



Committee of Adjustment

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall
2 Wellington Street West,
Brampton, Ontario L6Y 4R2
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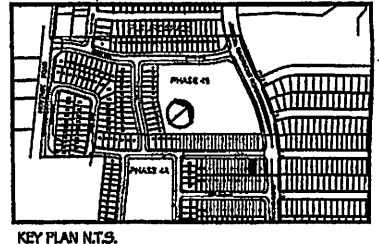
General Notes:

1. Surveyor to comply with all current by-laws regarding set backs in laying out this work. Any discrepancies are to be reported to the Architect and the builder.
2. The contractor shall check and verify all given grade elevations, drainage, existing and proposed utilities prior to commencement of construction.
3. Builder to verify hydrant, street light, transformers and other services locations. If necessary, distances are not maintained, Builder to relocate at his own expense.
4. Footings to be on natural undisturbed soil or rock and to a minimum of 122mm below finished grade. Underneath of footings shown are taken from architectural plans and may not represent actual footing level.
5. All dimensions and grade elevations are given in meters and may be converted to feet by dividing by 0.3048.
6. Maximum slope for drainage in the swales is 2.0 %. Provide a min. 0.15m between proposed house grade and swale invert. Window sills shall be a minimum of 0.15m above finished grades. All side yard swales to be located on lot lines.
7. Rear yard surface slope 2.0 % min. - 6.0 % max. Max allowable slope setbacks 3:1 (horizontal to vertical) unless otherwise noted.
8. Driveway slope 2.0 % min. - 6.0 % max.
9. Provide 1.2 m min. clearance from driveway to street lights and hydrants. 1.5 m min. from driveway to transformers.
10. Existing curb cuts to be retained to suit new driveway where necessary. The clearing for approval of curved driveways is the builder's responsibility.
11. Builder to ensure water meter is located in grass area, 1.0 m min. distance from the edge of driveway.
12. Unless otherwise indicated, finished floor grade 0.15m above specified house grade at entry points to house, and provision of three ramps at entries must be made to gain entry into house.
13. Provide brick ledge as required to ensure exposed concrete foundation will not exceed 0.25m (10") above ground to verify conditions prior to construction.

LEGEND

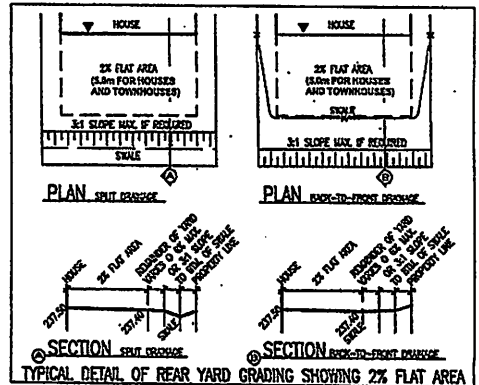
FF.	FURNISHED FLOOR LEVEL	▲	HOUSE ENTRANCE
TF.	TOP OF FOUNDATION FOUR	△	GARAGE OR OPTIONAL HOUSE ENTRANCE
F.B.	FOUNDED BASEMENT LEVEL	●	DRAIN GRADE SLAB
UD	UNDERSIDE OF FOOTING	○	DOWN SPOUT LOCATION
000.00	PROPOSED GRADE	T.E.F. (000.00)	TOP OF ENGINEER FILL
000.00	EXISTING GRADE	ND	NO DOOR
*000.00	FOOTINGS HAVE BEEN EXTENDED	CT ▲	CABLE TV PEDestal
*	DENOTES LOT WITH ENGINEER FILL	BP	BELL PEDestal
---	EXTENT OF ENGINEER FILL	BOX	BELL GRADE LEVEL BOX (F.T.A.)
---	DOUBLE SEWER SERVICE	○	CORNER LOT (Side & Rear upgrade)
---	SINGLE SEWER SERVICE	R	REAR UPGRADE
---	WATER SERVICE	△	SIDE UPGRADE
---	HYDRANT	AB	ALL BRICK
---	STREET LIGHTING	---	45 MIN. RATED WALL
---	TRANSFORMER	BOX	ROGERS GRADE LEVEL BOX (F.T.A.)
		BOX	ROGERS HAF VALVE (F.T.A.)
		BOX	ROGERS PEDestal (A.G.)
		BOX	ROGERS PEDestal (A.G.)

NOTE :
BUILDER TO VERIFY
SANITARY AND STORM INVERT
ELEVATIONS PRIOR TO
EXCAVATION FOR FOOTINGS.



