

Public Notice

Committee of Adjustment

APPLICATION # A-2021-0042 WARD #3

APPLICATION FOR MINOR VARIANCE Revised

WHEREAS an application for minor variance has been made by **DONNA SMITH, JEREMY SMITH AND EVE-LYNN SMITH** under Section 45 of the <u>Planning Act</u>, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 390, Plan 679 municipally known as **40 INGLEWOOD DRIVE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

- 1. To permit an interior side yard setback of 1.26m (4.14 ft.) to a proposed second storey addition whereas the by-law requires a minimum setback of 1.8m (5.91 ft.) to the second storey;
- 2. To permit an existing building addition (labelled as storage shed) in the interior side yard having a setback of 0.30m (0.98 ft.) whereas the by-law requires a minimum interior side yard width of 1.8m (5.91 ft.);
- 3. To permit an existing accessory structure (tool shed) having a setback of 0.076m (0.25 ft.) to the side lot line whereas the by-law requires a minimum setback of 0.60m (1.97 ft.) to all lot lines;
- 4. To permit an existing accessory structure (garden shed) having a setback of 0.512m (1.68 ft.) to the side lot line whereas the by-law requires a minimum setback of 0.60m (1.97 ft.) to all lot lines;
- 5. To permit an existing fence (privacy screen on patio) having a height of 2.13m (6.99 ft.) whereas the bylaw permits a maximum fence height of 2.0m (6.56 ft.).

OTHER PLANNING APPLICATIONS:

Plan of Subdivision: Application for Consent:	NO NO	File Number:File Number:	
The Committee of Adjustme	nt has appointed TU	ESDAY, March 30, 2021 at 9:00 A.M. by electronic mee	tir

The land which is subject of this application is the subject of an application under the Planning Act for:

The Committee of Adjustment has appointed TUESDAY, March 30, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS. If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING. OTHERWISE THE APPLICATION SHALL BE DEFERRED.

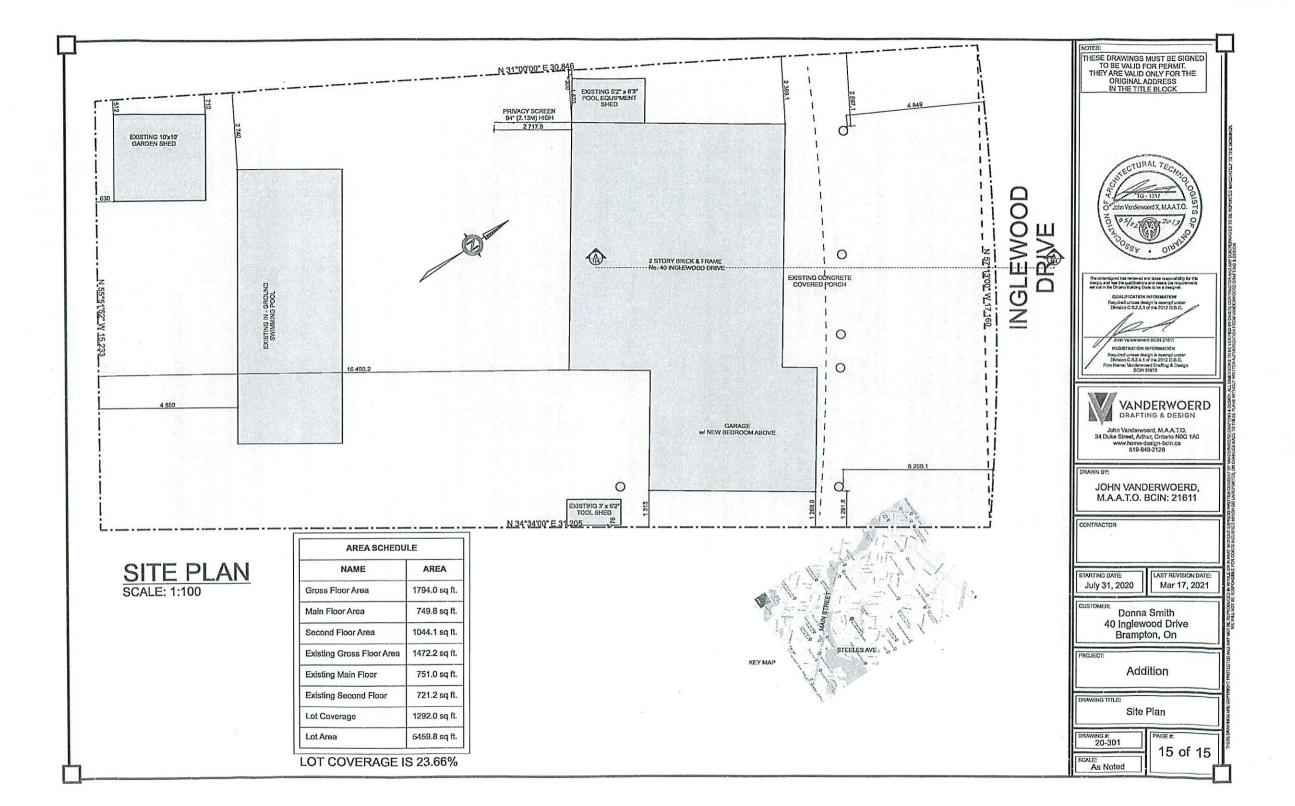
PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 18th day of March, 2021.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer Committee of Adjustment, City Clerk's Office, Brampton City Hall 2 Wellington Street West, Brampton, Ontario L6Y 4R2 Phone: (905)874-2117

Fax: (905)874-2119 jeanie.myers@brampton.ca





Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than 4:30 pm, Thursday, March 25, 2021.
- Advance registration for applicants, agents and other interested persons is required to
 participate in the electronic hearing using a computer, smartphone or tablet by emailing the
 Secretary—Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by
 4:30 pm Thursday, March 25, 2021.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by Friday, March 26, 2021. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx or http://video.isilive.ca/brampton/live.html.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



34 Duke Street Arthur. Ontario NOG 1A0 519-848-2128 www.ontariohomedesign.ca

March 17, 2021

To: Committee of Adjustment RE: APPLICATION FOR MINOR VARIANCE DONNA SMITH, JEREMY SMITH AND EVE-LYNN SMITH LOT 390, PLAN 679 A-2020-0042 - 40 INGLEWOOD DRIVE WARD 3

Please amend application A-2021-0042 to reflect the following variance(s):

- 1. To permit an interior side yard setback of 1.26m (4.14 ft.) to a proposed second storey addition whereas the by-law requires a minimum setback of 1.8m (5.91 ft.) to the second storey;
- 2. To permit an existing building addition (labelled as storage shed) in the interior side yard having a setback of 0.30m (0.98 ft.) whereas the by-law requires a minimum interior side yard width of 1.8m (5.91 ft.);
- 3. To permit an existing accessory structure (tool shed) having a setback of 0.076m (0.25 ft.) to the side lot line whereas the by-law requires a minimum setback of 0.60m (1.97 ft.) to all lot lines;
- 4. To permit an existing accessory structure (garden shed) having a setback of 0.512m (1.68 ft.) to the side lot line whereas the by-law requires a minimum setback of 0.60m (1.97 ft.) to all lot lines;
- 5. To permit an existing fence (privacy screen on patio) having a height of 2.13m (6.99 ft.) whereas the by-law permits a maximum fence height of 2.0m (6.56 ft.).

