

**APPLICATION # A-2021-0042**  
**WARD #3**

**APPLICATION FOR MINOR VARIANCE**  
***Revised***

WHEREAS an application for minor variance has been made by **DONNA SMITH, JEREMY SMITH AND EVE-LYNN SMITH** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 390, Plan 679 municipally known as **40 INGLEWOOD DRIVE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit an interior side yard setback of 1.26m (4.14 ft.) to a proposed second storey addition whereas the by-law requires a minimum setback of 1.8m (5.91 ft.) to the second storey;
2. To permit an existing building addition (labelled as storage shed) in the interior side yard having a setback of 0.30m (0.98 ft.) whereas the by-law requires a minimum interior side yard width of 1.8m (5.91 ft.);
3. To permit an existing accessory structure (tool shed) having a setback of 0.076m (0.25 ft.) to the side lot line whereas the by-law requires a minimum setback of 0.60m (1.97 ft.) to all lot lines;
4. To permit an existing accessory structure (garden shed) having a setback of 0.512m (1.68 ft.) to the side lot line whereas the by-law requires a minimum setback of 0.60m (1.97 ft.) to all lot lines;
5. To permit an existing fence (privacy screen on patio) having a height of 2.13m (6.99 ft.) whereas the by-law permits a maximum fence height of 2.0m (6.56 ft.).

**OTHER PLANNING APPLICATIONS:**

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO  
Application for Consent: NO

File Number: \_\_\_\_\_  
File Number: \_\_\_\_\_

The Committee of Adjustment has appointed **TUESDAY, March 30, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT.** This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 18th day of March, 2021.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

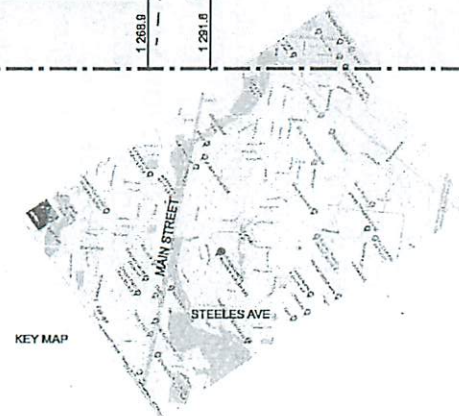
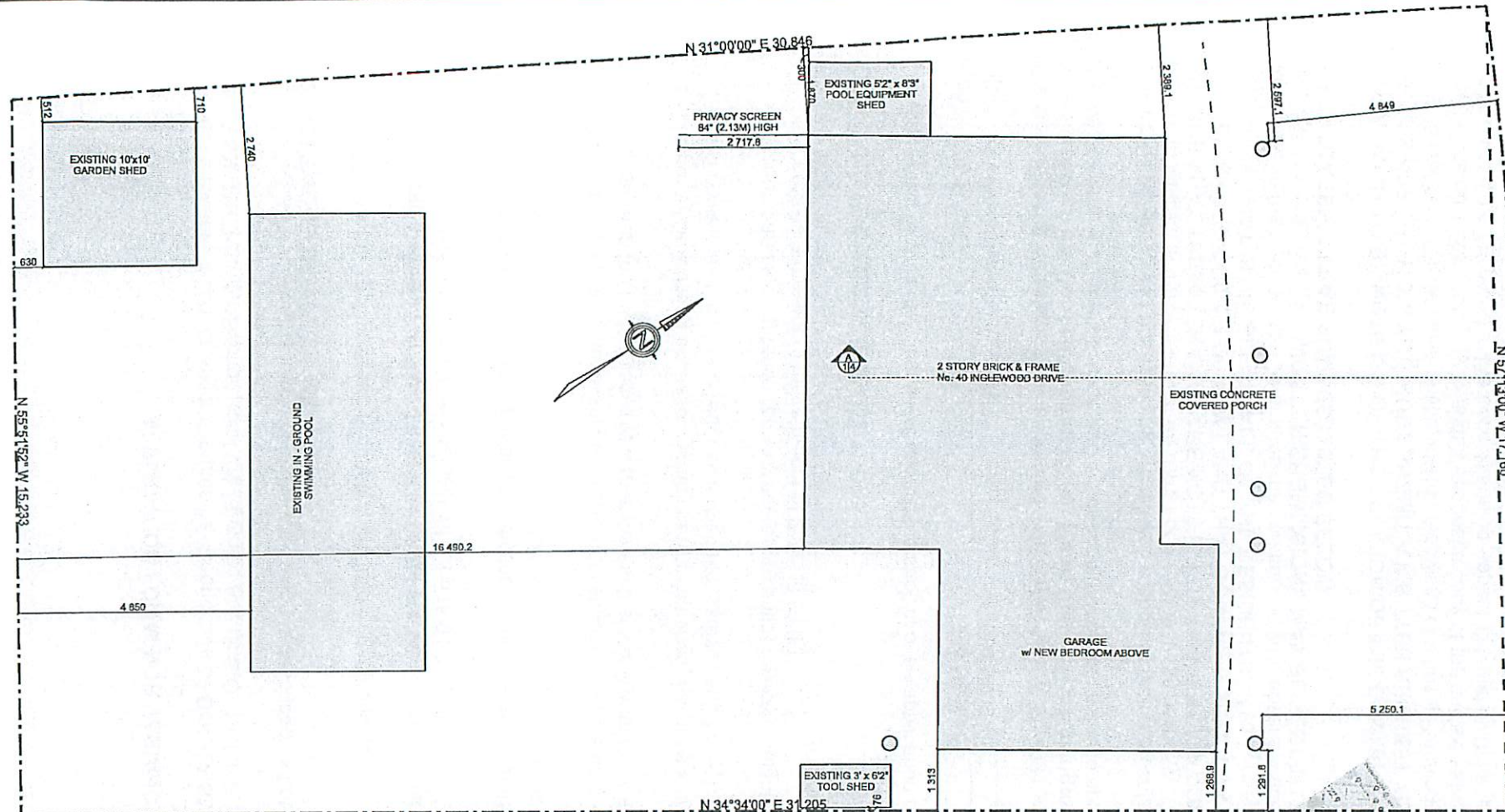
Jeanie Myers, Secretary-Treasurer  
Committee of Adjustment, City Clerk's Office,  
Brampton City Hall  
2 Wellington Street West,  
Brampton, Ontario L6Y 4R2  
Phone: (905)874-2117  
Fax: (905)874-2119  
[jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca)

# SITE PLAN

SCALE: 1:100

AREA SCHEDULE	
NAME	AREA
Gross Floor Area	1794.0 sq ft.
Main Floor Area	749.8 sq ft.
Second Floor Area	1044.1 sq ft.
Existing Gross Floor Area	1472.2 sq ft.
Existing Main Floor	751.0 sq ft.
Existing Second Floor	721.2 sq ft.
Lot Coverage	1292.0 sq ft.
Lot Area	5459.8 sq ft.

LOT COVERAGE IS 23.66%



NOTES:  
THESE DRAWINGS MUST BE SIGNED  
TO BE VALID FOR PERMIT.  
THEY ARE VALID ONLY FOR THE  
ORIGINAL ADDRESS  
IN THE TITLE BLOCK



The undersigned has reviewed and takes responsibility for this  
design and has the qualifications and credentials to be a designer  
set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under  
Division C-3.2.1 of the 2012 O.B.C.

John Vanderwoerd BCIN 21611

REGISTRATION INFORMATION  
Required unless design is exempt under  
Division C-3.2.1 of the 2012 O.B.C.  
Firm Name: Vanderwoerd Drafting & Design  
BCIN 55873

**VANDERWOERD**  
DRAFTING & DESIGN  
John Vanderwoerd, M.A.A.T.O.  
34 Duke Street, Arthur, Ontario N0G 1A0  
www.homedesign-bcin.ca  
519-848-2128

DRAWN BY:  
**JOHN VANDERWOERD,**  
M.A.A.T.O. BCIN: 21611

CONTRACTOR

STARTING DATE:  
July 31, 2020

LAST REVISION DATE:  
Mar 17, 2021

CUSTOMER:  
**Donna Smith**  
40 Inglewood Drive  
Brampton, On

PROJECT:  
**Addition**

DRAWING TITLE:  
**Site Plan**

DRAWING #:  
**20-301**

SCALE:  
**As Noted**

PAGE #:  
**15 of 15**

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**Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency**

**Electronic Hearing Procedures  
How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

**How to Participate in the Hearing:**

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 25, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, March 25, 2021**.
  - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, March 26, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



34 Duke Street Arthur,  
Ontario N0G 1A0  
**519-848-2128**  
www.ontariohomedesign.ca

March 17, 2021

To: Committee of Adjustment  
RE: APPLICATION FOR MINOR VARIANCE  
DONNA SMITH, JEREMY SMITH AND EVE-LYNN SMITH  
LOT 390, PLAN 679  
A-2020-0042 – 40 INGLEWOOD DRIVE  
WARD 3

Please **amend** application A-**2021-0042** to reflect the following variance(s):

1. To permit an interior side yard setback of 1.26m (4.14 ft.) to a proposed second storey addition whereas the by-law requires a minimum setback of 1.8m (5.91 ft.) to the second storey;
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A handwritten signature in blue ink, appearing to read 'John Vanderwoerd', is written over a faint, light blue grid background.