NOTES

1. THE PROPOSED ELEVATIONS AT BUILDINGS AND THE BASIC DIRECTION OF SURFACE DRAINAGE WILL BE SUBJECT TO DETAILED DESIGN WHEN HOUSE TYPES AND PLOT PLANS ARE AVAILABLE.
2. REAR TO FRONT DRAINAGE CAN BE ACCOMMODATED ONLY IF THE SEPARATION BETWEEN UNITS IS 2.4m.
3. THE HOUSE TYPE AND DRIVEWAY LOCATION SHALL NOT BE CHANGED WITHOUT CITY OF BRAMPTON APPROVAL.
4. WHERE POSSIBLE DOWNSPOUTS SHALL DISCHARGE TO THE GROUND SURFACE VIA SPLASH PADS TO THE FRONT OF THE HOUSE.
5. A MINIMUM AREA OF 5.0m SHALL BE GRADED AT 2.0% AT THE REAR OF THE HOUSE.
6. A MINIMUM AREA OF 7.5m SHALL BE GRADED AT 2.0% AT THE REAR OF THE HOUSE FOR REVERSE FRONTAGE LOTS.
7. A MINIMUM OF 0.15m CLEARANCE MUST BE PROVIDED BETWEEN THE BRICKLINE AND THE FINAL TOP OF GROUND ELEVATION AT THE HOUSE.
8. A MINIMUM CLEARANCE OF 0.20m MUST BE PROVIDED BETWEEN THE SIDING AND THE FINAL TOP OF GROUND ELEVATION AT THE HOUSE.
9. ALL LOT GRADING MUST COMPLY WITH CITY OF BRAMPTON STANDARDS 420 AND 421 UNLESS OTHERWISE NOTED.
10. DRIVEWAYS SHALL BE GRADED AT A MINIMUM OF 2.0% AND MAXIMUM OF 6.0% SLOPE.
11. A 0.6m SEPARATION SHALL BE PROVIDED BETWEEN DRIVEWAYS.
12. ALL AREAS BEYOND THE PLAN OF SUBDIVISION, WHICH ARE DISTURBED DURING CONSTRUCTION, SHALL BE RESTORED TO THE SATISFACTION OF THE CITY OF BRAMPTON AT THE CONTRACTOR'S EXPENSE.
13. ALL OPEN SPACE BLOCKS AND VALLEY LAKES SHALL BE MAINTAINED FREE OF GARBAGE AND CONSTRUCTION DEBRIS BY THE DEVELOPER UNTIL ASSUMPTION OF THE SUBDIVISION BY THE CITY OF BRAMPTON.
14. WHERE CORNER LOT FENCING IS REQUIRED BY THE CITY, THE SLOPE FROM THE NEAREST POINT AT THE DWELLING TO ANY POINT ALONG THE FENCE SHALL NOT EXCEED 6%.
15. DRIVEWAYS ARE TO HAVE A MINIMUM SEPARATION OF 0.6m AT CURBS AND SHALL NOT CROSS THE PROJECTION OF THE PROPERTY LINE.
16. THE MAXIMUM SLOPE ON THE LOTS SHALL BE 3% MIN, EXCEPT BETWEEN UNITS WHERE THE MAXIMUM SLOPE SHALL BE 6%.
17. SWALE GRADES SHALL BE A MINIMUM OF 2.0% AND A MAXIMUM OF 6.0%. SWALES SHALL HAVE A MAXIMUM SIDE SLOPE OF 3:1 MIN. A MINIMUM DEPTH OF 0.15m AND A MAXIMUM DEPTH OF 0.3m. SWALES ALONG THE LOT LINE BETWEEN HOUSES SHALL HAVE A MAXIMUM DEPTH OF 0.2m.
18. FOOTINGS TO BE FOUND IN UNDISTURBED NATIVE SOIL OR, IF LOCATED IN ENGINEERED FILL, FOUNDATIONS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF, AND CERTIFIED IN THE FIELD BY, A GEOTECHNICAL ENGINEER.



HOMECAD PLAN DESIGNS Inc.

FIRM BCIN : 115056
I Stephen Szarynsky have reviewed and take responsibility for this design.

Qualified Designer BCIN : 23933

ENGINEERED FILL
This lot is in an area of Engineered Fill.
The Builder is to have a qualified Geotechnical Engineer confirm the suitability of the footing subgrade prior to constructing footings. Extend footings into Engineered Fill as per soil report recommendations.
Lot: 54 L+R

BUILDING HEIGHT:	LOT: 54L
BUILDING HEIGHT	8.72 m
MAXIMUM BUILDING HEIGHT (ET/LAND)	11.60 m
LOT STATISTICS:	LOT: 54L
GARAGE DOOR WIDTH	2.44 m
INTERIOR GARAGE WIDTH	3.00 m
INTERIOR GARAGE LENGTH	6.10 m

BUILDING HEIGHT:	LOT: 54R
BUILDING HEIGHT	8.72 m
MAXIMUM BUILDING HEIGHT (ET/LAND)	11.60 m
LOT STATISTICS:	LOT: 54R
GARAGE DOOR WIDTH	2.44 m
INTERIOR GARAGE WIDTH	3.00 m
INTERIOR GARAGE LENGTH	6.10 m

GREAT GULF



Lot no.: 54 L+R
Plan no.: 49M-2097
Scale: 1:250
Date: MARCH 2020

SCOTTISH HEATHER DEVELOPMENT INC.

