



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **HIREN ANIRUDHBHAI AKBARI AND MEENAKSHI ADIWAL** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Block 5, Plan M-1446, Parts 23, 24 and 25, Plan 43R-27755 municipally known as **146 BIG MOE CRESCENT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a below grade entrance to be located between the main wall of the dwelling and the flankage lot line whereas the by-law does not permit a below grade entrance between the main wall of the dwelling and the flankage lot line;
2. To permit an existing accessory structure (shed) to be located in the exterior side yard whereas the by-law does not permit an accessory structure to be located in the exterior side yard.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 30, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

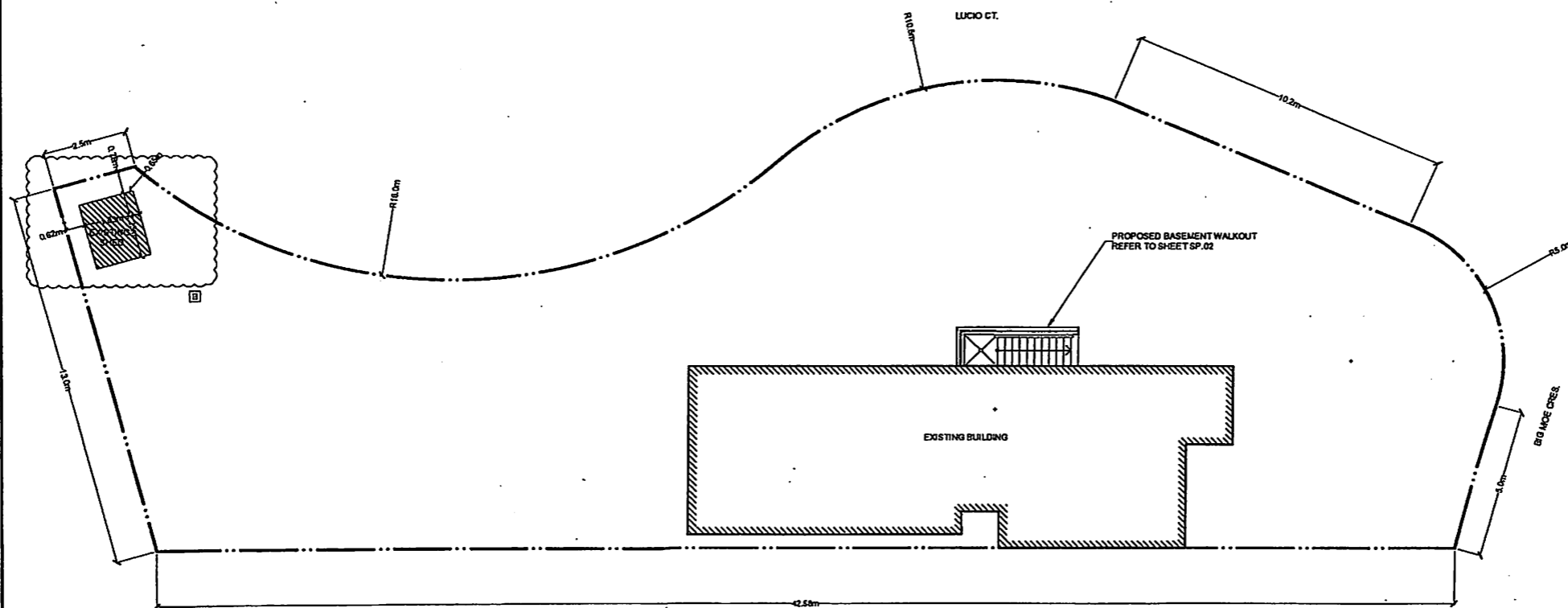
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 18th day of March, 2021.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall
2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



1	SITE PLAN
SP1.01	1:100



"DO NOT SCALE"
CONTRACTOR MUST VERIFY ALL INFORMATION
PRIOR TO COMMENCEMENT OF THE WORK. ALL
DRAWINGS & SPECIFICATIONS ARE PROPERTY OF
CH2M HILL, INC. AND MUST BE RETURNED UPON
COMPLETION OF THE WORK. DRAWINGS ARE NOT
TO BE USED FOR OTHER PROJECTS WITHOUT THE
WRITTEN CONSENT OF THE DESIGNER.

C	SUBMITTED FOR PERMIT	AC	INCL.
B	SUBMITTED FOR PERMIT	AC	INCL.
A	SUBMITTED FOR PERMIT	AC	INCL.
DATA	INTERPRETATION	IN	INCL.
STATUS	SUBMITTED FOR PERMIT		

STATUS	SUBMITTED FOR PERM
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ORANA
DRAFTING
A DIVISION OF ORANA INC.

CURRENT: HIREN (JAY 5)

MR 146 BIG MOE CRESCENT
BRAMPTON, ON L6P 1K1

SITE PLAN

DATE: 01.03.2021	DRAWN: SA	CHECKED: DS
20-98	SP1.01	6

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures
How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 25, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 25, 2021**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, March 26, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

March 18, 2021

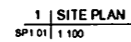
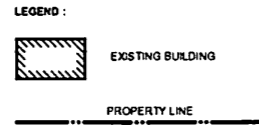
To: Committee of Adjustment

RE: APPLICATION FOR MINOR VARIANCE
HIREN ANIRUDHBHAI AKBARI AND MEENASKSHI ADIWAL
PAR TO F BLOCK 5, PLAN M-1446
PARTS 23 AND 25, PLAN 43R-27755
A-2020-0047- 146 BIG MOE CRESCENT
WARD 10

Please **amend** application **A-2021-0047** to reflect the following variance(s):

1. To permit a below grade entrance to be located between the main wall of the dwelling and the flankage lot line whereas the by-law does not permit a below grade entrance between the main wall of the dwelling and the flankage lot line;
2. To permit an existing accessory structure (shed) to be located in the exterior side yard whereas the by-law does not permit an accessory structure to be located in the exterior side yard.


Applicant/Authorized Agent



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PRIOR TO COMMENCEMENT OF THE WORK. ALL
DRAWINGS & SPECIFICATIONS ARE PROPERTY OF
ORAMA, INC. AND MUST BE RETURNED UPON
COMPLETION OF THE WORK. DRAWINGS ARE NOT
TO BE USED FOR OTHER PROJECTS WITHOUT THE
WRITTEN CONSENT OF THE DESIGNER.

C	SUBMITTED FOR PERMIT	AC	04-08-23
B	SUBMITTED FOR PERMIT	AC	03-05-23
A	SUBMITTED FOR PERMIT	AC	03-04-23
DATE	DESCRIPTION/PROJECT	BY	DATE
03-04-23	SUBMITTED FOR PERMIT		



CLIENT: HIREN (JAY 5)

1.2	146 BIG MOE CRESCENT BRAMPTON, ON L6P1K1
TITLE	SITE PLAN

1.100 20-98	01.03.2021 SP1.01	EA B	06
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The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION**Minor Variance or Special Permission**

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) Akbari Hiren Anirudhbhai and Adiwal Meenakshi
Address 146 Big Moe Cres. Brampton L6P 1K1

Phone # 647-703-1346 Fax # _____
Email info@orana.ca

2. Name of Agent Ella Agranov SIMRANDEEP SINGH SANDOTA
Address 4415 Bathurst st. Unit 512, Toronto M3H 3S1

Phone # 647-703-1346 Fax # _____
Email permits@orana.ca

3. Nature and extent of relief applied for (variances requested):

To permit a below grade entrance to be located between the main wall of the dwelling and the flankage lot line whereas the by-law does not permit a below grade entrance between the main wall of the dwelling and the flankage lot line.

4. Why is it not possible to comply with the provisions of the by-law?

The back yard should serve the ground floor unit and therefore the walkout to the basement unit should be from the side yard.

