPENINGS 55.50 SF

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

NAME SIGNATURE BCIN
CRISTIN MILLER *Cristin Miller* 38262

RIGHT (SOUTH) ELEVATION

General Notes

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- MEC Manufacturer's items, materials and construction must comply with requirements of Canada Mortgage and Housing Corporation C.M.H.C.
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No.	Revisions/Issue	Date

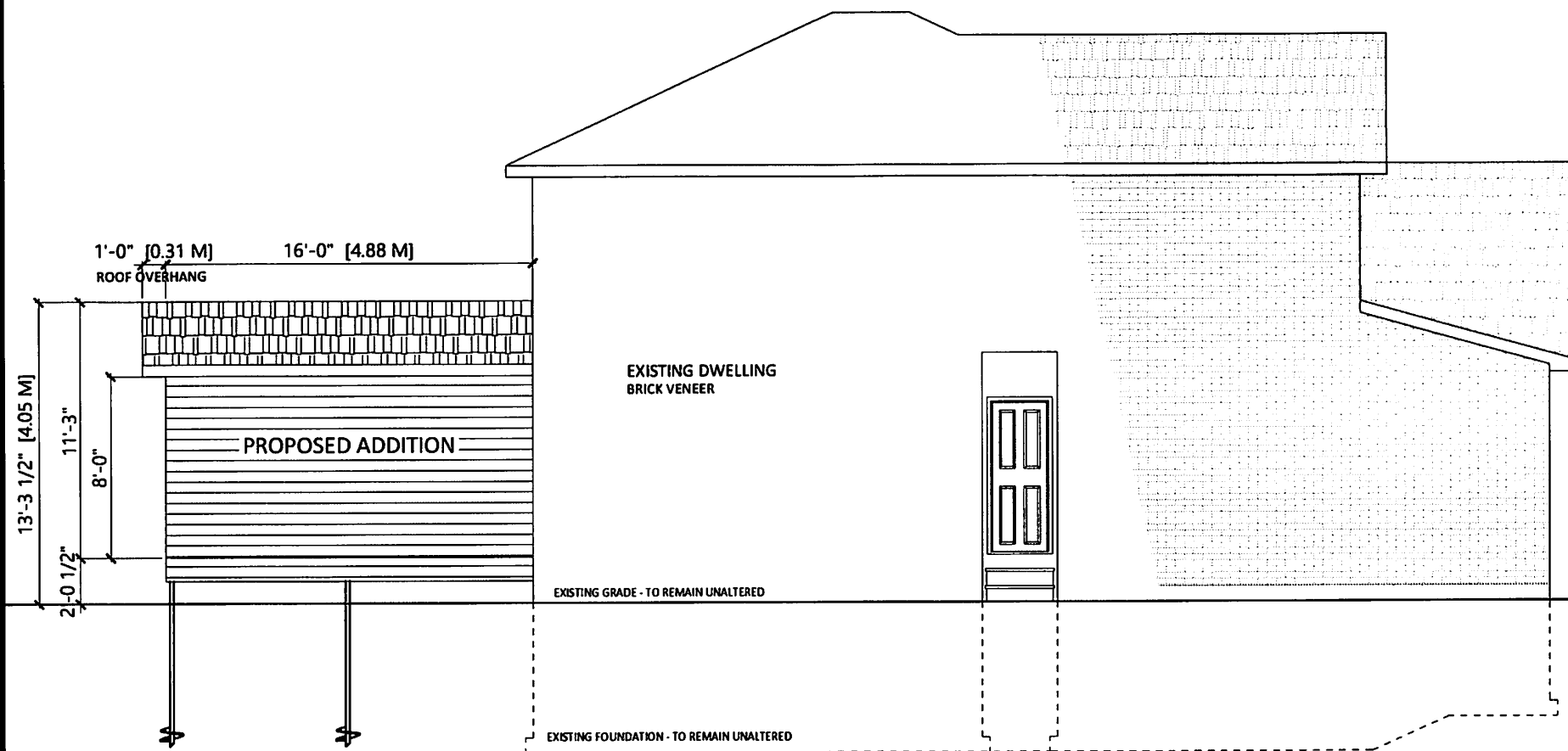
Firm Name and Address

CM
Design
6456 MAIN STREET, STOUFFVILLE
ONTARIO, L4A 5Z4
(416) 795-3620

Project Name and Address

MISIR
21 SEASCAPE CRESCENT
BRAMPTON, ONTARIO
L6P 3C7

Project	20-022	Sheet A6
Date	12.30.20	
Scale	3/16" = 1'-0"	



