



**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **ANDREA NOWAK** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 134, Plan 606 municipally known as **35 CAMPBELL DRIVE**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit an interior side yard setback of 1.26m (4.13 ft.) to a proposed second storey addition whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.) to the second storey.

**OTHER PLANNING APPLICATIONS:**

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO  
Application for Consent: NO

File Number: \_\_\_\_\_  
File Number: \_\_\_\_\_

The Committee of Adjustment has appointed **TUESDAY, March 30, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT.** This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 18th day of March, 2021.

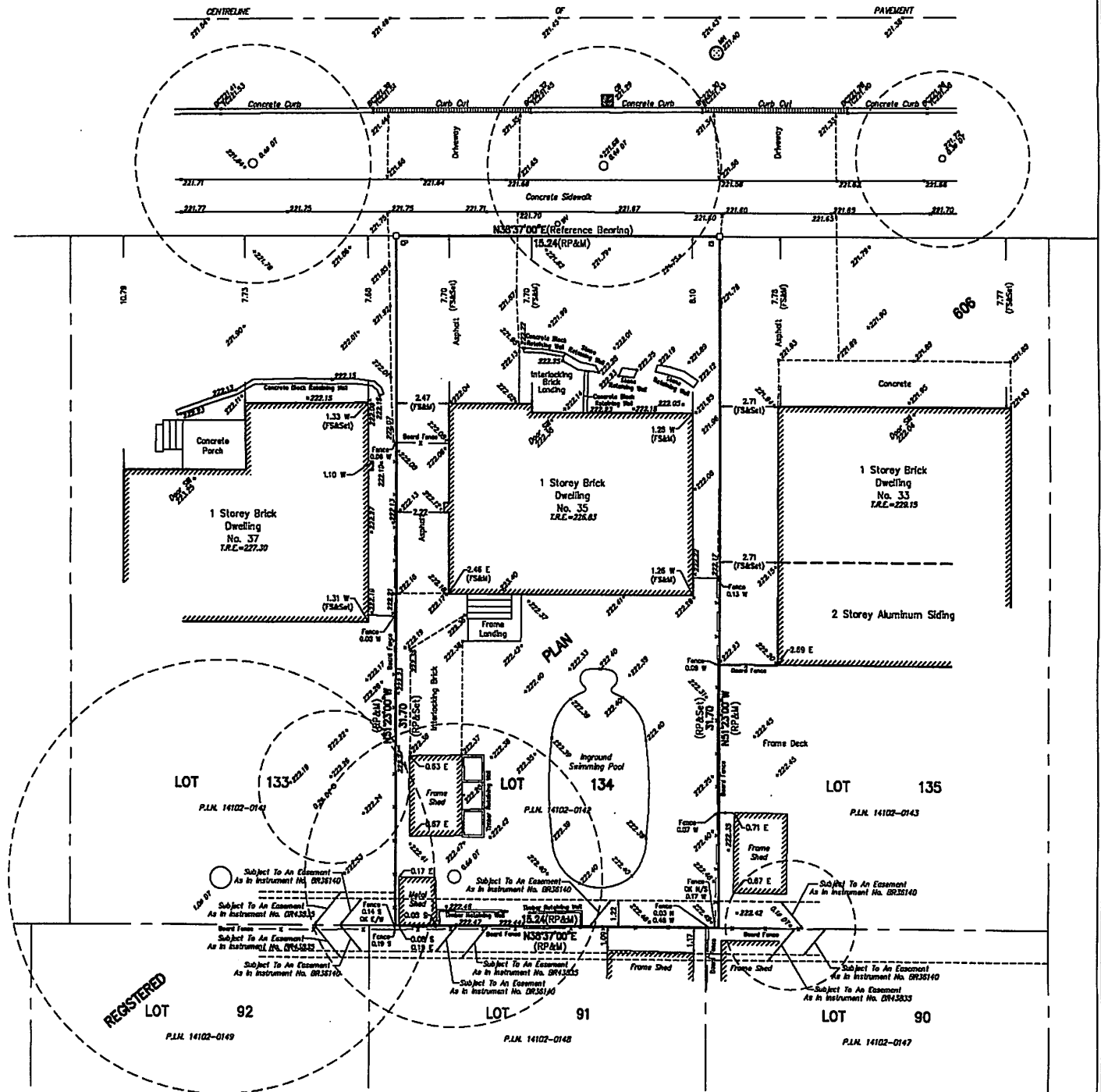
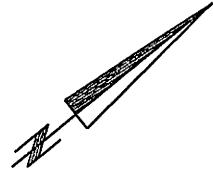
Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer  
Committee of Adjustment, City Clerk's Office,  
Brampton City Hall  
2 Wellington Street West,  
Brampton, Ontario L6Y 4R2  
Phone: (905)874-2117  
Fax: (905)874-2119  
[jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca)

SURVEYOR'S REAL PROPERTY REPORT - PART 1  
PLAN OF SURVEY OF  
LOT 134  
REGISTERED PLAN 606  
CITY OF BRAMPTON  
Regional Municipality of Peel  
SCALE 1:125  
OTA SURVEYING INC.  
© COPYRIGHT 2018

CAMPBELL DRIVE  
(By Registered Plan 606)

P.L.N. 14104-0130



**METRIC**  
DIMENSIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**SURVEYOR'S CERTIFICATE**

- I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE REGULATIONS MADE UNDER THEM.
  2. THE SURVEY WAS COMPLETED ON THE 17TH DAY OF JANUARY, 2018.

JANUARY 23, 2018

DATE: JARED WALCZAK  
ONTARIO LAND SURVEYOR

THIS PLAN WAS PREPARED FOR PAMEL NORAK

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
2044313



THIS PLAN IS NOT VALID  
UNLESS IT IS AN EMPOWERED  
ORIGINAL COPY  
ISSUED BY THE SURVEYOR  
IN ACCORDANCE WITH  
REGULATION 1020, SECTION 2(1)(3)

**LEGEND**

- |            |         |   |
|------------|---------|---|
| CI         | DENOTES | SURVEY MONUMENT SET                       |
| RP         | DENOTES | REGISTERED PLAN 606                       |
| N, S, E, W | DENOTES | NORTH, SOUTH, EAST, WEST                  |
| CP         | DENOTES | CONCRETE P.N.                             |
| BI         | DENOTES | IRON BAR                                  |
| FS         | DENOTES | PLAN BY F. SCHAEFFER & ASSOCIATES, O.L.S. |
| P.L.N.     | DENOTES | DATED DECEMBER 23, 1959                   |
| SC         | DENOTES | PROPERTY CENTER LINE MEMBER               |
| TC         | DENOTES | TOP OF CURB                               |
| CS         | DENOTES | CATCH BASIN                               |
| WH         | DENOTES | WATERHOLE                                 |

**LEGEND Continued**

- |        |         |                       |
|--------|---------|-----------------------|
| OT     | DENOTES | DECIDUOUS TREE        |
| WV     | DENOTES | WATER VALVE           |
| T.R.E. | DENOTES | TOP OF ROOF ELEVATION |

**BEARING NOTE**

BEARINGS ARE ASTROMOMIC AND ARE REFERRED TO THE SOUTH EAST LIMIT OF CAMPBELL DRIVE, HAVING A BEARING OF N35°37'00"E (RP&M) ACCORDING TO REGISTERED PLAN 606

**ELEVATION NOTE**

ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE CITY OF BRAMPTON GEODENMARK NO. 63-81, HAVING A PUBLISHED ELEVATION OF 220.951 METRES.

