



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **VINEET CHOUDHARY AND ALKA JAWLA**, under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 310, Plan 43M-1720, Part 23, Plan 43R-31812, municipally known as **50 PORTRUSH TRAIL**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a below grade entrance to be located between the main wall of a dwelling and the flankage lot line whereas the by-law does not permit a below grade entrance to be located between the main wall of a dwelling and the flankage lot line;
2. To permit an existing accessory structure (shed) having a side yard setback of 0.3m (0.98 ft.) and a rear yard setback of 0.4m (1.31 ft.) whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) for an accessory structure from all nearest property lines.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____ NO _____
Application for Consent: _____ NO _____

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 9, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

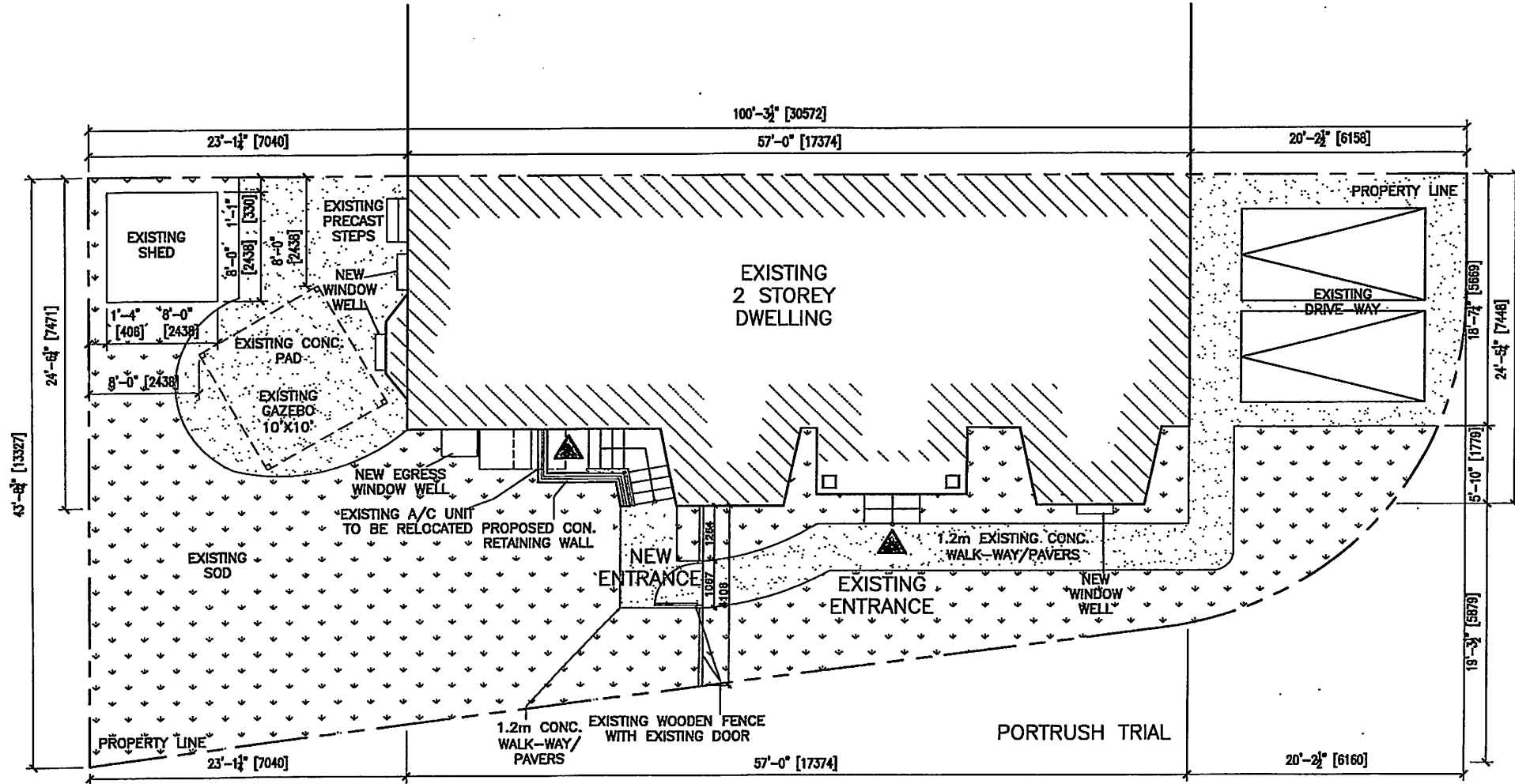
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 25th day of February, 2021.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall
2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



| | | |
|-----|------------|------|
| DL | | |
| DL | | |
| DL | | |
| DL | | |
| DL | | |
| NO. | ISSUED FOR | DATE |



PROJECT
INTERIOR ALTERATION - BASEMENT APARTMENT FOR EXISTING TWO STOREY HOUSE

50 PORTRUSH TR.
 BRIMPTON, ONTARIO

DRAWING TITLE

SITE PLAN

NOTES:
 - DO NOT SCALE DRAWINGS.
 - ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON THE JOB SITE.
 - ANY AND ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.
 - ALL DIMENSIONS REMAIN THE PROPERTY OF THE ARCHITECT.



PROJECT NO. 2022.3
 DATE: MAY 2022
 DRAWING NO.

DRAWN BY: A.S. CHECKED BY: C.W.

SP-1.2

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures
How to get involved in the Virtual Hearing

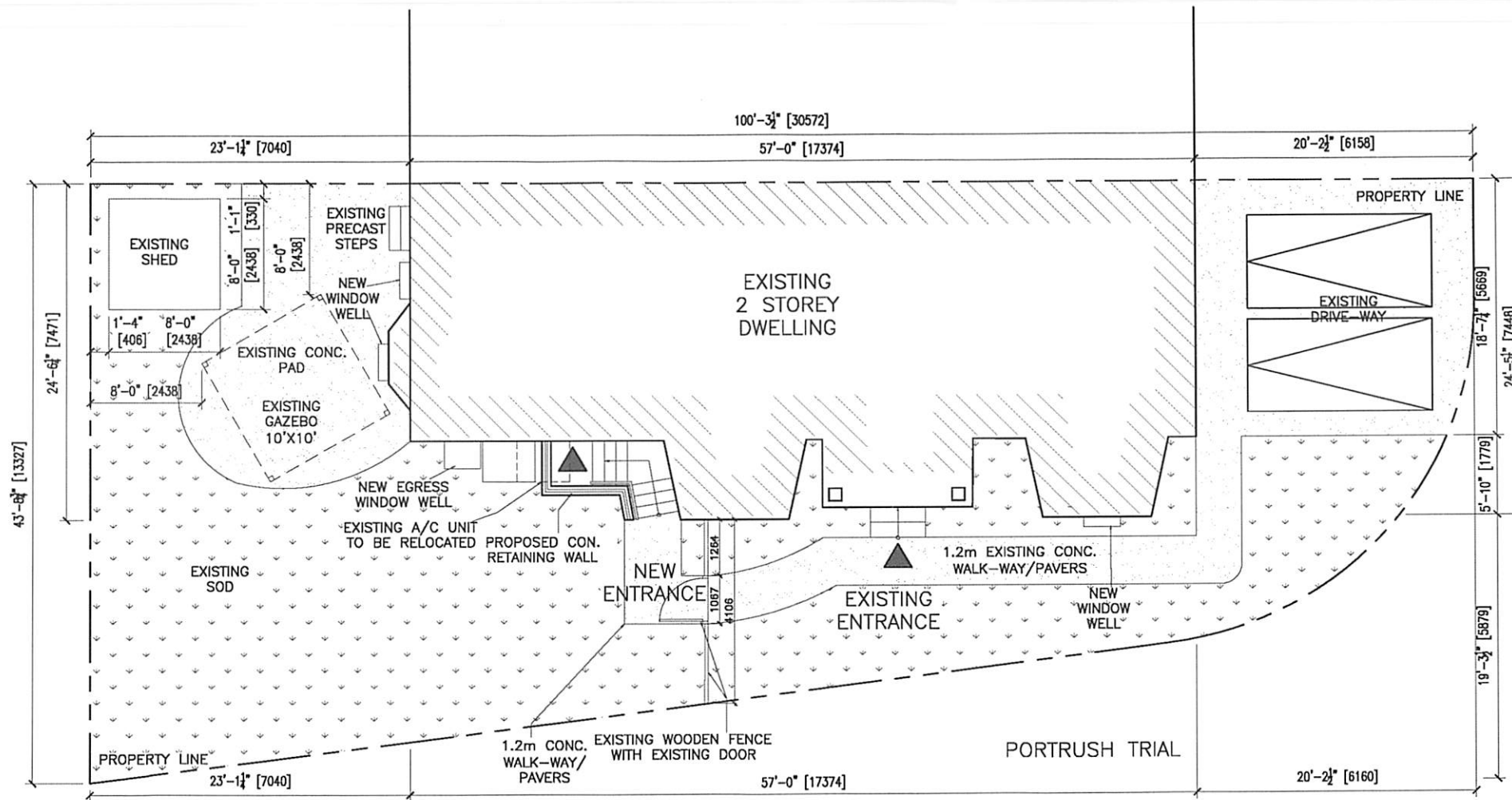
Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 4, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, March 5, 2021**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, March 5, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



| 05. | | |
|-----|------------|------|
| 04. | | |
| 03. | | |
| 02. | | |
| 01. | | |
| NO. | ISSUED FOR | DATE |



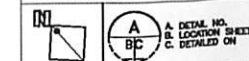
PROJECT
**INTERIOR ALTERATION -
 BASEMENT APARTMENT FOR
 EXISTING TWO STOREY HOUSE**

50 PORTRUSH TRL
 BRAMPTON, ONTARIO

DRAWING TITLE

SITE PLAN

NOTES:
 - DO NOT SCALE DRAWINGS
 - ALL DIMENSIONS TO BE CHECKED AND
 VERIFIED ON THE JOB SITE.
 - ANY AND ALL DISCREPANCIES TO BE
 REPORTED TO THE ARCHITECT.
 - ALL DRAWINGS REMAIN THE PROPERTY OF
 THE ARCHITECT.



PROJECT NO. 20229.2
 DATE MAY 2022
 DRAWING NO.
 DRAWN BY K.S.
 CHECKED BY G.W.

SP-1.2



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2021-0017

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Vineet Choudhary, Alka Jawla
Address 50 Portrush Tr
Brampton ON
L6X0R2
Phone # 4379950105 **Fax #** _____
Email vineet.choudhary@outlook.com

2. **Name of Agent** Ketul Shah
Address 807-188 Clark Blvd
Brampton ON
L6T0J2
Phone # 2269721267 **Fax #** _____
Email ketul.three@gmail.com

3. **Nature and extent of relief applied for (variances requested):**

Below grade entrance in exterior side yard.