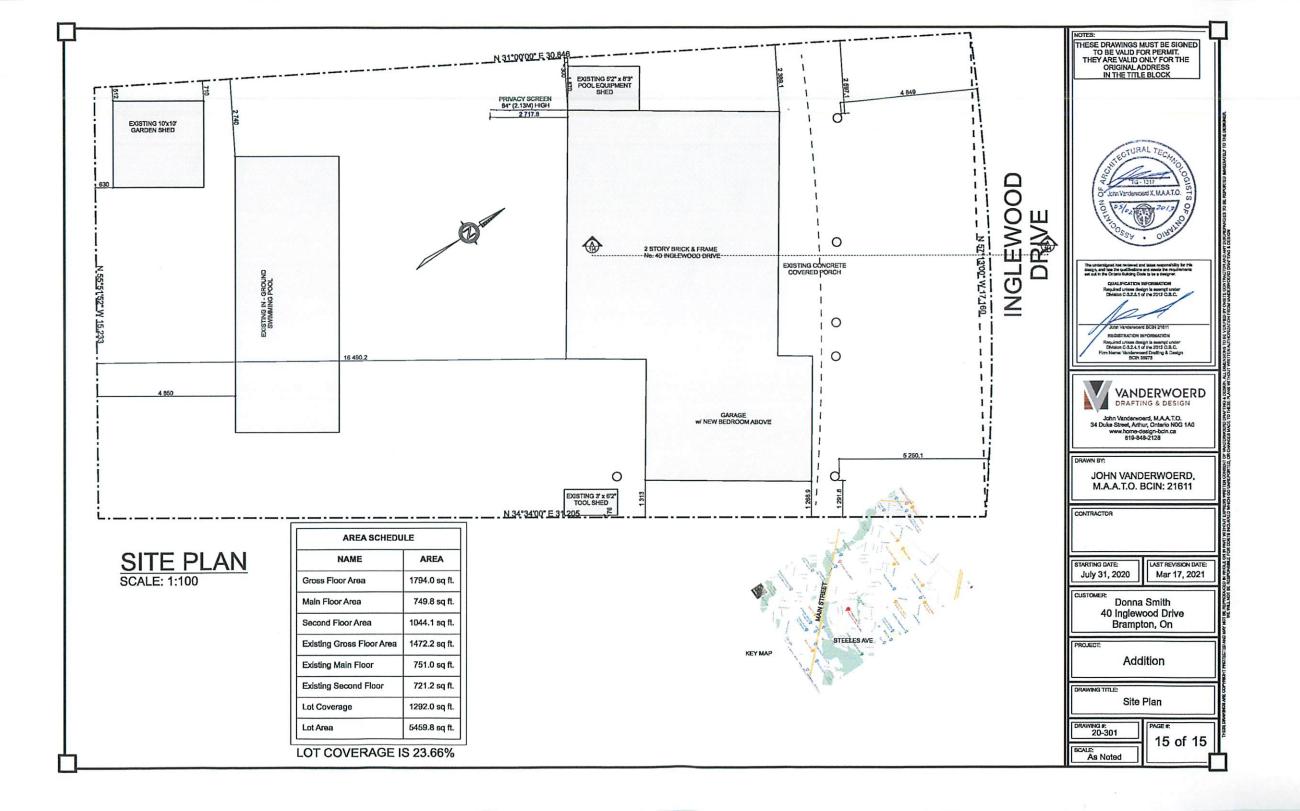
Authorized Agent

John Vanderwoerd, M.A.A.T.O

Accredited Architectural Technologist

Drafting with Principles

Designing with Purpose





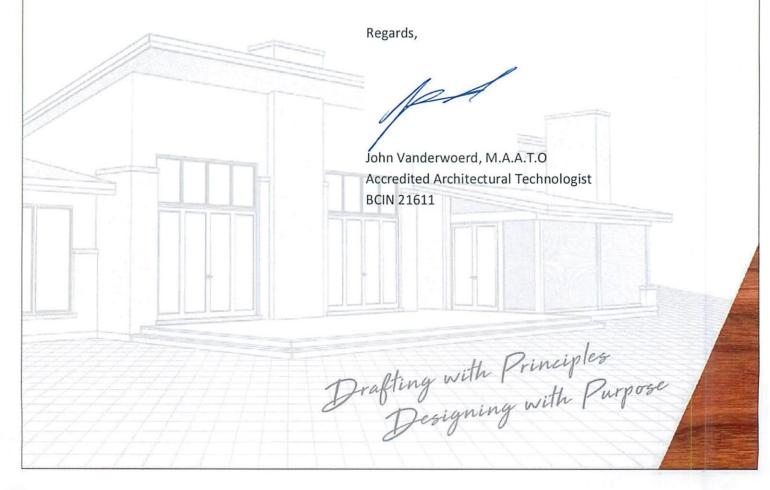
34 Duke Street Arthur, Ontario NOG 1A0 519-848-2128 www.ontariohomedesign.ca

Re Minor Variance application 40 Inglewood Drive, Brampton.

The property owner, Donna Smith has asked me to apply for a minor variance to ask relief from the 1.8 m side yard setback and the 6.0 front yard setback so that they may be able to build an addition over their existing attached garage.

Donna's family is growing and her mother has moved in with the family. Therefore they need more space. They have engaged me to draw up the plans for this addition.

The addition over the garage will make us too close to the property line, since a second storey must be 1.8 m from the property line. With the proposed addition, we will be 1.2915 m from the property line on the left of the home which is in compliance with a one storey home for this property. There is also an existing front porch which encroaches into the front yard setback of 6.0 m and is in fact 4.849m from the front property line. We feel the home looks better if the roof line from the front porch breaks up the height of the new addition. The columns on the front addition are only in fact 5.25m from the front property line. The second floor addition would in fact be over the 6.0 m front yard setback and only the roof and supporting columns would encroach.







