

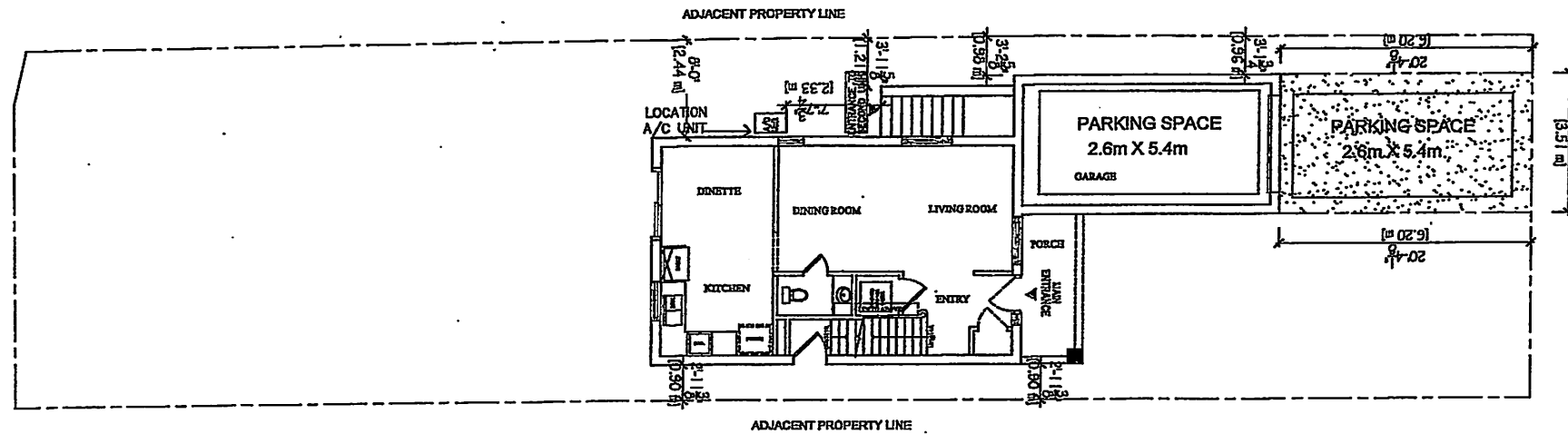


## Committee of Adjustment

## APPLICATION FOR MINOR VARIANCE

**Jeanie Myers, Secretary-Treasurer**  
Committee of Adjustment, City Clerk's Office,  
Brampton City Hall  
2 Wellington Street West,  
Brampton, Ontario L6Y 4R2  
Phone: (905)874-2117  
Fax: (905)874-2119  
[jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca)

REAR YARD PROPERTY LINE



CLEARVIEW CRT

GENERAL NOTES:  
-ALL EXISTING SITE CONDITIONS & ALL DIMENSIONS ON DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE BY CONTRACTOR. ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER/ENGINEER PRIOR TO COMMENCEMENT OF THE WORK.  
-ALL THE WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST VERSION OF ONTARIO BUILDING CODE.  
-ALL THE EXISTING DIMENSIONS TO THE ADJACENT EXISTING AND ADJACENT CONSTRUCTION.  
-IF EXISTING CONSTRUCTION IS DAMAGED DURING THE WORK, CONTRACTOR TO MAKE GOOD TO WORKER EXISTING.  
-DO NOT SCALE THE DRAWINGS.  
-THE DESIGN AND CONSTRUCTION OF THE WORK IS THE RESPONSIBILITY OF THE DESIGNER AND MAY NOT BE REPRODUCED, COPIED OR ADAPTED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

No. Date Revisions

18 FEB 2021



ADDRESS:-  
18 CLEARVIEW CRT  
BRAMPTON, ON, L6Z2B1  
PLAN M490 LOT 176

DRAWN BY: MH

DATE:

CHECKED BY: BJ

SCALE: 3/32" = 1'

DRAWING TITLE & NO.:

SITE PLAN

A-1

OUT OF THE BOX  
ENGINEERING INC.

7 ARCHWAY TRAIL  
BRAMPTON, ON.  
L6P 4E3

bhaskar@outoftheboxeng.com  
416-835-6620

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures**  
**How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

**How to Participate in the Hearing:**

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 25, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, March 25, 2021**.
  - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, March 26, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.