4. **Why is it not possible to comply with the provisions of the by-law?**

The current zoning by-law doesn't allow a below grade entrance in the exterior side yard. For the second unit in the basement, the below grade entrance in the backyard would intrude the privacy of the principal dwelling.

5. **Legal Description of the subject land:**

Lot Number Part of Lot 310

Plan Number/Concession Number

Plan 43M-1720, Part 23, Plan 43R-31812

Municipal Address 50 Portrush Tr

6. **Dimension of subject land (in metric units)**

Frontage 12.67 m

Depth 30.50 m

Area 338 m2

7. **Access to the subject land is by:**

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Existing 2 storey dwelling - GFA = 225.2 m²
Existing Shed in the rear yard - Area = 15 m² - Height = 4m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Exterior stair leading to below grade entrance, the side yard.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

| | |
|--------------------|--|
| Front yard setback | 6.05 |
| Rear yard setback | 7.1 for the building, 0.6 for the shed |
| Side yard setback | 2.83 |
| Side yard setback | 0 |

PROPOSED

| | |
|--------------------|--|
| Front yard setback | 6.05 |
| Rear yard setback | 7.1 for the building, 0.6 for the shed |
| Side yard setback | 2.83 |
| Side yard setback | 0 |

10. Date of Acquisition of subject land: July 2016

11. Existing uses of subject property: Residential

12. Proposed uses of subject property: Residential

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 2008

15. Length of time the existing uses of the subject property have been continued: 2008

16. (a) What water supply is existing/proposed?

Municipal ☒ Other (specify) _____
Well ☐

- (b) What sewage disposal is/will be provided?

Municipal ☒ Other (specify) _____
Septic ☐

- (c) What storm drainage system is existing/proposed?

Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

| | | |
|--------------|----------------|--------------|
| File # _____ | Decision _____ | Relief _____ |
| File # _____ | Decision _____ | Relief _____ |
| File # _____ | Decision _____ | Relief _____ |

VC

City of Brampton

Signature of Applicant(s) or Authorized Agent

DATED AT THE 29th 05th OF December

THIS 29th 05th DAY OF December Feb, 2021

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Ketul Shah Vineet choudhary, OF THE City OF Brampton

IN THE Peel REGION OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF Peel

THIS 5th DAY OF

February, 2021

April Dela Cerna
A Commissioner etc.

Signature of Applicant or Authorized Agent

Submit by Email

April Dela Cerna, ad.
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires May 8, 2021.

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R2A-1313

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

[Signature]

Zoning Officer

February 10, 2021

Date

DATE RECEIVED Feb. 05, 2021

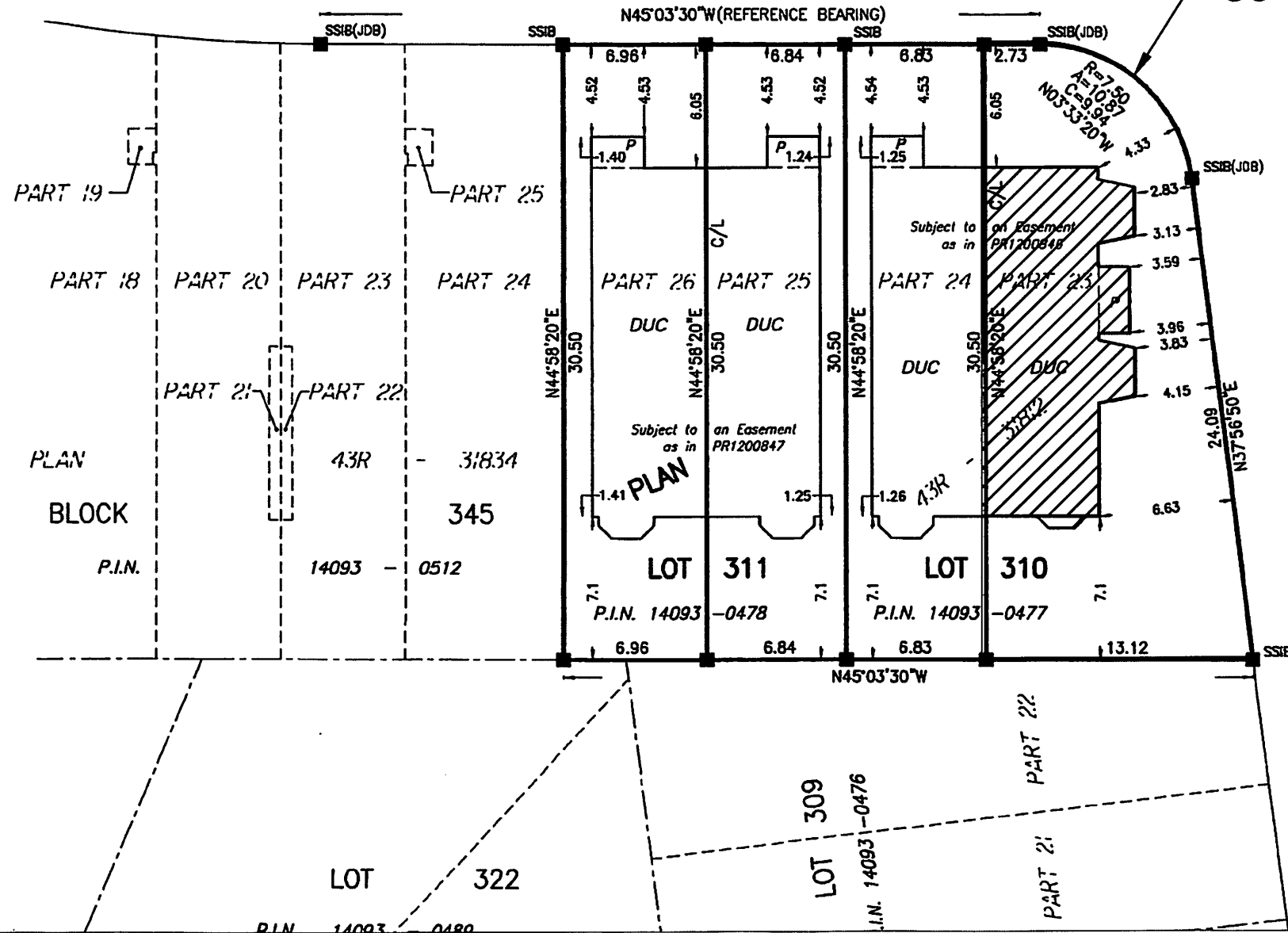
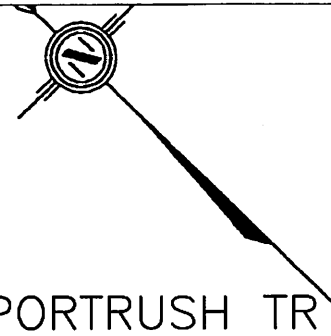
Date Application Deemed
Complete by the Municipality

February 10, 2021

Revised 2020/01/07

PORTRUSH TRAIL

(By Registered Plan 43M-1720)



PORTRUSH TRAIL
(By Registered Plan 43M-1720)

| | | |
|-----|------------|------|
| NO. | ISSUED FOR | DATE |
| 01. | | |
| 02. | | |
| 03. | | |
| 04. | | |
| 05. | | |
| 06. | | |
| 07. | | |
| 08. | | |
| 09. | | |
| 10. | | |

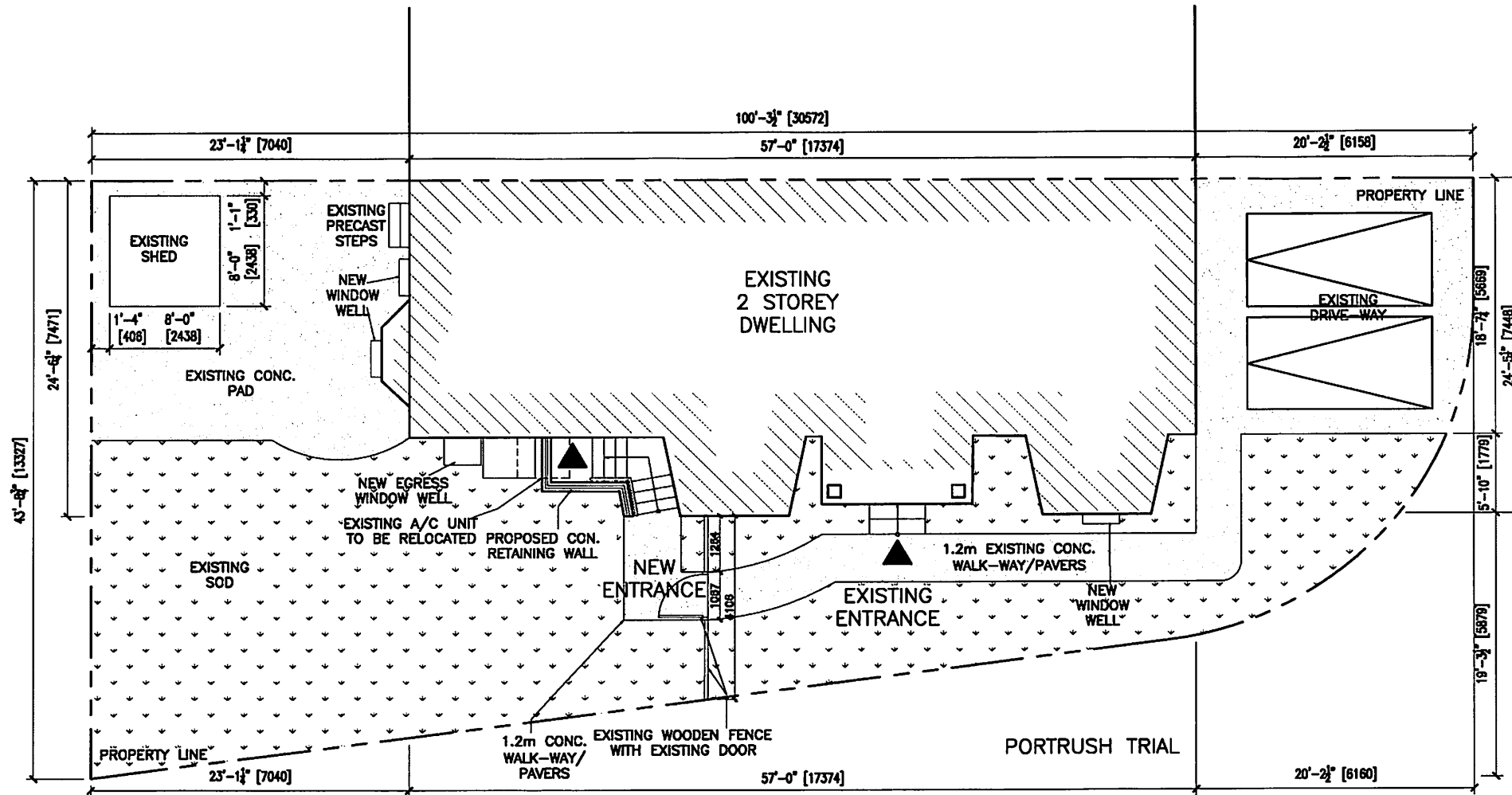
PROJECT
INTERIOR ALTERATION -
BASEMENT APARTMENT FOR
EXISTING TWO STOREY HOUSE
50 PORTRUSH TR.
BRAMPTON, ONTARIO

SURVEY

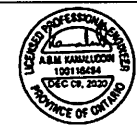
NOTES
- DO NOT SCALE DIMENSIONS.
- ALL DIMENSIONS TO BE CHECKED AND
VERIFIED ON THE JOB SITE.
- ANY AND ALL DISCREPANCIES TO BE
REPORTED TO THE ARCHITECT.
- ALL DIMENSIONS MEASURED TO THE PROPERTY OF
THE PROJECT.