**PART 2 - SURVEY REPORT**

- 1) PLEASE NOTE LOCATION OF FEETINGS
- 2) REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY: SUBJECT TO AN EASEMENT AS IN INSTRUMENT NO. DR36140
- 3) THIS PLAN DOES NOT CONSTITUTE COMPLIANCE WITH ZONING BY-LAWS

**GTA**

Greater Toronto Area  
SURVEYING INC.

7003 Stedra Ave. West, Unit 12, Toronto ON M9W 0A2  
Tel: (416) 879-0572  
E-MAIL: jw@gtasurveying.ca

DRAWN: B.D. CHECKED: J.W. PROJECT 17568

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures**  
**How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

**How to Participate in the Hearing:**

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 25, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, March 25, 2021**.
  - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, March 26, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:  
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or  
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.





The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

## APPLICATION

## Minor Variance or Special Permission

(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) ANDREA NOWAK  
Address 35 CAMPBELL DR BRAMPTON ON L6X 2H8  
Phone # (416) 522-8915 Fax # \_\_\_\_\_  
Email ANDREA.NOWAK@GMAIL.COM
2. Name of Agent WALTER BORZECKI  
Address 10 ALLANHURST DR. UN. 903  
TORONTO ONT M9A 4J5  
Phone # (416) 418-6081 Fax # \_\_\_\_\_  
Email DOMEXCONSTRUCTION@GMAIL.COM
3. Nature and extent of relief applied for (variances requested):  

TO PERMIT AN EASTERLY SIDE YARD SETBACK OF 1.26M TO A PROPOSED SECOND STOREY ADDITION WHEREAS THE BY-LAW REQUIRES A MINIMUM SIDE YARD SETBACK OF 1.8M TO THE SECOND STOREY.
4. Why is it not possible to comply with the provisions of the by-law?  

EXISTING ONE STOREY HOUSE IS LOCATED 1.26M FROM SIDE PROPERTY LINE, TO BUILD SECOND STOREY ADDITION ABOVE EXISTING HOUSE WE HAVE TO ASK FOR SIDE SETBACK VARIANCE WHICH IS NOW FOR TWO STOREY HOUSE 1.8M
5. Legal Description of the subject land:  
 Lot Number 134  
 Plan Number/Concession Number REG'D PLAN 606  
 Municipal Address 35 CAMPBELL DR
6. Dimension of subject land (in metric units)  
 Frontage 15.24m  
 Depth 31.70m  
 Area 483.1m
7. Access to the subject land is by:  
 Provincial Highway ☐  
 Municipal Road Maintained All Year ☒  
 Private Right-of-Way ☐  
 Seasonal Road ☐  
 Other Public Road ☐  
 Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

EXISTING HOUSE — 98.2 m<sup>2</sup>  
 EXISTING SHED 1 — 9.0 m<sup>2</sup>  
 EXISTING SHED 2 — 4.0 m<sup>2</sup> (TO BE REMOVED)  
 111.2 m<sup>2</sup>

PROPOSED BUILDINGS/STRUCTURES on the subject land:

GROUND FLOOR ADDITION — 6.8 m<sup>2</sup>  
 SECOND STOREY ADDITION — 107.5 m<sup>2</sup>  
 COVERED FRONT PORCH — 5.5 m<sup>2</sup>

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback  
 Rear yard setback  
 Side yard setback  
 Side yard setback

7.70 m  
 15.12 m  
 2.47 m  
 1.26 m

PROPOSED

Front yard setback  
 Rear yard setback  
 Side yard setback  
 Side yard setback

6.0 m  
 15.12 m  
 2.47 m  
 1.26 m

10. Date of Acquisition of subject land: AUG. 2007
11. Existing uses of subject property: S.F.D
12. Proposed uses of subject property: S.F.D
13. Existing uses of abutting properties: RES.
14. Date of construction of all buildings & structures on subject land: 1959
15. Length of time the existing uses of the subject property have been continued: 62 YEARS

16. (a) What water supply is existing/proposed?

Municipal ☒  
 Well ☐

Other (specify) \_\_\_\_\_

- (b) What sewage disposal is/will be provided?

Municipal ☒  
 Septic ☐

Other (specify) \_\_\_\_\_

- (c) What storm drainage system is existing/proposed?

Sewers ☒  
 Ditches ☐  
 Swales ☐

Other (specify) \_\_\_\_\_



17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent? SITE PLAN APPROVAL

Yes ☒ No ☐

If answer is yes, provide details: File # SP19-017.00 Status FINAL APPROVAL

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

[Signature]  
Signature of Applicant(s) or Authorized Agent

DATED AT THE TORONTO OF YORK  
THIS 9 DAY OF FEB, 20 21

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, WALTER BORZECKI, OF THE TORONTO OF YORK  
IN THE TORONTO OF YORK SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE  
CITY OF Brampton  
IN THE Region OF  
THIS 25th DAY OF  
Feb., 20 21  
[Signature]  
A Commissioner etc.

[Signature]  
Jeanie Cecilia Myers,  
a Commissioner, etc.,  
Province of Ontario,  
for the Corporation of the  
City of Brampton.  
Expires April 8, 2021.

[Signature]  
Signature of Applicant or Authorized Agent

Submit by Email

#### FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

R1B (Mature)

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

[Signature]  
Zoning Officer

Feb 26, 2020  
Date

DATE RECEIVED

February 26, 2021

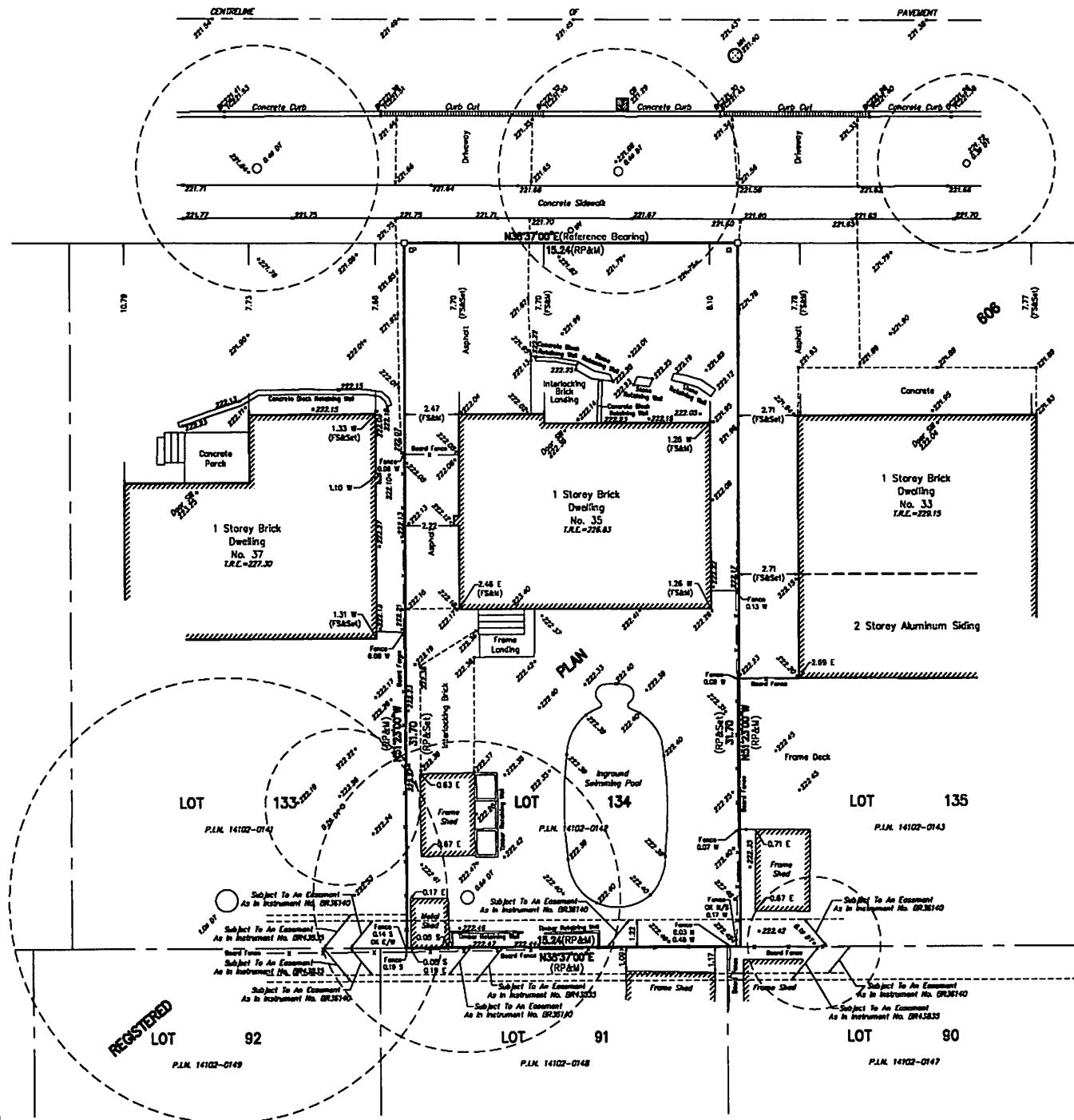
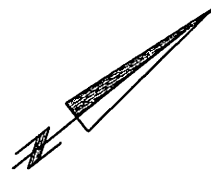
Date Application Deemed  
Complete by the Municipality