5. Legal Description of the subject land:
Lot Number Part of Block 5, Plan 43M-1446, Parts 22, 24 and 25, Plan 43R-27755
Plan Number/Concession Number _____
Municipal Address 146 Big Moe Cres. City of Brampton- L6P 1K1

6. Dimension of subject land (in metric units)
Frontage 12.3m
Depth 42.6m
Area 545.8 sq m

7. Access to the subject land is by:
Provincial Highway ☐ Seasonal Road ☐
Municipal Road Maintained All Year ☒ Other Public Road ☐
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Freehold Townhouse
Basement floor area- 63.8 m2
Ground floor area= 61.29
2nd floor area= 69.9 m2
GFA= 63.8+61.29+69.9=195 m2
+portable shed at the backyard of 4.5m2

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Basement walkout stairs and roof.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 7.58m
Rear yard setback 17.44m
Side yard setback 4.53m
Side yard setback 0

PROPOSED

Front yard setback 7.58m
Rear yard setback 17.44m
Side yard setback 4.53m
Side yard setback 0

10. Date of Acquisition of subject land: Oct 15th, 2014
11. Existing uses of subject property: Single residential dwelling unit
12. Proposed uses of subject property: Two residential dwelling units
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: Dec 10th, 2002
15. Length of time the existing uses of the subject property have been continued: 19 Years
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Ella Agronov OBO Orana Inc.
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 26 DAY OF February March 2021

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Ella Agronov SIMRANDEEP SAPPOTA OF THE CITY OF TORONTO

IN THE _____ OF _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 2nd DAY OF
March, 2021

April Dela Cerna
A Commissioner etc.

Simrandeep Sappota
Ella Agronov
Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation:

R3B-1665

Present Zoning By-law Classification:

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

[Signature]
Zoning Officer

March 3, 2021
Date

DATE RECEIVED March 02, 2021

Date Application Deemed Complete by the Municipality March 3, 2021

Revised 2020/01/07

April Dela Cerna,
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires May 8, 2021.

SCOPE OF WORK:

SECONDARY UNIT BASEMENT APARTMENT & BASEMENT WALKOUT

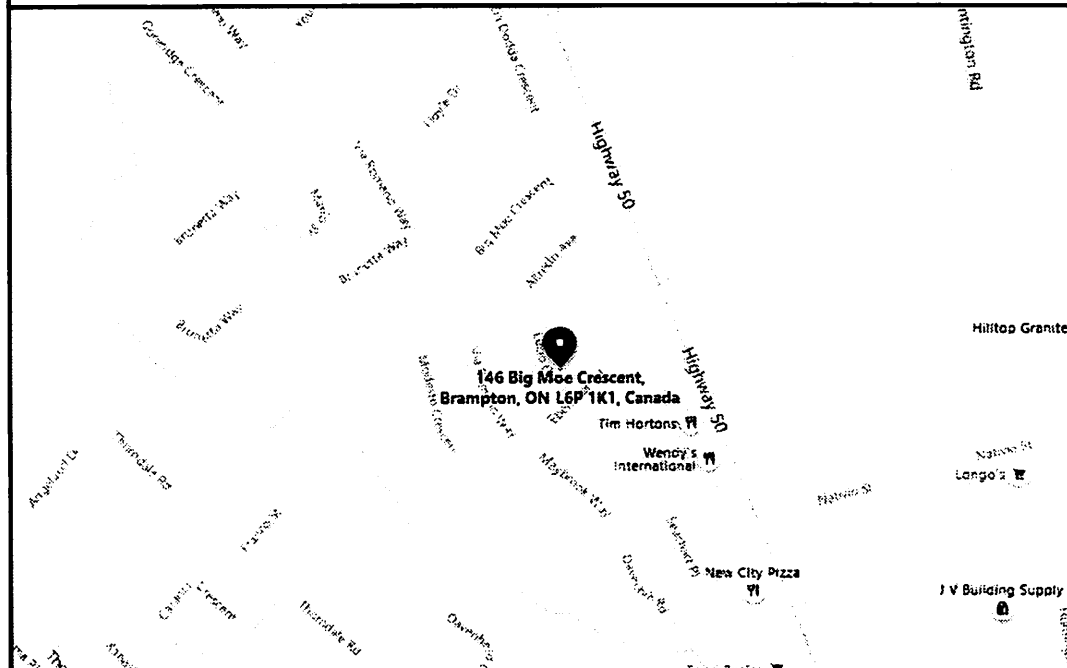
ADDRESS:

146 BIG MOE CRESCENT , BRAMPTON, ON L6P1K1, CANADA

CONSTRUCTION NOTES FOR BASEMENT APARTMENT:

1. MINIMUM 30 MINUTE FIRE SEPARATION UNLESS INTERCONNECTED SMOKE ALARMS ARE PROVIDED IN BOTH UNITS AND ALL COMMON AREAS IN WHICH CASE, A 15 MINUTE FIRE SEPARATION WOULD ONLY BE REQUIRED. INSTALL SPRINKLERS IN THE BUILDING WOULD HAVE ALL FIRE SEPARATION REQUIREMENTS.
2. MINIMUM 30 MINUTES FIRE SEPARATION AROUND SHARED EXIT
3. REQUIRE SMOKE ALARMS WITHIN EACH DWELLING UNIT MAY BE BATTERY OPERATED AND IT SHOULD BE LOCATED ON OR NEAR CEILING WITHIN 5 M OF BEDROOM AND CARBON MONOXIDE DETECTORS ADJACENT TO SLEEPING AREA AND IT SHOULD CONFORM TO ANCSA-8.19 OR UL 2034. CO DETECTORS MAY BE BATTERY OPERATED OR PLUGGED INTO ELECTRICAL OUTPUT. SEE SHEET A-0.1
4. EXISTING FURNACE MAY SERVE BOTH UNITS PROVIDED A SMOKE DETECTOR IS INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM WHICH WOULD TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION OF SUCH DETECTOR.
5. MINIMUM 5% OF LIVING/ DINING FLOOR AREA OF NATURAL LIGHT(GLASS AREA) TO BE PROVIDED.
6. MINIMUM 2 1/2% OF BEDROOM AND OTHER FINISHED ROOMS FLOOR AREA OF NATURAL LIGHT(GLASS AREA) TO BE PROVIDED.
7. 3 SQ.FT. CLEAR OPENING OF NATURAL VENTILATION REQUIRED FOR LIVING/ DINING, BEDROOMS & KITCHENS.
8. 1 SQ.FT. CLEAR OPENING OF NATURAL VENTILATION REQUIRED FOR BATHROOMS, MECHANICAL VENT PROVIDING 1 AIR CHANGE PER HOUR IS ACCEPTABLE.
9. FOR WINDOWS USED AS MEANS OF ESCAPE, WITHIN WINDOW WELLS SHOULD BE PROVIDED, IF THE WINDOW OPENS INTO A WINDOW WELL, A CLEAR DISTANCE OF NOT LESS THAN 550 MM SHALL BE PROVIDED IN FRONT OF THE OPERATING SASH.
10. INTERIOR STAIRS
RISE-4 7/8"(124mm)MINIMUM 7 7/8"(200mm) MAXIMUM
RUN-8 1/4"(210mm)MINIMUM 14"(356mm)MAXIMUM
TREAD- 9 1/4" (235mm)MINIMUM 14"(356mm)MAXIMUM
NOSING-1"(25mm)MINIMUM
HEADROOM-80"(2032mm)MINIMUM
11. AN EGRESS WINDOW OR CASEMENT WINDOW MUST BE PROVIDED IN THE ACCESSORY APARTMENT OR THE ENTIRE BUILDING IS TO BE SPRINKLERED AND SMOKE ALARMS INSTALLED IN BOTH UNITS.SEE SHEET A-0.1
12. STAIRWELL TO BE ENCLOSED AT TOP MOST LEVEL OR BOTTOM MOST LEVEL
13. FOR WINDOWS USED AS MEANS OF ESCAPE,WITHIN WINDOW WELLS. SEE SHEET A-0.1

KEY PLAN/ SITE PLAN:



INDEX:

- A0 - COVER SHEET
- A0.1 - NOTES
- SP1.01 - SITE PLAN
- SP1.02 - PROPOSED WALKOUT
- A1 - PROPOSED BASEMENT PLAN
- A2 - EXISTING FIRST FLOOR PLAN
- A3 - EXISTING SECOND FLOOR PLAN
- A4 - SECTION-A
- A5 - WALKOUT CALLOUT
- A6 - SECTION-1
- A7 - SECTION-2
- D1 - DETAILS

AREA CALCULATIONS:

1. FLOOR SPACE OF BASEMENT IS=687 m^2 (63.8 m^2)
 PROPOSED AREAS :
 • BEDROOM-1 : 202 m^2
 • LIVING/DINING : 228 m^2
 • MECHANICAL AREA : 19 m^2
 • WASHROOM : 25 m^2
 • KITCHEN : 73 m^2
2. 1ST FLOOR AREA=859 m^2 (81.29 m^2)
3. 2ND FLOOR AREA= 753 m^2 (69.9 m^2)

SEAL



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B	SUBMITTED FOR PERMIT	AC	21.02.2021
A	SUBMITTED FOR PERMIT	AC	16.01.2021
REV	DESCRIPTION	BY	DATE
STATUS SUBMITTED FOR PERMIT			