The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

## APPLICATION

## Minor Variance or Special Permission

(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) AMANDEEP SINGH/ HARMANPREET GHOTRA

Address 18 CLEARVIEW CRT. BRAMPTON, L6Z 2B1, ON

Phone # 647-402-6142

Fax # \_\_\_\_\_

Email harmankaurghotra@gmail.com/ amangbc@yahoo.com

2. Name of Agent BHASKAR JOSHI

Address 7 ARCHWAY TRAIL, BRAMPTON, L6P4E3, ON

Phone # 416-835-6620

Fax # \_\_\_\_\_

Email info@outoftheboxeng.com

3. Nature and extent of relief applied for (variances requested):

CITY OF BRAMPTON REQUIRES 1.2 METERS OF CLEAR PATHWAY ON RIGHT SIDE ALL THE WAY TO MAIN ENTRANCE(FOR SECOND UNIT)IN BACKYARD. HOWEVER THIS PROPERTY'S GARAGE REDUCES 1.2 M CLEAR PATHWAY TO 0.96M. HOME OWNER NEEDS RELIEF TO USE THAT 0.97M TO USE IT AS A PATHWAY TO BACKYARD.

4. Why is it not possible to comply with the provisions of the by-law?

CITY OF BRAMPTON REQUIRES 1.2 METERS OF CLEAR PATHWAY ON THE SIDE IN ORDER TO USE IT AS PATHWAY TO BACKYARD. HOWEVER THIS PROPERTY IS LACKING DUE TO GARAGE ON THE RIGHT SIDE.

5. Legal Description of the subject land:

Lot Number LOT 176

Plan Number/Concession Number PLAN M490

Municipal Address 18 CLEARVIEW CRT

6. Dimension of subject land (in metric units)

Frontage 6.2M

Depth 37.2

Area 75

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES** on the subject land: List all structures (dwelling, shed, gazebo, etc.)

IT IS TWO STOREY BUILDING  
BASEMENT FLOOR AREA-80.8M  
FIRST FLOOR AREA-75M  
SECOND FLOOR AREA-52.5M

**PROPOSED BUILDINGS/STRUCTURES** on the subject land:

WE ARE NOT PROPOSING ANYTHING NEW. WE ARE APPLYING FOR SECOND UNIT DWELLING.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback 6.2

Rear yard setback 15.6

Side yard setback 0.96 (RIGHT)

Side yard setback 0.9 (LEFT)

**PROPOSED**

Front yard setback 6.2

Rear yard setback 15.6

Side yard setback 0.96 (RIGHT)

Side yard setback 0.9 (LEFT)

10. Date of Acquisition of subject land: 26/4/18

11. Existing uses of subject property: SINGLE UNIT DWELLING

12. Proposed uses of subject property: SEOND UNIT DWELLING

13. Existing uses of abutting properties: RESIDENTIAL

14. Date of construction of all buildings & structures on subject land: 26/6/07

15. Length of time the existing uses of the subject property have been continued: 13

16. (a) What water supply is existing/proposed?

Municipal ☒

Well ☐

Other (specify) \_\_\_\_\_

- (b) What sewage disposal is/will be provided?

Municipal ☒

Septic ☐

Other (specify) \_\_\_\_\_

- (c) What storm drainage system is existing/proposed?

Sewers ☒

Ditches ☐

Swales ☐

Other (specify) \_\_\_\_\_

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

|              |                |              |
|--------------|----------------|--------------|
| File # _____ | Decision _____ | Relief _____ |
| File # _____ | Decision _____ | Relief _____ |
| File # _____ | Decision _____ | Relief _____ |

B. JOSHI

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY \_\_\_\_\_ OF \_\_\_\_\_

B3 THIS 3 DAY OF MARCH, 2021

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, BHASKAR JOSHI, OF THE CITY \_\_\_\_\_ OF \_\_\_\_\_

IN THE REGION \_\_\_\_\_ OF \_\_\_\_\_ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY \_\_\_\_\_ OF \_\_\_\_\_

IN THE REGION \_\_\_\_\_ OF \_\_\_\_\_

PEEL THIS 23RD DAY OF

FEBRUARY, 2021

April Dela Cerna  
A Commissioner etc.

John B3

B. JOSHI

Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R3A(1) - 174

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

HOTHU S.