February 26, 2021

SURVEYOR'S REAL PROPERTY REPORT - PART 1  
PLAN OF SURVEY OF  
LOT 134  
REGISTERED PLAN 606  
CITY OF BRAMPTON  
Regional Municipality of Peel  
SCALE 1 : 125  
GTA SURVEYING INC.  
© COPYRIGHT 2018

CAMPBELL DRIVE  
(By Registered Plan 606)

PLAN 14104-0130



**METRIC**  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND  
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**SURVEYOR'S CERTIFICATE**  
I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE  
WITH THE SURVEY ACT, THE SURVEYORS ACT, AND THE  
REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON THE 17TH DAY OF  
JANUARY, 2018.

JANUARY 23, 2018  
DATE  
JACK WOLSKAN  
ONTARIO LAND SURVEYOR



- LEGEND**
- DENOTES SURVEY MONUMENT SET
  - SURVEY MONUMENT FOLDED
  - REGISTERED PLAN 606
  - N, S, E, W NORTH/SOUTH/EAST/WEST
  - M MEASURED
  - CP CONCRETE P.W.
  - SI IRON BAR
  - FS PLAN BY F. SCHAEFFER & ASSOCIATES, O.L.S.
  - DATED DECEMBER 23, 1998
  - PROPERTY IDENTIFIER NUMBER
  - P.L.N. —
  - BC — BOTTOM OF CURB
  - TC — TOP OF CURB
  - CB CATCH BASIN
  - MH MANHOLE

**LEGEND Continued**  
DT DENOTES DECIDUOUS TREE  
WV — WATER VALVE  
T.R.E. — TOP OF ROOF ELEVATION

**BEARING NOTE**  
BEARINGS ARE ASTROMETRIC AND ARE REFERRED TO THE  
SOUTH EAST UNIT OF CAMPBELL DRIVE, HAVING A DECADED OF  
N35°37'00"E, ACCORDING TO REGISTERED PLAN 606

**ELEVATION NOTE**  
ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE  
CITY OF BRAMPTON BENCHMARK NO. E3-81, HAVING A  
PUBLISHED ELEVATION OF 220.951 METRES.

**PART 2 - SURVEY REPORT**  
1) PLEASE NOTE LOCATION OF FENCES  
2) REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:  
SUBJECT TO AN EASEMENT AS IN INSTRUMENT NO. BR36140  
3) THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

**GTA**  
Greater Toronto Area  
SURVEYING Inc.  
7003 Steeles Ave. West, Unit 12, Toronto ON M3W 0A2  
Tel: (416) 879-0572  
E-MAIL: jw@gtasurveying.ca

DRWING: B.D. CHECKED: J.W. PROJECT: 17568



KEY PLAN

## SITE STATISTICS

SITE STATISTICS		
LOT AREA	483.1	5200
EXISTING HOUSE	98.2	1057
MAIN FL. ADDITION	6.8	74
EXISTING SHED	9.0	97
PROPOSED FRONT PORCH	5.5	59
LOT COVERAGE	119.5	1267
MAIN FLOOR LIVING SPACE	84.4	908
PROPOSED SECOND FLOOR	107.5	1158
GROSS FLOOR AREA	191.9	2066