CLIENT HIREN (JAY S)

SITE 146 BIG MOE CRESCENT
BRAMPTON, ON L6P1K1
TITLE COVER SHEET

DATE 22.02.2021	DRAWN AC	CHECKED DS
PROJECT NO 20-98	REVISION A0	REVISION B

SCOPE OF WORK:

SECONDARY UNIT BASEMENT APARTMENT & BASEMENT WALKOUT

ADDRESS:

MINIMUM ROOM AREAS

APARTMENTS FOR ONE OR TWO PERSONS WHERE SPACE IS NOT PARTITIONED	
REQUIRED SPACE	MINIMUM AREA
LIVING DINING, KITCHEN & SLEEPING SPACE	13.5m ² IN TOTAL

OTHER PARTITIONED APARTMENTS:

APARTMENTS FOR ONE OR TWO PERSONS WHERE SPACE IS NOT PARTITIONED	
REQUIRED SPACE	MINIMUM AREA
LIVING AREA	13.5m ²
KITCHEN	3.7m ²
AT LEAST ONE BEDROOM	9.8m ²
OTHER BEDROOMS	8.8m ² IF A BUILT IN CLOSET IS PROVIDED 4.2m ² IF THE BEDROOM AREA IS COMBINED W/ ANOTHER SPACE 7.0m ²

- MINIMUM CEILING HEIGHT SHALL NOT BE LESS THAN 1950mm

MINIMUM WINDOW AREAS FOR LIGHT:

LOCATION	MINIMUM UNOBSTRUCTED GLASS AREA
LAUNDRY ROOM, KITCHEN, WATER CLOSET ROOM	WINDOWS NOT REQUIRED
LIVING/DINING ROOMS	5% OF FLOOR AREA
BEDROOMS AND OTHER FINISHED ROOMS	2 1/2% OF FLOOR AREA

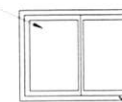
- WHERE A DOOR ON THE SAME LEVEL AS A BEDROOM IS NOT PROVIDED, A WINDOW THAT IS ABLE TO BE OPENED FROM THE INSIDE WITHOUT THE USE OF TOOLS PROVIDING AN INDIVIDUAL UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.55m² WITH NO DIMENSION LESS THAN 380mm SHALL BE PROVIDED. IF THIS WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 550mm SHALL BE PROVIDED IN FRONT OF THE OPERATING SASH.
- NEW OPENING IN EXTERIOR WALLS ARE NOT PERMITTED IF THE DISTANCE FROM THE WALL TO AN ADJACENT LOT LINE IS LESS THAN 1200mm.

EGGRESS REQUIREMENTS:

EGGRESS PROVIDED FROM APARTMENT	CONDITIONS
A SEPARATE DOOR LEADING DIRECTLY TO THE EXTERIOR FROM THE ACCESSORY APARTMENT	SMOKE ALARMS IN EACH DWELLING
A 'SHARED' EXIT, SUCH AS A STAIRWAY USED BY BOTH UNITS	1/2 HOUR FIRE SEPARATION AROUND EXIT, AND INTERCONNECTED SMOKE ALARMS IN BOTH UNITS AND ALL COMMON AREAS
EGRESS AVAILABLE ONLY THROUGH ANOTHER DWELLING	AN EGRESS WINDOW MUST BE PROVIDED INTERCONNECTED SMOKE ALARMS MUST BE INSTALLED IN BOTH UNITS, AND ALL COMMON AREAS OR THE ENTIRE BUILDING MUST BE SPRINKLERED, AND SMOKE ALARMS INSTALLED IN BOTH UNITS

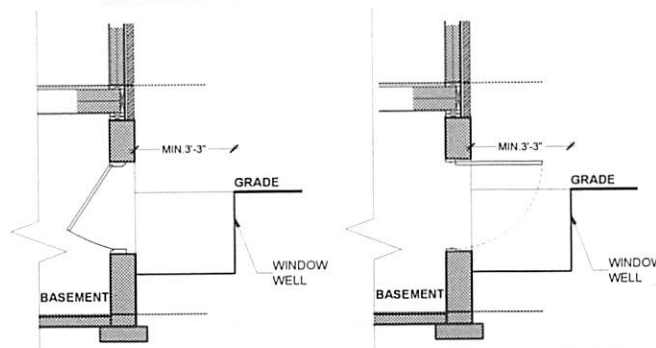
MINIMUM AREA OF UNOBSTRUCTED OPENING NOT LESS THAN 0.38 m² (4.15 SQ. FT.)

EGRESS WINDOW



MIN 460mm (18") OR MORE FOR OPENABLE PORTION OF WINDOW

WINDOW WELL FOR EGRESS WINDOW



SEPARATION BETWEEN UNITS:

REQUIRED FIRE SEPARATIONS/CLOSURES	CONDITIONS
30 MINUTE FIRE SEPARATION (12.7mm TYPE 'X' GYPSUM BD. CEILING)	SMOKE ALARMS IN BOTH UNITS
15 MINUTE HORIZONTAL FIRE SEPARATION	INTERCONNECTED SMOKE ALARMS IN BOTH UNITS AND IN ALL COMMON AREAS
NO FIRE SEPARATION	THE ENTIRE BUILDING MUST BE SPRINKLERED
20 MINUTE LABELED DOORS, UNLABELED MINIMUM 45mm THICK SOLID CORE WOOD DOOR OR METAL CLAD	EQUIPPED WITH SELF CLOSURES
UNRATED CLOSURES	THE APARTMENT FLOOR AREA MUST BE SPRINKLERED

SMOKE ALARMS AND CARBON MONOXIDE DETECTORS:

REQUIRED SMOKE ALARMS WITHIN EACH DWELLING UNIT	MAY BE BATTERY OPERATED EXCEPT WHERE SMOKE ALARMS ARE REQUIRED TO BE INTERCONNECTED DUE TO SEPARATION BETWEEN UNITS AND EGRESS REQUIREMENTS. ALARMS MUST BE LOCATED ON OR NEAR THE CEILING WITHIN 5m OF BEDROOM DOORS
REQUIRED CARBON MONOXIDE DETECTORS WITHIN EACH DWELLING UNIT ADJACENT TO EACH SLEEPING AREA	MUST CONFORM TO CAN/CSA-6.19 OR UL 2054. CO DETECTORS MAY BE BATTERY OPERATED OR PLUGGED INTO AN ELECTRICAL OUTLET

PLUMBING, HEATING AND VENTILATION

CENTRAL HEATING SYSTEM	EXISTING SYSTEM MAY SERVE BOTH UNITS PROVIDED 1) BOTH UNITS ARE EQUIPPED WITH SMOKE ALARMS, AND 2) A SMOKE DETECTOR IS INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM WHICH WOULD TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION
NATURAL VENTILATION (OPENABLE WINDOWS/DOORS) FOR LIVING/DINING ROOMS, BEDROOMS, KITCHEN	MINIMUM 0.28m ² (3.05 SQ. FT.) PER ROOM OR COMBINATION OF ROOMS
NATURAL VENTILATION (OPENABLE WINDOWS) FOR BATHROOMS OR WATER CLOSET ROOMS	MINIMUM 0.09m ² (0.97 SQ. FT.)
MECHANICAL VENTILATION, IF NATURAL VENTILATION IS NOT PROVIDED	ONE-HALF AIR CHANGE PER HOUR IF THE ROOM IS MECHANICALLY COOLED IN SUMMER, AND ONE AIR CHANGE PER HOUR IF IT IS NOT

- BATHROOM WITH LAVATORY, TOILET AND BATHTUB OR SHOWER STALL

REQUIRED PLUMBING FACILITIES

- KITCHEN SINK
- LAUNDRY FACILITIES



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B	SUBMITTED FOR PERMIT	AC	21.02.2024
A	SUBMITTED FOR PERMIT	AC	26.01.2024
REV	DESCRIPTION	BY	DATE
STATUS: SUBMITTED FOR PERMIT			



CLIENT: HIREN (JAY 5)