PROJECT NO. 2022.3
DATE MAY 2022
DRAWING NO. SP-1.1
DRAWN BY J.L.A.
CHECKED BY G.W.

SP-1.1



| | | |
|-----|------------|------|
| 05. | | |
| 04. | | |
| 03. | | |
| 02. | | |
| 01. | | |
| NO. | ISSUED FOR | DATE |



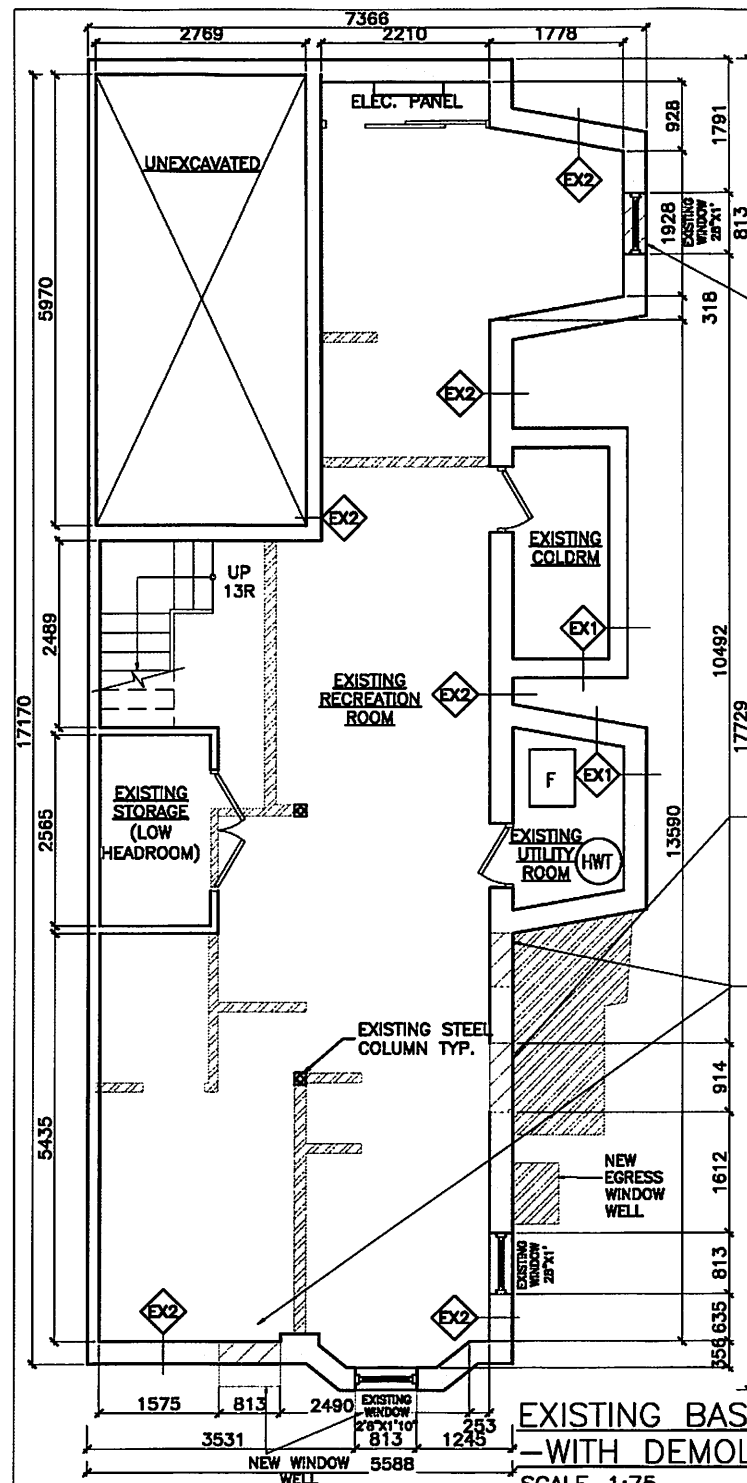
PROJECT
INTERIOR ALTERATION - BASEMENT APARTMENT FOR EXISTING TWO STOREY HOUSE
 60 PORTTRUSH TR.
 BRAMPTON, ONTARIO

DRAWING TITLE
SITE PLAN

NOTES:
 - DO NOT SCALE DRAWING.
 - ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON THE JOB SITE.
 - ANY AND ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.
 - ALL DIMENSIONS ARE FROM THE PROPERTY OF THE ARCHITECT.

| | | | |
|----|---|--------------|-----------------|
| IN | A | A. KHALILLOO | DATE: 10/1/2020 |
| | B | B. KHALILLOO | DATE: 10/1/2020 |
| | C | C. KHALILLOO | DATE: 10/1/2020 |
| | D | D. KHALILLOO | DATE: 10/1/2020 |
| | E | E. KHALILLOO | DATE: 10/1/2020 |
| | F | F. KHALILLOO | DATE: 10/1/2020 |
| | G | G. KHALILLOO | DATE: 10/1/2020 |
| | H | H. KHALILLOO | DATE: 10/1/2020 |
| | I | I. KHALILLOO | DATE: 10/1/2020 |
| | J | J. KHALILLOO | DATE: 10/1/2020 |
| | K | K. KHALILLOO | DATE: 10/1/2020 |
| | L | L. KHALILLOO | DATE: 10/1/2020 |
| | M | M. KHALILLOO | DATE: 10/1/2020 |
| | N | N. KHALILLOO | DATE: 10/1/2020 |
| | O | O. KHALILLOO | DATE: 10/1/2020 |
| | P | P. KHALILLOO | DATE: 10/1/2020 |
| | Q | Q. KHALILLOO | DATE: 10/1/2020 |
| | R | R. KHALILLOO | DATE: 10/1/2020 |
| | S | S. KHALILLOO | DATE: 10/1/2020 |
| | T | T. KHALILLOO | DATE: 10/1/2020 |
| | U | U. KHALILLOO | DATE: 10/1/2020 |
| | V | V. KHALILLOO | DATE: 10/1/2020 |
| | W | W. KHALILLOO | DATE: 10/1/2020 |
| | X | X. KHALILLOO | DATE: 10/1/2020 |
| | Y | Y. KHALILLOO | DATE: 10/1/2020 |
| | Z | Z. KHALILLOO | DATE: 10/1/2020 |

SP-1.2



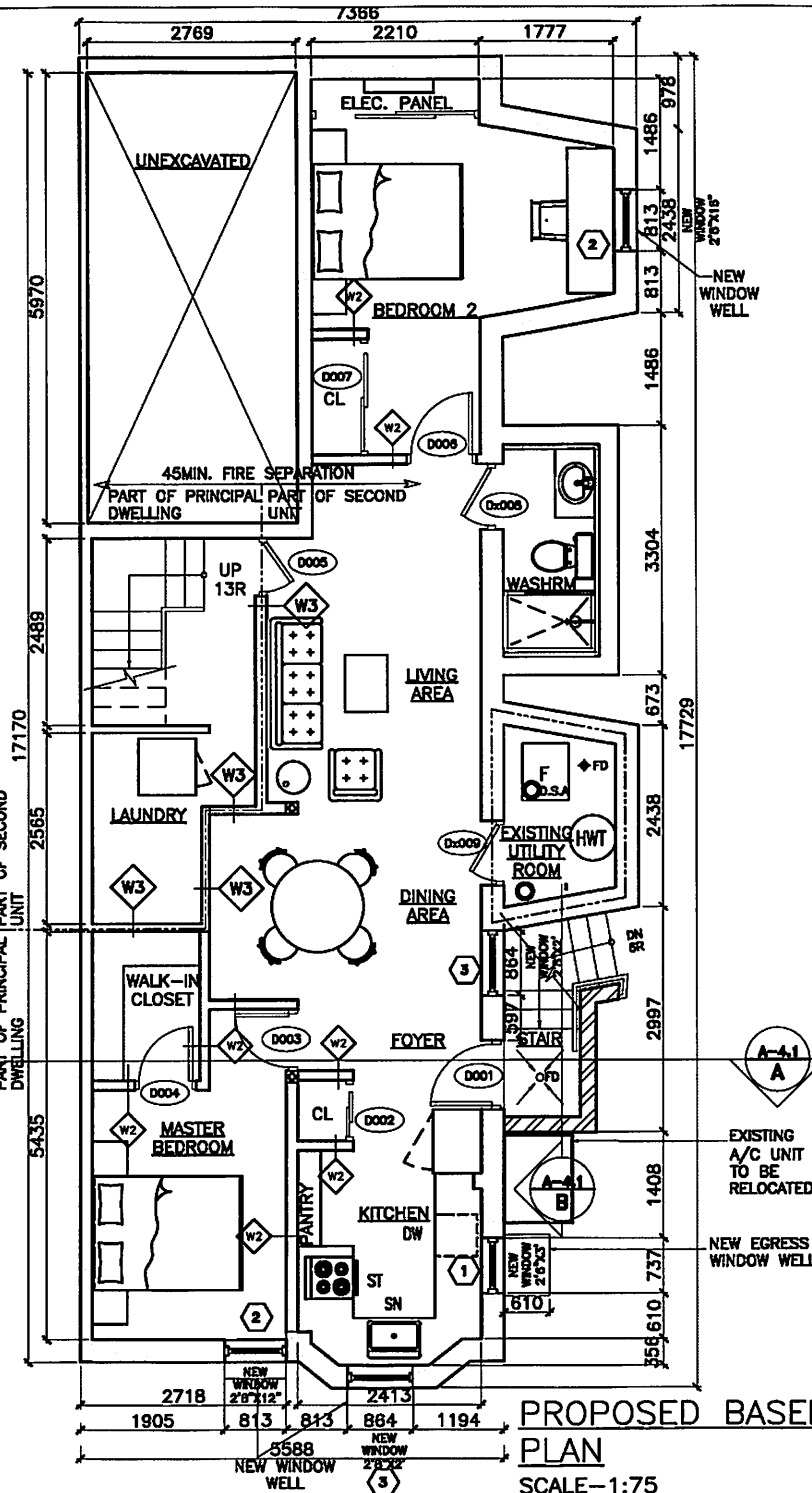
MAKE OPENING IN THE EXISTING WALL FOR NEW WINDOW AS PER PROPOSED PLAN; PATCH AND REWORK AS NEEDED

MAKE NEW OPENING IN EXISTING CONC. FOUNDATION WALL FOR NEW DOOR AS PER PROPOSED PLAN, NEW LINTEL AS PER PROPOSED PLAN, PATCH AND REWORK AS REQ.