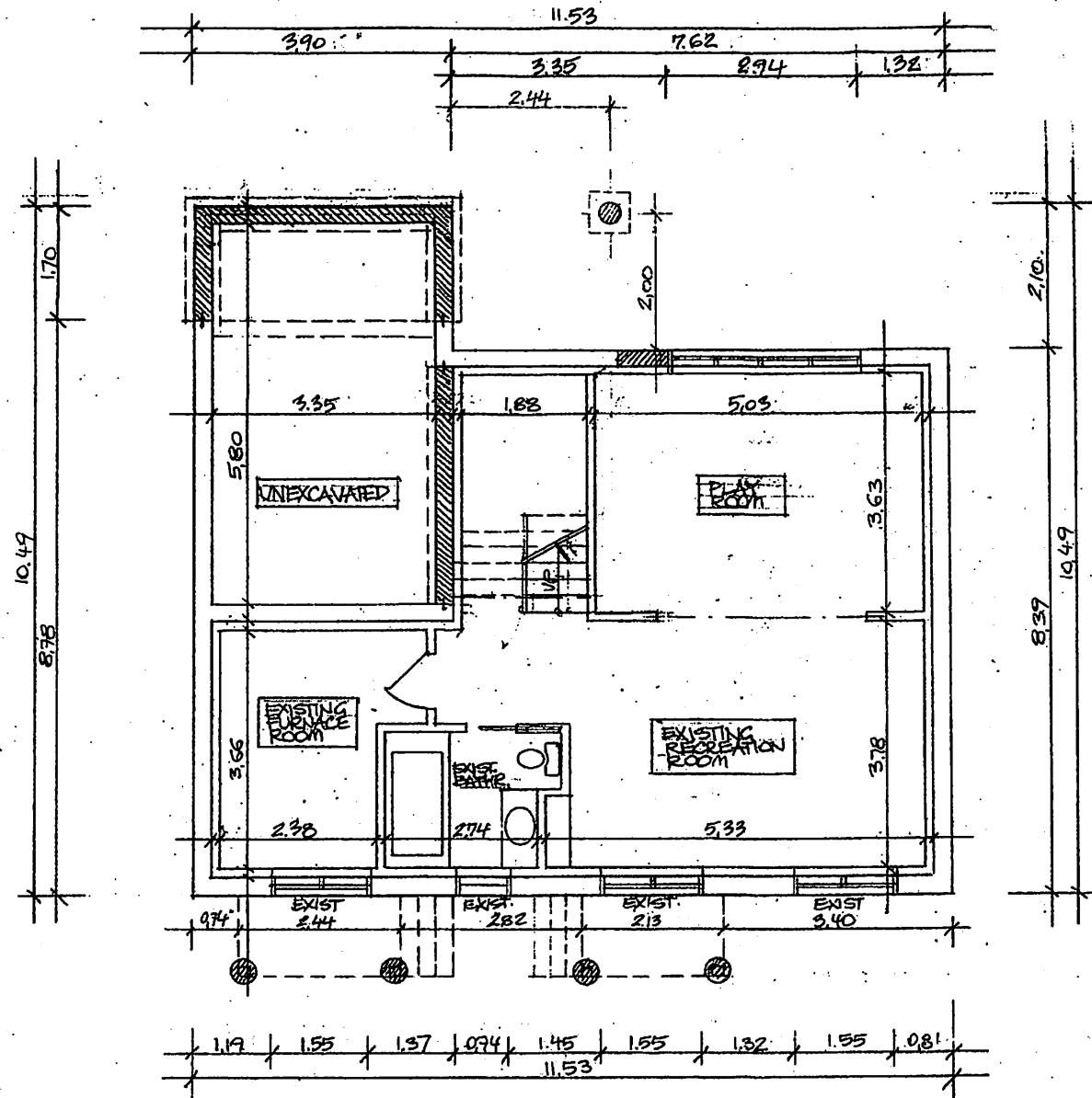
→ 24.7%

- All working drawings submitted to the Building Division as part of a Building Permit application shall be in conformity with the approved site plan drawings as approved by the Development Services Division.
- The Owner is responsible for ensuring that tree protection hoarding, placed at the drip line of the trees, is maintained throughout all phases of demolition and construction in the location and condition as approved by the Planning and Building Division. No materials (i.e. building materials, soil, construction vehicles, equipment, etc.) may be stockpiled within the area of hoarding.
- All utility companies will be notified for locates prior to the installation of the hoarding that lies within the limits of the COB boundary area.
- Should the installation of below ground services require hoarding to be removed, Open Space staff (it: open space@thetownofglenview.com) are to be contacted prior to the commencement of such work. Should an alternative service route not be possible, staff will inspect and document the condition of the vegetation and servicing installation in order to minimize damage to the vegetation.
- The Owner (or Applicant as applicable) will be responsible for the cost of any utilities relocations necessitated by the Site Plan Approval and Building Permit.
- The existing on-site drainage pattern shall be maintained.
- Grades must be met within 33% maximum slope at the property lines and within the site.
- The structural design of any retaining wall over 0.60 m (2.00 ft.) in height or any retaining wall located on a property line is shown on the Site Plan and Grading Plan and is to be approved by the Consulting Engineer for the project.
- The portions of the driveway within the municipal boulevard will be paved by the Owner at their own expense.
- At the entrances to the site, the municipal curb and sidewalk will be continuous through the driveway and a curb depression will be provided for each entrance.
- All proposed curbing at the entrances to the site is to terminate at the property line or at the municipal sidewalk.
- Construction materials are not to be put out for garbage collection.
- All damaged landscape areas will be rehabilitated with topsoil and seed following construction activity.
- Any COB boulevard trees damaged or removed are to be replaced with minimum 70mm caliper deciduous trees to the satisfaction of the COB at the owner's expense.
- All excess excavated materials will be removed from the site at the owner's expense.
- All existing or proposed easements on the property should be illustrated and dimensioned on all of the drawing. If applicable, stipulate on the drawings: "There are no existing or proposed easements on the property".

REVISIONS	AUG. 21 2020		
ADDITION & ALTERATION			
SCALE: 1" = 25'	APPROVED BY:	DRAWN BY:	
DATE: JAN. 2019		REVISED	
35 CAMPBELL DR. BRAMPTON			
SITE PLAN		DRAWING NUMBER A	