SITE: 146 BIG MOE CRESCENT
BRAMPTON, ON L6P1K1

TITLE: NOTES

SCALE: 1/4"=1'-0"	DATE: 23.02.2021	DRAWN: AC	CHECKED: DS
PROJECT NO: 20-98	DRAWING NO: A0.1	REVISION: B	



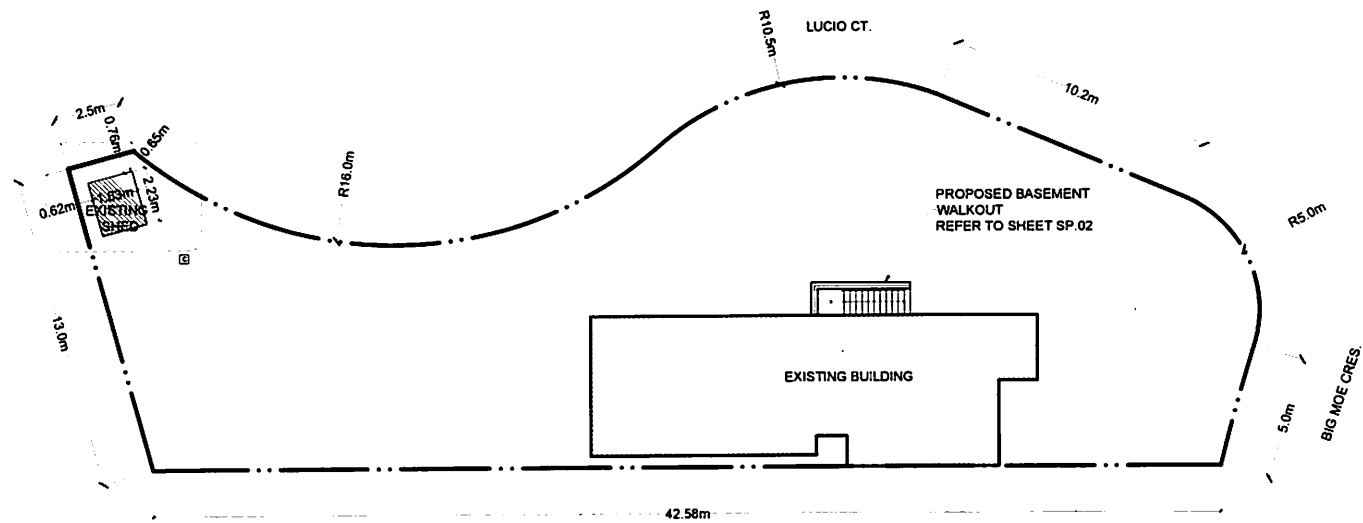
LEGEND :



EXISTING BUILDING



PROPERTY LINE



1 SITE PLAN
SP1.01 1/16"=1'-0"

SEAL



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C	SUBMITTED FOR PERMIT	AC	01.01.2021
B	SUBMITTED FOR PERMIT	AC	22.02.2021
A	SUBMITTED FOR PERMIT	AC	26.01.2021
REV	DESCRIPTION	BY	DATE
STATUS SUBMITTED FOR PERMIT			

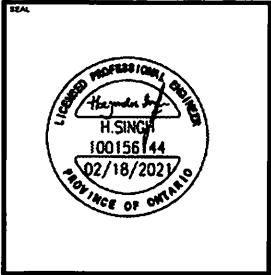
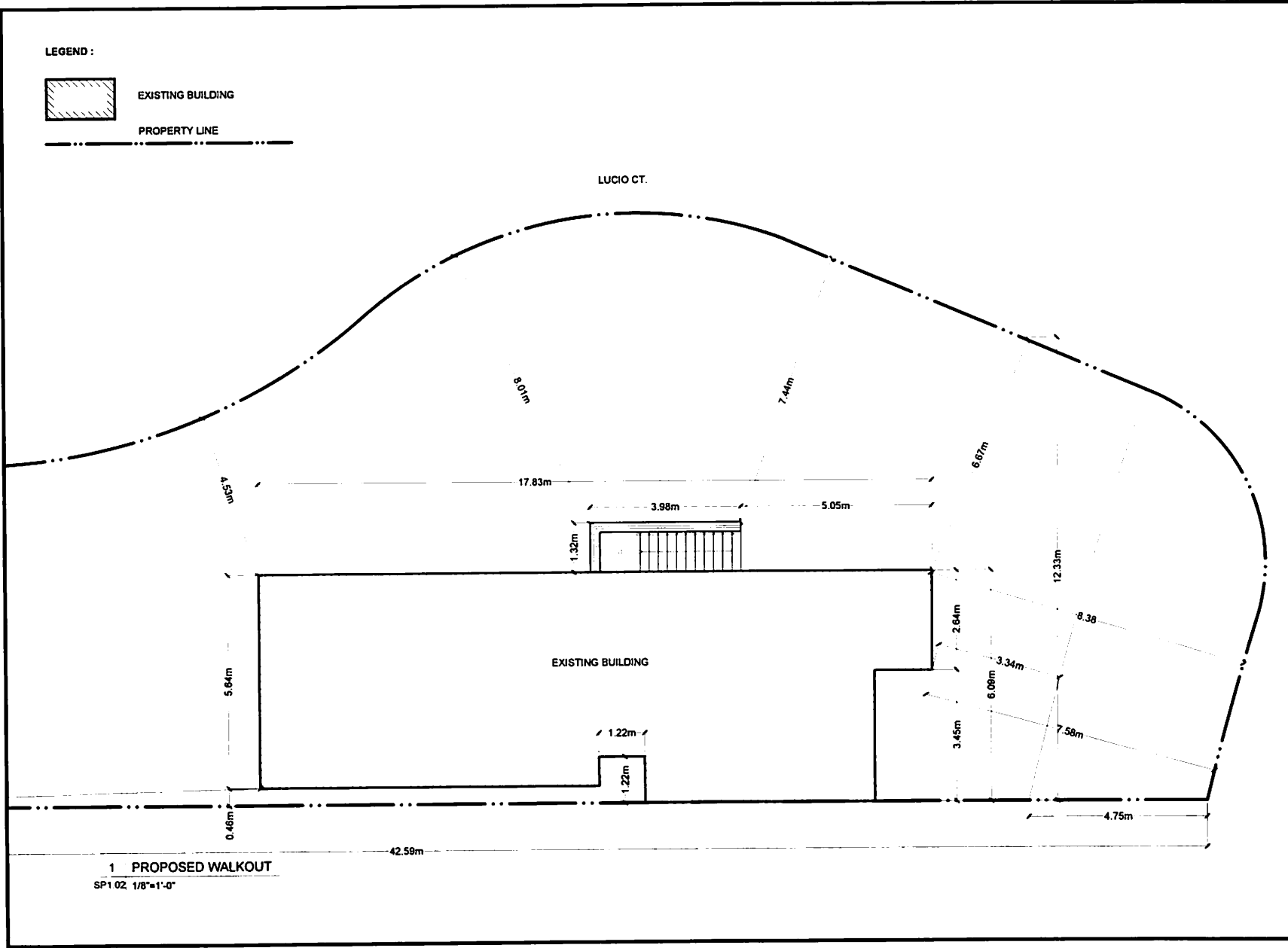


CLIENT
HIREN (JAY S)

SITE
146 BIG MOE CRESCENT
BRAMPTON, ON L6P1K1

TITLE
SITE PLAN

DATE	01.03.2021	DRAWN	EA	CHECKED	DS
PROJECT NO	20-98	DRAWING NO	SP1.01	REVISION	B



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B	SUBMITTED FOR PERMIT	AC	27.02.2021
A	SUBMITTED FOR PERMIT	AC	26.01.2021
REV	DESCRIPTION	BY	DATE
STATUS SUBMITTED FOR PERMIT			