MAKE OPENING IN THE EXISTING WALL FOR NEW WINDOW AS PER PROPOSED PLAN; PATCH AND REWORK AS NEEDED

- SPRINKLER
- D.S.A DUCT SMOKE ALARM

| | |
|--|-----------------------------------|
| | EXISTING WALL TO REMAIN |
| | PROPOSED WALL |
| | DEMOLITION WORK |
| | PROPOSED WALL PREPARATION SURFACE |



| | | |
|-----|------------|------|
| DR. | | |
| CA. | | |
| CS. | | |
| CI. | | |
| NO. | ISSUED FOR | DATE |



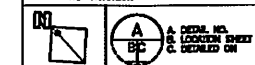
PROJECT
INTERIOR ALTERATION -
BASEMENT APARTMENT FOR
EXISTING TWO STOREY HOUSE

30 PORTLAND TIL
BRAMPTON, ONTARIO

DRAWING TITLE

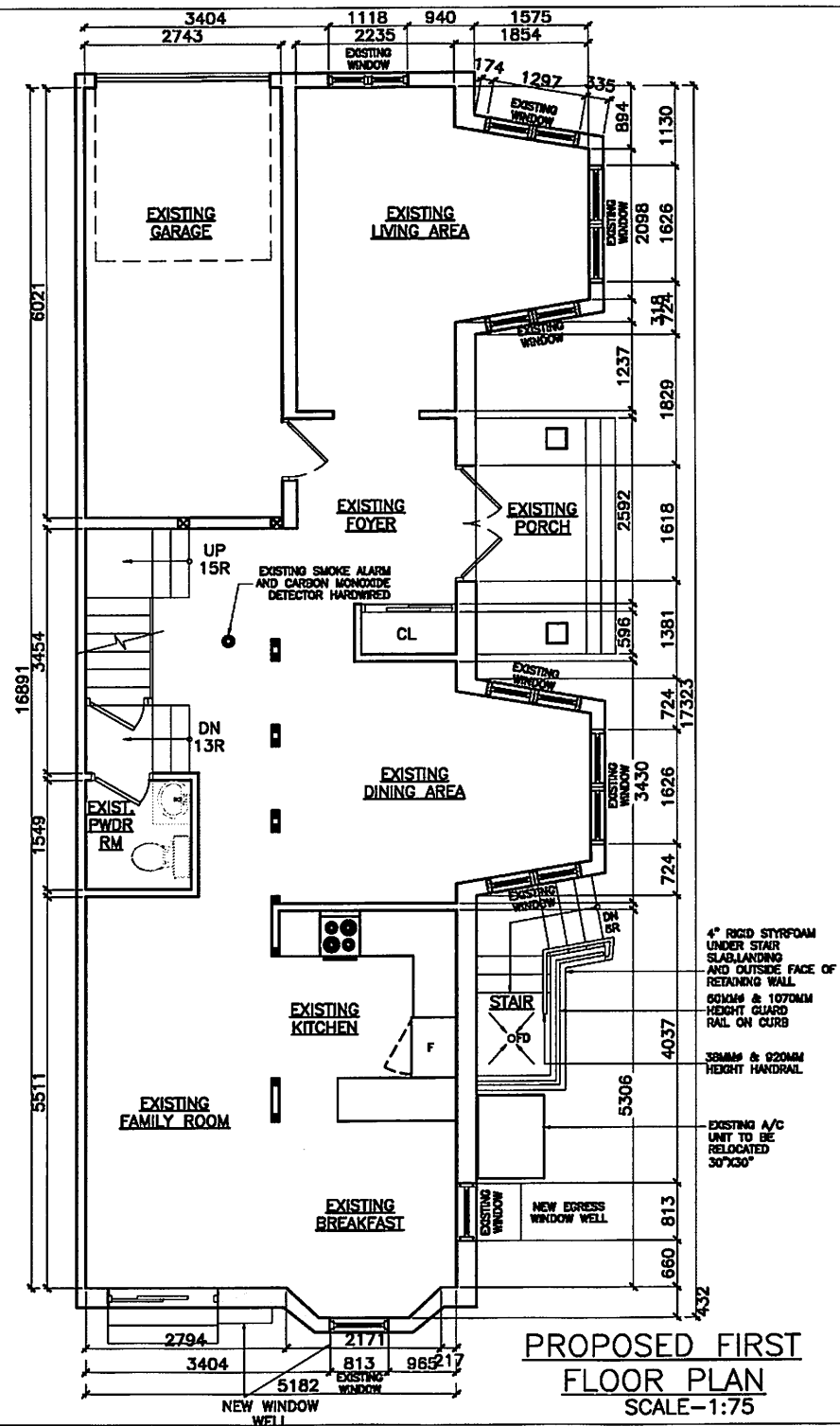
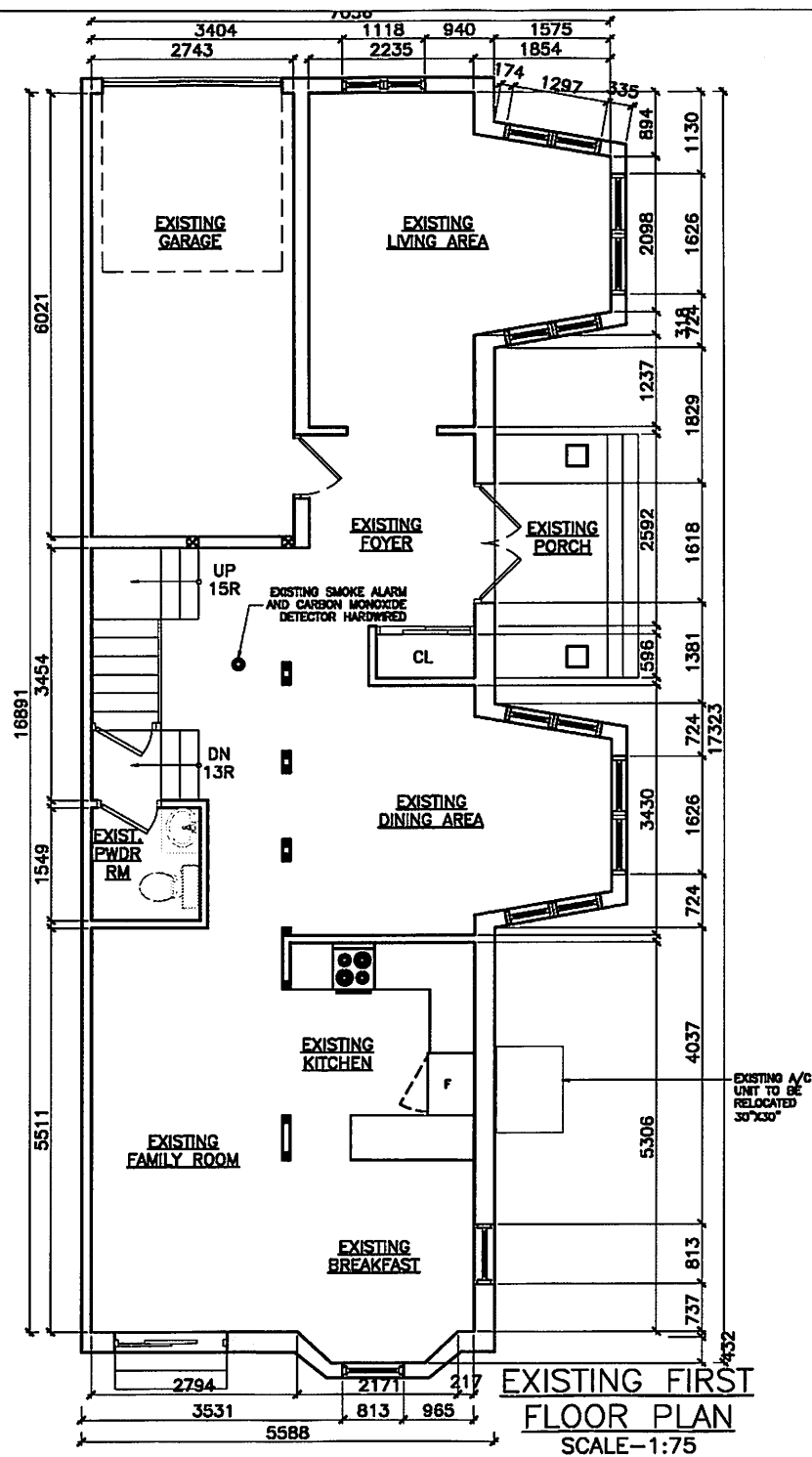
EXISTING BASEMENT PLAN
WITH DEMOLITION WORK
PROPOSED BASEMENT PLAN

NOTES:
- DO NOT SCALE DIMENSIONS.
- ALL DIMENSIONS TO BE CHECKED AND
VERIFIED ON THE JOB SITE.
- ANY AND ALL DISCREPANCIES TO BE
REPORTED TO THE ARCHITECT.
- ALL DIMENSIONS RELATIVE TO THE PROPERTY OF
THE ARCHITECT.



PROJECT NO. 2020-2
DATE MAY 2020
DRAWING NO.