FILE NUMBER: A - 2021 - 0042

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION Minor Variance or Special Permission

(Please read Instructions)

It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be NOTE: accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of

the Plann	ning Act, 1990, for relief as desc	cribed in this appi	ication from By-Law 270-2004.
Name of	Owner(s) Donna Smith, Jere	my Smith, Eve-Ly	nn Smith
Address	40 Inglewood Drive		
	Brampton, On L6W 2N2		
Phone #	416-659-7351		Fax#
Email	dnmsmith83@gmail.com		
Name of			
Address	34 Duke Street		
	PO Box 565		
D	Arthur, On, NOG 1A0		
Phone #)	Fax #
Email	john@ontariohomedesign.ca		
	nd extent of relief applied for		
			d second floor addition to permit a setback of 1.2 meters ed second floor addition and existing front porch.
			losed porch and 5.25 meters for column supporting roof
	second floor addition	salsting nont unenc	losed porch and 5.25 meters for column supporting foor
at Horit of	second noor addition		
Why is it	not possible to comply with	the provisions	of the hy-law?
The hom	eowner is expecting a child shortly	, her elderly mothe	r-in-law has moved in with her and the family needs more
	logical place to build this extra spa		
	regions place to build time extra ope		
-			
	escription of the subject land	:	
Lot Num	· 1 of 200		
Plan Nur			
	mber/Concession Number	Plan 679	
Municipa		<u>Plan 679</u> ·e	
Municipa	mber/Concession Number	<u>Plan 679</u> 'e	
	mber/Concession Number al Address 40 Ingle wood Driv	ve .	
Dimensi	mber/Concession Number al Address 40 Ingle wood Driv on of subject land (in metric i	ve .	
Dimension Frontage	mber/Concession Number al Address 40 Ingle wood Driv on of subject land (in metric to 17.17 meters	ve .	
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Particulars of all buildings and structures on or proposed for the subject

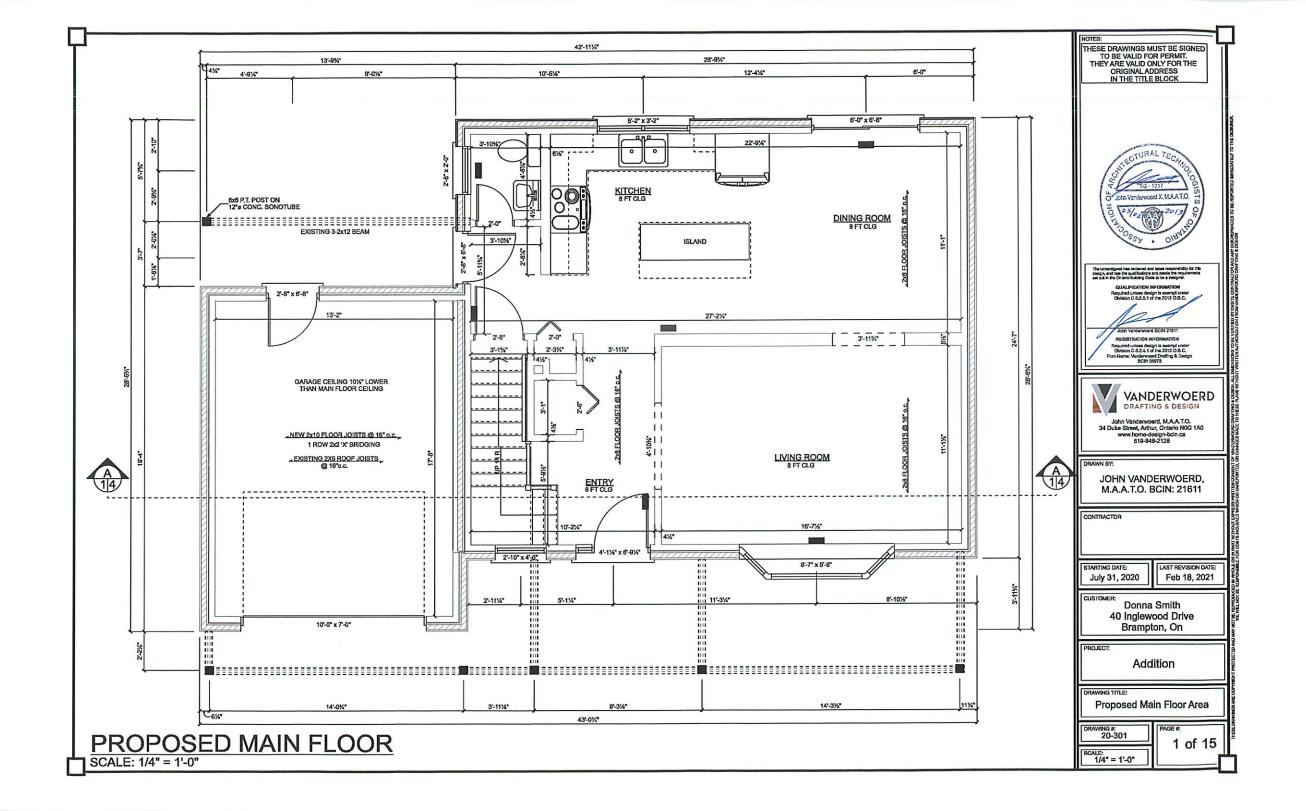
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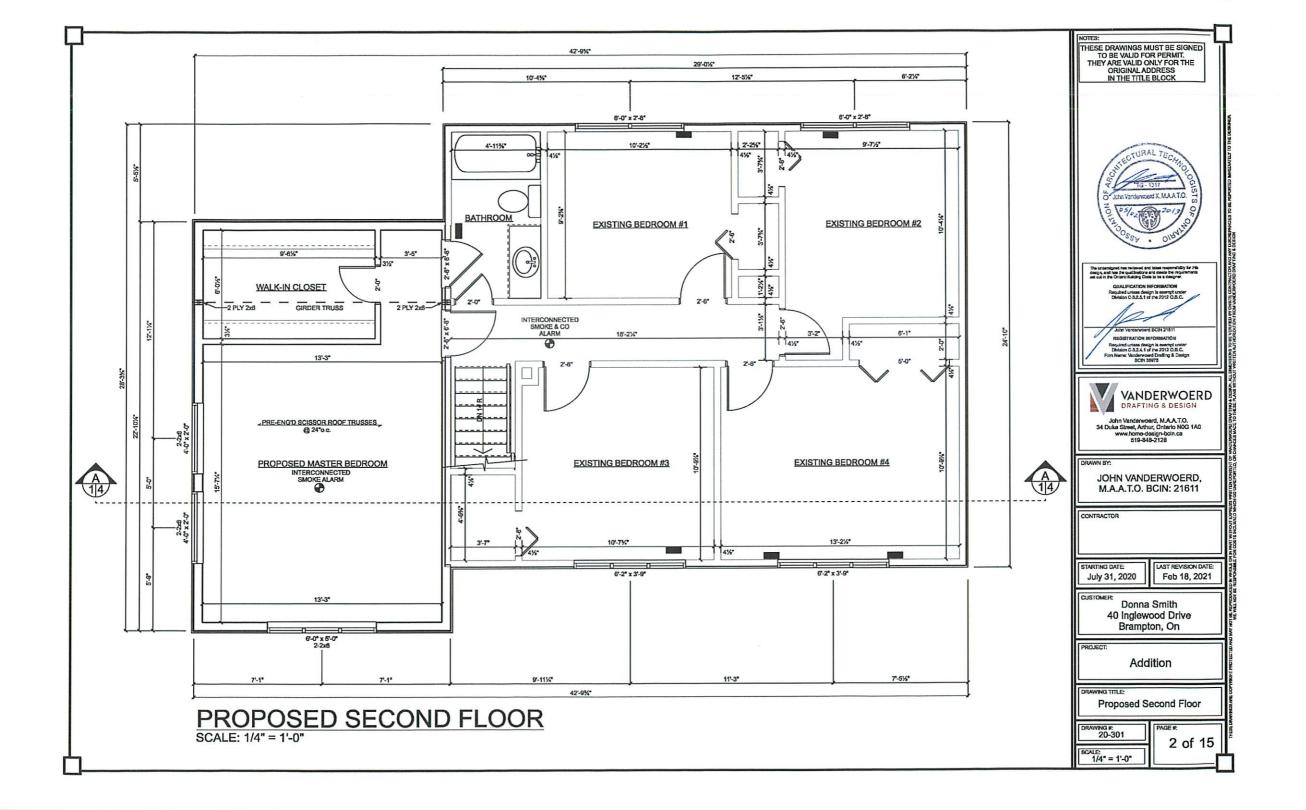
land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible) **EXISTING BUILDINGS/STRUCTURES** on the subject land: List all structures (dwelling, shed, gazebo, etc.) Existing 2 storey dwelling has a ground floor area of 90.48 sq m. and a gross floor area of 132.8 sq m. Existing home is 13.1 meters wide and 8.7 meters deep Existing building height is 5.891 meters Existing 1.57m wide x 2.51m deep (area of 3.94 sq m) Storage Shed is fastened to the house and 2.5m high Existing tool Shed is .9 m wide and 1.88 m deep (area of 1.69 sq m) and is 2.3m high Existing Garden Shed is 3.05 m wide and 3.05m deep (area of 9.3 sq m) 2.8m high and is 2.8m high Existing in ground pool is 3.66m wide and 9.75m long (area is 35.7 sq m) no height PROPOSED BUILDINGS/STRUCTURES on the subject land: Proposed addition over garage onto existing 2 storey residence has a 90.48 sq m. ground floor area and a new gross area of 162.7 sq m. The proposed addition does not increase the width of 13.1 meters nor the depth of 8.7 meters for the residence 9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units) **EXISTING** Front yard setback 4.84 meters 16.49 meters Rear yard setback Side yard setback 1.27 meters (attached shed to house is 0.3m from property line Side yard setback 1.87 meters **PROPOSED** Front yard setback 4.84 meters Rear yard setback 16.49 meters Side yard setback 1.27 meters Side yard setback 1.87 meters 2019 10. Date of Acquisition of subject land: Single Family residence 11. Existing uses of subject property: Single family residence 12. Proposed uses of subject property: Single family residences 13. Existing uses of abutting properties: Date of construction of all buildings & structures on subject land: +/- 1965 14. +/-55 years Length of time the existing uses of the subject property have been continued: 15. What water supply is existing/proposed? 16. (a) Other (specify) Municipal Well What sewage disposal is/will be provided? Other (specify) Municipal Septic (c) What storm drainage system is existing/proposed? Sewers **Ditches** Other (specify) **Swales**