Authorized Agent  
John Vanderwoerd, M.A.A.T.O  
Accredited Architectural Technologist  
BCIN 21611

*Drafting with Principles  
Designing with Purpose*



NOTES:  
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John Vanderwoerd BCIN 21611  
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Firm Name: Vanderwoerd Drafting & Design  
BCIN 35672



John Vanderwoerd, M.A.A.T.O.  
34 Duke Street, Arthur, Ontario N0G 1A0  
www.home-design-bcin.ca  
519-849-2128

DRAWN BY:

JOHN VANDERWOERD,  
M.A.A.T.O. BCIN: 21611

CONTRACTOR

STARTING DATE:  
July 31, 2020

LAST REVISION DATE:  
Mar 17, 2021

CUSTOMER:  
Donna Smith  
40 Inglewood Drive  
Brampton, On

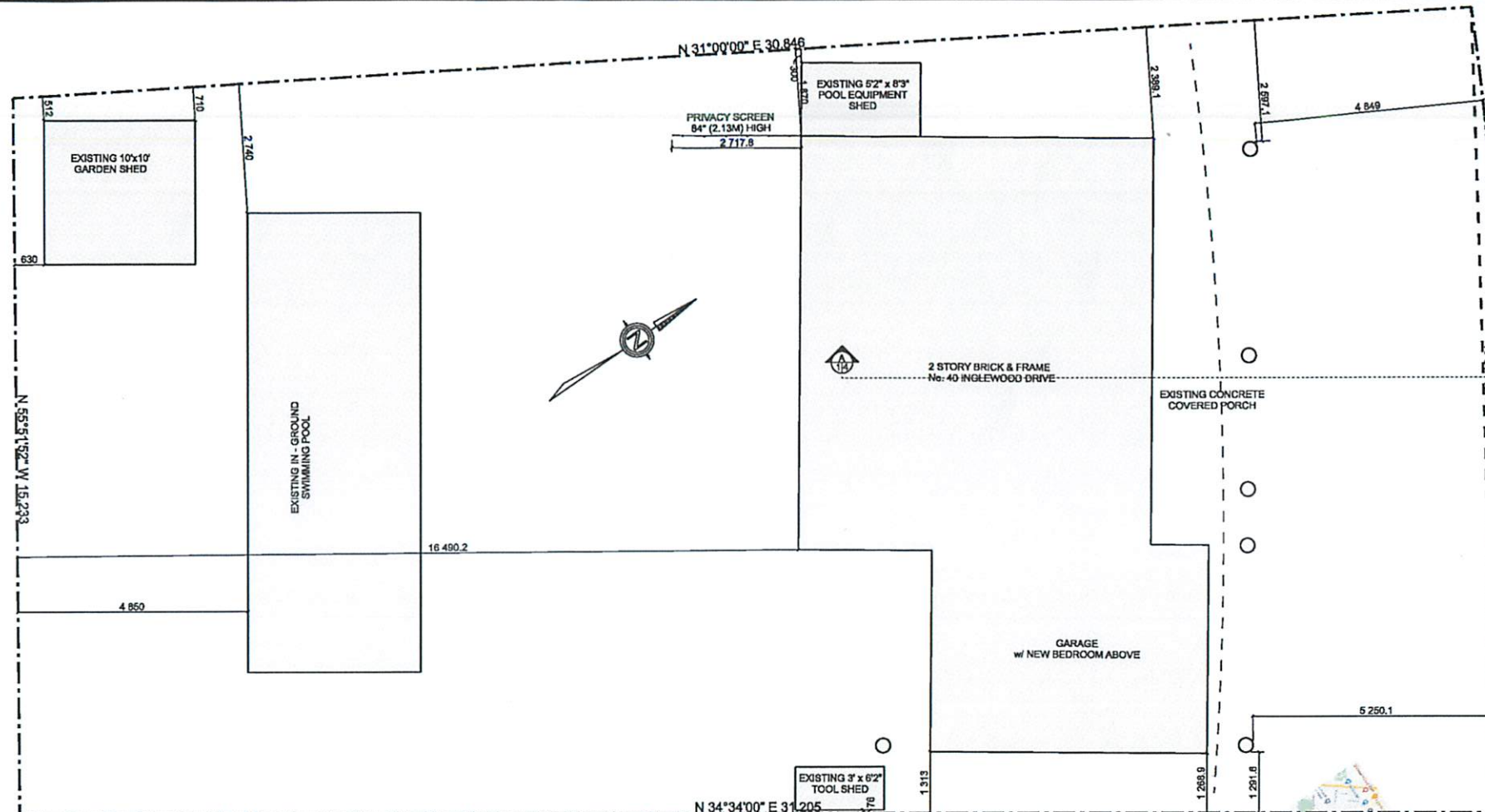
PROJECT:  
Addition

DRAWING TITLE:  
Site Plan

DRAWING #:  
20-301

SCALE:  
As Noted

PAGE #:  
15 of 15

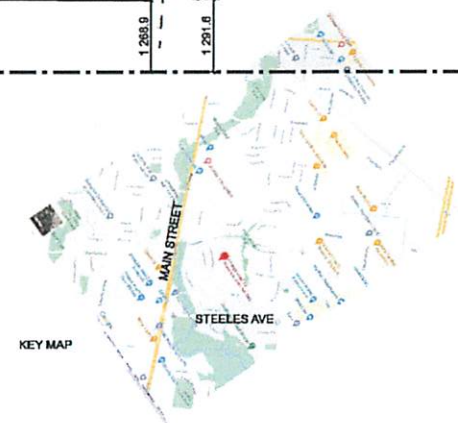


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34 Duke Street Arthur,  
Ontario NOG 1A0  
**519-848-2128**  
[www.ontariohomedesign.ca](http://www.ontariohomedesign.ca)

Re Minor Variance application  
40 Inglewood Drive, Brampton.

The property owner, Donna Smith has asked me to apply for a minor variance to ask relief from the 1.8 m side yard setback and the 6.0 front yard setback so that they may be able to build an addition over their existing attached garage.

Donna's family is growing and her mother has moved in with the family. Therefore they need more space. They have engaged me to draw up the plans for this addition.

The addition over the garage will make us too close to the property line, since a second storey must be 1.8 m from the property line. With the proposed addition, we will be 1.2915 m from the property line on the left of the home which is in compliance with a one storey home for this property. There is also an existing front porch which encroaches into the front yard setback of 6.0 m and is in fact 4.849m from the front property line. We feel the home looks better if the roof line from the front porch breaks up the height of the new addition. The columns on the front addition are only in fact 5.25m from the front property line. The second floor addition would in fact be over the 6.0 m front yard setback and only the roof and supporting columns would encroach.

Regards,

A handwritten signature in blue ink, appearing to read 'John Vanderwoerd', is written over the architectural drawing.

John Vanderwoerd, M.A.A.T.O  
Accredited Architectural Technologist  
BCIN 21611

A detailed architectural line drawing of a two-story house with a new addition. The drawing shows the front facade with large windows, a front porch, and a new two-story addition on the right side. The ground is represented by a grid pattern.

*Drafting with Principles  
Designing with Purpose*





The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

## APPLICATION

## Minor Variance or Special Permission

(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) Donna Smith, Jeremy Smith, Eve-Lynn Smith

Address 40 Inglewood Drive

Brampton, On L6W 2N2

Phone # 416-659-7351

Fax # \_\_\_\_\_

Email dnmsmith83@gmail.com

2. Name of Agent John Vanderwoerd

Address 34 Duke Street

PO Box 565

Arthur, On, N0G 1A0

Phone # 519-848-2128 cell 519-994-2710

Fax # \_\_\_\_\_

Email john@ontariohomedesign.ca

3. Nature and extent of relief applied for (variances requested):

Relief from required sideyard setback of 1.8 meters for proposed second floor addition to permit a setback of 1.2 meters

Relief from required front yard setback of 6.0 meters for proposed second floor addition and existing front porch.

to allow for a setback of 4.84 meters for the existing front unenclosed porch and 5.25 meters for column supporting roof at front of second floor addition

4. Why is it not possible to comply with the provisions of the by-law?

The homeowner is expecting a child shortly, her elderly mother-in-law has moved in with her and the family needs more room.

The most logical place to build this extra space is over the existing garage.

5. Legal Description of the subject land:

Lot Number Lot 390

Plan Number/Concession Number

Plan 679

Municipal Address 40 Ingle wood Drive

6. Dimension of subject land (in metric units)

Frontage 17.17 meters

Depth 30.85 meters

Area 0.051 hectares

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

Existing 2 storey dwelling has a ground floor area of 90.48 sq m. and a gross floor area of 132.8 sq m.

Existing home is 13.1 meters wide and 8.7 meters deep

Existing building height is 5.891 meters

Existing 1.57m wide x 2.51m deep (area of 3.94 sq m) Storage Shed is fastened to the house and 2.5m high

Existing tool Shed is .9 m wide and 1.88 m deep (area of 1.69 sq m) and is 2.3m high

Existing Garden Shed is 3.05 m wide and 3.05m deep (area of 9.3 sq m) 2.8m high and is 2.8m high

Existing in ground pool is 3.66m wide and 9.75m long (area is 35.7 sq m) no height

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

Proposed addition over garage onto existing 2 storey residence has a 90.48 sq m. ground floor area and a new gross area of 162.7 sq m.

The proposed addition does not increase the width of 13.1 meters nor the depth of 8.7 meters for the residence

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback 4.84 meters

Rear yard setback 16.49 meters

Side yard setback 1.27 meters (attached shed to house is 0.3m from property line)

Side yard setback 1.87 meters

**PROPOSED**

Front yard setback 4.84 meters

Rear yard setback 16.49 meters

Side yard setback 1.27 meters

Side yard setback 1.87 meters

10. Date of Acquisition of subject land: 2019
11. Existing uses of subject property: Single Family residence
12. Proposed uses of subject property: Single family residence
13. Existing uses of abutting properties: Single family residences
14. Date of construction of all buildings & structures on subject land: +/- 1965
15. Length of time the existing uses of the subject property have been continued: +/-55 years
16. (a) What water supply is existing/proposed?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Well ☐
- (b) What sewage disposal is/will be provided?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Septic ☐
- (c) What storm drainage system is existing/proposed?  
Sewers ☒ Other (specify) \_\_\_\_\_  
Ditches ☐  
Swales ☐



17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

\_\_\_\_\_  
Signature of Applicant(s) or Authorized Agent

DATED AT THE Village of Arthur OF the county of Wellington

THIS 18th DAY OF February, 20 21.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, JOHN VANDERWOERD, OF THE VILLAGE OF ARTHUR  
IN THE COUNTY OF WELLINGTON SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF Brampton  
IN THE Region OF  
 Peel  THIS 2nd DAY OF  
March, 20 21.