A-1.1



| | | |
|-----|------------|------|
| 03. | | |
| 04. | | |
| 05. | | |
| 06. | | |
| 07. | | |
| NO. | ISSUED FOR | DATE |



PROJECT

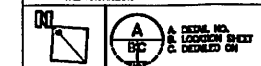
INTERIOR ALTERATION -
BASEMENT APARTMENT FOR
EXISTING TWO STOREY HOUSE

80 PORTKUSH TR.
BRAMPTON, ONTARIO

DRAWING TITLE

EXISTING GROUND FLOOR
PLAN
PROPOSED GROUND FLOOR
PLAN

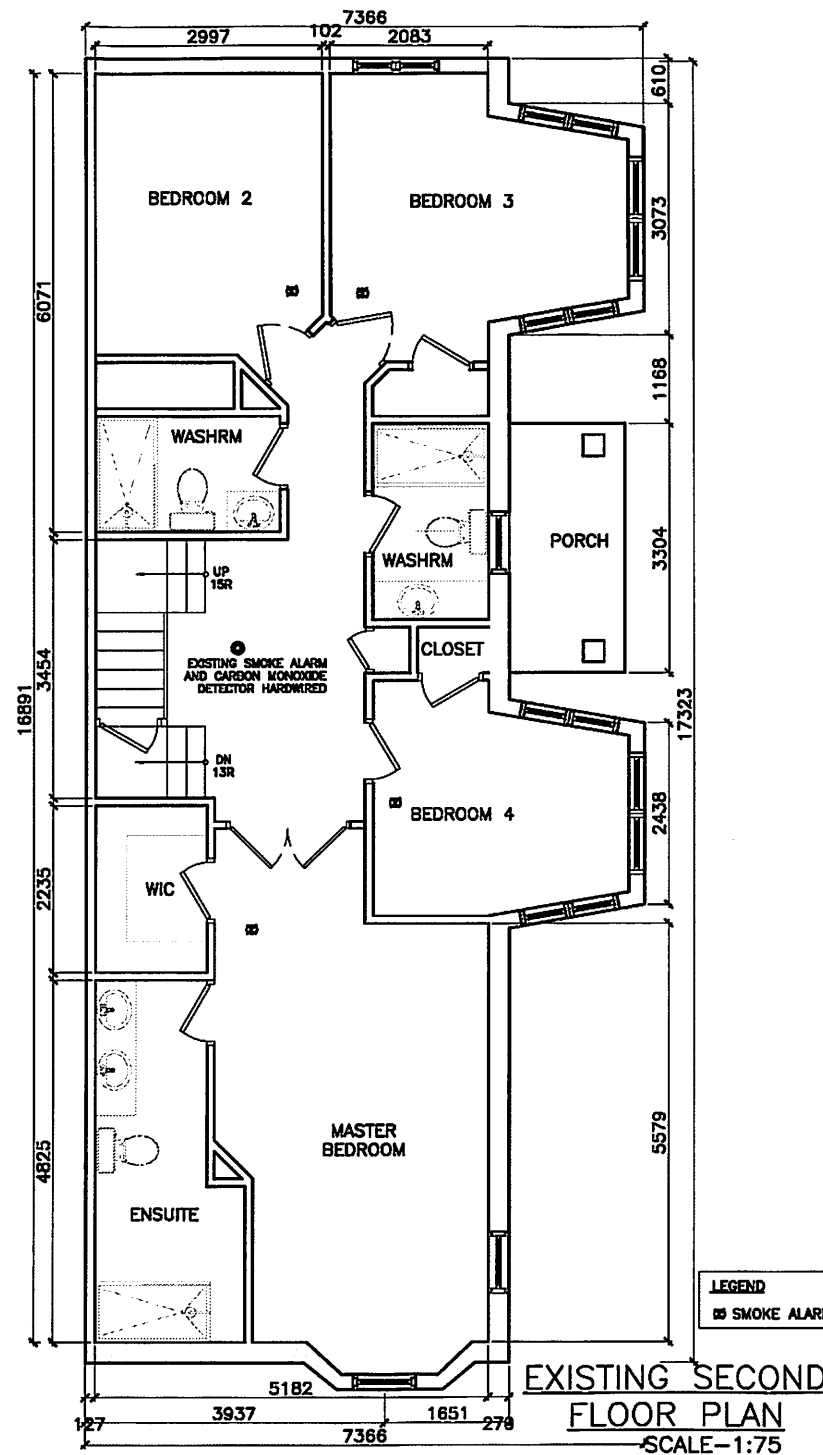
NOTES:
- DO NOT SCALE DIMENSIONS.
- ALL DIMENSIONS TO BE CHECKED AND
NOTED ON THE JOB SITE.
- ANY AND ALL DISCREPANCIES TO BE
REPORTED TO THE ARCHITECT.
- ALL DIMENSIONS BEING THE PROPERTY OF
THE ARCHITECT.



PROJECT NO. 2020.2
DATE: MAY 2020
DRAWING NO.

OWNER BY: J.L.B.
CHECKED BY: J.M.V.

A-1.2



| | | |
|-----|------------|------|
| 05. | | |
| 04. | | |
| 03. | | |
| 02. | | |
| 01. | | |
| NO. | ISSUED FOR | DATE |



PROJECT
INTERIOR ALTERATION -
BASEMENT APARTMENT FOR
EXISTING TWO STOREY HOUSE

80 PORTKUSH TR,
BRAMPTON, ONTARIO

DRAWING TITLE

EXISTING FIRST FLOOR
PLAN-WITH NO DEMOLITION
WORK

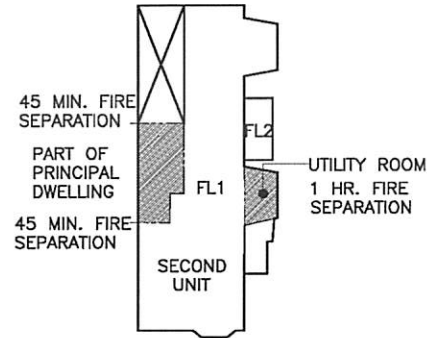
NOTES
- DO NOT SCALE DRAWING.
- ALL DIMENSIONS TO BE CHECKED AND
VERIFIED ON THE JOB SITE.
- ANY AND ALL DISCREPANCIES TO BE
REPORTED TO THE ARCHITECT.
- ALL DIMENSIONS REMAIN THE PROPERTY OF
THE ARCHITECT.



PROJECT NO. 2020.2
DATE: MAY 2020
DRAWING NO. A-1.2

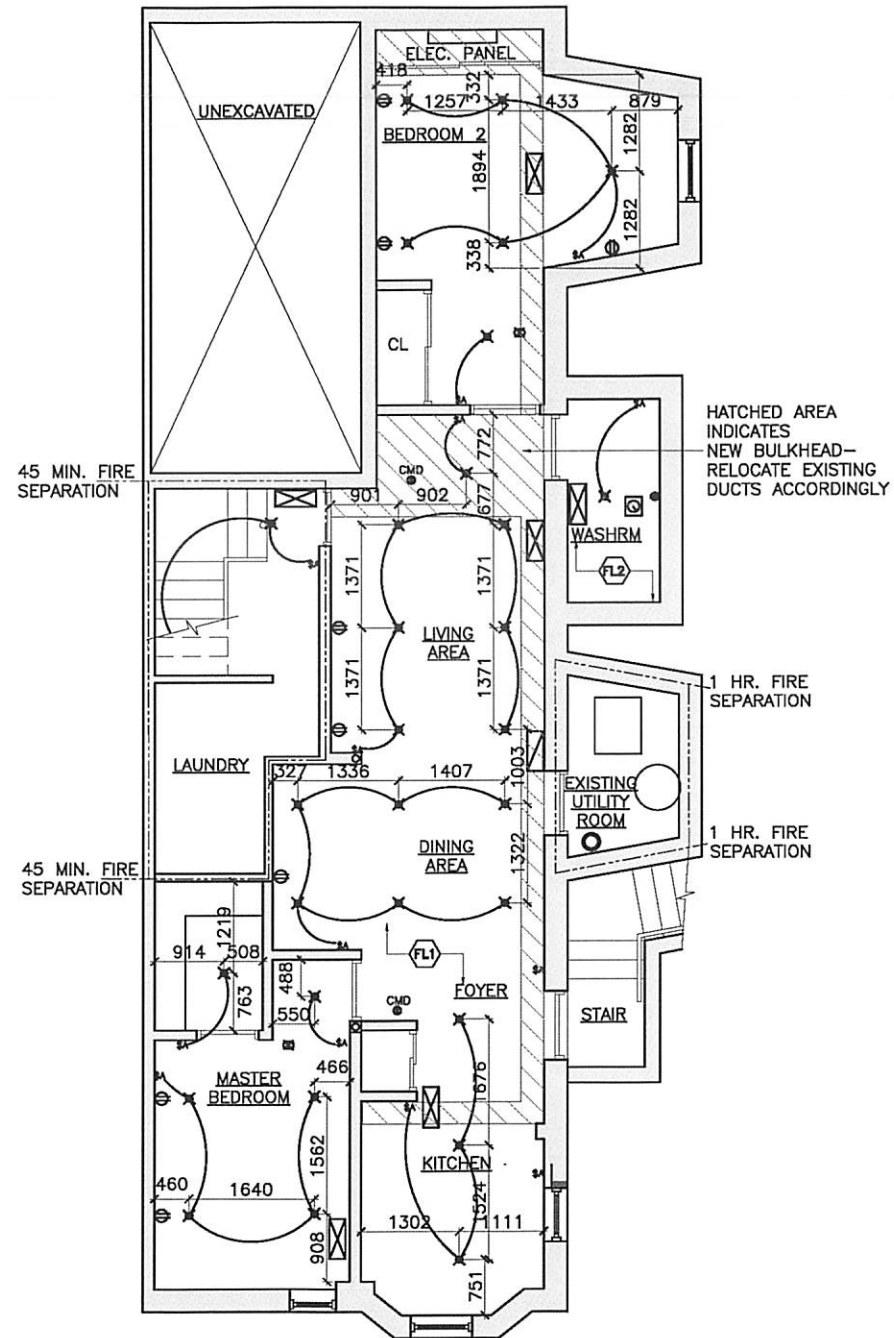
DESIGN BY: J.S.
CHECKED BY: J.S.