Zoning Officer

MARCH 02 2021

Date

DATE RECEIVED MARCH 2, 2021

Date Application Deemed Complete by the Municipality March 2, 2021

Revised 2020/01/07

April Dela Cerna, ad.  
a Commissioner, etc.,  
Province of Ontario,  
for the Corporation of the  
City of Brampton.  
Expires May 8, 2021.



# PLAN SHOWING BUILDING LOCATIONS LOTS 175, 176, 177, 178 AND 179, PLAN 43M-490 CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEL

SCALE 1:300



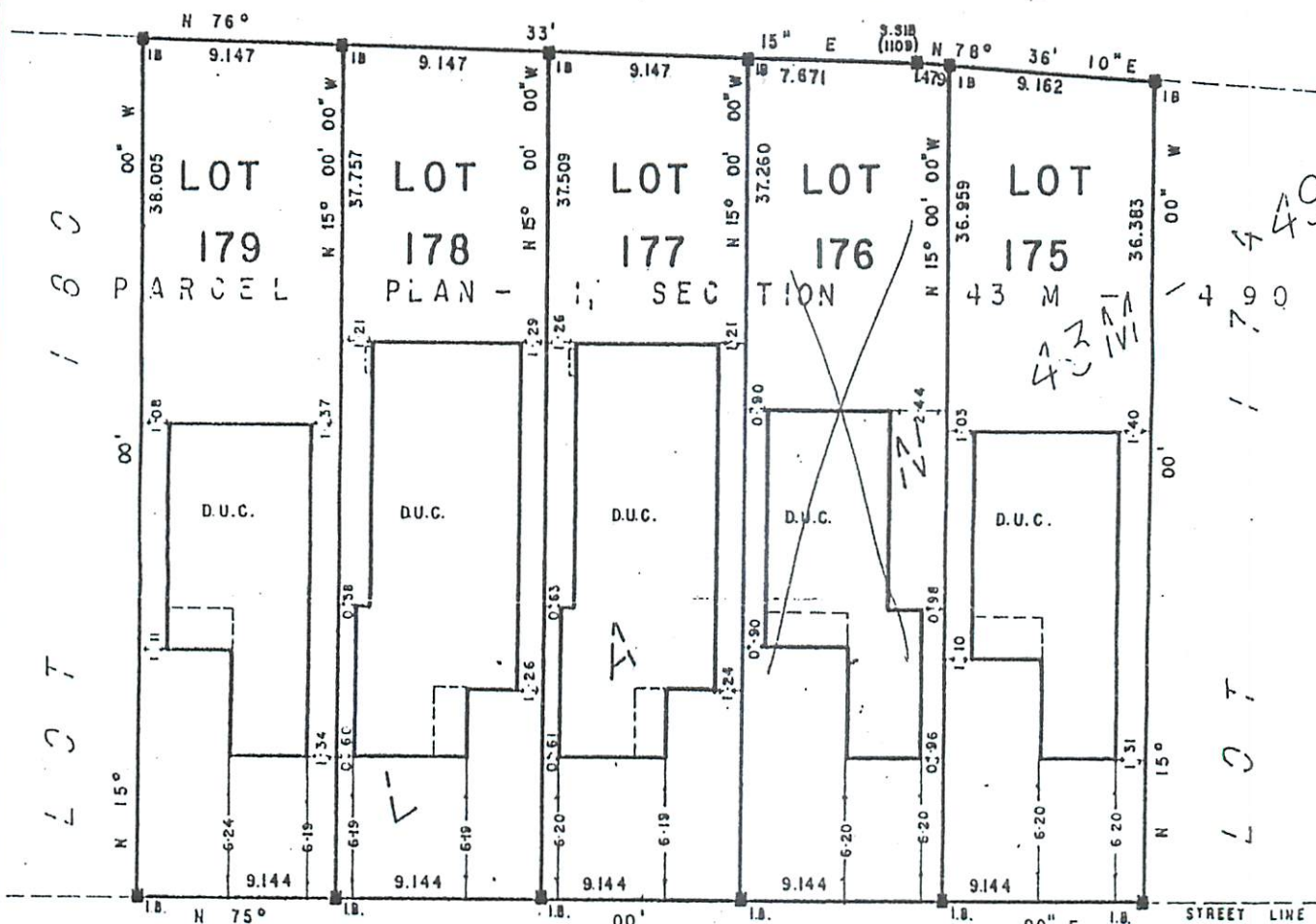
J. RADY-PENTEK O.L.S., 1983

## METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE  
CONVERTED TO FEET BY DIVIDING BY 0.3048

DOCUMENTS RELEASED PURSUANT TO A REQUEST  
UNDER THE  
MUNICIPAL FREEDOM OF INFORMATION AND  
PROTECTION OF PRIVACY ACT R.S.O. 1996. 186  
COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE  
USE AND REPRODUCTION OF THESE DOCUMENTS