Jeanie Myers  
A Commissioner etc.

Jeanie Cecilia Myers,  
a Commissioner, etc.,  
Province of Ontario,  
for the Corporation of the  
City of Brampton.  
Expires April 8, 2021.

\_\_\_\_\_  
Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation:

R1B - MATURE

Present Zoning By-law Classification:

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

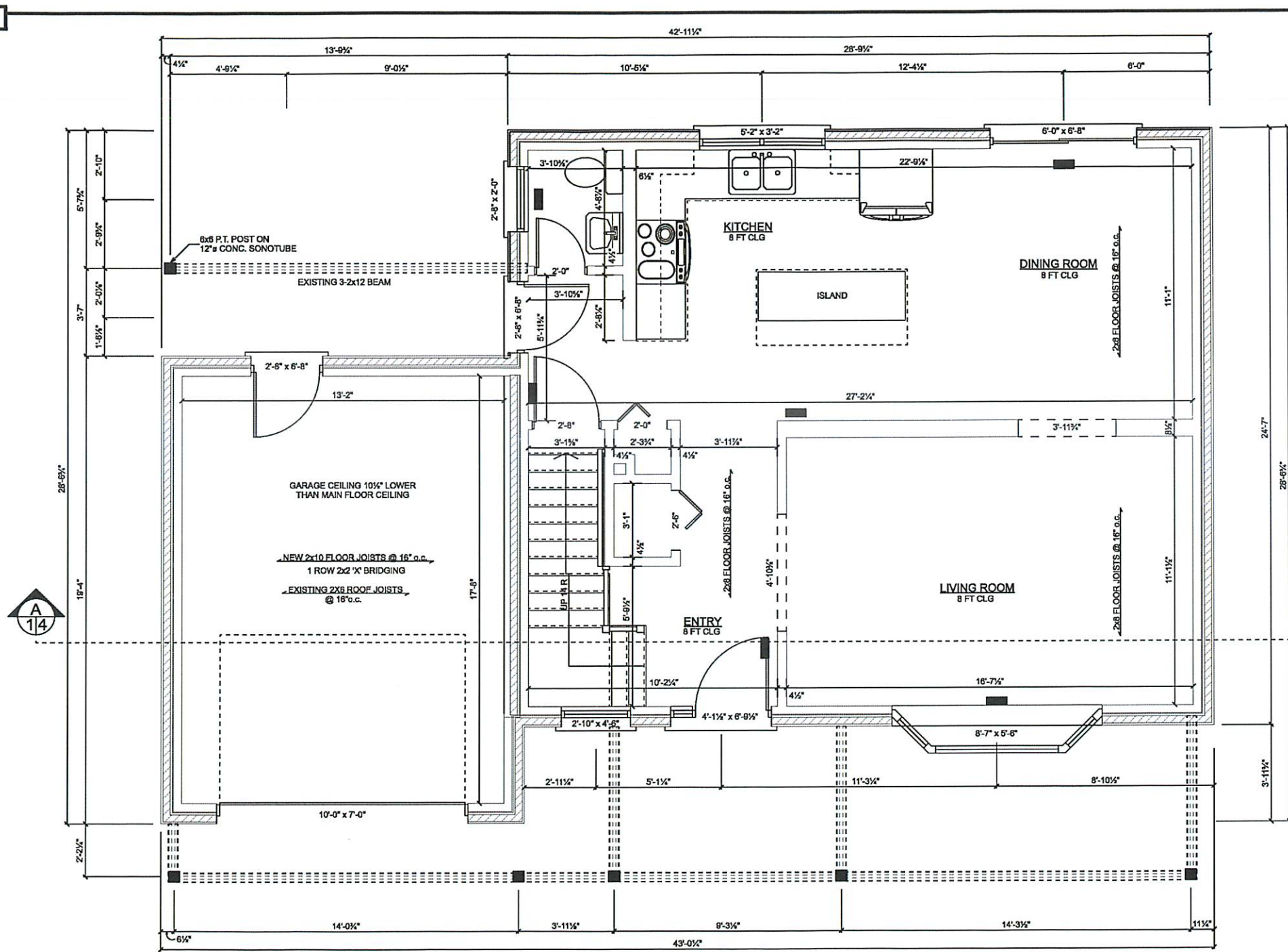
HOTHU S.

Zoning Officer

MARCH 03 2021

Date

DATE RECEIVED March 2, 2021.



**PROPOSED MAIN FLOOR**  
 SCALE: 1/4" = 1'-0"

NOTES:  
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John Vanderwoerd BCIN 21611  
 REGISTRATION INFORMATION  
 Required unless design is exempt under  
 Division C.3.2.2.1 of the 2012 O.B.C.  
 Firm Name: Vanderwoerd Drafting & Design  
 BCIN 35973

**VANDERWOERD**  
 DRAFTING & DESIGN  
 John Vanderwoerd, M.A.A.T.O.  
 34 Duka Street, Arthur, Ontario N0G 1A0  
 www.homo-design-bcin.ca  
 519-849-2128

DRAWN BY:  
**JOHN VANDERWOERD,**  
 M.A.A.T.O. BCIN: 21611

CONTRACTOR

STARTING DATE:  
 July 31, 2020

LAST REVISION DATE:  
 Feb 18, 2021

CUSTOMER:  
 Donna Smith  
 40 Inglewood Drive  
 Brampton, On

PROJECT:  
 Addition

DRAWING TITLE:  
 Proposed Main Floor Area

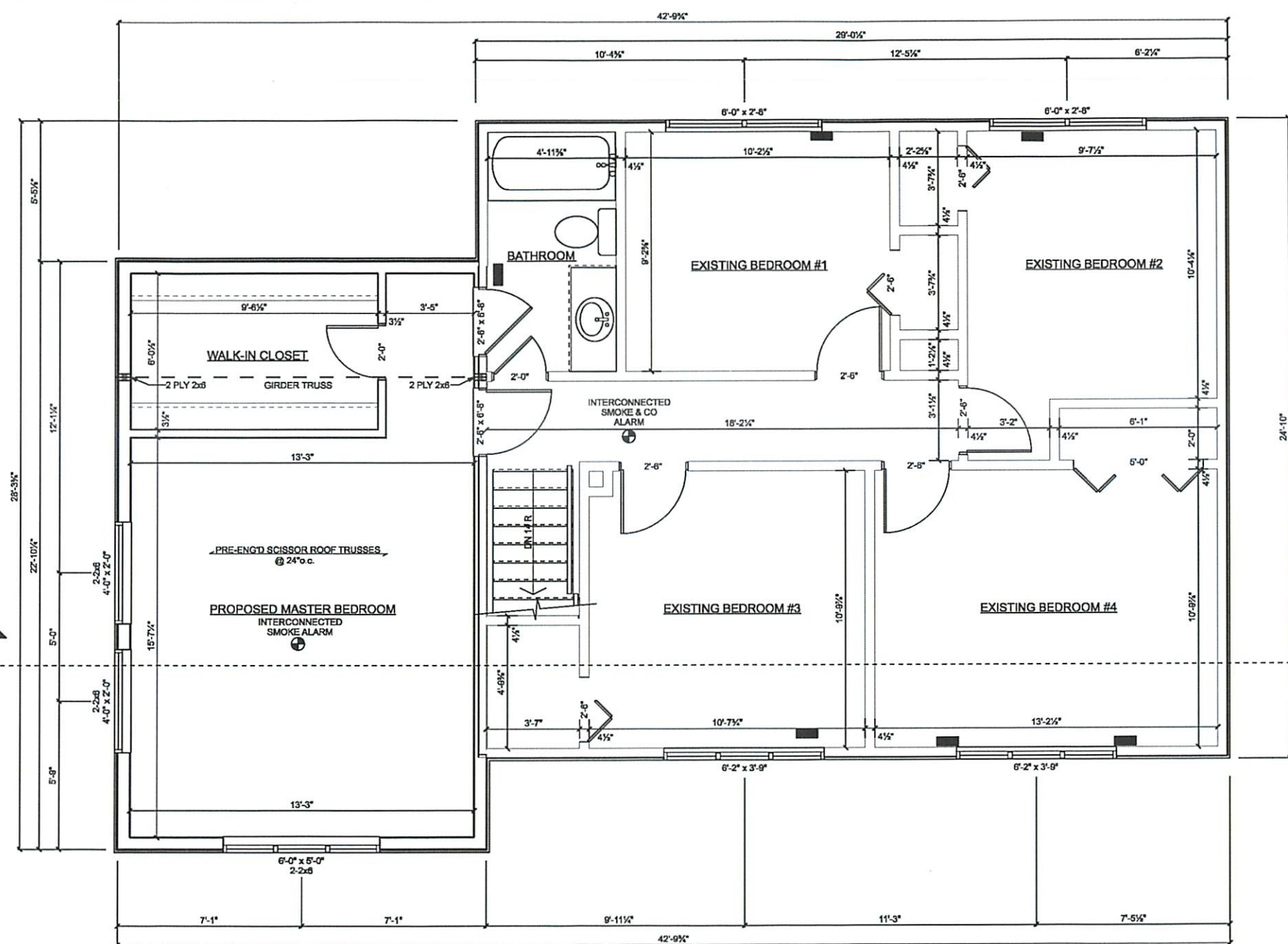
DRAWING #:  
 20-301

PAGE #:  
 1 of 15

SCALE:  
 1/4" = 1'-0"

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**PROPOSED SECOND FLOOR**  
 SCALE: 1/4" = 1'-0"

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 Firm Name: Vanderwoerd Drafting & Design  
 BCIN 35975

**VANDERWOERD**  
 DRAFTING & DESIGN

John Vanderwoerd, M.A.A.T.O.  
 34 Duke Street, Arthur, Ontario N0G 1A0  
 www.homo-design-bcin.ca  
 519-848-2128