FIRE SEPARATION DIA.



| LEGEND | |
|--------|------------------------|
| | RECESSED LED LIGHT |
| | MECH. VENT |
| | SMOKE ALARM |
| | CMD |
| | SINGLE POLE SWITCH |
| | DUPLEX OUTLET |
| | SUPPLY AIR GRILL |
| | RETURN AIR GRILL |
| | NEW EXHAUST FAN |
| | SPRINKLER |
| | 3 WAY SWITCH AT STAIRS |

PROPOSED REFLECTED
CEILING PLAN
SCALE-1:75



| 05. | | |
|-----|------------|------|
| 04. | | |
| 03. | | |
| 02. | | |
| 01. | - | - |
| NO. | ISSUED FOR | DATE |



PROJECT
INTERIOR ALTERATION -
BASEMENT APARTMENT FOR
EXISTING TWO STOREY HOUSE

80 PORTTRUSH TR.
BRAMPTON, ONTARIO

DRAWING TITLE

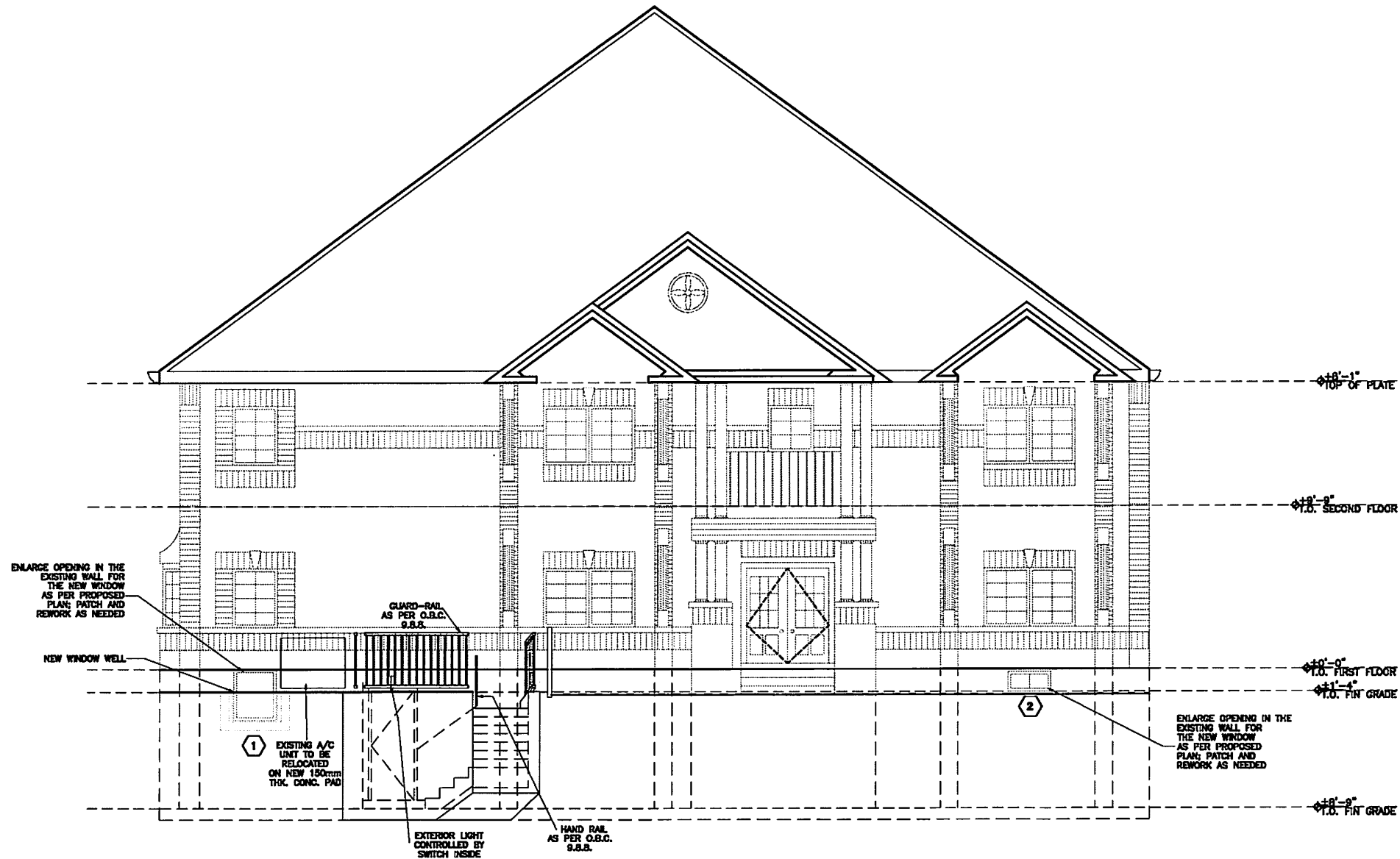
REFLECTED BASEMENT
CEILING PLAN

NOTES:
- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS TO BE CHECKED AND
VERIFIED ON THE JOB SITE.
- ANY AND ALL DISCREPANCIES TO BE
REPORTED TO THE ARCHITECT.
- ALL DRAWINGS REMAIN THE PROPERTY OF
THE ARCHITECT.

| | | |
|--|--|-------------------|
| | | A. DETAIL NO. |
| | | B. LOCATION SHEET |
| | | C. DETAILED ON |

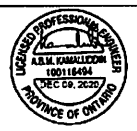
| | |
|--------------------|-----------------|
| PROJECT NO. 2023.2 | DRAWN BY K.S. |
| DATE MAY 2023 | CHECKED BY C.M. |
| DRAWING NO. | |

A-2.1



PROPOSED SIDE ELEVATION
SCALE-1:75

| | | |
|-----|------------|------|
| 05. | | |
| 04. | | |
| 03. | | |
| 02. | | |
| 01. | | |
| NO. | ISSUED FOR | DATE |



PROJECT

**INTERIOR ALTERATION -
BASEMENT APARTMENT FOR
EXISTING TWO STOREY HOUSE**

60 PORTLAND TR.
BRAMPTON, ONTARIO

DRAWING TITLE

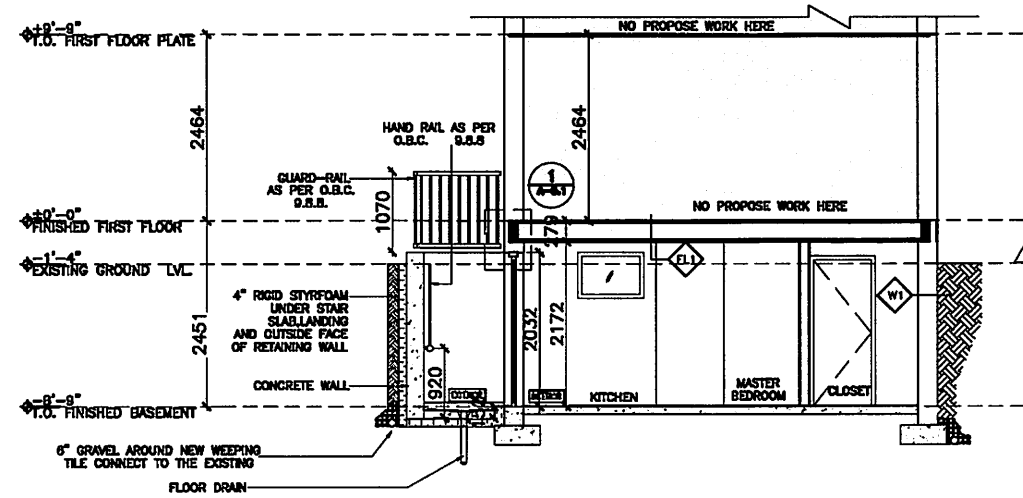
PROPOSED ELEVATION

NOTES
- DO NOT SCALE DIMENSIONS.
- ALL DIMENSIONS TO BE CHECKED AND
VERIFIED ON THE JOB SITE.
- ANY AND ALL DISCREPANCIES TO BE
REPORTED TO THE ARCHITECT.
- ALL CHANGES REMAIN THE PROPERTY OF
THE ARCHITECT.

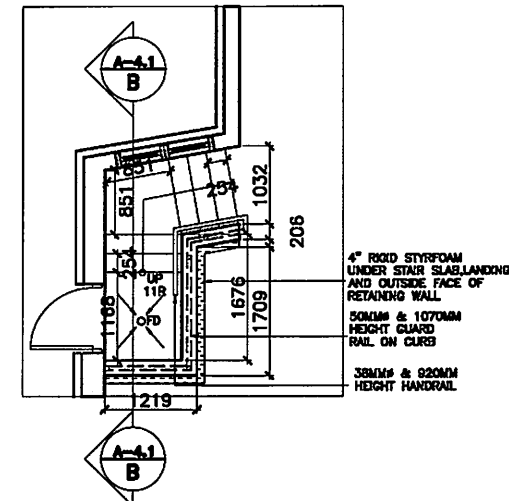
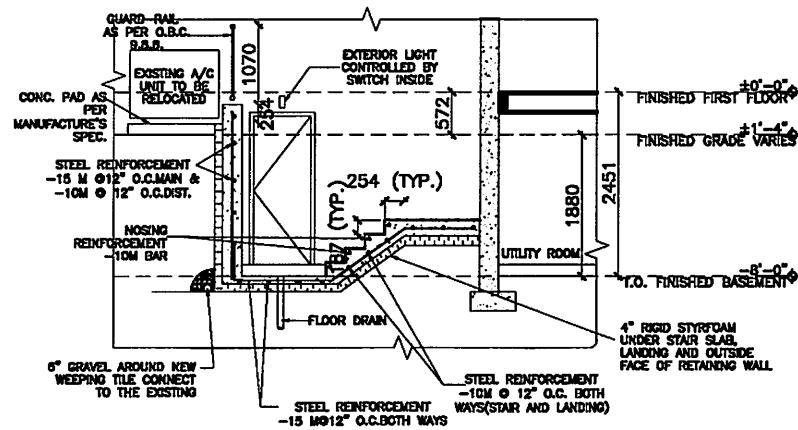


| | | | |
|-------------|----------|------------|------|
| PROJECT NO. | 2020.12 | DRAWN BY | K.S. |
| DATE | MAY 2020 | CHECKED BY | G.M. |
| DRAWING NO. | | | |

A-3.1



EXISTING WALL TO REMAIN



| | | |
|-----|------------|------|
| 05. | | |
| 04. | | |
| 03. | | |
| 02. | | |
| 01. | | |
| NO. | ISSUED FOR | DATE |



PROJECT

INTERIOR ALTERATION -
BASEMENT APARTMENT FOR
EXISTING TWO STOREY HOUSE

80 PORTNASH TR.
BRAMPTON, ONTARIO

DRAWING TITLE

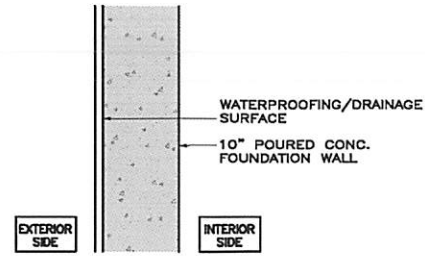
PART PLAN DETAIL
PROPOSED SECTION AA
PROPOSED SECTION BB

NOTES:
- DO NOT SCALE DRAWING.
- ALL DIMENSIONS TO BE CHECKED AND
VERIFIED ON THE JOB SITE.
- ANY AND ALL DISCREPANCIES TO BE
REPORTED TO THE ARCHITECT.
- ALL DIMENSIONS REMAIN THE PROPERTY OF
THE ARCHITECT.

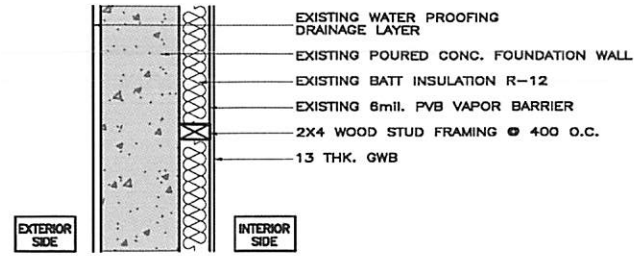


PROJECT NO. 2020-02 DRAWN BY: J.S.
DATE: MAY 2020 CHECKED BY: J.W.
DRAWING NO.