*B L O C K 1 B 5*  
PARCEL PLAN- 2, SECTION 43 M - 490



*P*

CLEARVIEW

COURT

## NOTE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTH LIMIT  
OF CLEARVIEW COURT AS SHOWN ON PLAN 43M-490 HAVING A  
BEARING OF N76° 00' 00"E

D.U.C. DENOTES DWELLING UNDER CONSTRUCTION  
S.S.I.B. DENOTES SHORT STANDARD IRON BAR  
I.B. DENOTES IRON BAR  
■ DENOTES FOUND  
1109 DENOTES B. I. McMURCHY, O.L.S.  
ALL FOUND MONUMENTS BY HOLDING & JONES LTD., O.L.S.  
UNLESS OTHERWISE SPECIFIED

## SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS  
COMPLETED ON THE 21<sup>st</sup> DAY OF MARCH, 1983

DATE: MARCH 24<sup>th</sup>, 1983

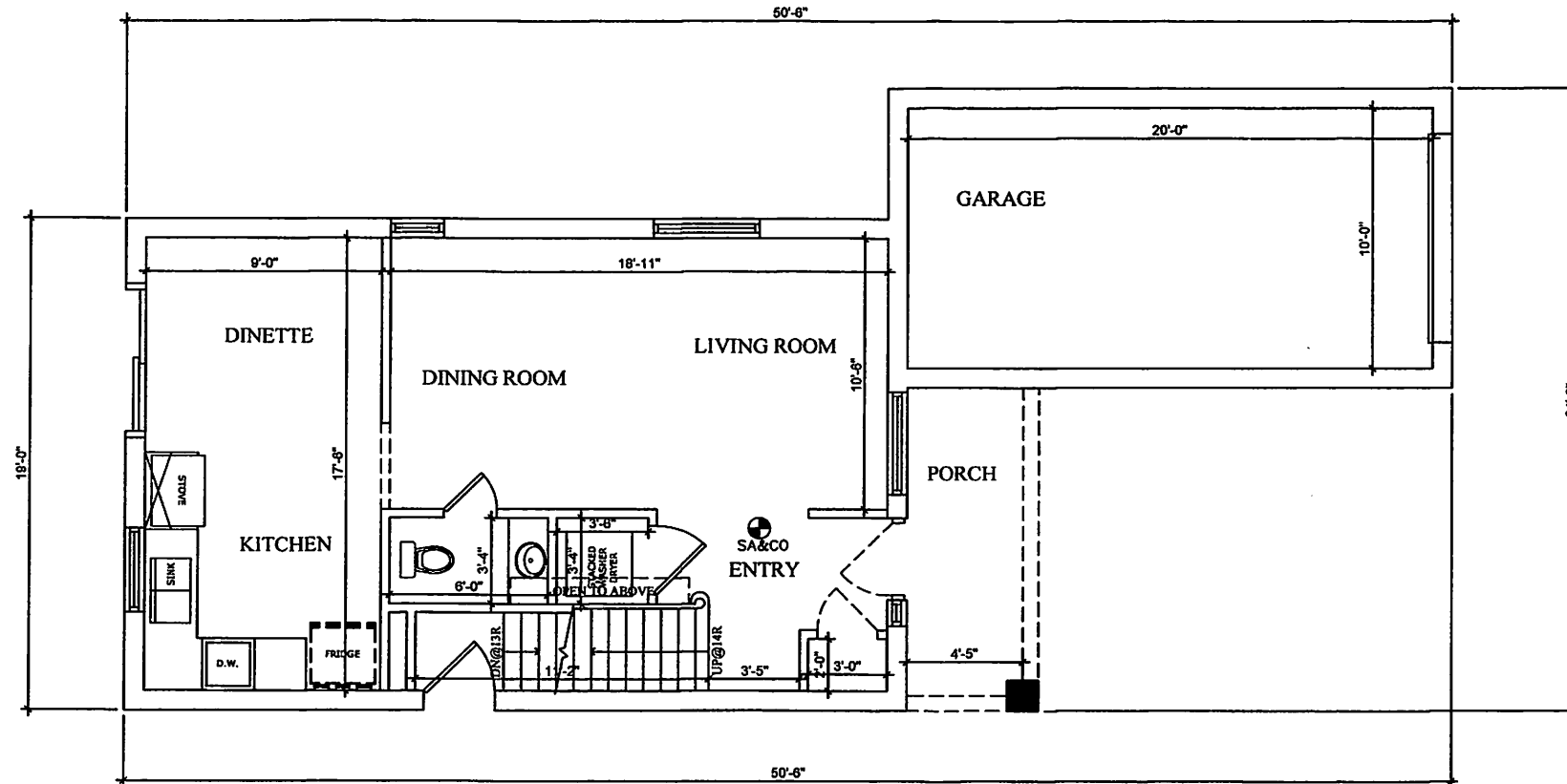
*J. Radys-Pentek*  
J. RADY-PENTEK  
ONTARIO LAND SURVEYOR