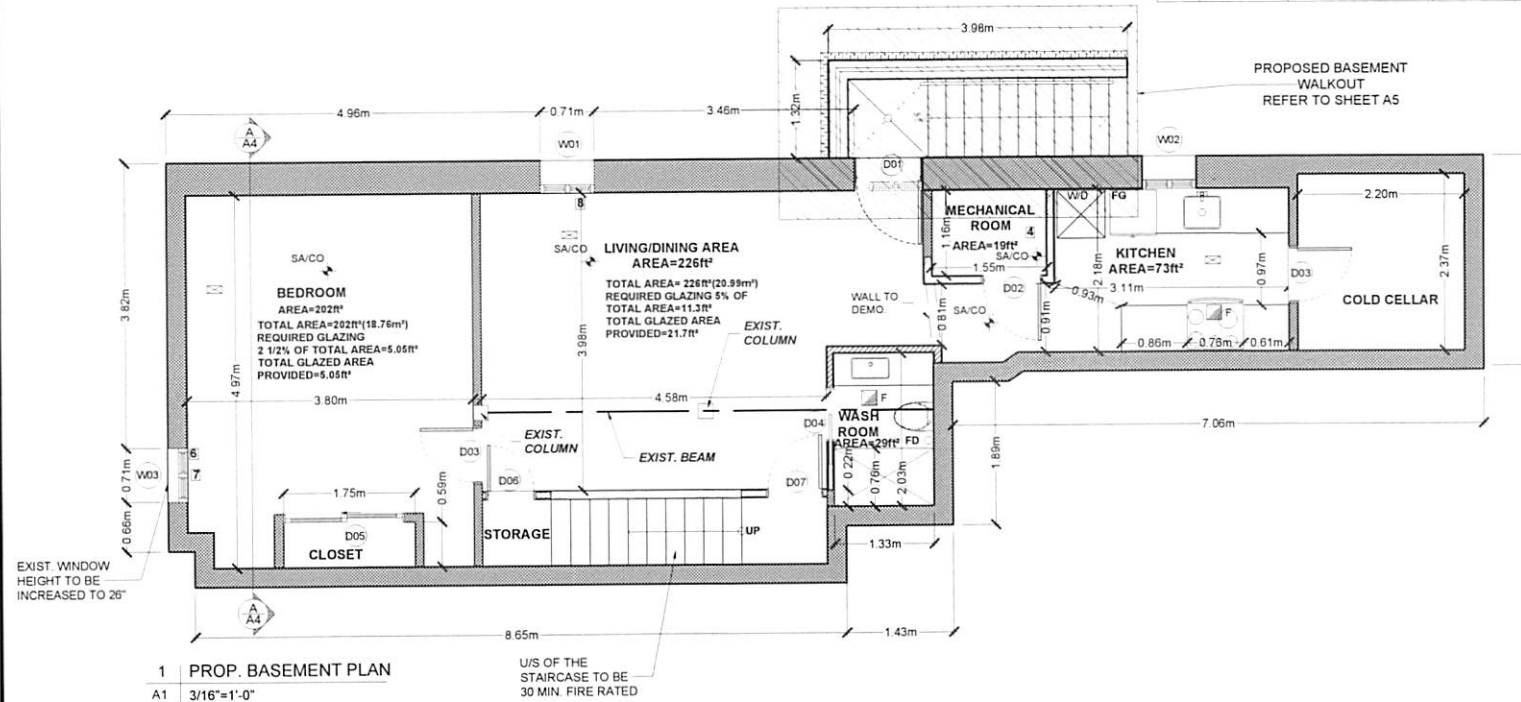
CLIENT HIREN (JAY 5)

SITE	148 BIG MOE CRESCENT BRAMPTON, ON L6P1K1		
TITLE	PROPOSED WALKOUT		
SCALE	DATE	DRAWN	CHECKED
1/8"=1'-0"	22.02.2021	EA	DS
PROJECT NO	DRAWING NO	REVISION	
20-08	SP1.02	B	

LEGEND:	
	EXISTING WALLS
	PROPOSED INTERIOR WALL: 2"x4", STUDS @16"O.C. WITH BLOCKING AT MID POINT, 1/2" GYPSUM BOARD ON BOTH SIDES, TAPED AND SANDED C/W PAINT FINISH, AROUND FOUNDATION WALL R22 RIGID XPS INSULATION CAULKED AND TAPED
	30 MIN. FIRE RATED 2"x4" @16"O.C. W/LAYERS OF 5/8" TYPE X GYPSUM BOARD ON BOTH SIDES
	EXHAUST FAN
	SMOKE DETECTOR/CO DETECTOR
	FLOOR DRAIN
	EXISTING AIR DIFFUSER
NOTE: IF THE SILL HEIGHT IS LOWER THAN THE GRADE, A WINDOW WELL CAN BE INTRODUCED SEE NOTE # 13	
NOTE: MECHANICAL ROOM TO BE SPRINKLERED RESIDENTIAL TYPE	

WINDOW SCHEDULE				
TAG	SIZE	REMARKS	QUANTITY	LINTEL SIZE
W01	28" x 1'-2"	WASHROOM	1	EXISTING
W02	28" x 1'-1 1/4"	MECH. ROOM	1	EXISTING
W03	28" x 2'-2"	BEDROOM (HEIGHT TO BE INCREASED)	1	EXISTING

DOOR SCHEDULE				
TAG	SIZE	REMARKS	QUANTITY	LINTEL SIZE
D01	36" x 6'-4"	EXTERIOR 45 MINUTE FIRE RATED DOOR W/SELF CLOSING DEVICE	1	3-2"x6" +3 1/2" x 3 1/2" x 1"
D02	32" x 6'-10"	FURNACE 20 MINUTE FIRE RATED DOOR W/SELF CLOSING DEVICE	1	2-2"x6"
D03	30" x 6'-5 1/2"	BEDROOM, COLD CELLAR	2	EXISTING
D04	28" x 6'-10"	WASHROOM	1	3-2"x6"
D05	63" x 6'-5 1/2"	CLOSETS	1	EXISTING
D06	26" x 6'-10"	STORAGE	1	3-2"x6"
D07	30" x 6'-10"	STAIRCASE 20 MINUTE FIRE RATED DOOR W/SELF CLOSING DEVICE	1	3-2"x6"





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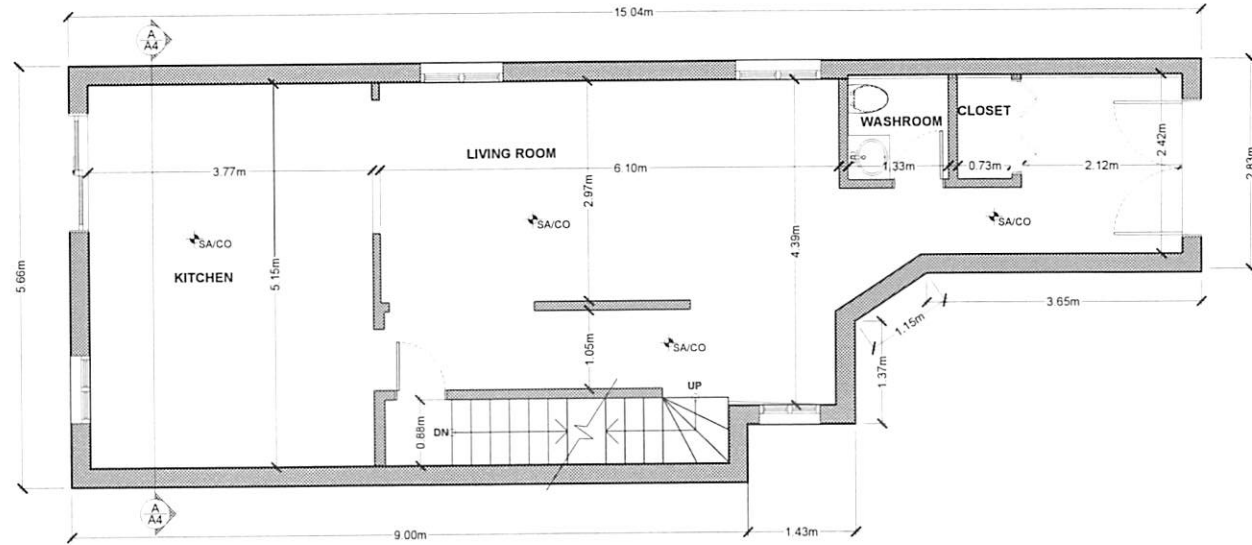
B	SUBMITTED FOR PERMIT	AC	22.02.2021
A	SUBMITTED FOR PERMIT	AC	20.01.2021
REV	DESCRIPTION	BY	DATE
STATUS: SUBMITTED FOR PERMIT			



CLIENT: HIREN (JAY 5)

SITE:	146 BIG MOE CRESCENT BRAMPTON, ON L6P1K1
TITLE:	PROPOSED BASEMENT PLAN
DATE:	22.02.2021
DRAWN:	AC
CHECKED:	DS
PROJECT NO:	20-98
DRAWING NO:	A1
REVISION:	B

LEGEND:	
	EXISTING WALLS
	SMOKE DETECTOR/CO DETECTOR

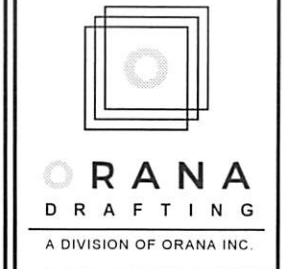


1 EXIT, FIRST FLOOR PLAN
A2 3/16"=1'-0"



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A	SUBMITTED FOR PERMIT	AC	20.01.2021
REV	DESCRIPTION	BY	DATE
STATUS SUBMITTED FOR PERMIT			