REVISION: 1  
SP19-017.000

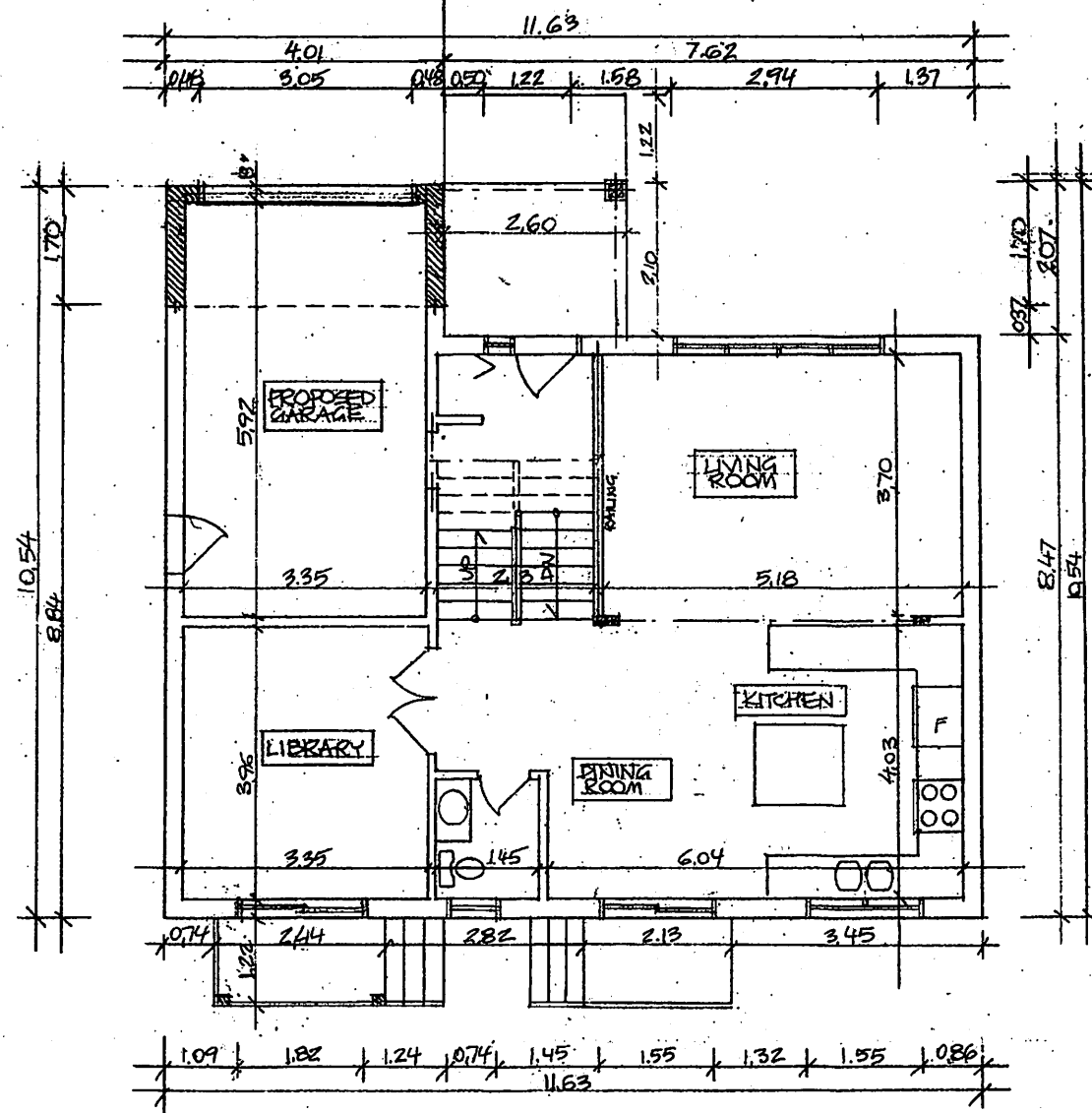




BASEMENT PLAN 1:50

REVISION 1  
SPI9-017.000

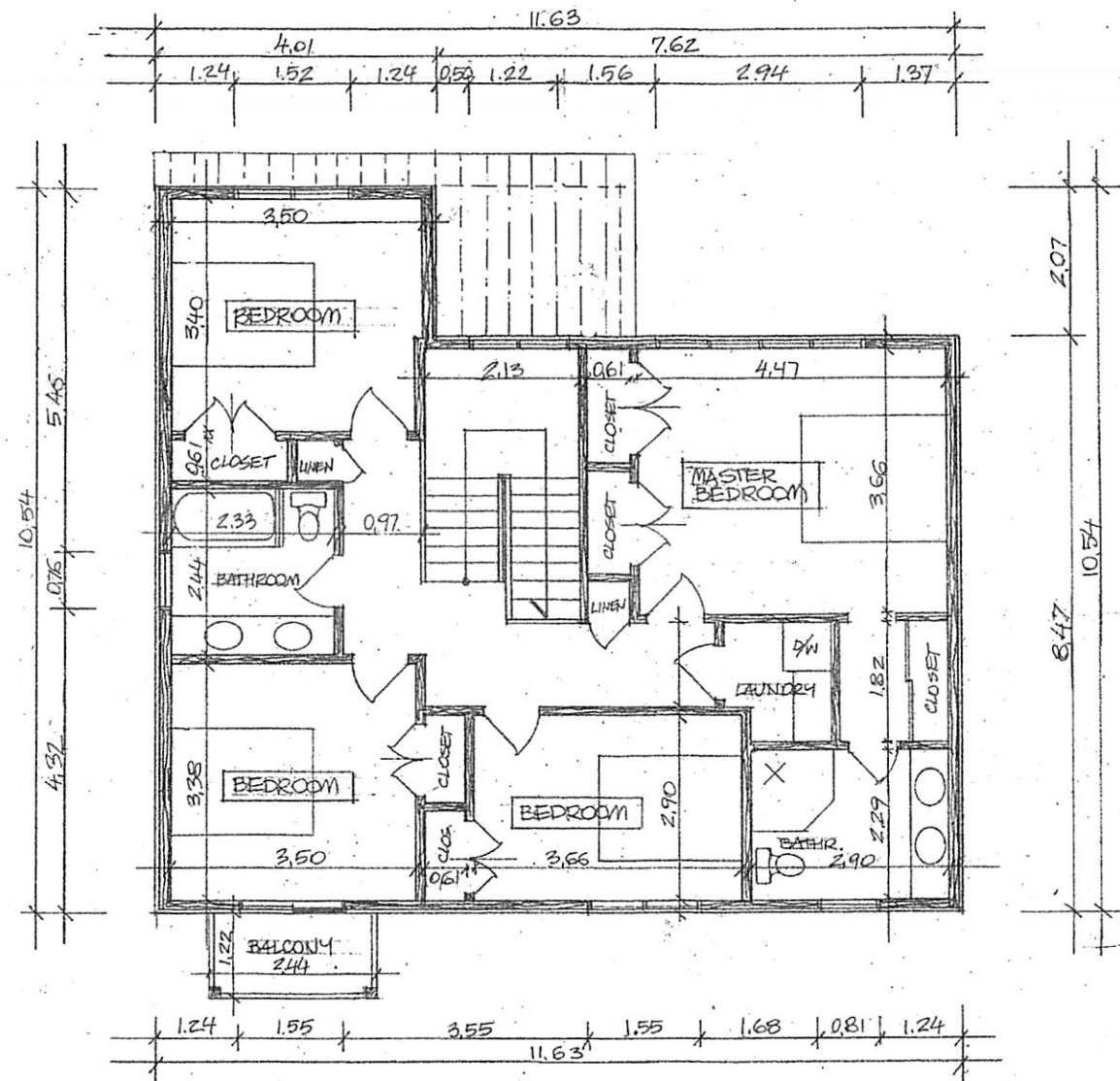
REVISIONS	AVA 21 2020		
ADDITION & ALTERATION			
SCALE: 1/8" = 1'-0"	APPROVED BY:	DRAWN BY:	
DATE: JAN 2019		REVISED:	
35 CAMPBELL DR. BRAMPTON			
BASEMENT PLAN			DRAWING NUMBER 42



GROUND FLOOR PLAN 1/50

REVISION 1  
SP19-017.000

REVISIONS	AUG 21 2020		
ADDITION & ALTERATION .....			
SCALE: 1/50	APPROVED BY:		DRAWN BY
DATE: JAN 2019			REVISED
35 CAMPBELL DR. BRAMPTON			
GROUND FLOOR PLAN			DRAWING NUMBER A3

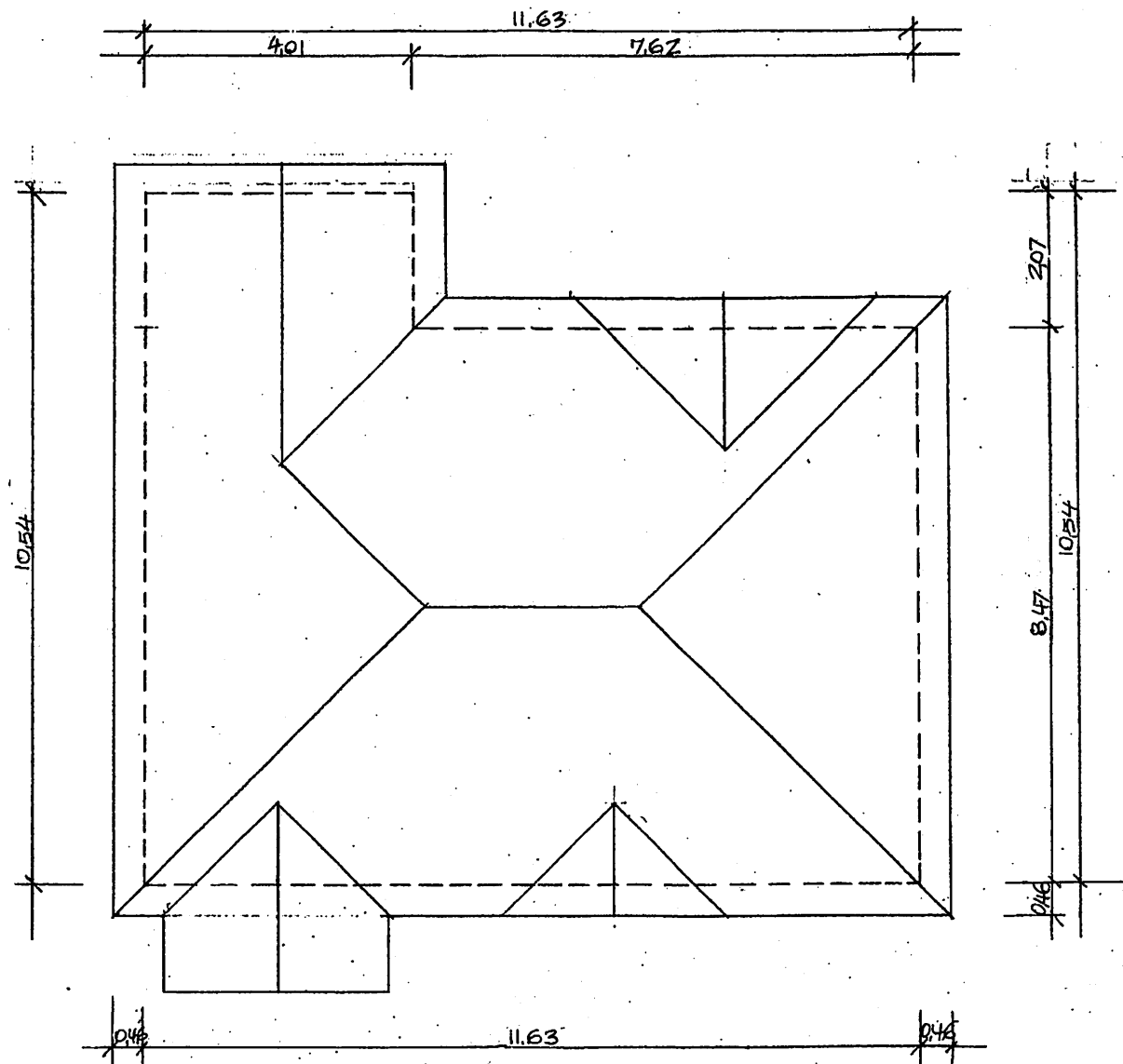


PROPOSED SECOND FLOOR PLAN 1/50

REVISION 1  
SP19-017.000

REVISIONS	AUG 21 2020		
ADDITION & ALTERATION			
SCALE 1/50	APPROVED BY:		DRAWN BY
DATE: JAN 2019			REVISED
35 CAMPBELL DR. BRAMPTON			
SECOND FLOOR PLAN			DRAWING NUMBER A4