PB18D

RIVERVIEW HEIGHTS
SUBDIVISION

GREAT GULF PHASE 4B
BLOCK 40-3

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures
How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 4, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, March 5, 2021**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, March 5, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION**Minor Variance or Special Permission**

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Scottish Heather Development Inc.
Address 3751 Victoria Park Avenue, Toronto, Ontario M1W 3Z4

Phone # CELL 905-550-5841 **Fax #** _____
Email brittney.heathwood@greatgulf.com

2. **Name of Agent** Stephen Safranyos of HomeCAD/DRAFT Design
Address 200 Brockport Drive, Toronto, Ontario M9W 5C9

Phone # CELL 905-536-6626 **Fax #** _____
Email steve@draftdesign.ca

3. **Nature and extent of relief applied for (variances requested):**

To permit a Dwelling Unit Width of 5.56m (18.24Ft.) whereas the By-law requires a Minimum Dwelling Unit Width of 6.0m (19.68Ft.).

4. **Why is it not possible to comply with the provisions of the by-law?**

The proposed model meets the Builders SF request, and side yard setbacks are exceeded. The additional side yard setback was considered beneficial in the event that extra steps might be required in the side yard. The By-law requirement listed in Zone R2D-7.3 was overlooked. All other Semi-Detached Models offered in this program, meet or exceed the minimum Dwelling Unit Width requirement. +

5. **Legal Description of the subject land:**

Lot Number 54 Right
Plan Number/Concession Number 43M-2097
Municipal Address 7 Fordham Road

6. **Dimension of subject land (in metric units)**

Frontage 7.30m (50% of 14.60m Lot width)
Depth 33.50m
Area 244.5m²

7. **Access to the subject land is by:**

Provincial Highway ☐
Municipal Road Maintained All Year ☒
Private Right-of-Way ☐

Seasonal Road ☐
Other Public Road ☐
Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

n/a

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Ground Floor Area = 58.28m² (627.30SF)
Gross Floor Area = 135.06m² (1453.78SF)
Width = 5.56m (18'-3") Length 14.86m (48'-9") Height 7.46m (24'-6")
2-Storeys

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback n/a

Rear yard setback n/a

Side yard setback n/a

Side yard setback n/a

PROPOSED

Front yard setback 7.35m (24.11Ft.) to Garage 6.79m (22.27Ft.) to Porch

Rear yard setback 11.29m (37.04Ft.)

Side yard setback 0.0m (0.0Ft.) Left Side (Common Wall)

Side yard setback 1.74m (5.70Ft.) Right Side

10. Date of Acquisition of subject land: 2013

11. Existing uses of subject property: Residential

12. Proposed uses of subject property: Single Family Residential

13. Existing uses of abutting properties: Vacant /Open Space Road R.O.W.

14. Date of construction of all buildings & structures on subject land: For Construction 2021

15. Length of time the existing uses of the subject property have been continued: 2013

16. (a) What water supply is existing/proposed?

Municipal ☒

Well ☐

Other (specify) _____

- (b) What sewage disposal is/will be provided?

Municipal ☒

Septic ☐

Other (specify) _____

- (c) What storm drainage system is existing/proposed?

Sewers ☒

Ditches ☐

Swales ☒

Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Stephen Safranyos
Signature of Applicant(s) or Authorized Agent

DATED AT THE City _____ OF Brampton _____

THIS 9th DAY OF February, 2021.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Stephen Safranyos, OF THE City _____ OF Hamilton

IN THE Region _____ OF Hamilton-Wentworth SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City _____ OF Brampton

IN THE Region _____ OF

Peel _____ THIS 9th DAY OF

February, 2021

Jeanie Cecilia Myers,
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires April 8, 2021.

Stephen Safranyos
Signature of Applicant or Authorized Agent

Submit by Email

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation:

R2D - 2434

Present Zoning By-law Classification:

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

HOTHU S.