JOSEPH- RADY-PENTEK LTD.  
ONTARIO LAND SURVEYOR  
678 SHEPPARD AVE. W., DOWNSVIEW ONT.  
635-5886









GENERAL NOTES:  
 -ALL DIMENSIONS ARE GIVEN IN FEET AND INCHES. DIMENSIONS OF FINISHES MUST BE CHECKED AND VERIFIED ON SITE BY CONSTRUCTOR. ANY VARIATIONS OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER/OWNER PRIOR TO COMMENCEMENT OF THE WORK.  
 -ALL THE WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST VERSION OF CANADIAN BUILDING CODE.  
 -ALL FIRE SAFETY SYSTEMS TO BE ADDED DURING AND AFTER CONSTRUCTION.  
 -IF EXISTING CONSTRUCTION IS DAMAGED DURING THE WORK, CONSTRUCTOR TO MAKE GOOD TO MATCH EXISTING.  
 -DO NOT SCALE THE DRAWINGS.  
 -THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE DESIGNER AND MAY NOT BE REPRODUCED, REUSED OR ALTERED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

| No. | Date | Revisions |
|-----|------|-----------|
|     |      |           |
|     |      |           |
|     |      |           |

18 FEB 2021

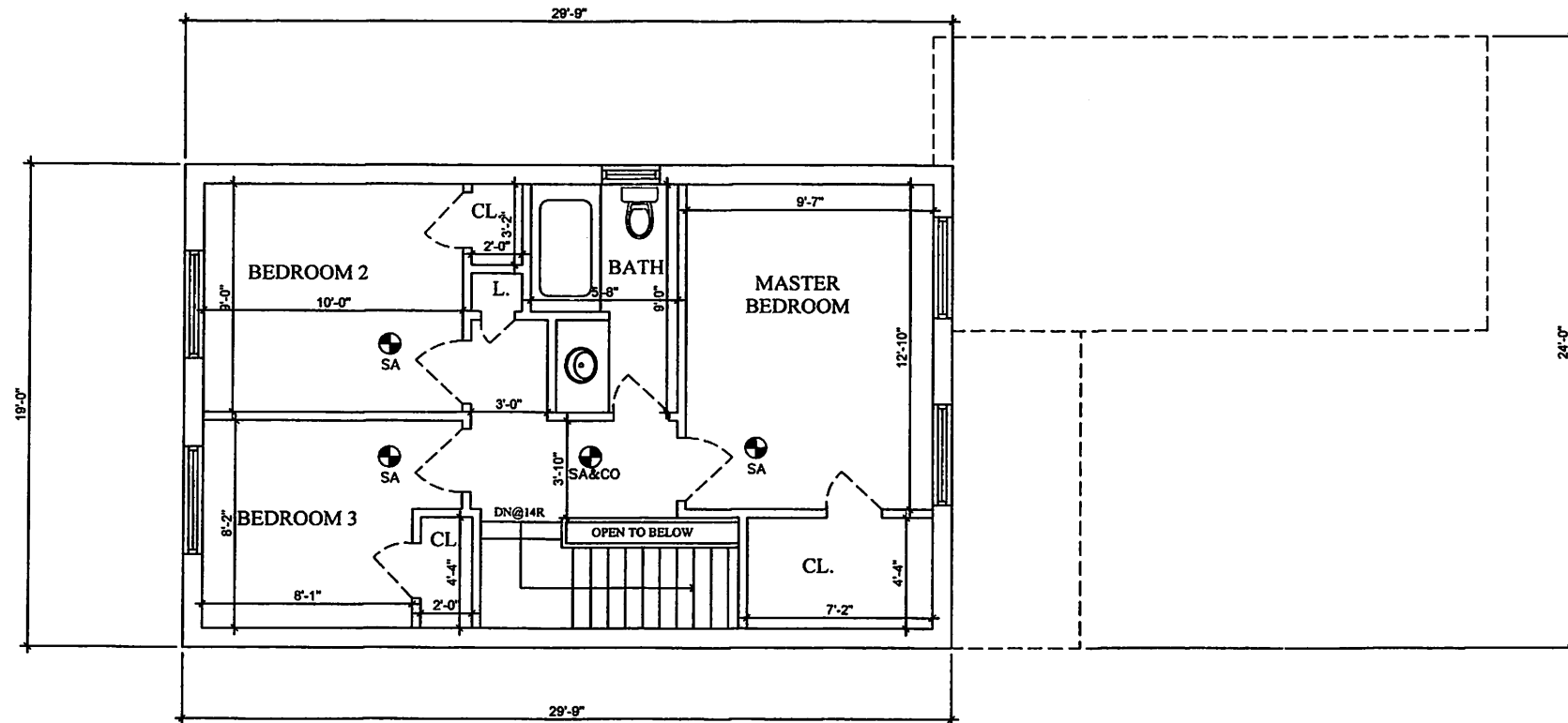


ADDRESS:-  
 18 CLEARVIEW CRT  
 BRAMPTON, ON, L6Z2B1  
 PLAN M490 LOT 176

|             |    |        |            |
|-------------|----|--------|------------|
| DRAWN BY:   | MH | DATE:  |            |
| CHECKED BY: | BJ | SCALE: | 3/16" = 1' |

DRAWING TITLE & NO.:  
 FIRST FLOOR PLAN **A-3**

OUT OF THE BOX  
 ENGINEERING INC.  
 7 ARCHWAY TRAIL  
 BRAMPTON, ON.  