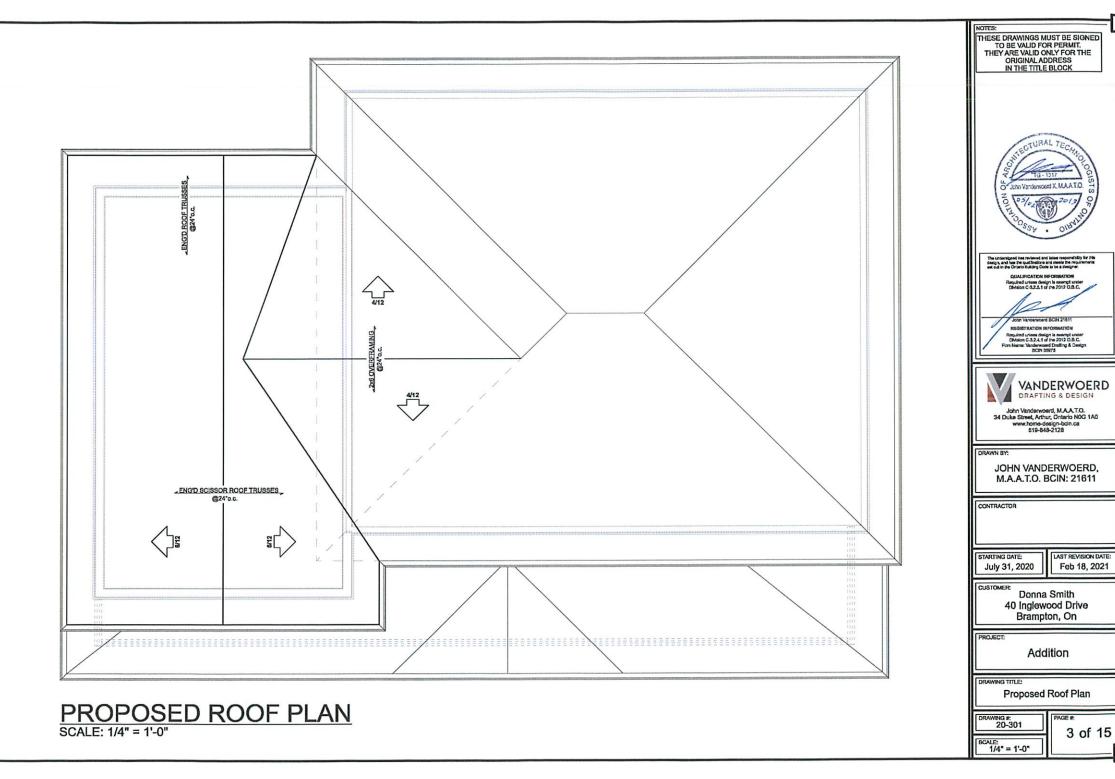
subdivision or consent?	
Yes No x	
If answer is yes, provide details: File #	Status
18. Has a pre-consultation application been filed?	
Yes No X	
19. Has the subject property ever been the subject of a	an application for minor variance?
Yes No Unknow	wn x
If answer is yes, provide details:	
File# Decision	Relief
File# Decision Decision	Relief Relief
	101
	Signature of Applicant(s) or Authorized Agent
DATED AT THE Village of Arthur OF the cour	/
THIS 18th DAY OF February , 20 21	
THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR	
HE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OPPLICATION OF THE OPPLICATION AND THE CORPORATION'S SEAL SHALL BE	OWNER MUST ACCOMPANY THE APPLICATION. IF N SHALL BE SIGNED BY AN OFFICER OF THE
T. VAUD (212 525	
	FTHE VILLAGE OF ARTHUR
IN THE COUNTY OF WELLINGTON SOLEN	
IN THE COUNTY OF WELLING TON SOLEN LL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE ELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE	MNLY DECLARE THAT: THIS SOLEMN DECLARATION CONSCIENTIOUSLY
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IN THE COUNTY OF WELLINGTON SOLEN. LL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE ELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THATH. ECLARED BEFORE ME AT THE OF COUNTY	ANLY DECLARE THAT: E THIS SOLEMN DECLARATION CONSCIENTIOUSLY HE SAME FORCE AND EFFECT AS IF MADE UNDER Jeanie Cecilia Myers, a Commissioner, etc., Province of Ontario, for the Corporation of the City of Brampton. Expires April 8, 2021. Signature of Applicant or Authorized Agent R1B - MATURE the variances required and the results of the