DRAWN BY:  
**JOHN VANDERWOERD,**  
 M.A.A.T.O. BCIN: 21611

CONTRACTOR

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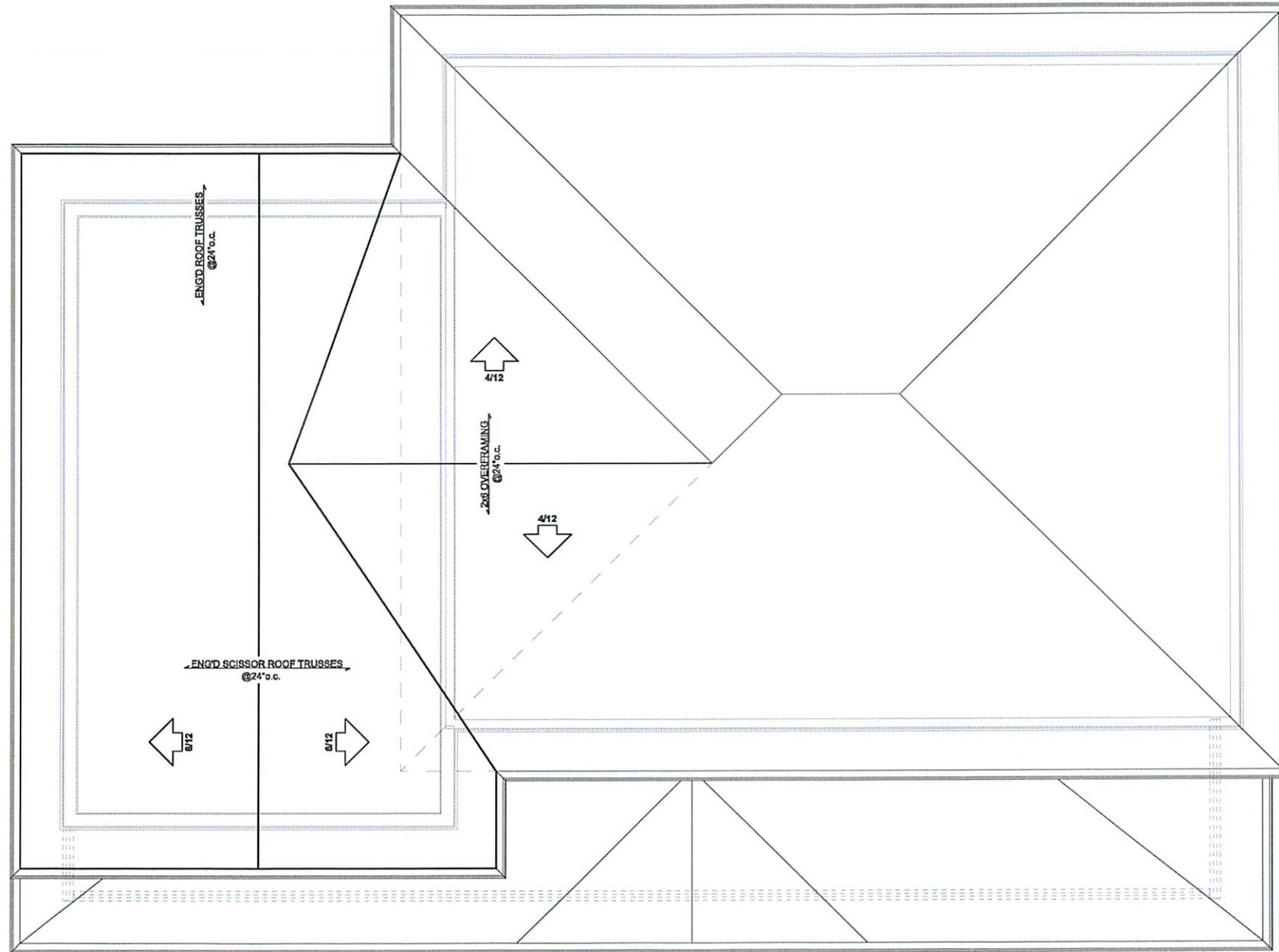
DRAWING TITLE:  
 Proposed Second Floor

DRAWING #:  
 20-301

SCALE:  
 1/4" = 1'-0"

PAGE #:  
 2 of 15

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**PROPOSED ROOF PLAN**  
SCALE: 1/4" = 1'-0"

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July 31, 2020

LAST REVISION DATE:  
Feb 18, 2021

CUSTOMER:  
Donna Smith  
40 Inglewood Drive  
Brampton, On

PROJECT:  
Addition

DRAWING TITLE:  
Proposed Roof Plan

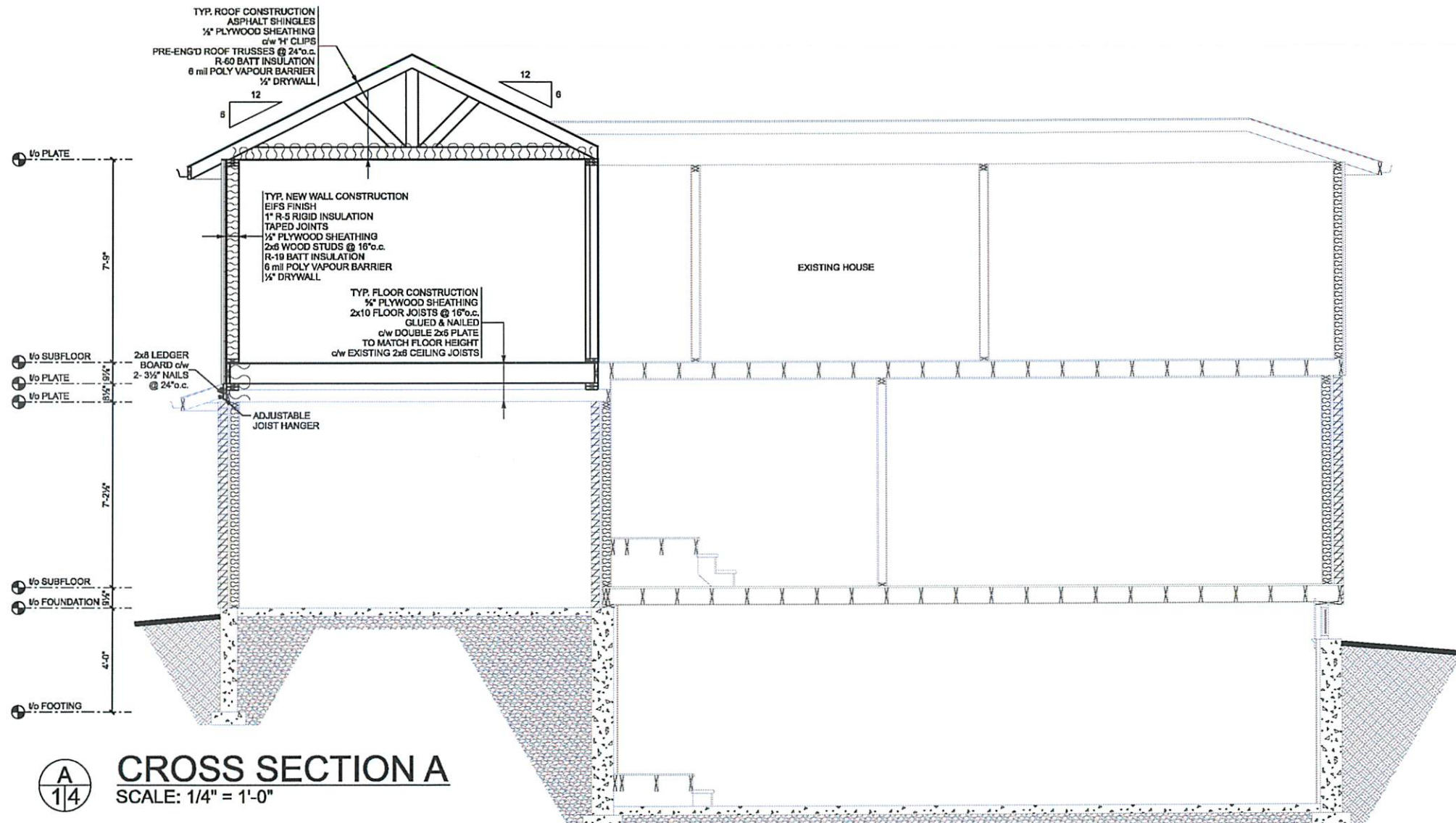
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A  
1/4

# **CROSS SECTION A** SCALE: 1/4" = 1'-0"

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PROJECT:  
**Addition**  
DRAWING TITLE:  
**Cross Section A**