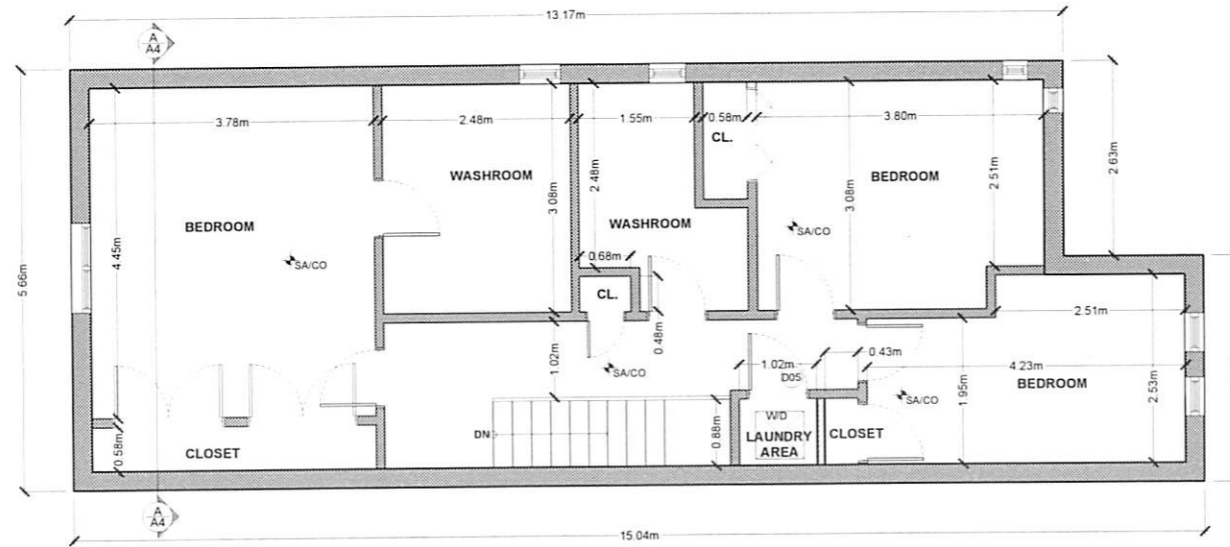
CLIENT HIREN (JAY 5)

SITE 146 BIG MOE CRESCENT
BRAMPTON, ON L6P1K1
TITLE EXISTING FIRST FLOOR PLAN

SCALE 3/16"=1'-0"	DATE 22.02.2021	DRAWN AC	CHECKED DS
PROJECT NO 20-98	DRAWING NO A2	REVISION B	

LEGEND:	
	EXISTING WALLS
	PROPOSED INTERIOR WALL: 2"x4", STUDS @16"O.C. WITH BLOCKING AT MID POINT, 1/2" GYPSUM BOARD ON BOTH SIDES, TAPED AND SANDED C/W PAINT FINISH, AROUND FOUNDATION WALL R22 RIGID XPS INSULATION CAULKED AND TAPED
	SMOKE DETECTOR/CO DETECTOR

DOOR SCHEDULE				
TAG	SIZE	REMARKS	QUANTITY	LINTEL SIZE
D05	32" x 6'-10"	LAUNDRY	1	3-2"x6"



1 | PROP. SECOND FLOOR PLAN
A3 | 3/16"=1'-0"



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B	SUBMITTED FOR PERMIT	AC	22.02.2021
A	SUBMITTED FOR PERMIT	AC	25.01.2021
REV	DESCRIPTION	BY	DATE
STATUS: SUBMITTED FOR PERMIT			

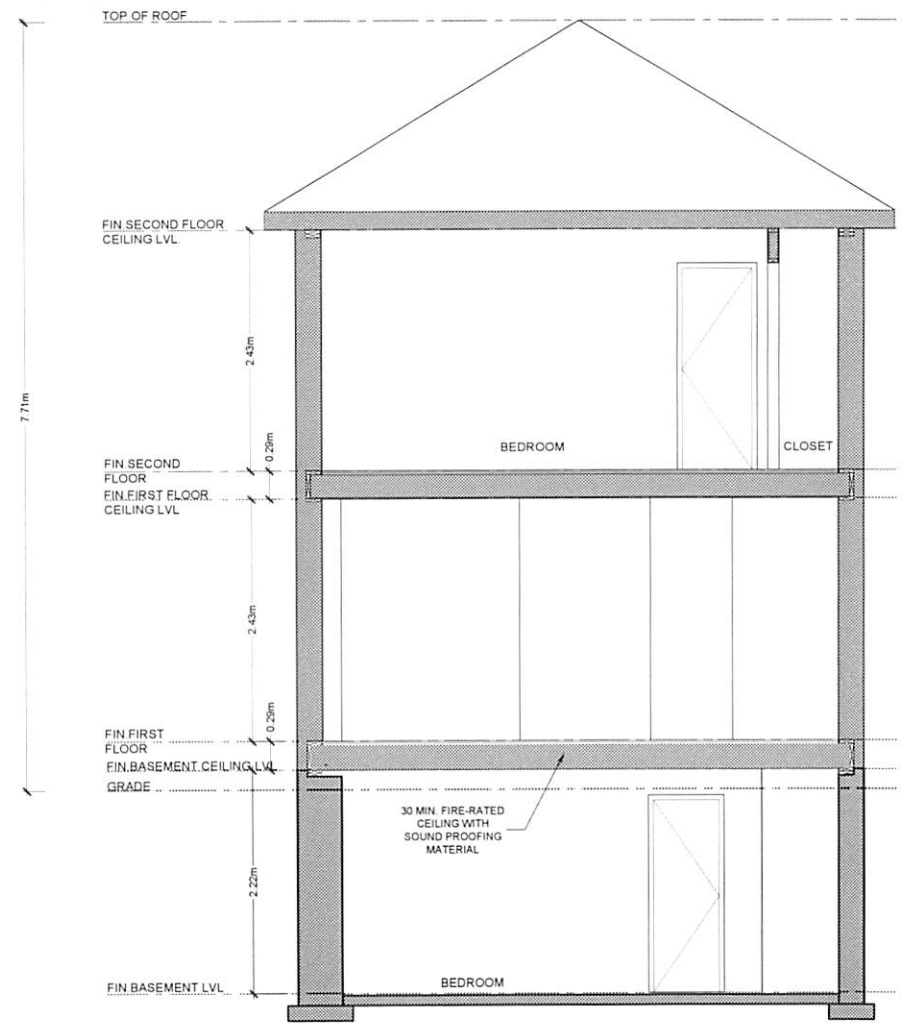


CLIENT: HIREN (JAY 5)

SITE: 146 BIG MOE CRESCENT
BRAMPTON, ON L6P1K1
TITLE: EXISTING SECOND FLOOR PLAN

DATE: 3/16/21	DATE: 22.02.2021	DRAWN: AC	CHECKED: DS
PROJECT NO: 20-98	DRAWING NO: A3	REVISED: B	

LEGEND	
	EXISTING WALLS
	30 MIN. FIRE RATED CEILING, TYPE X 15mm DRY WALL EXISTING JOIST TO REMAIN EXISTING SHEETING AND FLOOR FINISH TO REMAIN