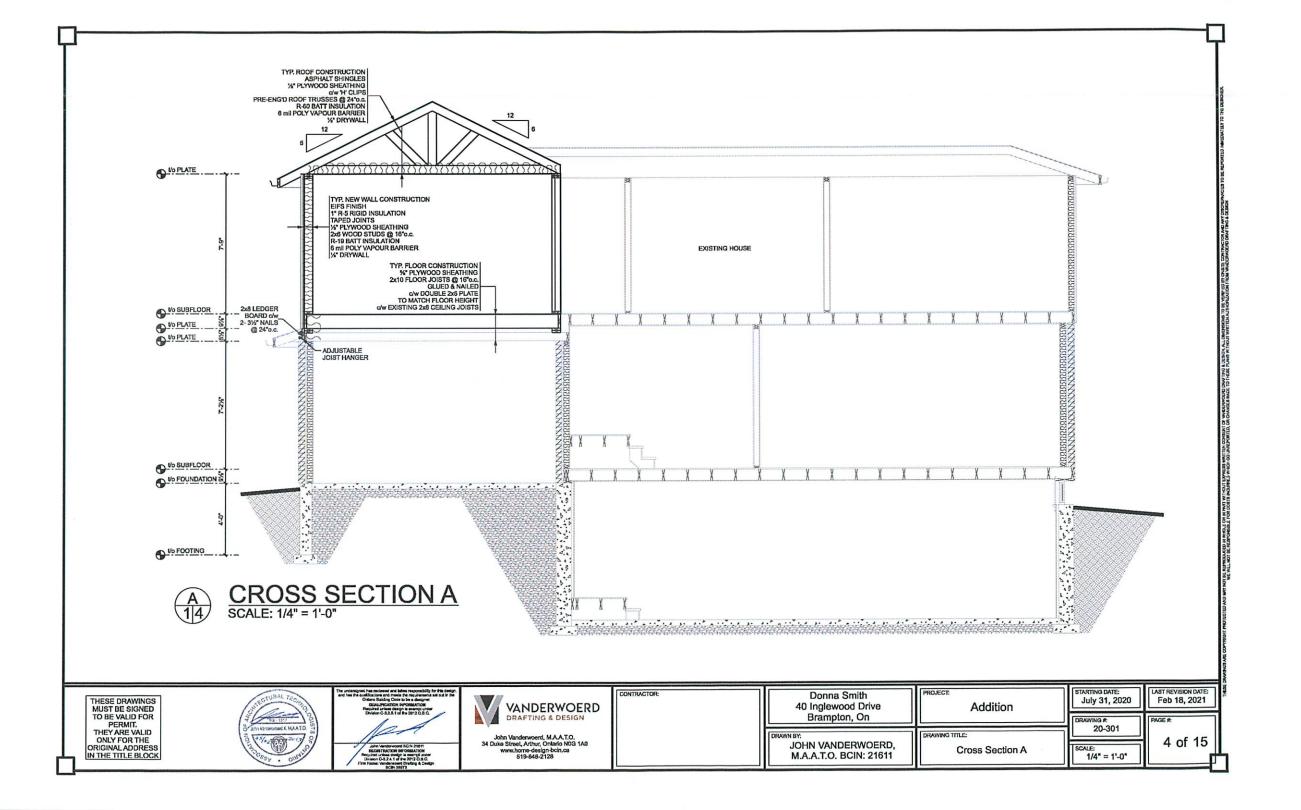
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Revised 2021/01/15