STARTING DATE:  
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20-301  
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4 of 15  
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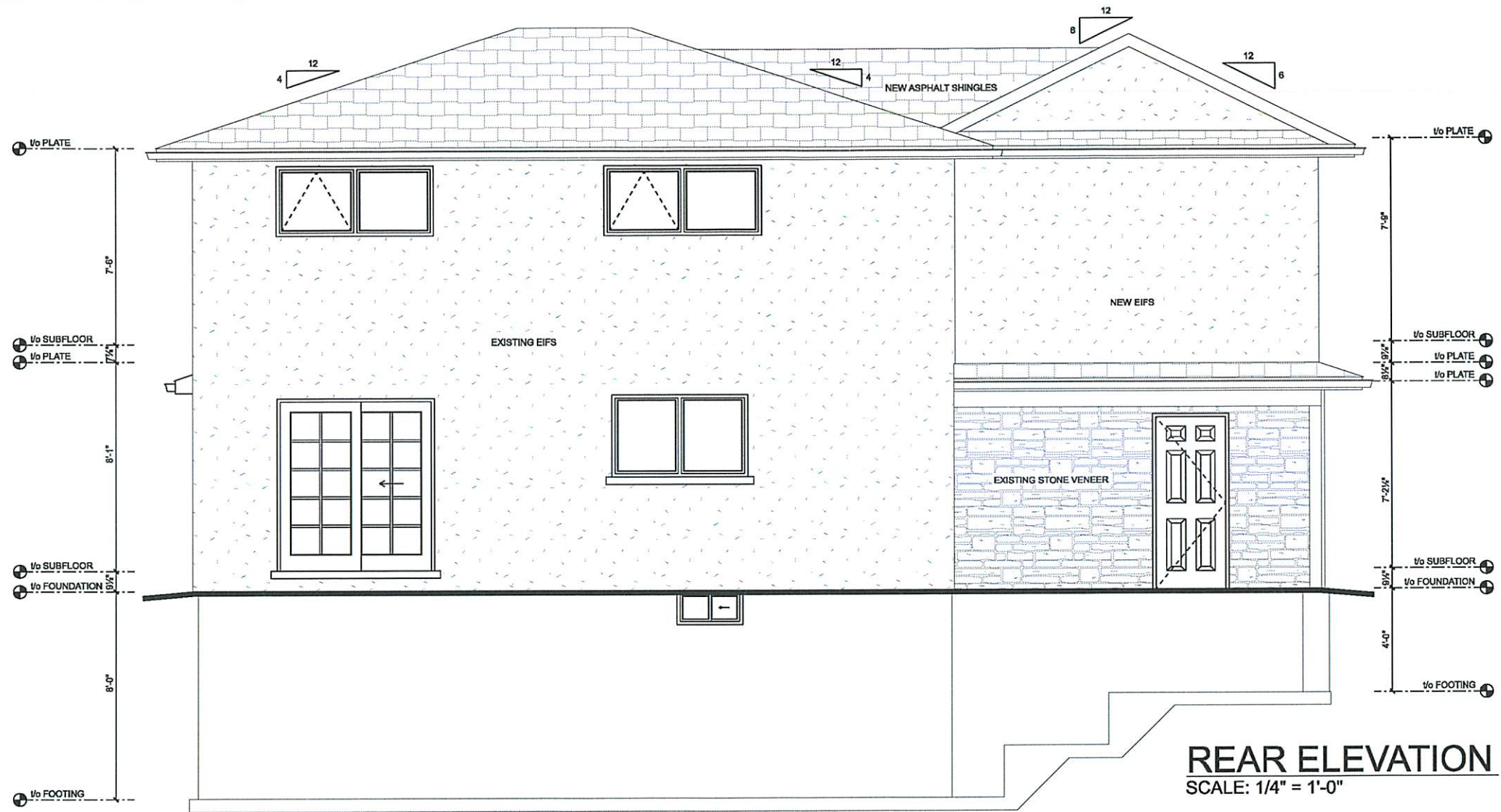
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**Addition**  
  
DRAWING TITLE:  
**Front Elevation**

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**20-301**  
  
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**REAR ELEVATION**  
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PROJECT:

Addition

DRAWING TITLE:

Rear Elevation

STARTING DATE:  
July 31, 2020

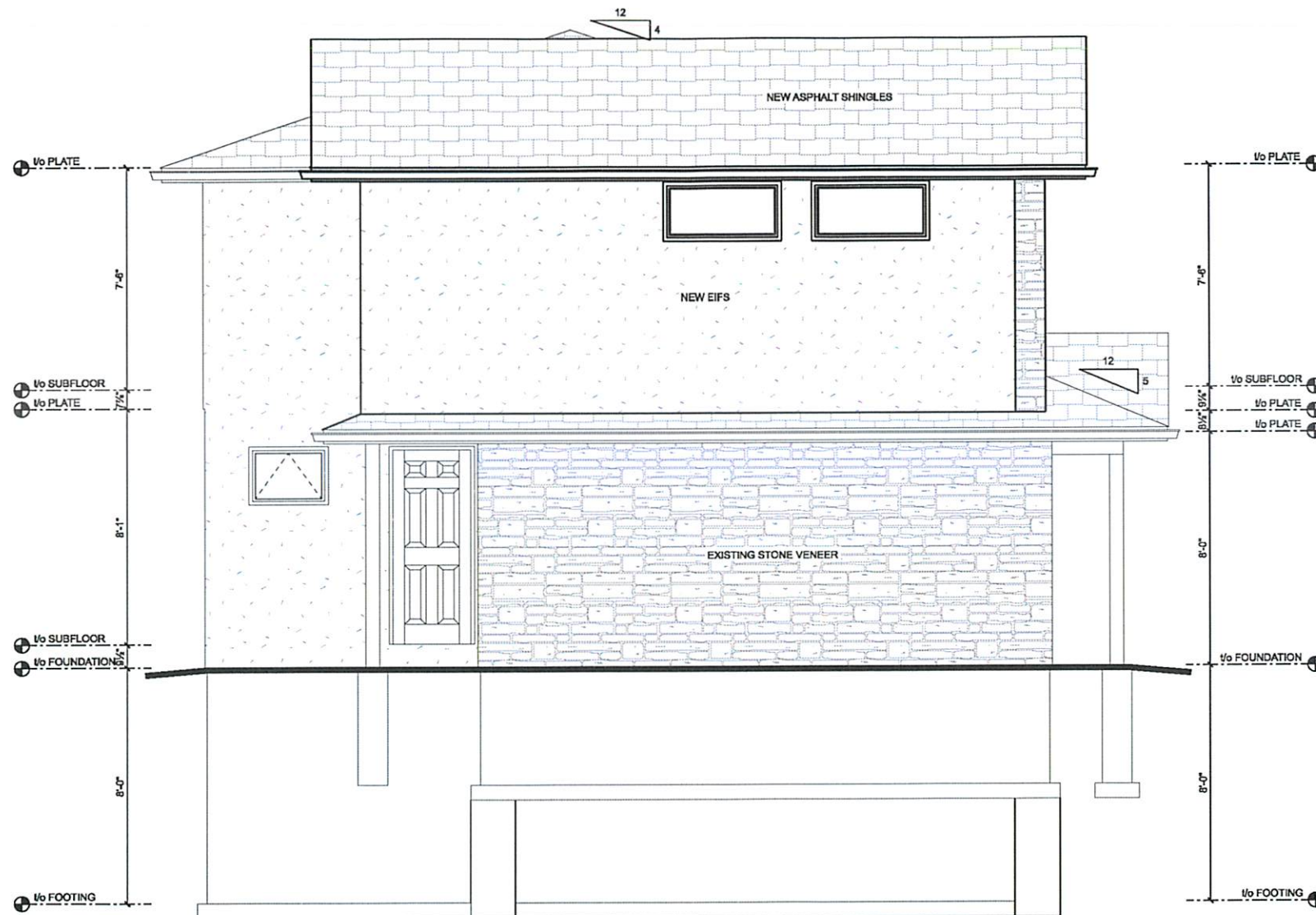
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**LEFT ELEVATION**  
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Brampton, On

PROJECT:  
Addition

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Left Elevation

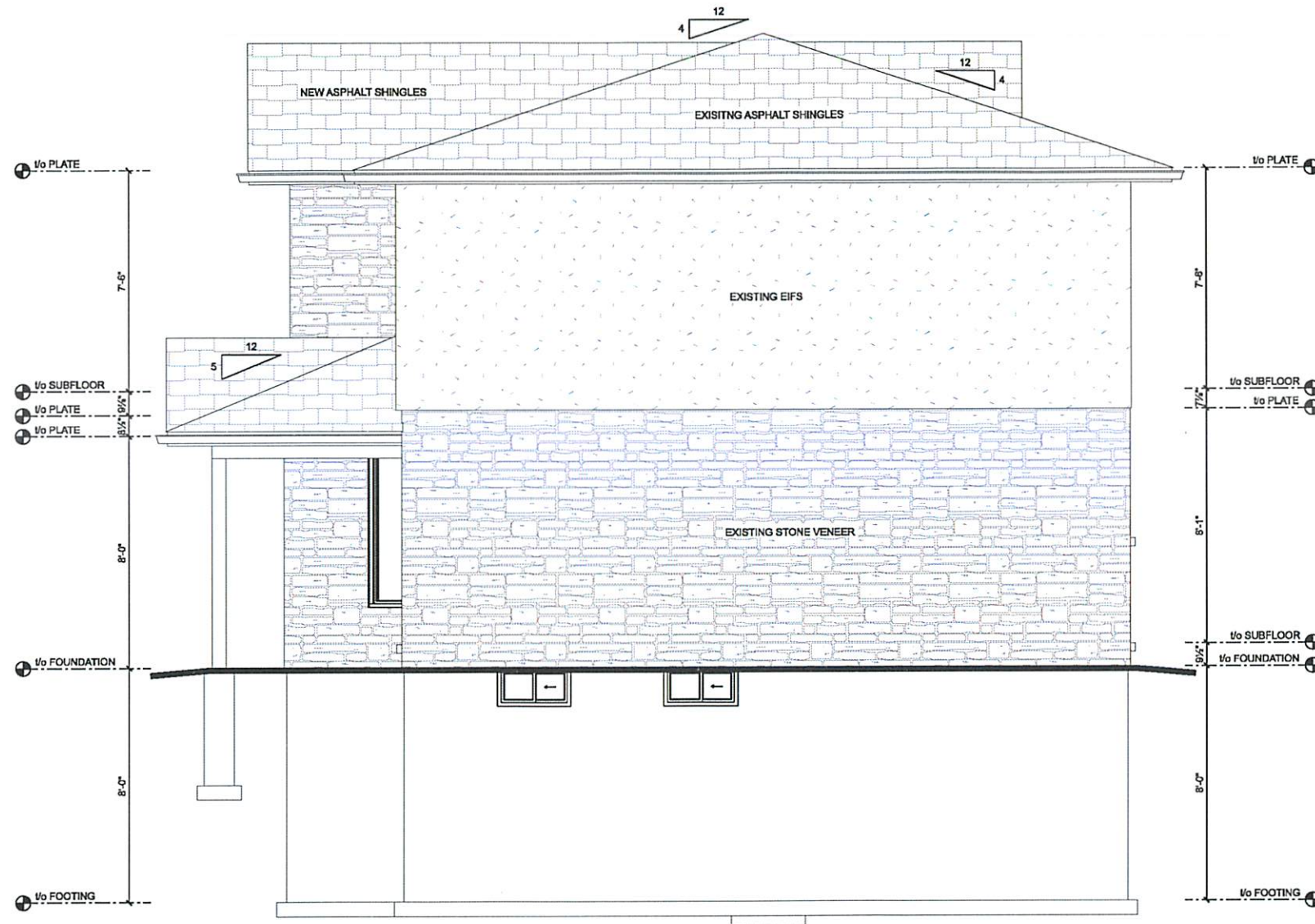
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**RIGHT ELEVATION**  
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Addition