 L6P 4E3  
 bhaskar@outoftheboxeng.com  
 416-835-6620



GENERAL NOTES:  
 -ALL EXISTING SITE CONDITIONS & ALL DIMENSIONS ON DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE BY CONTRACTOR. ANY DISCREPANCIES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER/OWNER PRIOR TO COMMENCEMENT OF THE WORK.  
 -ALL THE WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST VERSION OF CHICAGO BUILDING CODE.  
 -ALL THE SAFETY SYSTEM TO BE ACTIVE DURING AND AFTER CONSTRUCTION.  
 -IF EXISTING CONSTRUCTION IS DAMAGED DURING THE WORK, CONTRACTOR TO MAKE GOOD TO MATCH EXISTING.  
 -DO NOT SCALE THE DRAWINGS.  
 -THE DESIGN AND CONSTRUCTION CONDITIONS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE REPRODUCED, REPRODUCED OR ALTERED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

| No | Date | Revisions |
|----|------|-----------|
|    |      |           |
|    |      |           |
|    |      |           |

18 FEB 2021



ADDRESS:-  
 18 CLEARVIEW CRT  
 BRAMPTON, ON, L6Z2B1  
 PLAN M490 LOT 176

|                |                   |
|----------------|-------------------|
| DRAWN BY: MH   | DATE:             |
| CHECKED BY: BJ | SCALE: 3/16" = 1' |

DRAWING TITLE & NO.:  
 SECOND FLOOR PLAN A-4

OUT OF THE BOX  
 ENGINEERING INC.  
 7 ARCHWAY TRAIL  
 BRAMPTON, ON.  
 L6P 4E3  
 bhaskar@outoftheboxeng.com  
 416-835-6620





RIGHT SIDE ELEVATION

SCALE 3/16" = 1'