NO NEW OPENINGS PROPOSED

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

NAME SIGNATURE BCIN
CRISTIN MILLER *Cristin Miller* 38262

LEFT (NORTH) ELEVATION

General Notes

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- Joints spanning more than 2100 mm are to have bridging at least every 2100 mm O.C.
- Contractor shall be responsible for verifying the locations of all existing above or below grade utilities and services. Applicable utilities shall be given required notice prior to any digging for stake out.
- Electrical facilities shall comply with O.B.C. 9.3.4. All electrical work shall be performed by a licensed electrician.
- Smoke Alarm installed at all levels, and in each bedroom.
- Carbon Monoxide Alarms installed at all levels adjacent to sleeping areas.
- Handrails shall be provided at all exterior stairs with more than three risers at height of 3'-0".
- Exterior guards shall be 3'-6" high. Guards shall be designed to prevent climbing and be provided around every surface with difference in elevation of more than 2'-0". Guards shall be anchored to the deck to resist uniformly distributed top rail load of 0.5 kN/m horizontal as well as 1 kN/m applied at any point. O.B.C. 9.8.8.2.

No.	Revision/Issue	Date

Firm Name and Address

CM
Design
6456 MAIN STREET, STOUFFVILLE
ONTARIO, L4A 5Z4
(416) 755-3620

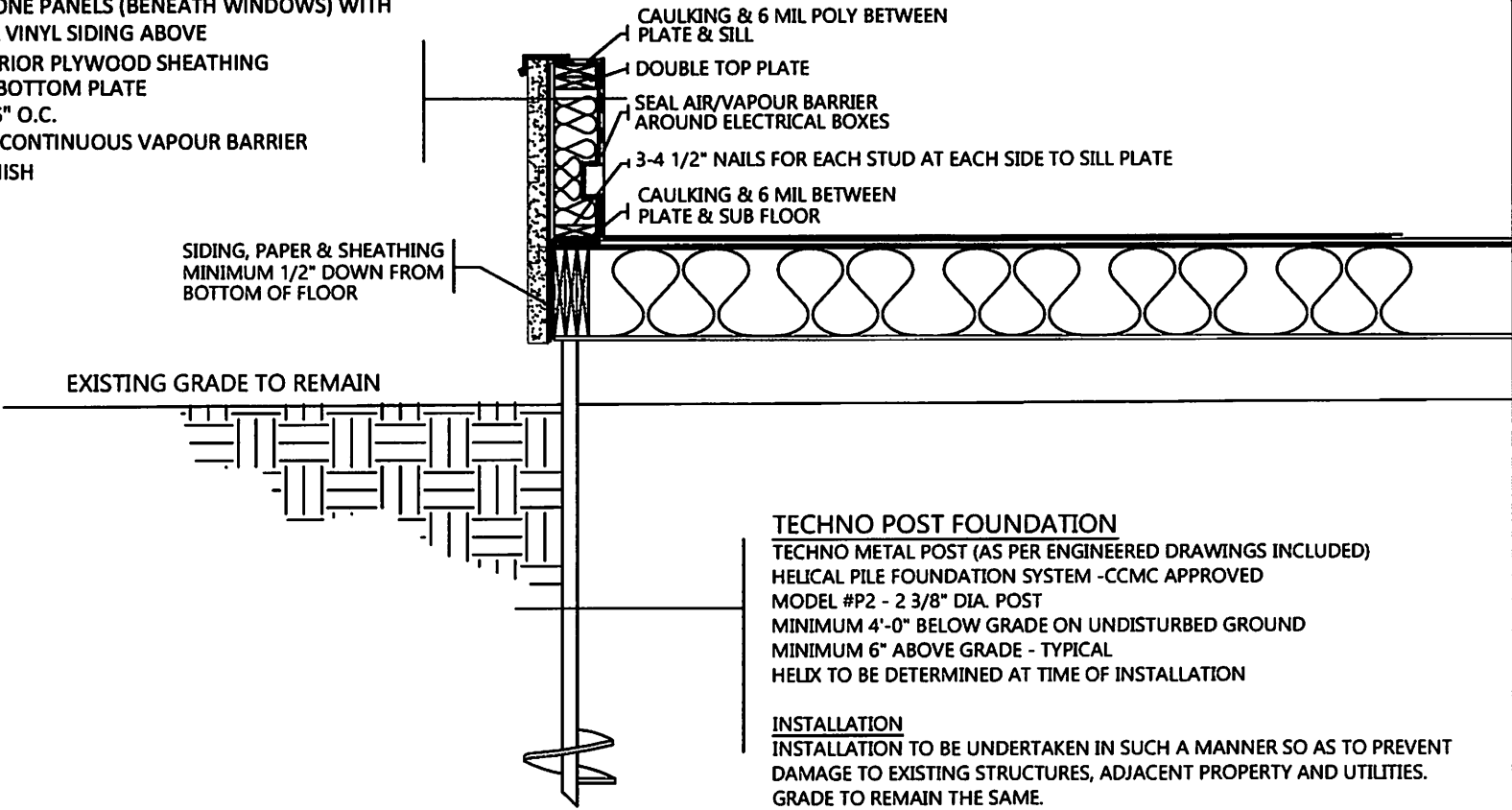
Project Name and Address

MISIR
21 SEASCAPE CRESCENT
BRAMPTON, ONTARIO
L6P 3C7

Project 20-022	A7
Date 12.30.20	
Scale 3/16" = 1'-0"	

WALL CONSTRUCTION

PERMACON CONCRETE STONE PANELS (BENEATH WINDOWS) WITH
VERTICAL OR HORIZONTAL VINYL SIDING ABOVE
AIR BARRIER AND 3/4" EXTERIOR PLYWOOD SHEATHING
DOUBLE TOP PLATE, SOLE BOTTOM PLATE
2" x 6" WOOD STUDS @ 16" O.C.
R 20 INSULATION & 6 MIL CONTINUOUS VAPOUR BARRIER
1/2" DRYWALL INTERIOR FINISH



TECHNO POST FOUNDATION
TECHNO METAL POST (AS PER ENGINEERED DRAWINGS INCLUDED)
HELICAL PILE FOUNDATION SYSTEM -CCMC APPROVED
MODEL #P2 - 2 3/8" DIA. POST