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Right Elevation

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SB-12 Compliance Package - Additions				
Table 3.1.1.11 [Zone 1]				
For Heating other than Electric Space Heating				
Component	Min. R-Value	Max. U Value	Min.Effective R Value	Energy Rating
Ceiling with Attic Space	60	0.017	59.22	
Ceiling without Attic Space	31	0.036	27.65	
Exposed Floor	31	0.034	29.8	
Walls Above Grade	19 + 5ci	0.049	20.32	
Basement Walls	20ci	0.047	21.12	
Heated Slab or Slab ≤ 24" Below Grade	10	0.090	11.13	
Edge of Below Grade Slab: ≤ 24" Below Grade	10			
Windows & Sliding Glass Doors:		1.6		25
Skylights		2.8		
Gross Building Face	64.86 m <sup>2</sup>		698.18 ft <sup>2</sup>	
Glazing Area	3.72 m <sup>2</sup>		40.00 ft <sup>2</sup>	
Ratio (%)	5.73			

Notes:

- 1) Where a minimum R Value, maximum U Value, or minimum Effective R Value are specified for a component, the component only needs to conform to one of the requirements
- 2) ci means continuous insulation
- 3) Where a dwelling unit has a walkout basement, the thermal performance of the exterior basement wall shall be not less than that required for the above grade wall for:
  - a) the basement wall containing the door opening and
  - b) any basement wall that has an exposed wall area above the ground level exceeding 50% of that basement wall area

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Compliance Package

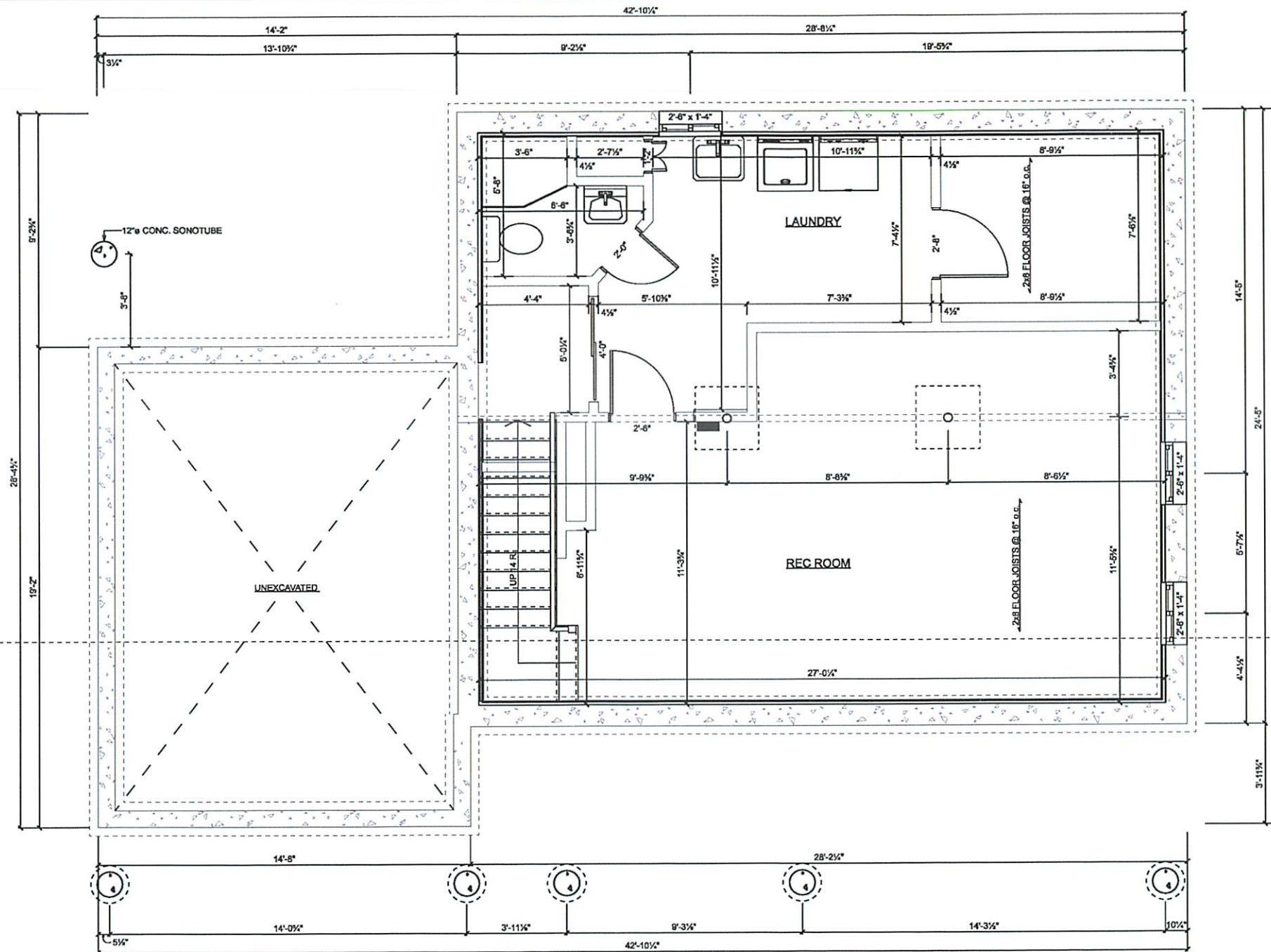
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Existing Basement

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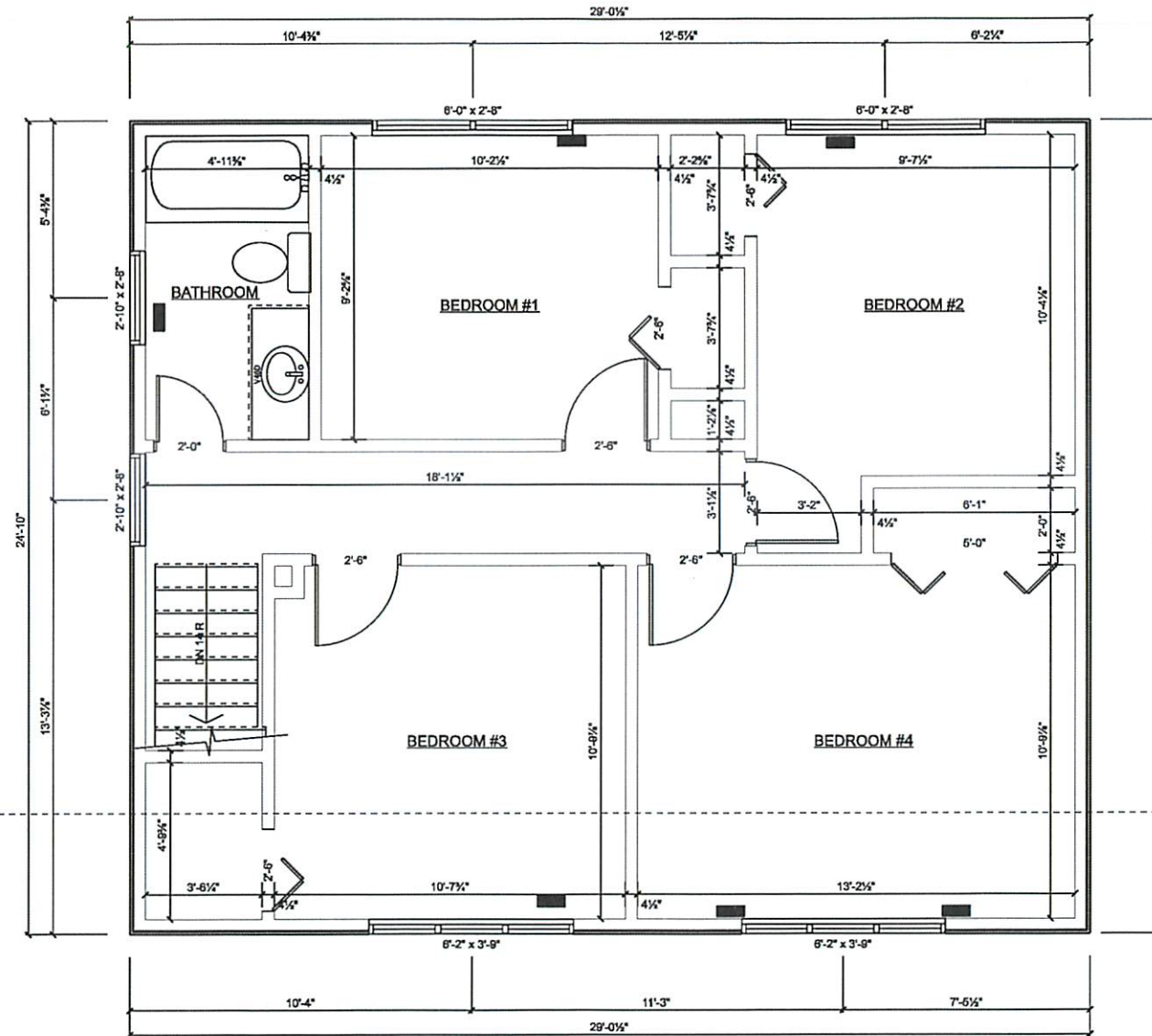
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## EXISTING SECOND FLOOR

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Brampton, On

PROJECT:

Addition

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Existing Second Floor

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### 9.3.1. Concrete

#### 9.3.1.1. General

(1) Except as provided in Sentence (2), unreinforced and nominally reinforced concrete shall be designed, mixed, placed, cured and tested in accordance with the requirements for "R" class concrete stated in Clause B.13 of CSA A23.1, "Concrete Materials and Methods of Concrete Construction".