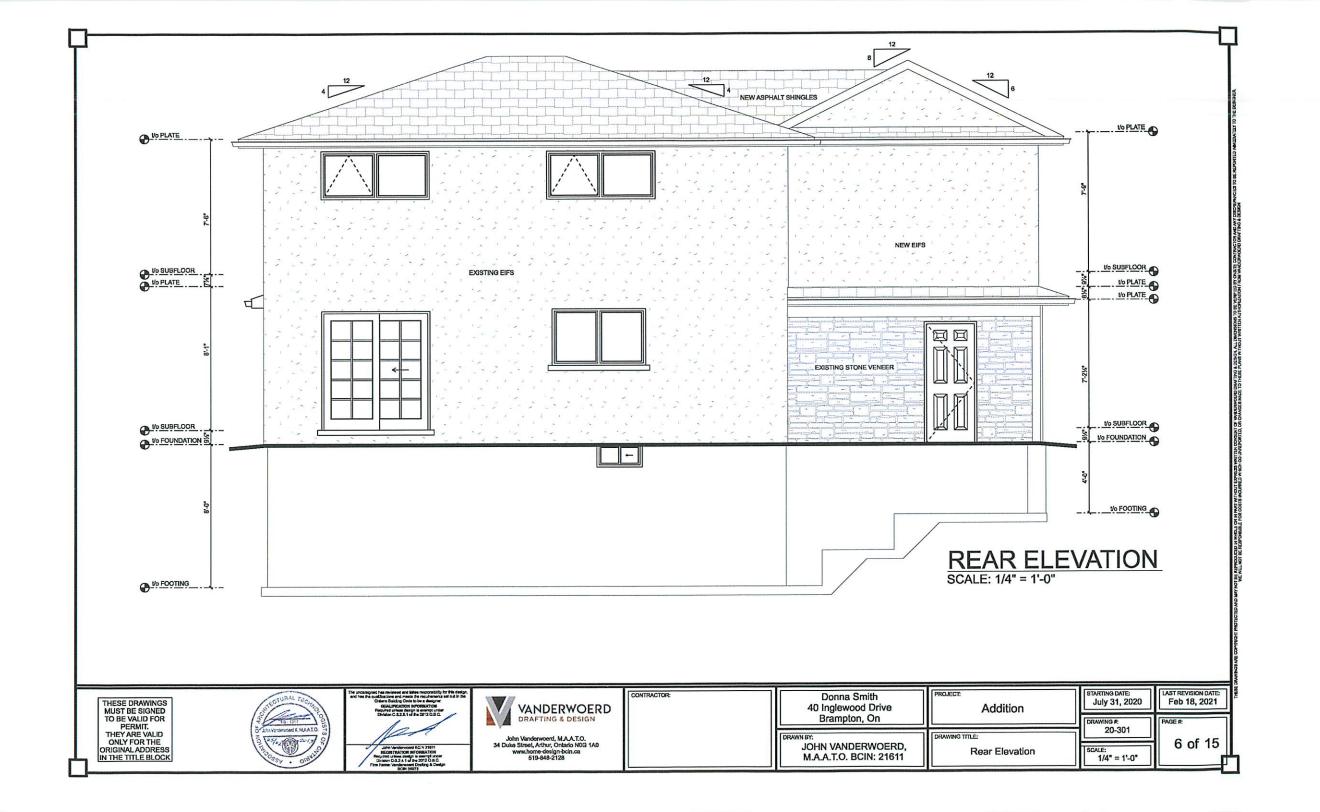


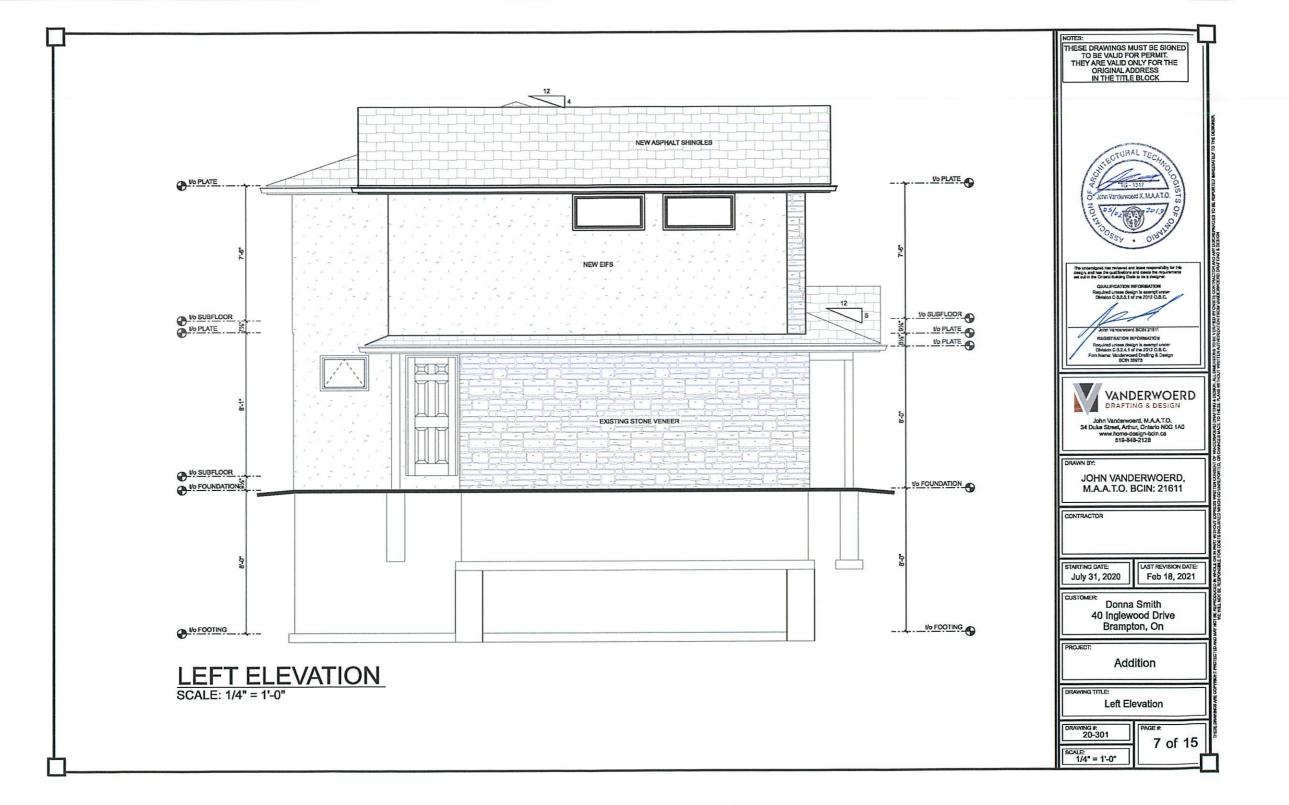


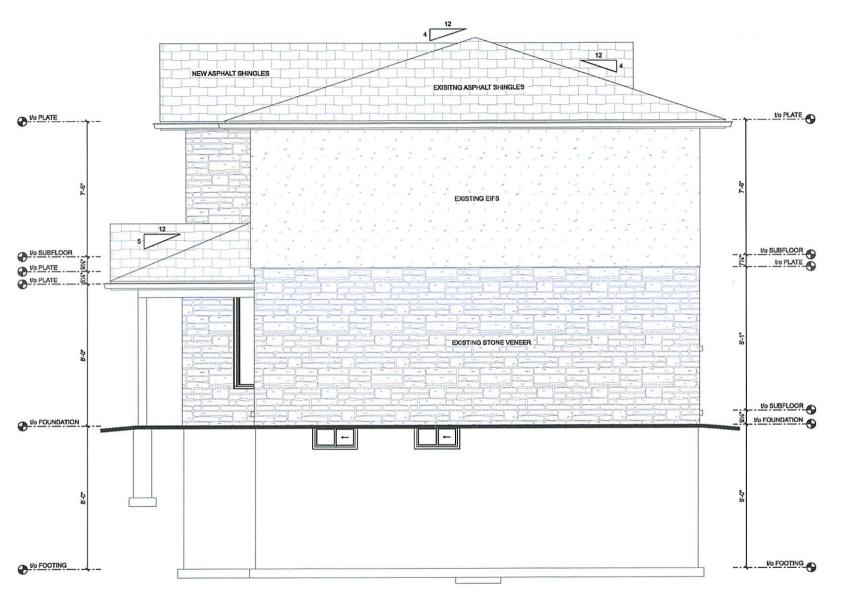












RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

THESE DRAWINGS MUST BE SIGNED TO BE VALID FOR PERMIT. THEY ARE VALID ONLY FOR THE ORIGINAL ADDRESS IN THE TITLE BLOCK



Required unique design is exempt unite Division C-3.2.3.1 of the 2012 O.B.C.