MINIMUM 4'-0" BELOW GRADE ON UNDISTURBED GROUND
MINIMUM 6" ABOVE GRADE - TYPICAL
HELIX TO BE DETERMINED AT TIME OF INSTALLATION

INSTALLATION
INSTALLATION TO BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT
DAMAGE TO EXISTING STRUCTURES, ADJACENT PROPERTY AND UTILITIES.
GRADE TO REMAIN THE SAME.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

NAME SIGNATURE BCIN
CRISTIN MILLER *Cristin Miller* 38262

BASEWALL DETAIL

General Notes

- All construction shall comply with Ontario Building Code 2012, its subsequent revisions and authorities having jurisdiction. New specific materials and products have to be authorized by agencies like: Canadian Construction Materials Centre C.C.M.C. or Building Materials Evaluation Commission
- B.M.E.C. Manufacturer's items, materials and construction must comply with requirements of Canada Mortgage and Housing Corporation C.M.H.C.
- All lumber shall be No. 1 and 2, or better.
- All plywood shall be stamped exterior grade.
- Joists spanning more than 2100 mm are to have bidding at least every 2100 mm O.C.
- Contractor shall be responsible for verifying the locations of all existing above or below grade utilities and services. Applicable utilities shall be given required notice prior to any digging for stake out.
- Electrical facilities shall comply with O.B.C. 9.34. All electrical work shall be performed by a licensed electrician.
- Smoke Alarm installed at all levels, and in each bedroom.
- Carbon Monoxide Alarms installed at all levels adjacent to sleeping areas.
- Handrails shall be provided at all exterior stairs with more than three risers at height of 3'-0".
- Exterior guards shall be 3'-6" high. Guards shall be designed to prevent climbing and be provided around every surface with difference in elevation of more than 2'-0". Guards shall be anchored to the deck to resist uniformly distributed top rail load of 0.5 KN/m horizontal as well as 1KN/m applied at any point. O.B.C. 9.8.8.2.