1 SECTION-A
A4 1/4"=1'-0"



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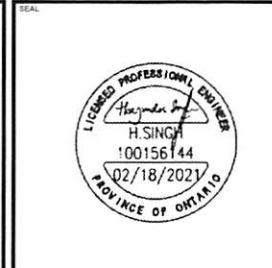
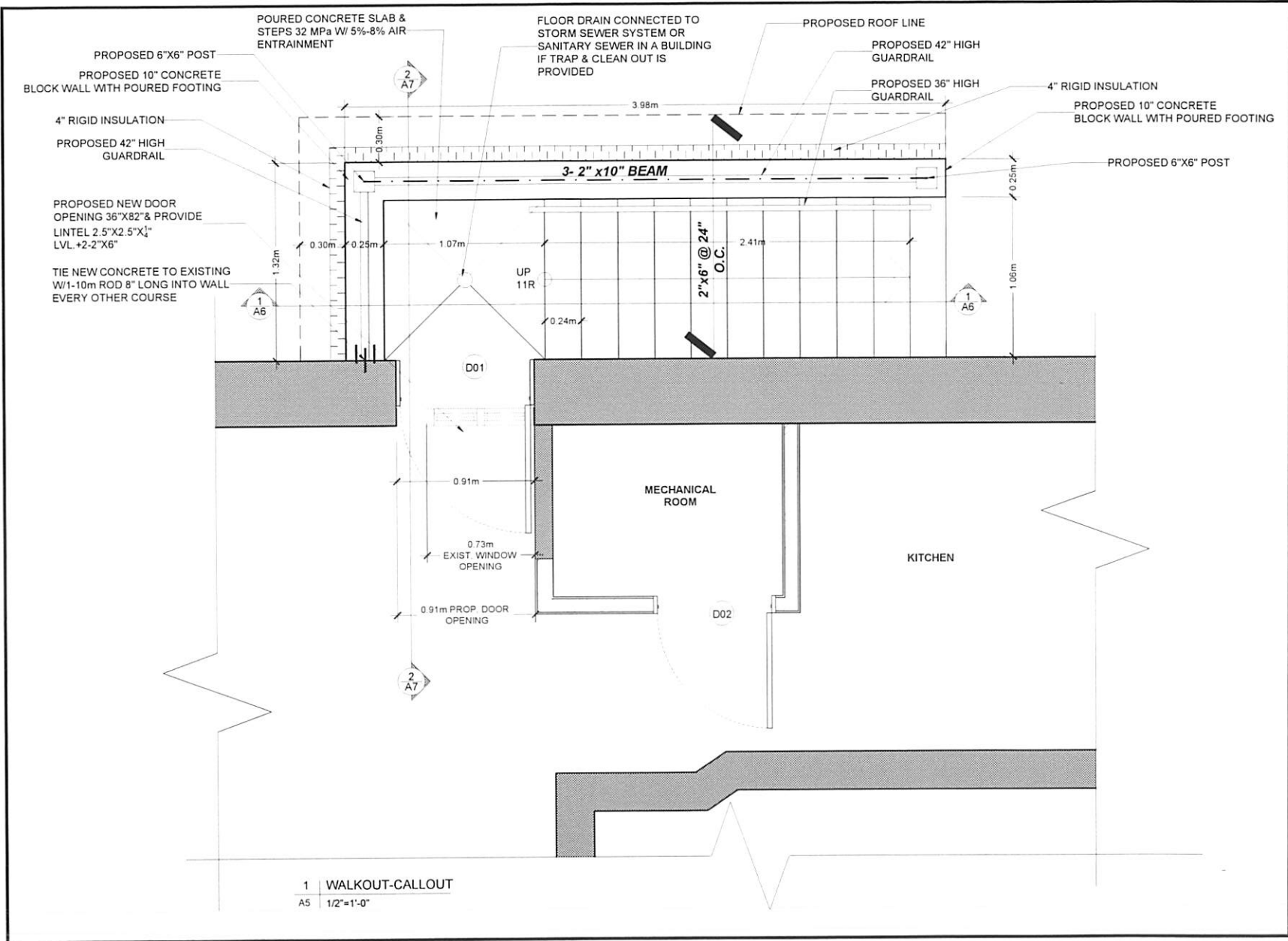
B	SUBMITTED FOR PERMIT	AC	22.02.2021
A	SUBMITTED FOR PERMIT	AC	20.01.2021
REV	DESCRIPTION	BY	DATE
STATUS SUBMITTED FOR PERMIT			



CLIENT HIREN (JAY 5)

SITE 146 BIG MOE CRESCENT
BRAMPTON, ON L6P1K1
TITLE SECTION-A

PROJECT NO.	DATE	DRAWN	CHECKED
20-98	22.02.2021	AC	DS
	DRAWING NO.	A4	REVISION
			B



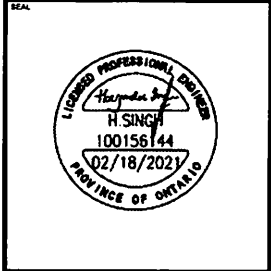
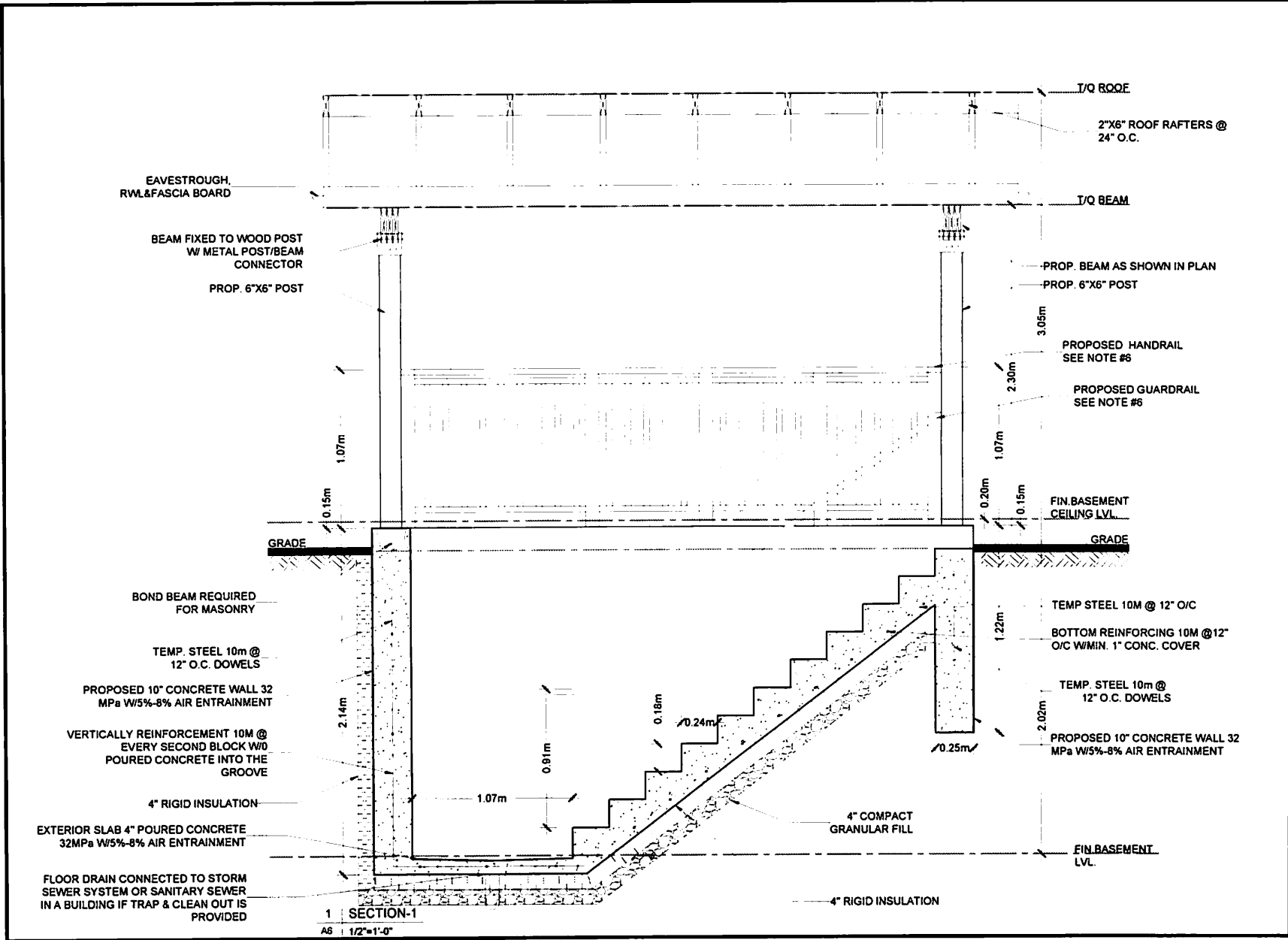
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A	SUBMITTED FOR PERMIT	AC	20.01.2021
REV	DESCRIPTION	BY	DATE
STATUS SUBMITTED FOR PERMIT			



CLIENT HIREN (JAY 5)

SITE		146 BIG MOE CRESCENT BRAMPTON, ON L6P1K1			
TITLE		WALKOUT-CALLOUT			
SCALE OF PLAN	DATE	DRAWN		CHECKED	
1/2"=1'-0"	22.02.2021	AC		DS	
PROJECT NO	DRAWING NO			REVISION	
20-98	A5			B	