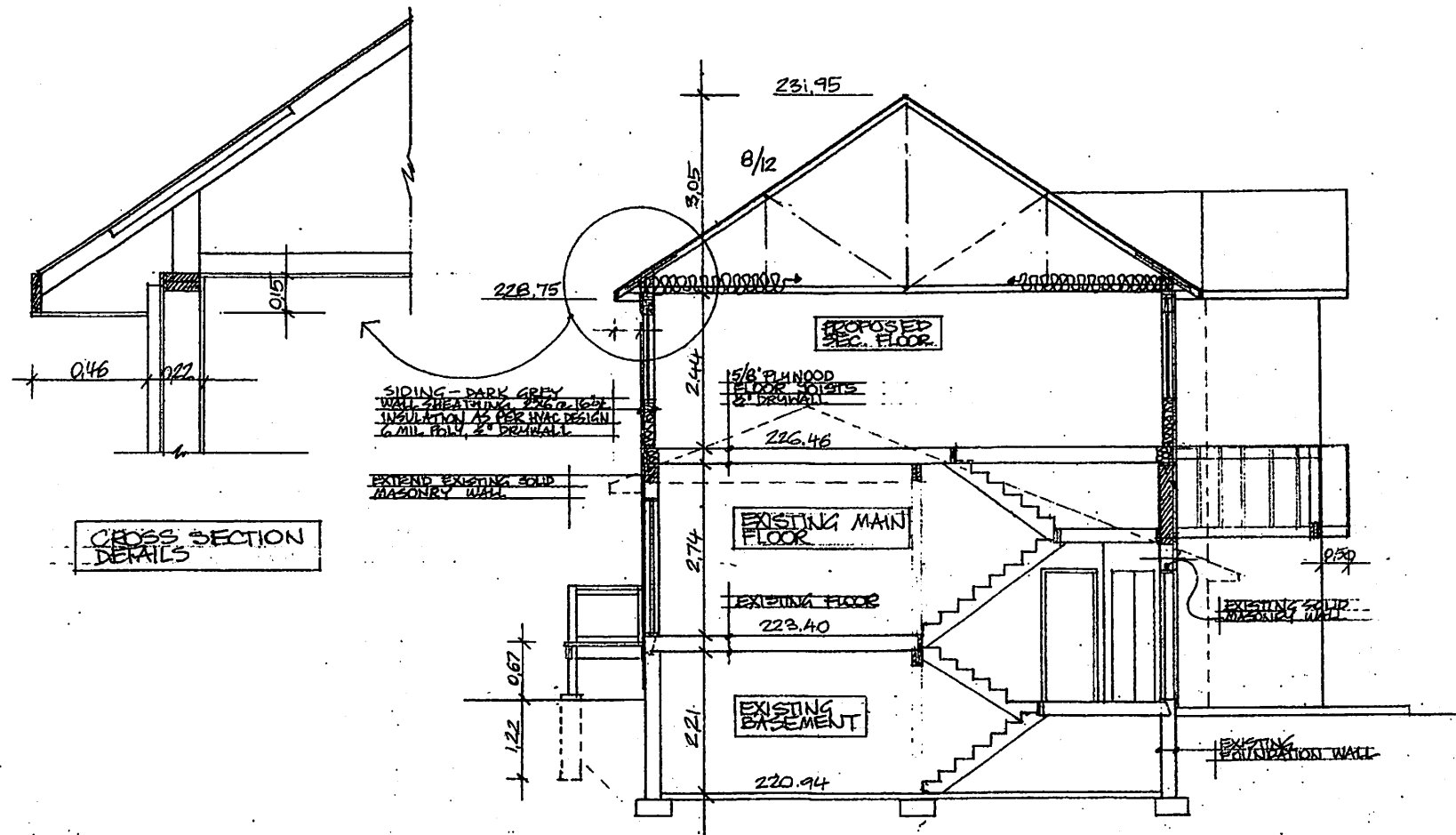




ROOF PLAN 1:50

REVISION 1  
SP19-017.000

REVISIONS	AUG. 21 2020		
ADDITION & ALTERATION			
SCALE: 1/2" = 1'-0"	APPROVED BY:		DRAWN BY:
DATE: JAN 2019			KEYING
35 CAMPBELL DR BRAMPTON			
ROOF PLAN			DRAWING NUMBER A5