Required unless design is exempt under Division C-3.2.4.1 of the 2012 D.B.C. Im Name: Vanderwoord Drafting & Design BCIN 38975



John Vanderwoerd, M.A.A.T.O. 34 Duke Street, Arthur, Ontario NOG 1A0 www.home-design-bcin.ca 519-848-2128

JOHN VANDERWOERD, M.A.A.T.O. BCIN: 21611

July 31, 2020

Feb 18, 2021

Donna Smith 40 Inglewood Drive Brampton, On

Addition

Right Elevation

DRAWING #: 20-301

SCALE: 1/4" = 1'-0"

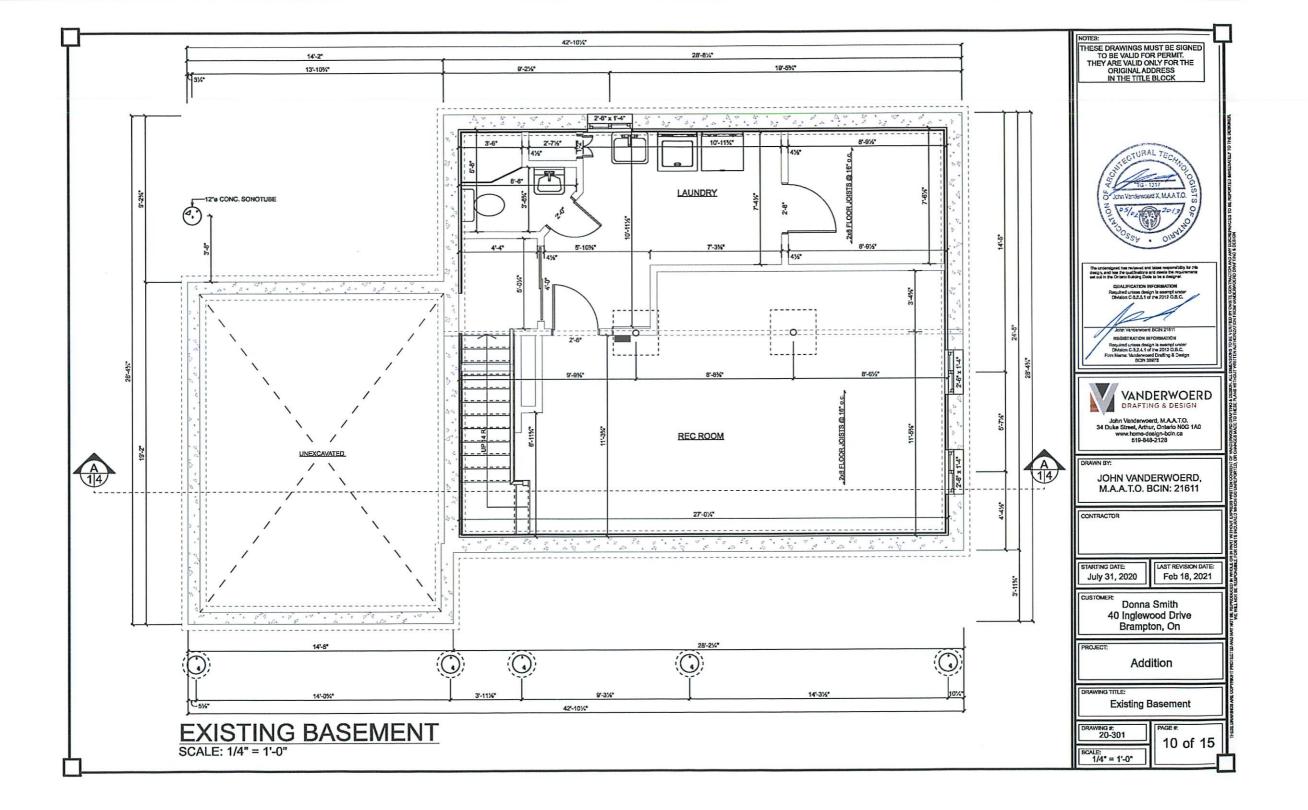
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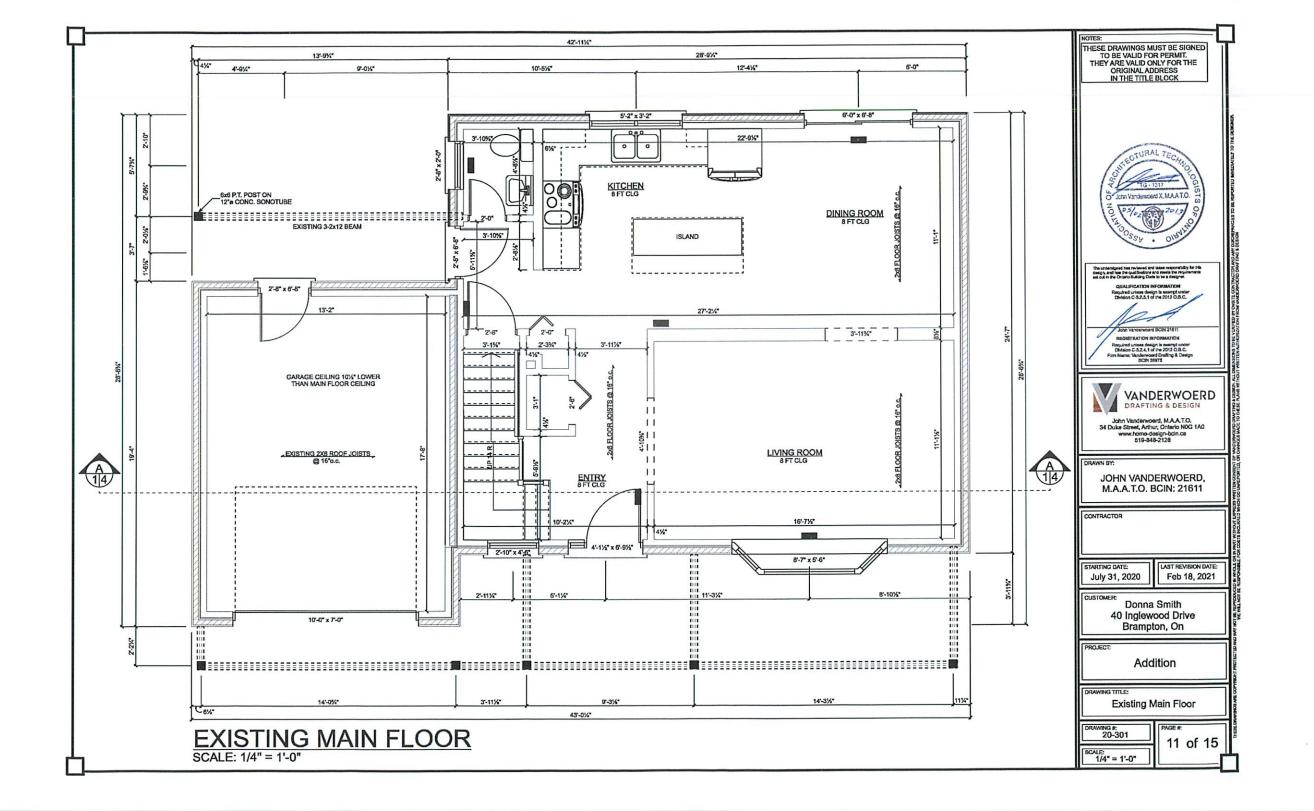
SB-12 Compl	iance Package -	Additions		
Т	able 3.1.1.11 [Zone 1]			
For Heating of	other than Electric Space	Heating		
Component	Min. R-Value	Max. U Value	Min.Effective R Value	Energy Rating
Ceiling with Attic Space	60	0.017	59.22	
Ceiling without Attic Space	31	0.036	27.65	
Exposed Floor	31	0.034	29.8	
Walls Above Grade	19 + 5ci	0.049	20.32	
Basement Walls	20ci	0.047	21.12	
Heated Slab or Slab ≤ 24" Below Grade	10	0.090	11.13	
Edge of Below Grade Slab: ≤ 24" Below Grade	10			
Windows & Sliding Glass Doors:		1.6		25
Skylights		2.8		
Gross Building Face	64.86 m²		698.18 ft ²	
Glazing Area	3.72	3.72 m²		ft²
Ratio (%)	5.73			