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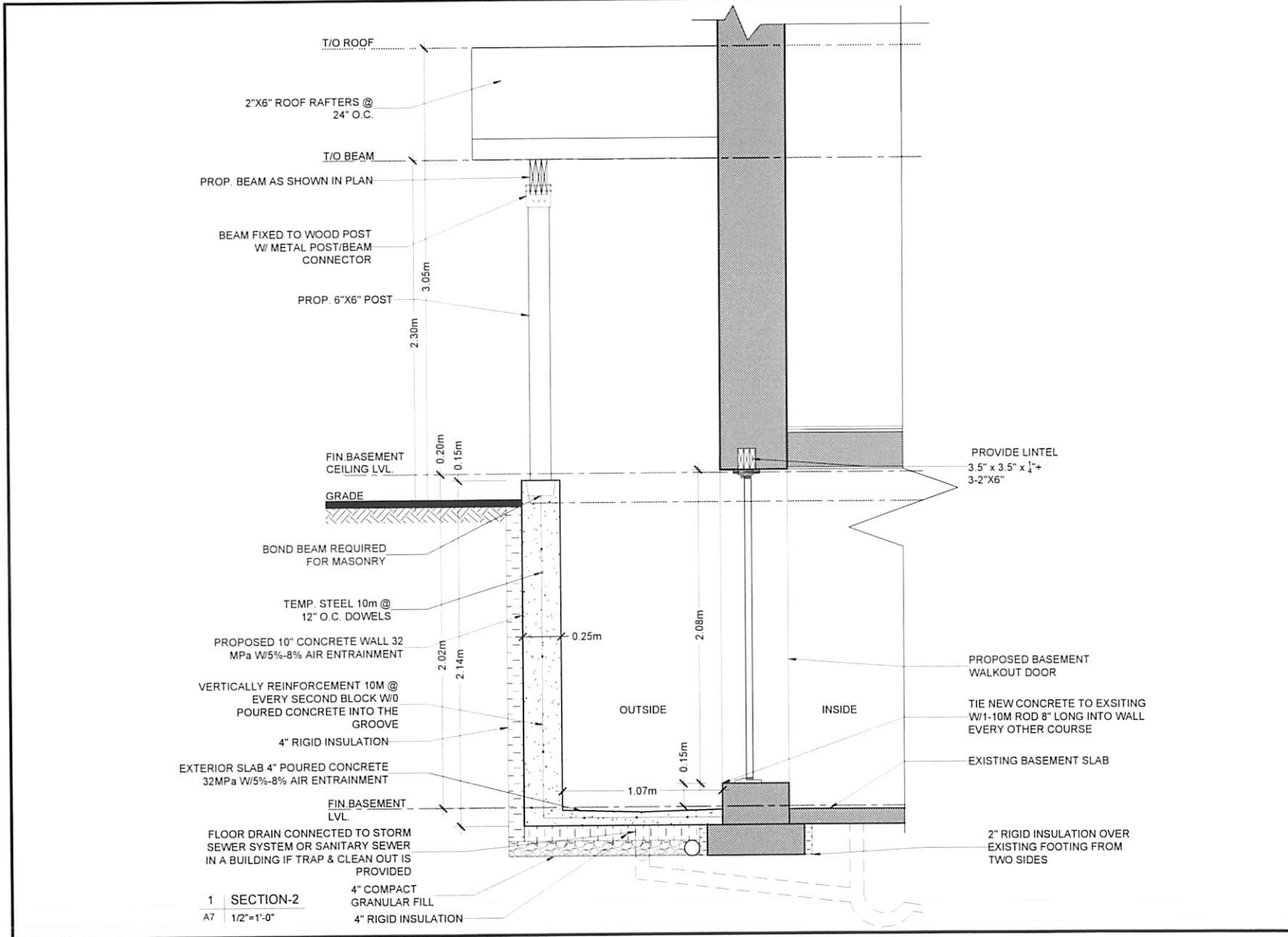
B	SUBMITTED FOR PERMIT	AC	27.02.2021
A	SUBMITTED FOR PERMIT	AC	26.01.2021
REV	DESCRIPTION	BY	DATE
STATUS SUBMITTED FOR PERMIT			



CLIENT
HIREN (JAY 5)

SITE
146 BIG MOE CRESCENT
BRAMPTON, ON L6P1K1

TITLE SECTION-1			
SCALE 1/2"=1'-0"	DATE 22.02.2021	DRAWN AC	CHECKED DS
PROJECT NO 20-08	DRAWING NO A6	REVISION B	



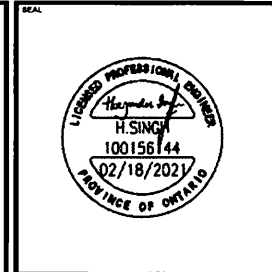
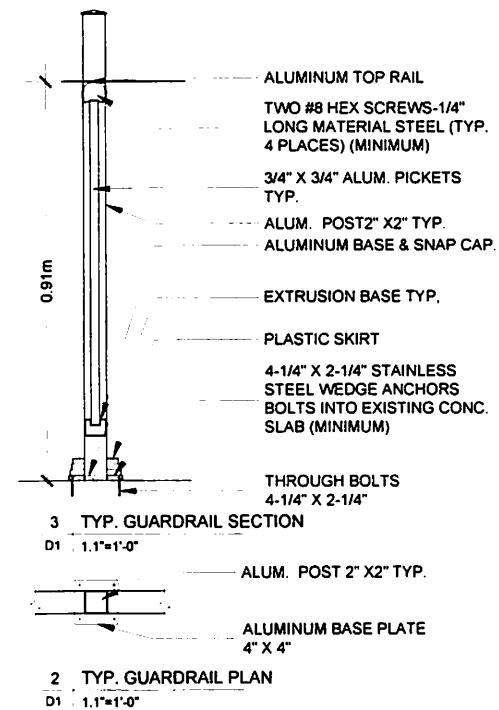
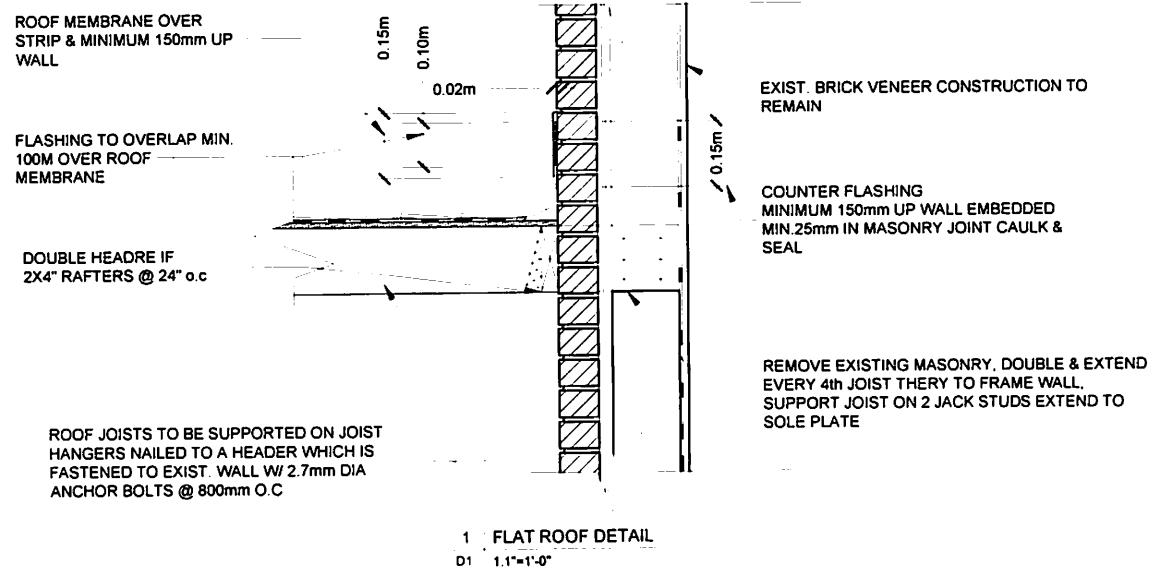
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A	SUBMITTED FOR PERMIT	AC	26/01/2021
REV	DESCRIPTION	BY	DATE
STATUS: SUBMITTED FOR PERMIT			



CLIENT: HIREN (JAY 5)

SITE:	146 BIG MOE CRESCENT BRAMPTON, ON L6P1K1		
TITLE:	SECTION-2		
SCALE:	1/2"=1'-0"	DATE:	22/02/2021
PROJECT NO:	20-98	DRAWN:	AC
		CHECKED:	DS
		REVISION:	B



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A	SUBMITTED FOR PERMIT	AC	26.01.2021
REV	DESCRIPTION	BY	DATE
STATUS SUBMITTED FOR PERMIT			



CLIENT HIREN (JAY 5)

SITE	146 BIG MOE CRESCENT BRAMPTON, ON L6P1K1		
TITLE	DETAILS		
DATE	22.02.2021	DRAWN	AC
CHECKED	DS	DATE	20-08
PROJECT NO.	20-98	DRAWING NO.	D1
REVISION		BY	B

P2

Castlemore Rd

Castlemore

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P3

P4

Q3

A-2021-0047