No.	Revision/Issue	Date

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CM
Design
6456 MAIN STREET, STOUFFVILLE
ONTARIO, L4A 5Z4
(416) 755-3620

Project Name and Address

MISIR
21 SEASCAPE CRESCENT
BRAMPTON, ONTARIO
L6P 3C7

Project	Sheet
20-022	A8
Date	
12.30.20	
Scale	
N.T.S.	

a

b

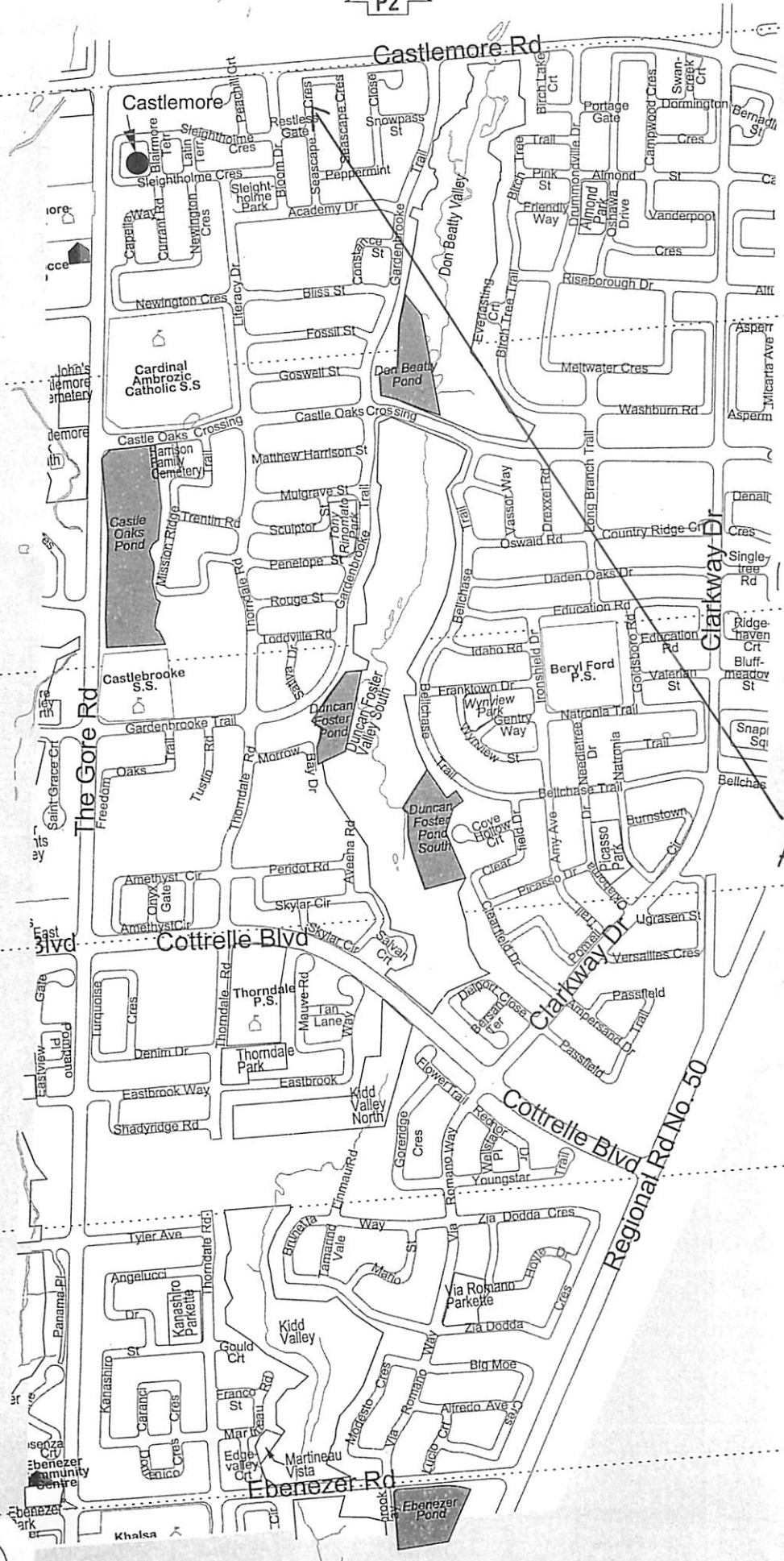
03

C

d

e

P3



A-2021-0020