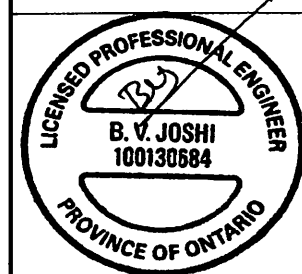
ALLOWABLE UNPROTECTED OPENINGS

|                                                  |                       |
|--------------------------------------------------|-----------------------|
| WALL AREA                                        | 557.2 SF              |
| ALLOWABLE WINDOW AREA<br>@7% (4.00 FT. SIDEYARD) | 39 SF                 |
| ACTUAL WINDOW AREA                               | 29.5 SF ( GLASS AREA) |

GENERAL NOTES  
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-IF EXISTING CONSTRUCTION IS DAMAGED DURING THE WORK, CONTRACTOR TO MAKE GOOD TO MATCH EXISTING.  
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No Date Revisions

18 FEB 2021



ADDRESS:-  
18 CLEARVIEW CRT  
BRAMPTON, ON, L6Z2B1  
PLAN M490 LOT 176

DRAWN BY: MJH DATE:  
CHECKED BY: BJH SCALE: 3/16" = 1'

DRAWING TITLE & NO.:  
RIGHT SIDE ELEVATION A-6

OUT OF THE BOX  
ENGINEERING INC.  
7 ARCHWAY TRAIL  
BRAMPTON, ON.  
L6P 4E3  
bhaskar@outoftheboxeng.com  
416-835-6620

WALL ASSEMBLIES :

- P1

EXISTING EXTERIOR WALL CONSTRUCTION TYPE A  
1/2" GYPSUM BOARD  
2" X4" WOOD STUD AT 16"O.C.  
1 INCH AIRSPACE  
EXISTING R12 ROLLED BATT INSULATION  
EXISTING VAPOUR BARRIER  
EXISTING 8" CONCRETE WALL  
EXISTING DAMP PROOFING PAPER
- P2

1/2" GYPSUM BOARD  
2" X4" WOOD STUD AT 16"O.C.  
1/2" GYPSUM BOARD
- P3

WALL TYPE (PROPOSED) 30 MIN FIRE SEPERATION  
1/2" GYPSUM BOARD  
2" X4" WOOD STUD AT 16"O.C.  
3 1/2" ROXULL SAFE "N" SOUND INSULATION  
1/2" GYPSUM BOARD

NOTES:-

- DUCT TYPE

DU

A DUCT-TYPE SMOKE DETECTOR
- SC

STEEL SUPPORT COLUMN
- L

ELECTRICAL LIGHTING OUTLET
- CSW

CONTROL SWITCH
- LED

LED ELECTRICAL LIGHTING OUTLET
- 3WS

THREE WAY CONTROL SWITCH
- MECH

MECHANICAL VENTILATION OR EXHAUST FAN
- NFS

NEW FIRE SPRINKLER HEAD (2 NUMBER)
- SA&CO

INTERCONNECTED SMOKE ALARM,  
CARBON MONOXIDE ALARM, STROBE LIGHT
- SA

INTERCONNECTED SMOKE ALARM AND  
STROBE LIGHT
- HEAT OR

(S / A) THIS SYMBOL IS FOR HEATING SUPPLY AIR  
OUTLET
- RA

(R/A) THIS SYMBOL IS FOR RETURN AIR GRILLS
- RA

(R/A) THIS SYMBOL IS FOR RETURN AIR GRILLS  
WITH FIRE DAMPER, USE WHEN USED IN FIRE SEPERATION
- EL

EMERGENCY LIGHT WITH BATTERY BACK UP 4 HRS

CEILING:-

- C

ALL CEILING 1/2" GYPSUM BOARD  
PROVIDE MINIMUM 15 MIN. HORIZONTAL FIRE SEPARATION  
\* ENSURE MINIMUM 15 MINUTES FIRE SEPARATION AROUND ALL  
STRUCTURE COLUMNS AND BEAMS
- D

LED LIGHTS IN FIRE SEPARATION ARE REQUIRED TO BE PROTECTED  
WITH ROXULL SAFE "N" SOUND INSULATION
- E

LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN,  
BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM  
BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM  
BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCH  
RECEPTACLE MAY BE PROVIDED INSTEAD OF LIGHT IN BEDROOMS AND  
LIVING ROOMS.