(2) Unreinforced and nominally reinforced site-batched concrete shall be designed, mixed, placed and cured in accordance with Articles 9.3.1.2. to 9.3.1.8.

#### 9.3.1.2. Cement

(1) Cement shall meet the requirements of CAN/CSA-A3001, "Cementitious Materials for Use in Concrete".

#### 9.3.1.3. Concrete in Contact with Sulfate Soil

(1) Concrete in contact with sulfate soil, which is deleterious to normal cement, shall conform to the requirements in Clause 15.5 of CAN/CSA-A23.1, "Concrete Materials and Methods of Concrete Construction".

#### 9.3.1.4. Aggregates

(1) Aggregates shall,

(a) consist of sand, gravel, crushed rock, crushed air-cooled blast furnace slag, expanded shale or expanded clay conforming to CAN/CSA-A23.1, "Concrete Materials and Methods of Concrete Construction", and

(b) be clean, well-graded and free of injurious amounts of organic and other deleterious material.

#### 9.3.1.5. Water

(1) Water shall be clean and free of injurious amounts of oil, organic matter, sediment or any other deleterious material.

#### 9.3.1.8. Compressive Strength

(1) Except as provided elsewhere in this Part, the compressive strength of unreinforced concrete after 28 days shall be not less than,

(a) 32 MPa for garage floors, carport floors and all exterior flatwork,

(b) 20 MPa for interior floors other than those for garages and carports, and

(c) 15 MPa for all other applications.

(2) Concrete used for garage and carport floors and exterior steps shall have air entrainment of 5 to 8%.

#### 9.3.1.7. Concrete Mixes

(1) For site-batched concrete, the concrete mixes described in Table 9.3.1.7. shall be considered acceptable if the ratio of water to cementing materials does not exceed,

(a) 0.46 for garage floors, carport floors and all exterior flatwork,

(b) 0.65 for interior floors other than those for garages and carports, and

(c) 0.70 for all other applications.

(2) The size of aggregate in unreinforced concrete mixes referred to in Sentence (1) shall not exceed,

(a) 1/5 the distance between the sides of vertical forms, or

(b) 1/3 the thickness of flatwork.

#### 9.3.1.8. Admixtures

(1) Admixtures shall conform to ASTM C260, "Air-Entraining Admixtures for Concrete", or ASTM C494 / C494M, "Chemical Admixtures for Concrete", as applicable.

#### 9.3.1.9. Cold Weather Requirements

(1) When the air temperature is below 5°C, concrete shall be,

(a) kept at a temperature of not less than 10°C or more than 25°C while being placed, and

(b) maintained at a temperature of not less than 10°C for 72 h after placing.

(2) No frozen material or ice shall be used in concrete described in Sentence (1).

#### 9.5.2.3. Stud Wall Reinforcement

(1) If wood wall studs or sheet steel wall studs enclose the main bathroom in a dwelling unit, reinforcement shall be installed to permit the future installation of a grab bar on a wall adjacent to,

(a) a water closet in the location required by Clause 3.8.3.8.(1)(c), and

(b) a shower or bathtub in the location required by Clause 3.8.3.13.(1)(f).

#### 9.5.2.2. Resistance to Forced Entry for Doors

(1) Except for exterior doors to garages and to other ancillary spaces, this Article applies to,

(a) swinging entrance doors to dwelling units,

(b) swinging doors between dwelling units and attached garages or other ancillary spaces, and

(c) swinging doors that provide access directly or indirectly from a storage garage to a dwelling unit.

(2) Doors, frames and hardware that conform to a security level of at least Grade 10 as described in the Annex to ASTM F476, "Security of Swinging Door Assemblies", are not required to conform to Sentences (3) to (7).

(3) Except as provided in Sentence (2), wood doors described in Sentence (1) shall,

(a) be solid core or stile and rail type,

(b) be not less than 45 mm thick, and

(c) if of the stile and rail panel type, have a panel thickness of not less than 19 mm, with a total panel area not more than half of the door area.

(4) Except as provided in Sentence (2), doors described in Sentence (1) shall be provided with a deadbolt lock with a cylinder having no fewer than 5 pins and a bolt throw not less than 25 mm, protected with a solid or hardened free-turning ring or beveled cylinder housing.

(5) Except as provided in Sentence (2), an inactive leaf in double doors used in locations specified in Sentence (1) shall be provided with heavy-duty bolts top and bottom having an engagement of not less than 15 mm.

(6) Except as provided in Sentence (2), hinges for doors described in Sentence (1) shall be fastened to wood doors with wood screws not less than 25 mm long and to wood frames with wood screws such that at least two screws per hinge penetrate not less than 30 mm into solid wood, or shall be fastened to metal doors and metal frames with machine screws not smaller than No. 8 and not less than 10 mm long.

(7) Except as provided in Sentence (2), strikplates for deadbolts described in Sentence (4) shall be fastened to wood frames with wood screws that penetrate not less than 30 mm into solid wood, or to metal frames with machine screws not smaller than No. 8 and not less than 10 mm long.

(8) Except for storm doors or screen doors, doors described in Sentence (1) that swing outward shall be provided with hinges or pins so that the doors cannot be removed when they are in the closed position.

(9) Solid blocking shall be provided on both sides at the lock height between the jambs for doors described in Sentence 9.5.8.1.(1) and the structural framing so that the jambs will resist spreading by force.

#### 9.5.2.3. Resistance to Forced Entry for Windows

(1) In dwelling units, windows, any part of which is located within 2 m of adjacent ground level, shall conform to the requirements for resistance to forced entry as described in Clause 5.3.5 of AAMA/WDMA/CSA 101/1.5.2/A440, "NAFS - North American Fenestration Standard/Specification for Windows, Doors, and Skylights".

### 9.10.13.15. Doors Between Garages and Dwelling Units

(1) A door between an attached or built-in garage and a dwelling unit shall be tight-fitting and weatherstripped to provide an effective barrier against the passage of gases and exhaust fumes and shall be fitted with a self-closing device.

(2) A doorway between an attached or built-in garage and a dwelling unit shall not be located in a room intended for sleeping.

#### 9.10.9.17. Separation of Repair Garages

(4) Where a building containing a repair garage also contains a dwelling unit, an air barrier system conforming to Subsection 9.25.3. shall be installed between the dwelling unit and the suite containing the garage to provide an effective air barrier to gas and exhaust fumes.

(5) Where membrane materials are used to provide the required airtightness in the air barrier system, all joints shall be sealed and structurally supported.

#### 9.20.13.12. Drips Beneath Window Sills

(1) Except for wall openings located less than 150 mm above ground level, where a concealed flashing is not installed beneath window and door sills, such sills shall be provided with an outward slope and a drip located not less than 25 mm from the wall surface.

#### 9.23 Wood Frame Construction

##### 9.23.2.1. Strength and Rigidity

(1) All members shall be so framed, anchored, fastened, tied and braced to provide the necessary strength and rigidity.

##### 9.23.3. Fasteners

###### 9.23.3.1. Standards for Nails and Screws

(1) Unless otherwise indicated, nails specified in this Section shall be common steel wire nails or common spiral nails, conforming to CSA B111, "Wire Nails, Spikes and Staples".

(2) Wood screws specified in this Section shall conform to ANSI/ASME B18.8.1, "Wood Screws (Inch Series)".

###### 9.23.3.2. Length of Nails

(1) All nails shall be long enough so that not less than half their required length penetrates into the second member.

###### 9.23.3.3. Prevention of Splitting

(1) Splitting of wood members shall be minimized by staggering the nails in the direction of the grain and by keeping nails well in from the edges.

###### 9.23.3.4. Nailing of Framing

(1) Except as provided in Sentence (2), nailing of framing shall conform to Table 9.23.3.4.

###### 9.23.16. Wall Sheathing

###### 9.23.16.1. Required Sheathing

(1) Exterior walls and gable ends shall be sheathed when the exterior cladding requires intermediate fastening between supports or if the exterior cladding requires solid backing.

###### 9.23.16.2. Thickness, Rating and Material Standards

(1) Where wall sheathing is required, it shall conform to Table 9.23.16.2.A. or Table 9.23.16.2.B.

###### 9.23.16.5. Joints in Panel-Type Sheathing

(1) A gap of not less than 2 mm shall be left between sheets of plywood, OSB, waferboard or fibreboard.

#### 9.23.15. Roof Sheathing

##### 9.23.15.1. Required Roof Sheathing

(1) Except as provided in Section 9.26, continuous lumber or panel-type roof sheathing shall be installed to support the roofing.

##### 9.23.15.2. Material Standards

(1) Wood-based panels used for roof sheathing shall conform to the requirements of,

(a) CSA O121-M, "Douglas Fir Plywood",

(b) CSA O151, "Canadian Softwood Plywood",

(c) CSA O153-M, "Poplar Plywood",

(d) CAN/CSA-O325.0, "Construction Sheathing", or

(e) CSA O437.0, "OSB and Waferboard".

##### 9.23.15.3. Direction of Installation

(1) Plywood roof sheathing shall be installed with the surface grain at right angles to the roof framing.

(2) OSB roof sheathing conforming to CAN/CSA-O325.0, "Construction Sheathing", or to O-1 and O-2 grades as specified in CSA O437.0, "OSB and Waferboard", shall be installed with the direction of face orientation at right angles to the roof framing members.

##### 9.23.15.4. Joints in Panel-Type Sheathing

(1) Panel-type sheathing board shall be applied so that joints perpendicular to the roof ridge are staggered where,

(a) the sheathing is applied with the surface grain parallel to the roof ridge, and

(b) the thickness of the sheathing is such that the edges are required to be supported.

(2) A gap of not less than 2 mm shall be left between sheets of plywood, OSB or waferboard.

##### 9.23.15.6. Edge Support

(1) Except as permitted in Sentence (2), where panel-type roof sheathing requires edge support, the support shall consist of,

(a) metal H clips, or

(b) not less than 38 mm by 38 mm blocking securely nailed between framing members.