Zoning Officer

FEB 09 2021

Date

DATE RECEIVED February 9, 2021

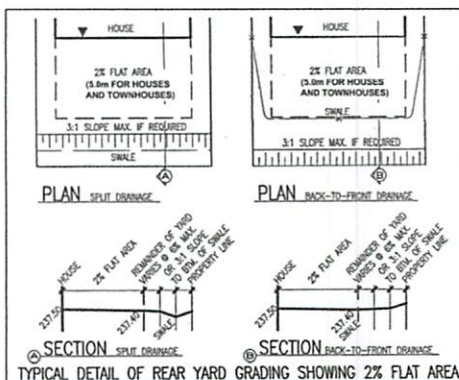
Date Application Deemed Complete by the Municipality February 9, 2021

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8. Driveway slopes 2.0 % min. - 8.0 % max.
9. Provide 12 m min. clearance from driveways to street lights and hydrants and 15 m min. clearance to trees.
10. Existing curb cuts to be rectified to suit new driveways where necessary. The obtaining for approval of curved driveways is the builders responsibility.
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13. Provide brick ledges as required to ensure exposed concrete foundation work does not exceed 0.20m (8") site super to verify conditions prior to construction.

F.F.	FINISHED FLOOR LEVEL	△	GARAGE OR OPTIONAL HOUSE ENTRANCE
T.F.	TOP OF FOUNDATION FOUR	●	DROP GRADE SLAB
F.B.	FINISHED BASEMENT LEVEL	○	DOWN SPOUT LOCATION
U/S	UNDERSIDE OF FOOTING	T.E.F. (000.00)	TOP OF ENGINEER FILL
000.00	PROPOSED GRADE	—	HYDRO SERVICE
000.00	EXISTING GRADE	ND	NO DOOR
000.00	FOOTINGS HAVE BEEN DENOTED	CT ▲	CABLE TV PEDESTAL
* * *	EXPANDED LOT WITH ENGINEER FILL	BP ☒	BELL PEDESTAL
— — —	EXTENT OF ENGINEER FILL	Ⓢ	BELL GRADE LEVEL BOX (P.T.G.)
→	DOUBLE SEWER SERVICE	Ⓢ	CORNER LOT (Circle & Rear upgrade)
→	SINGLE SEWER SERVICE	Ⓢ	REAR UPGRADE
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⊙	STREET LIGHTING	— — —	45 MIN. RATED WALL
Ⓢ	TRANSFORMER	Ⓢ	ROGERS GRADE LEVEL BOX (P.T.G.)
		Ⓢ	ROGERS MAN VAULT (P.T.G.)
		Ⓢ	ROGERS PEDESTAL (A.G.)
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NOTES

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10. DRIVEWAYS SHALL BE GRADED AT A MINIMUM OF 2.0% AND MAXIMUM OF 8.0% SLOPE.
11. A 0.6m SEPARATION SHALL BE PROVIDED BETWEEN DRIVEWAYS.
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15. DRIVEWAYS ARE TO HAVE A MINIMUM SEPARATION OF 0.6m AT CURBS AND SHALL NOT CROSS THE PROJECTION OF THE PROPERTY LINE.
16. THE MAXIMUM SLOPE ON THE LOTS SHALL BE 3%:1V, EXCEPT BETWEEN UNITS WHERE THE MAXIMUM SLOPE SHALL BE 5%:1V.
17. SWALE GRADES SHALL BE A MINIMUM OF 2%:1V AND A MAXIMUM OF 6.0%. SWALES SHALL HAVE A MAXIMUM SIDE SLOPE OF 3%:1V, A MINIMUM DEPTH OF 0.15m AND A MAXIMUM DEPTH OF 0.3m. SWALES ALONG THE LOT LINE BETWEEN HOUSES SHALL HAVE A MAXIMUM DEPTH OF 0.2m.
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FIRM BCIN : 115056 Qualified Designer BCIN : 23933
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This lot is in an area of Engineered Fill. The Builder is to have a qualified Geotechnical Engineer confirm the suitability of the footing subgrade prior to constructing footings. Extend footings into Engineered Fill as per soil report recommendations.
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MAXIMUM BUILDING HEIGHT (BYLAW):	11.60 m
LOT STATISTICS:	LOT: 54L
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 GREAT GULF

DRAFT
BUILDING SETTER
BY DESIGN

Lot no. :	54 L+R
Plan no.	43M-2097
Scale :	1:250
Date:	MARCH 2020

2	02/04/2021	LOT 54 L&R FOR COA
2	10/23/2020	LOT 54 L&R FOR FINAL
1	09/09/2020	LOT 54 L&R SITE + GRADE

Location :
BRAMPTON, ONTARIO

Job No. :
2001

SCOTTISH HEATHER DEVELOPMENT INC.

PB18D

RIVERVIEW HEIGHTS
SUBDIVISION

GREAT GULF PHASE 4B
BLOCK 40-3