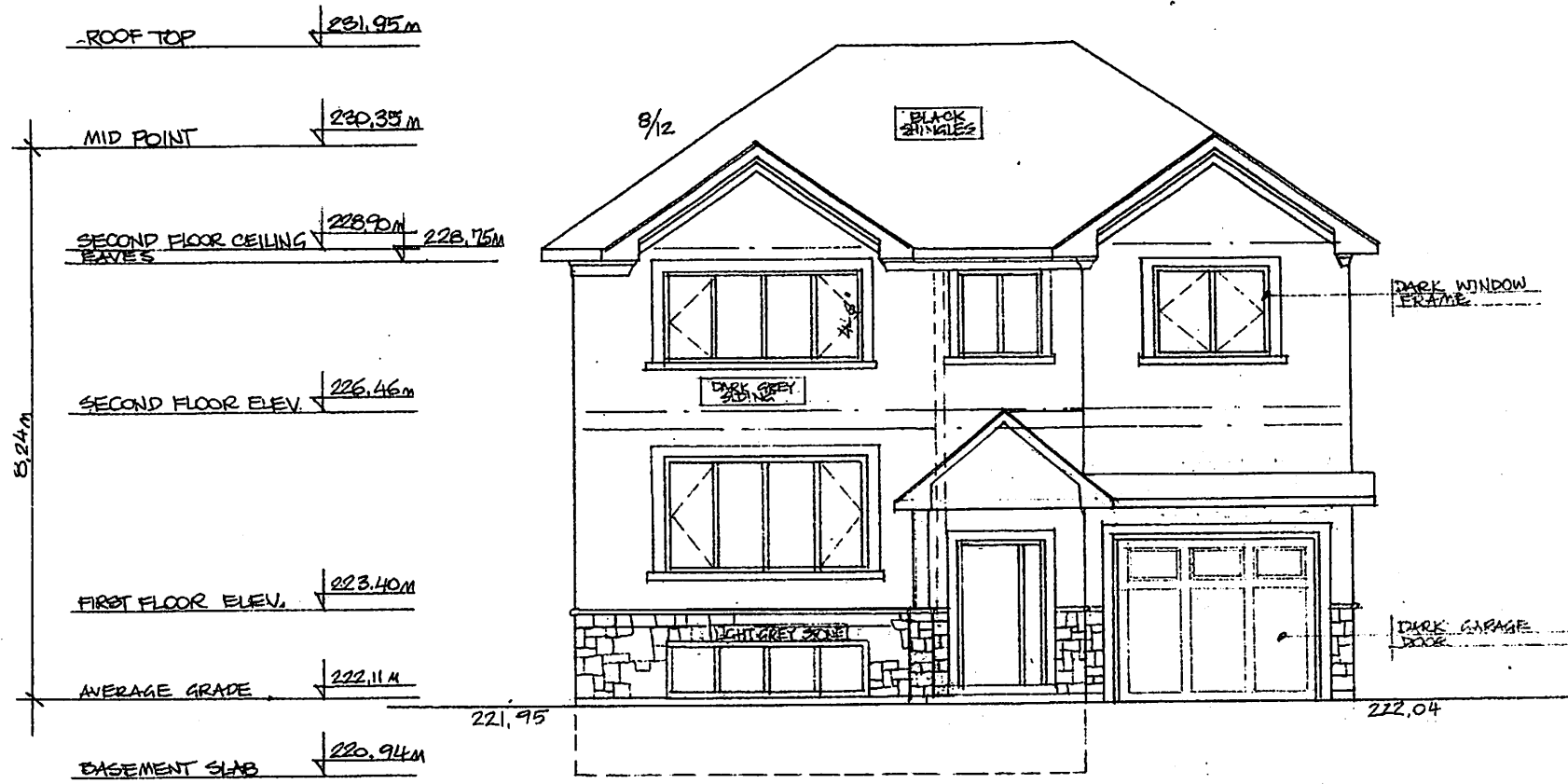


CROSS SECTION DETAILS

CROSS SECTION A-A 1/50

REVISION 1  
SP19-017.000

REVISIONS	AUG. 21 2020		
ADDITION & ALTERATION			
SCALE: AS SHOWN	APPROVED BY:		DRAWN BY
DATE: JAN 2019			REVISED
35 CAMPBELL DR BRAMPTON			
CROSS SECTION			DRAWING NUMBER A6

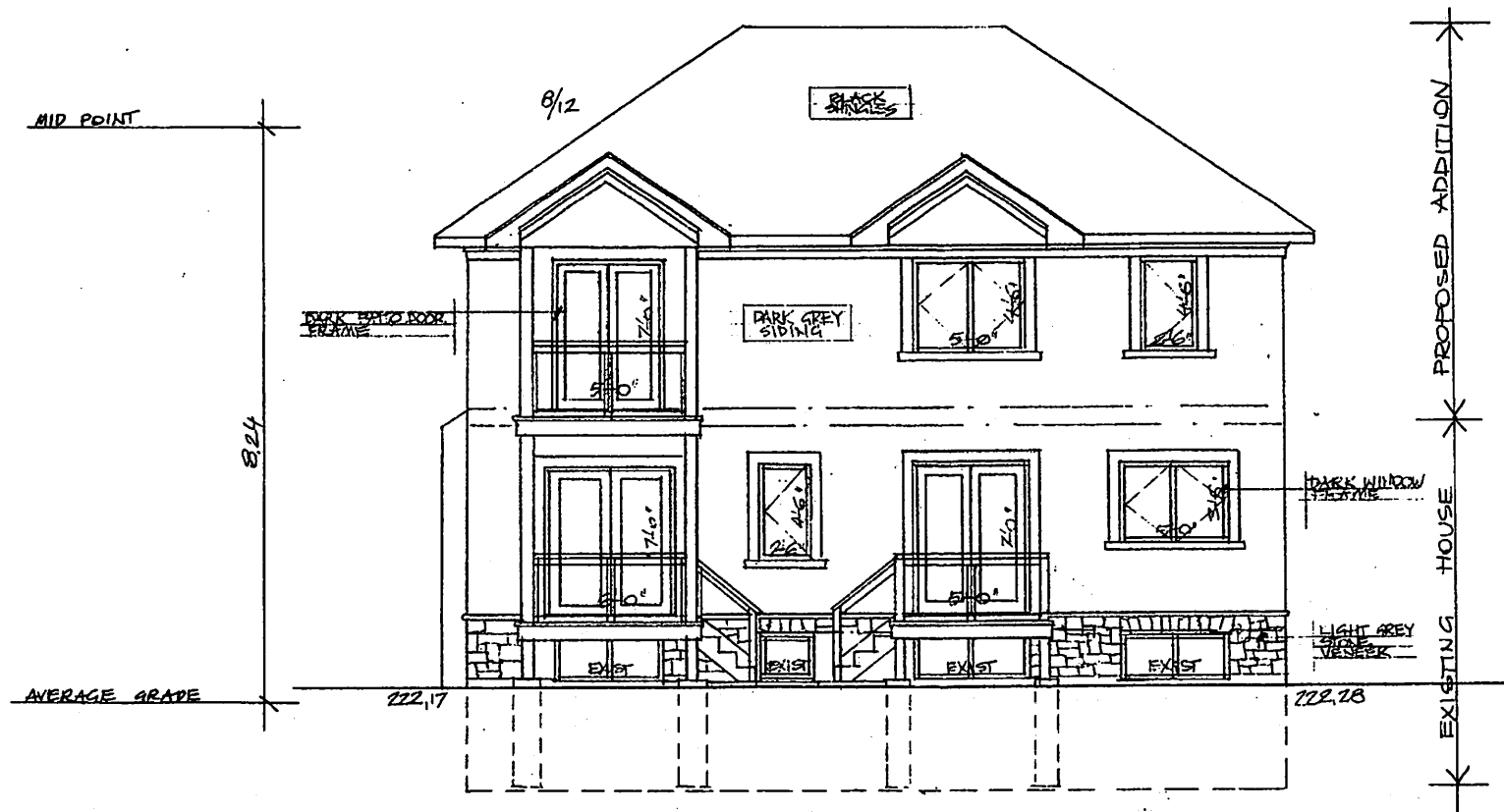


FRONT ELEVATION 1/50

REVISION 2  
SP19-017.000

REVISIONS	AUG 21 2020		
ADDITION & ALTERATION			
SCALE: 1/50	APPROVED BY:		DRAWN BY:
DATE JUN 2019			REVIEWED:
35 CAMPBELL DR. BRAMPTON			
FRONT ELEVATION			DRAWING NUMBER A7