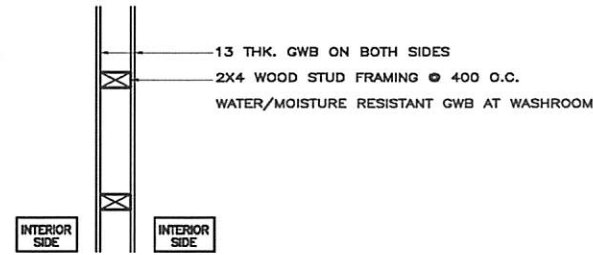
A-4.1



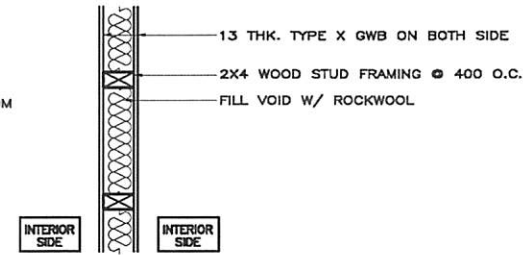
EX1 BASEMENT FOUNDATION WALL - EXISTING



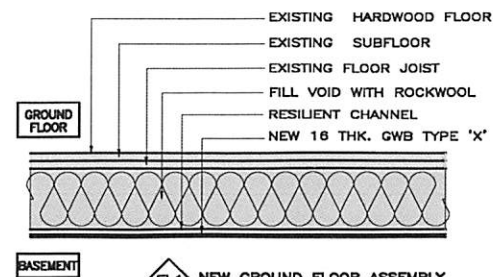
EX2 EXISTING BASEMENT FOUNDATION WALL



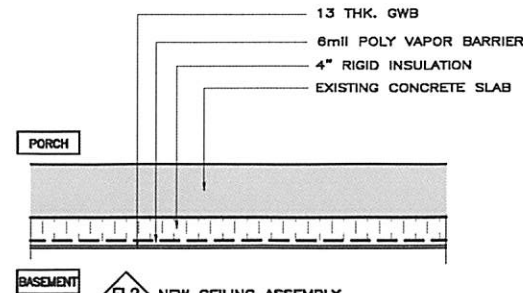
W2 INTERIOR PARTITION WALL



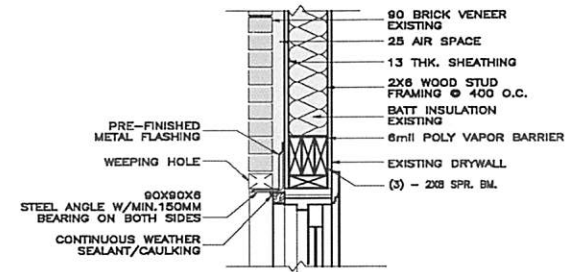
W3 45 MIN. FIRE SEPARATION WALL
BASED ON ULC W302, STC50



FL1 NEW GROUND FLOOR ASSEMBLY
45MIN. F.R.R. BASED ON ULC L506
STC 50 MIN.



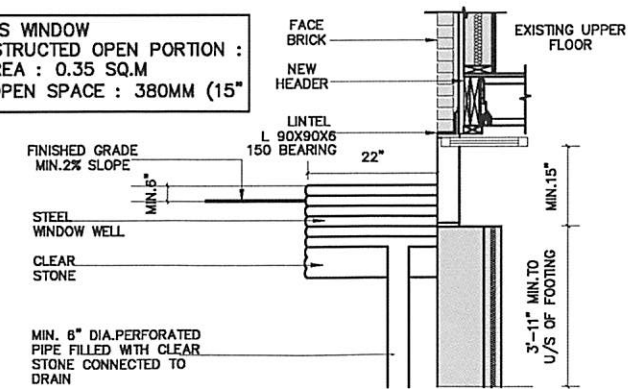
FL2 NEW CEILING ASSEMBLY



TYPICAL NOTE:
CONTRACTOR TO VERIFY SITE CONDITIONS AND NOTIFY
INTERMEDIATELY FOR ANY DISCREPANCIES.

LINTEL DETAIL-2
SCALE: N.T.S.

EGRESS WINDOW
UNOBSTRUCTED OPEN PORTION :
MIN. AREA : 0.35 SQ.M
MIN. OPEN SPACE : 380MM (15\"/>



| | | |
|-----|------------|------|
| 05. | | |
| 04. | | |
| 03. | | |
| 02. | | |
| 01. | - | - |
| NO. | ISSUED FOR | DATE |



PROJECT
INTERIOR ALTERATION -
BASEMENT APARTMENT FOR
EXISTING TWO STOREY HOUSE

50 PORTKUSH TRL
BRAMPTON, ONTARIO

DRAWING TITLE

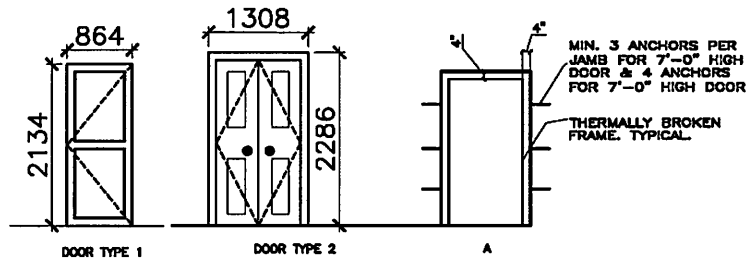
WALL ASSEMBLY
FLOOR ASSEMBLY
LINTEL DETAIL
EGRESS WINDOW

NOTE:
- DO NOT SCALE DIMENSIONS.
- ALL DIMENSIONS TO BE CHECKED AND
VERIFIED ON THE JOB SITE.
- ANY AND ALL DISCREPANCIES TO BE
REPORTED TO THE ARCHITECT.
- ALL DRAWINGS REMAIN THE PROPERTY OF
THE ARCHITECT.



| | |
|--------------------|-----------------|
| PROJECT NO. 2028.2 | DRAWN BY I.L.S. |
| DATE MAY 2020 | CHECKED BY G.V. |
| DRAWING NO. | |

A-5.1

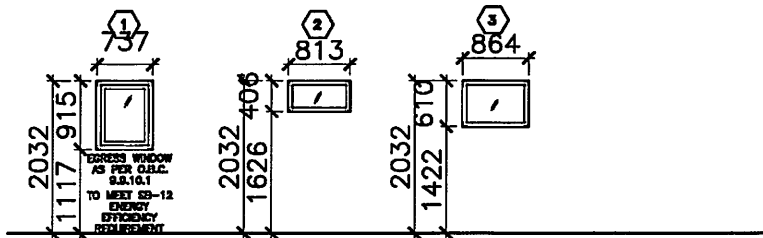


DOOR TYPES
SCALE: N.T.S.

| LEGEND | |
|------------|-----------------------|
| H.M. | HOLLOW METAL |
| S.C.W. | SOLID CORE WOOD |
| H.C.W. | HOLLOW METAL CORE |
| A. C. TILE | ACOUSTIC CEILING TILE |
| M.R. | MOISTURE RESISTANT |
| ANOD | ANODIZED |
| PORCELAIN | PORCELAIN TILES |

TYPICAL NOTE FOR WINDOW & DOOR:
TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATION.
THE OWNER RESERVES THE RIGHT TO SELECT & CHANGE TYPE & MATERIAL
O.C. TO PROVIDE STAMPED SHOP DRAWINGS.
3/4" TO 1" GAP TO BE LEFT UNDER THE DOORS TYP.

NOTE:
EXTERIOR DOORS TO HAVE
- DEAD BOLT
- LOCKS IN BOTTOM, CENTRE AND TOP;
- WEATHER STRIP
- THRESHOLD
- MORTISE LOCK
- ANY OTHER HARDWARE AS REQUIRED BY OWNER AND O.B.C.



WINDOW TYPES
SCALE: N.T.S.

| DOOR NO. | LOCATION | SIZE (w. x h. x t.) | DOOR | | | FRAME | | | FIRE RATING | CLOSER | THRESHOLD | WEATHER STRIP | REMARKS |
|----------|------------------|------------------------|------|----------|--------|-------|----------|--------|-------------|--------|-----------|---------------|---|
| | | | TYPE | MATERIAL | FINISH | TYPE | MATERIAL | FINISH | | | | | |
| D001 | TO NEW ENTRY | 3'x7'-0"x1 1/2" | 1 | S. C. W. | PANT | A | S. C. W. | PANT | - | - | YES | YES | RESISTANCE TO FORCE ENTRY AS PER O.B.C. 9.7.5.2 INCLUDE DOOR VIEWER |
| D002 | TO CLOSET | (2)1'-4 1/2'-0"x1 1/2" | 2 | S. C. W. | PANT | A | S. C. W. | PANT | - | - | | | |
| D003 | TO NEW BEDROOM 1 | 2'10"x7'-0"x1 1/2" | 1 | S. C. W. | PANT | A | S. C. W. | PANT | - | - | | | |
| D004 | W.I.C | 2'8"x7'-0"x1 1/2" | 1 | S. C. W. | PANT | A | S. C. W. | PANT | - | - | | | |
| D005 | TO GROUND FLOOR | 2'10"x7'-0"x1 1/2" | 1 | S. C. W. | PANT | A | S. C. W. | PANT | 20 MIN. | YES | | | |
| D006 | TO NEW BEDROOM 2 | 2'10"x7'-0"x1 1/2" | 1 | S. C. W. | PANT | A | S. C. W. | PANT | - | - | | | |
| D007 | TO CLOSET | (2)2'-2 1/2'-0"x1 1/2" | 2 | S. C. W. | PANT | A | S. C. W. | PANT | - | - | | | |
| D008 | TO WASHROOM | 2'8"x7'-0"x1 1/2" | 1 | S. C. W. | PANT | A | S. C. W. | PANT | - | - | | | |
| D009 | TO UTILITY | 2'8"x7'-0"x1 1/2" | 1 | S. C. W. | PANT | A | S. C. W. | PANT | 45 MIN. | YES | | | TO BE REPLACED WITH 45 MIN FIRE PROTECTION RATING |

DOOR SCHEDULE
SCALE: N.T.S.

| ROOM | AREA | OPENING GLASS AREA | % |
|-----------------------|--------------|--------------------|------|
| KITCHEN+LIVING+DINING | 322.7 SQ.FT | 7.2+5.5+5.5 SQ.FT | 5.1% |
| BEDROOM 1 | 103.3 SQ.FT | 3.5 SQ.FT | 3.3% |
| BEDROOM 2 | 135.79 SQ.FT | 3.5 SQ.FT | 2.6% |

OPENING NATURAL LIGHT AREA CALCULATION

| | | |
|-----|------------|------|
| 05. | | |
| 04. | | |
| 03. | | |
| 02. | | |
| 01. | - | - |
| NO. | ISSUED FOR | DATE |



PROJECT
INTERIOR ALTERATION -
BASEMENT APARTMENT FOR
EXISTING TWO STOREY HOUSE

50 FORTRUSS TR,
BRAMPTON, ONTARIO

DRAWING TITLE

DOOR AND WINDOW
SCHEDULE
OPENING NATURAL LIGHT
CALCULATION

NOTE:
- DO NOT SCALE DIMENSIONS.
- ALL DIMENSIONS TO BE CHECKED AND
VERIFIED ON THE JOB SITE.
- ANY AND ALL DISCREPANCIES TO BE
REPORTED TO THE ARCHITECT.
- ALL DIMENSIONS FROM THE PROPERTY OF
THE ARCHITECT.