WOOD MEMBERS TO BE IN CONTACT WITH CONCRETE TO BE  
PROTECTED FROM DECAY AND DAMPNESS WITH MIN.  
0.05 MM POLYETHYLENE FILM OR TYPE"S" ROLL  
ROOFING AS PER OBC DIV "B" 9.23.2.2 AND 9.23.2.3

- GR

THE RETURN AIR GRILL SHALL BE INSTALLED NEAR THE FLOOR  
LEVEL (HRAI REQ'S). UNDERCUT BY 1" THE DOOR TO ANY ROOM  
WITH OUT RETURN GRILL
- MECH

INSTALL MECHANICAL VENTILATION PER OBC DIV B 9.32.1.3(3) REQ'S.  
EXHAUST FAN SHALL DISCHARGE DIRECTLY TO OUTSIDE.  
SEPARATE ANY INTAKE FROM BUILDING ENVELOP PENETRATIONS  
THAT ARE POTENTIAL SOURCES OF CONTAMINANTS( GAS VENTS,  
OIL FILL PIPES, ETC, BY MIN 900MM ( 2FT 11 IN)
- GR

ENSURE ADEQUATE VENTILATION AND COMBUSTION AIR FOR THE  
OPTIMUM OPERATION OF THE FURNACE, PER MANUFACTUR'S  
RECOMMENDATIONS.

GENERAL NOTES - APPLY TO ALL SHEETS  
1.0) IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL OF THE CONSTRUCTION  
CONFIRMS TO THE REQUIREMENTS OF THE LATEST VERSION OF THE ONTARIO BUILDING CODE.  
2.0) IF ANY DISCREPANCIES FOUND IN DRAWING, IT IS CONTRACTOR'S RESPONSIBILITY TO  
INFORM ARCHITECT/ENGINEER BEFORE PROCESSING WORK.  
3.0) CONTRACTOR TO CAREFULLY EXAMINE ALL EXISTING SITE CONDITIONS AND BUILDING  
COMPONENTS, ALONG WITH ALL DIMENSIONS WHICH MAY AFFECT PROPER EXECUTION OF WORK. SO THAT A CLEAR AND  
COMPREHENSIVE TO REMAIN UNDERSTANDING OF THE SCOPE OF WORK IS ACHIEVED.  
4.0) WHERE EXISTING CONSTRUCTION IS DAMAGED BY CONTRACTOR'S DEMOLITION WORK,  
THE CONSTRUCTION MUST BE REPAIRED TO MATCH EXISTING.  
5.0) DIMENSION INDICATING EXISTING CONSTRUCTION IS FOR REFERENCE ONLY CONTRACTOR TO VERIFY DIMENSIONS AT  
FIELD THAT AFFECT WORK.

\*THE FIRE SPRINKLER SYSTEM SHALL BE A FLOW THROUGH  
SYSTEM WITH A MINIMUM 3/4" COPPER PIPE CONNECTED  
TO AT LEAST A 3/4" COPPER WATER PIPE OR DIRECTLY AFTER  
WATER METER OR 3/4" PEX.  
SPRINKLER SHALL BE DESIGNED FOR RESIDENTIAL USE  
\*SMOKE ALARMS SHALL BE INTERCONNECTED AND HAVE  
A VISUAL SIGN

- F

PROVIDE MINIMUM 30 FIRE SEPARATION UNDER STAIR  
(REFER O.B.C. SB-2, TABLE 2.3.12)  
USE 2 QUANTITY 5/8" GYPSUM BOARD

LINTEL SCHEDULES:-

| LINTEL NO. | HEADER    | STEEL ANGLE FOR BRICK/STONE VENEER SUPPORT |
|------------|-----------|--------------------------------------------|
| L1         | 2-2" X 8" | 3 1/2" X 3 1/2" X 1/4" STEEL ANGLE         |
| L2         | 2-2" X 6" | 3 1/2" X 3 1/2" X 1/4" STEEL ANGLE         |

NOTE: PROVIDE MIN 6" BEARING OF LINTEL AT B/S OF WALL

GENERAL NOTES:  
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CONSTRUCTION.  
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WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

18 FEB 2021



ADDRESS:-

18 CLEARVIEW CRT  
BRAMPTON, ON, L6Z2B1  
PLAN M490 LOT 176

DRAWN BY: BJ DATE:  
CHECKED BY: BJ SCALE: 3/16" = 1'

DRAWING TITLE & NO. :  
SCHEDULE AND NOTES A-8

OUT OF THE BOX  
ENGINEERING INC.  
7 ARCHWAY TRAIL  
BRAMPTON, ON.  
L6P 4E3  
bhaskar@outoftheboxeng.com  
416-835-6620