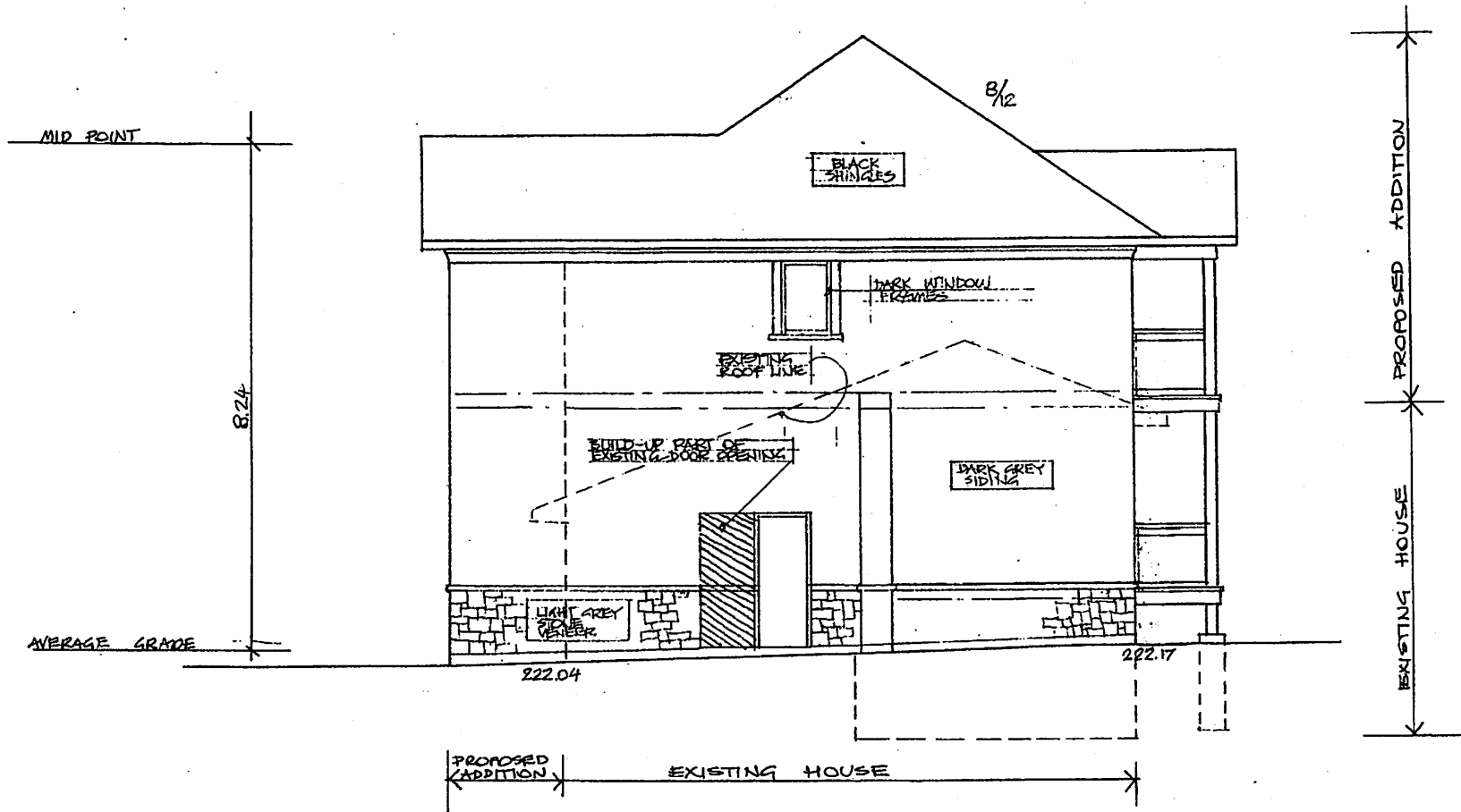




REAR ELEVATION 1:50

REVISION 2  
SPI9-017.000

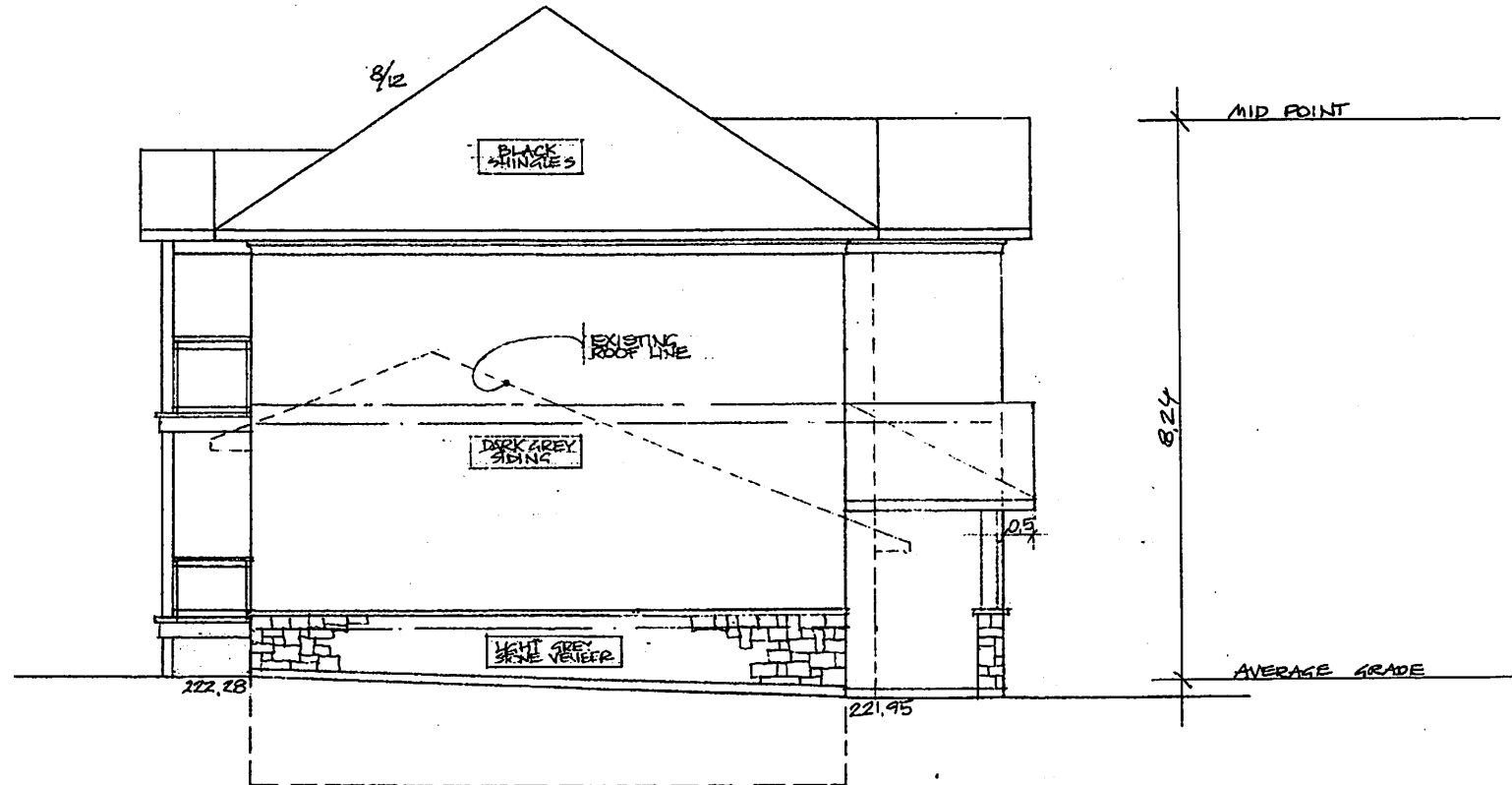
REVISIONS	AUG 21 2020		
ADDITION & ALTERATION			
SCALE: 1/50	APPROVED BY:		DRAWN BY
DATE: JAN. 2019			REVISED
35 CAMPBELL DR. BRAMPTON.			
REAR ELEVATION			DRAWING NUMBER A8



EAST SIDE ELEVATION 1/50

REVISION 1  
SP19-017.000

REVISIONS	AUG 21 2019		
ADDITION & ALTERATION			
SCALE: 1/50	APPROVED BY:		DRAWN BY
DATE: JAN 2019			REVISED
35 CAMPBELL DR. BRAMPTON			
EAST SIDE ELEVATION			DRAWING NUMBER A9



EAST SIDE ELEVATION 1/250

REVISION 4  
SP19-017000

REVISIONS	AUG. 21 2020		
ADDITION & ALTERATION			
SCALE: 1/250	APPROVED BY:		DRAWN BY
DATE: JAN 2019			REVISED
35 CAMPBELL DR. BRAMPTON			
EAST SIDE ELEVATION			DRAWING NUMBER A10



A-2021-0036