(2) The supports referred to in Sentence (1) are not required when tongued-and-grooved edged panel-type sheathing board is used.

##### 9.23.15.7. Thickness or Rating

(1) The thickness or rating of roof sheathing on a flat roof used as a walking deck shall conform to either Table 9.23.14.5.A. or Table 9.23.14.5.B. for subfloors.

#### 9.26.18.2. Downspouts

(1) Where downspouts are provided and are not connected to a sewer, extensions shall be provided to carry rainwater away from the building in a manner that will prevent soil erosion.

Table 9.23.3.4.  
Nailing for Framing

Forming Part of Sentence 9.23.3.4.(1)

Item	Column 1 Construction Detail	Column 2 Minimum Length of Nails, mm	Column 3 Minimum Number or Maximum Spacing of Nails
1.	Floor joist to plate - toe nail	82	2
2.	Wood or metal strapping to underside of floor joists	57	2
3.	Cross bridging to joists	57	2 at each end
4.	Double header or trimmer joists	76	300 mm (o.c.)
5.	Floor joist to stud (balloon construction)	76	2
6.	Ledger strip to wood beam	82	2 per joist
7.	Joist to joist splice (See also Table 9.23.13.6.)	76	2 at each end
8.	Header joist end nailed to joists along perimeter	101	3
9.	Tail joist to adjacent header joist	82	5
10.	Each header joist to adjacent trimmer joist	101	3
11.	Stud to wall plate (each end) toe nail or end nail	62	4
12.	Doubled studs at openings, or studs at walls or wall intersections and corners	82	750 mm (o.c.)
13.	Doubled top wall plates	76	600 mm (o.c.)
14.	Bottom wall plate or sole plate to joists or blocking (exterior walls)"	82	400 mm (o.c.)
15.	Interior walls to framing or subflooring	82	600 mm (o.c.)
16.	Horizontal member over openings in non-loadbearing walls - each end	82	2
17.	Uprights to studs	82	2 at each end
18.	Ceiling joist to plate - toe nail each end	82	2
19.	Rafter, rafter, roof truss or roof joist to plate - toe nail	82	3
20.	Rafter plate to each ceiling joist	101	2
21.	Rafter to joist (with ridge supported)	76	3
22.	Rafter to joist (with ridge unsupported)	76	See Table 9.23.13.6.
23.	Gusset plate to each rafter at peak	57	4
24.	Rafter to ridge board - toe nail - end nail	82	3
25.	Collar tie to rafter - each end	76	3
26.	Collar tie lateral support to each collar tie	57	2
27.	Jack rafter to hip or valley rafter	82	2
28.	Roof strut to rafter	76	3
29.	Roof strut to loadbearing wall - toe nail	82	2
30.	38 mm x 140 mm or less plank decking to support	82	2
31.	Plank decking wider than 38 mm x 140 mm to support	82	3
32.	38 mm edge laid plank decking to support (toe nail)	76	1
33.	38 mm edge laid plank to each other	76	450 mm (o.c.)

Table 9.23.16.2.B.  
Rating For Wall Sheathing When Applying CAN/CSA-O325.0

Forming Part of Sentence 9.23.16.2.(1)

Item	Column 1 Maximum Spacing of Supports, mm	Column 2 Panel Mark
1.	406	W16
2.	508	W20
3.	610	W24

Table 9.23.16.2.A.  
Wall Sheathing Thickness and Specifications

Forming Part of Sentence 9.23.16.2.(1)

Item	Column 1 Type of Sheathing	Column 2 Minimum Thickness, mm"	Column 3 With Supports 406 mm o.c. With Supports 610 mm o.c.	Column 4 Material Standards
1.	Fibreboard (insulating)	9.5	11.1	CAN/ULC-S706
2.	Gypsum Sheathing	9.5	12.7	CAN/CSA-A82.27-M ASTM C1177 / C1177M ASTM C1396 / C1396M
3.	Lumber	170	170	See Table 9.2.2.1.
4.	Mineral Fibre, Rigid Board, Type 2	25	25	CAN/ULC-S702
5.	OSB, D-2 Grade	6.0	7.5	CSA O437.0
6.	OSB, D-1 Grade, and Waferboard, R-1 Grade	6.35	7.9	CSA O437.0
7.	Phenolic, faced	25	25	CAN/CSA-S125-M
8.	Plywood (exterior type)	6	7.5	CSA O121-M CSA O151 CSA O153-M
9.	Polystyrene, Types 1 and 2	38	38	CAN/ULC-S701
10.	Polystyrene, Types 3 and 4	25	25	CAN/ULC-S701
11.	Polyurethane and Polyisocyanurate Type 1, faced	38	38	CAN/ULC-S704
12.	Polyurethane and Polyisocyanurate Types 2 and 3, faced	25	25	CAN/ULC-S704

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John Vanderwoerd BCIN 21611  
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July 31, 2020

LAST REVISION DATE:  
Feb 18, 2021

CUSTOMER:  
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PROJECT:  
**Addition**

DRAWING TITLE:  
**Notes Page 1**

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20-301

SCALE:  
N.T.S.

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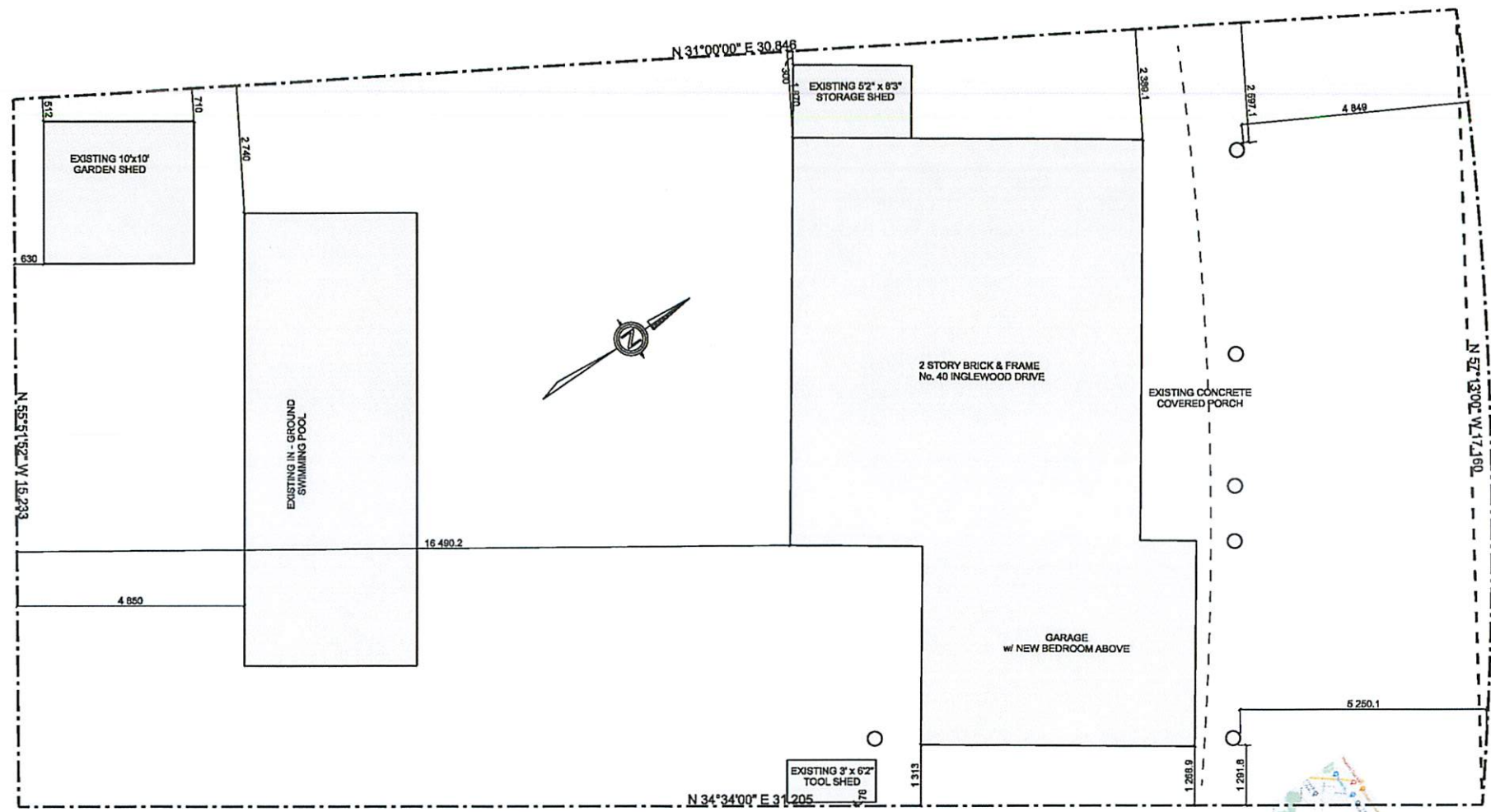
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Site Plan

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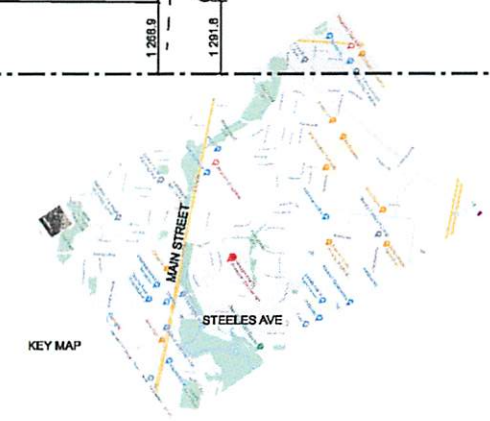
SCALE:  
As Noted



# SITE PLAN

SCALE: 1:100

AREA SCHEDULE	
NAME	AREA
Gross Floor Area	1751.1 sq ft.
Main Floor Area	707.0 sq ft.
Second Floor Area	1044.1 sq ft.
Exsting Gross Floor Area	1429.3 sq ft.
Existing Main Floor	708.1 sq ft.
Existing Second Floor	721.2 sq ft.



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