A. DESIGN NO.
B. DESIGN SHEET
C. SCALE

PROJECT NO. 2228.3
DATE MAY 2023
DRAWN BY J.S.
CHECKED BY GAY

DRAWING NO.

A-6.1

GENERAL NOTES:

1. ONTARIO BUILDING CODE – THE LATEST EDITION SHALL BE THE BASIS FOR THE DESIGN AND CONSTRUCTION OF THIS PROJECT.
2. THIS CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF THE WORK, NOTIFY THE CONSULTANTS IMMEDIATELY IF ANY DISCREPANCIES ARE NOTED BETWEEN THE FIELD CONDITIONS AND THE CONTRACT DOCUMENTS.
3. ANY MATERIAL REMOVED FROM SITE SHALL BE STORED ON SITE AS DIRECTED BY THE OWNER IF REQUIRED FOR HIS FUTURE USE. ALL DEMOLISHED MATERIAL SHALL BE REMOVED AWAY FROM THE SITE IN A LEGAL MANNER.
4. ALL DRYWALL SHALL BE TAPED, PUTTIED, SANDED, AND PRIMED TO RECEIVE THE FINISH PAINT.
5. PROVIDE FOUR COPIES OF SHOP DRAWINGS FOR THE FABRICATION ITEM, TO THE CONSULTANT FOR REVIEW, PRIOR TO COMMENCEMENT OF WORK.
6. WOOD TO BE PRESSURE-TREATED IF LESS THAN 450mm TO GROUND.
7. LUMBER FOR ALL WOOD FRAMING SHALL BE #2 OR BETTER SPRUCE
8. PROVIDE SEALANT AT ALL EXTERIOR DOOR AND WINDOW FRAMES AND AT DIFFERENT MATERIALS TO DO A WATERTIGHT JOB.
9. JOIST HANGERS AND WOOD CONNECTORS SHALL BE AS RECOMMENDED BY FLOOR FRAMING SUPPLIER
10. EXCAVATION: TOP SOIL AND VEGETABLE MATTER IN ALL UNEXCAVATED AREAS UNDER BUILDINGS SHALL BE REMOVED.
11. SURFACE DRAINAGE: SHALL BE DIRECTED AWAY FROM THE BUILDING, WATER SUPPLY WELL OR SEPTIC TANK DISPOSAL BED.

GENERAL NOTES:

1. WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING AND WITHIN THE ANGLE OF REPOSE OF THE SOIL, OR THE UNDERPINNING EXCEEDS 1200MM OF Laterally UNSUPPORTED HEIGHT OR THE SOIL IS CLAY OR SILT,THE UNDERPINNING & RELATED CONSTRUCTION SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.
2. EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTY, STRUCTURES, UTILITIES, ROADS & SIDEWALKS. CONTACT YOUR LOCAL UTILITIES PRIOR TO COMMENCING EXCAVATION.
3. MINIMUM CONCRETE STRENGTH FOR UNDERPINNING SHALL BE 15MPa AT 28 DAYS. ALL EXTERIOR CONCRETE SHALL BE 32MPa W/ 5%-8% AIR ENTRAINMENT.
4. CONCRETE SHALL BE CURED MINIMUM 48 HOURS BEFORE GROUTING AND PROCEEDING TO THE NEXT STAGE.
5. SHORE & BRACE WHERE NECESSARY TO ENSURE THE SAFETY & STABILITY OF THE EXISTING STRUCTURE DURING UNDERPINNING.
6. WEEPING TILES TO DRAIN TO THE STORM SEWER, DITCH, DRYWELL OR INSTALL COVERED SUMP PIT WITH AN AUTOMATIC PUMP.
7. FOOTINGS
450mmx100mm POURED CONC. FOOTING
ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL
8. CONCRETE
MINIMUM COMPRESSIVE STRENGTH OF 32MPa @28 DAY
W/ 5% TO 8% AIR ENTRAINMENT
9. EXTERIOR STAIRS
200mm RISE MAXIMUM 125mm MINIMUM
210mm RUN MINIMUM 355mm MAXIMUM
235mm TREAD MINIMUM 355mm MAXIMUM
10. INSULATION
-MIN. RSI 3.52 (R20) INSULATION AND VAPOR BARRIER ON THE INSIDE FACE OF THE EXPOSED FOUNDATION WALL
-MIN. RSI 1.76 (R20) INSULATION FOR 600mm BELOW GRADE AT WALKOUT LANDINGS
11. RETAINING WALL
250mm MASONRY OR POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL
HEIGHTS TO A MAX. OF 1200mm PROVIDE 25M VERTICAL REINFORCEMENT @ 600mm
AT LEAST ONE 15M REINFORCEMENT FOR BACKFILL HEIGHTS TO A MAX. OF 2400mm
12. FOUNDATION WALL
10" MASONRY BLOCK WITH 15M REBAR @24" O.C FILLED WITH CONCRETE
13. PRE-ENGINEERED GUARDS
1070mm HIGH DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 1800mm;
900mm FOR LESSER HEIGHTS. MAXIMUM 100mm BETWEEN VERTICAL PICKETS
14. LINTELS (FOR MAX. 1200MM OPENINGS)
1.SOLID MASONRY: 2-90mmx90mmx6mm ANGLES
2.BRICK VENEER: 1-90mmx90mmx6mm L+ 2-38x184
3.WOOD FRAME/SIDING: 2-38x184

| | | |
|-----|------------|------|
| 03. | | |
| 04. | | |
| 05. | | |
| 02. | | |
| 01. | - | - |
| NO. | ISSUED FOR | DATE |



PROJECT

INTERIOR ALTERATION –
BASEMENT APARTMENT FOR
EXISTING TWO STOREY HOUSE

80 FORTDURHAM TR,
BRAMPTON, ONTARIO

DRAWING TITLE

GENERAL NOTES

NOTES:

- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON THE JOB SITE.
- ANY AND ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.
- ALL DIMENSIONS FORMER THE PROPERTY OF THE ARCHITECT.



| | | | |
|-------------|----------|------------|------|
| PROJECT NO. | 2022-8 | DRAWN BY | J.L. |
| DATE | MAY 2022 | CHECKED BY | QW |
| DRAWING NO. | | | |

A-7.1

A-2021-0017

a

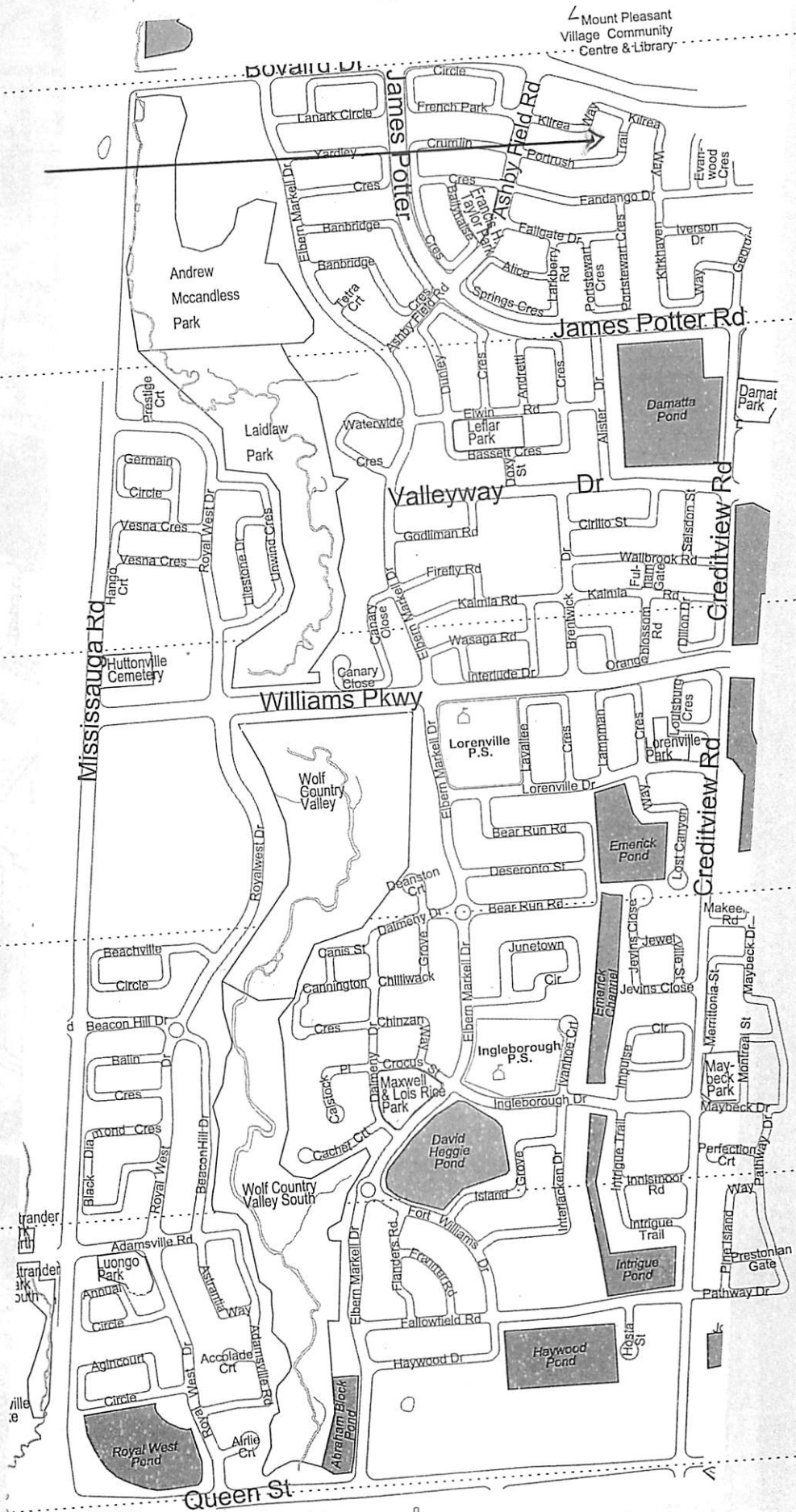
b

B3

c

d

e



C3