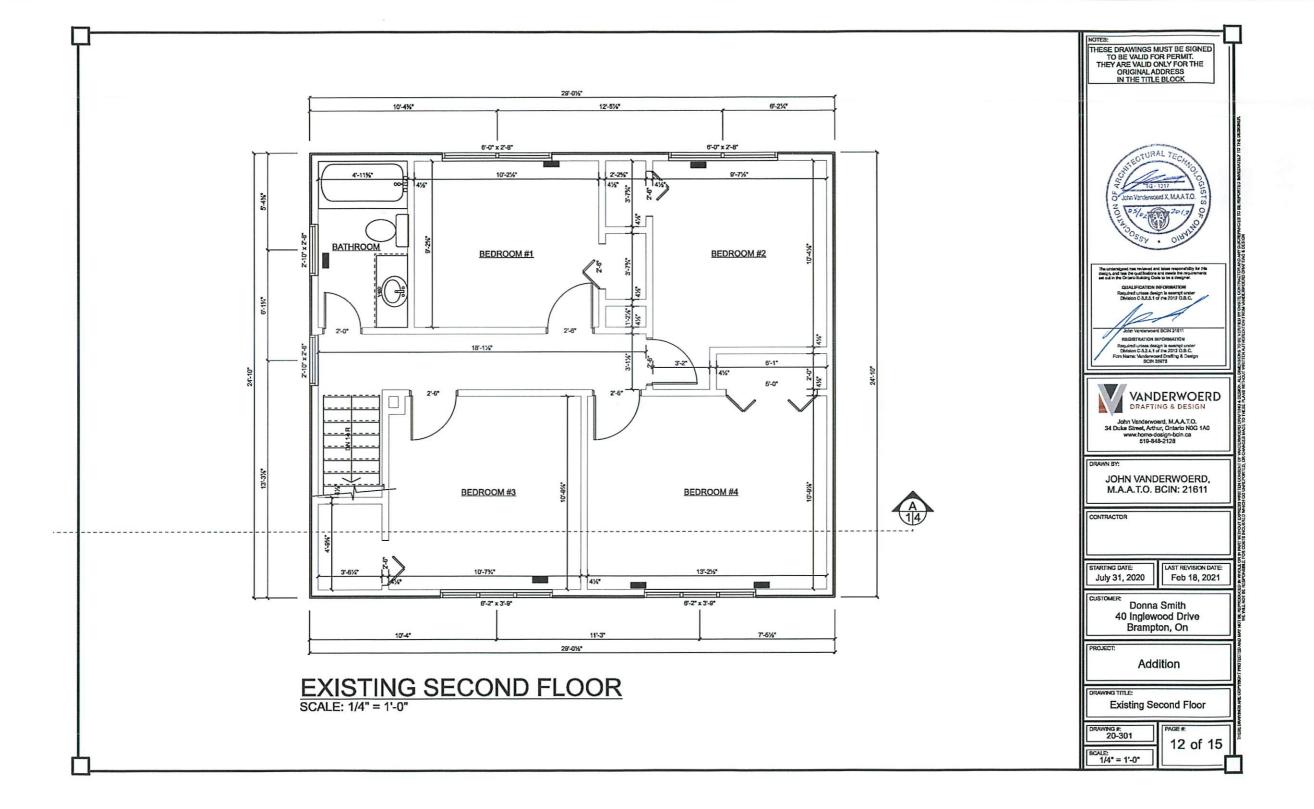
Notes:

- 1) Where a minimum R Value, maximum U Value, or minimum Effective R Value are specified for a component, the component only needs to conform to one of the requirements
- 2) ci means continuous insulation
- 3) Where a dwelling unit has a walkout basement, the thermal performance of the exterior basement wall shall be not less than that required for the above grade wall for:
- a) the basement wall containing the door opening and
- b) any basement wall that has an exposed wall area above the ground level exceeding 50% of that basement wall area









9.3.1. Concrete

(1) Except as provided in Sentence (2), unreinforced and nominally reinforced concrete shall be designed, mixed, placed, cured and tested in accordance with the requirements for "R" class concrete stated in

Clause 8.13 of CSA A23.1, "Concrete Materials and Methods of Concrete Construction" (2) Unreinforced and nominally reinforced site-batched concrete shall be designed, mixed, placed and

cured in accordance with Articles 9.3.1.2. to 9.3.1.9. 9.3.1.2. Cament

(1) Cament shall meet the requirements of CAN/CSA-A3001, "Cementitious Materials for Use in Concrete".

9.3.1.3. Concrete in Contact with Sulfate Soil (1) Concrete in contact with sulfate soil, which is deleterious to normal cement, shall conform to the requirements in Clause 15.5 of CAN/CSA-A23.1, "Concrete Materials and Methods of Concrete

Construction' 9.3.1.4. Aggregates

(1) Aggregates shall,

(a) consist of sand, gravel, crushed rock, crushed air-cooled blast furnace siag, expanded shale or expanded day conforming to CAN/CSA-A23.1, "Concrete Materials and Methods of Concrete Construction",

(b) be clean, well-graded and free of injurious amounts of organic and other deleterious material.

(1) Water shall be clean and free of injurious amounts of oil, organic matter, sediment or any other eterious material.

9.3.1.8. Compressive Strength

(1) Except as provided elsewhere in this Part, the compressive strength of unreinforced concrete after 28 days shall be not less than,

(a) 32 MPa for garage floors, carport floors and all exterior flatwork,

(b) 20 MPa for interior floors other than those for garages and carports, and

(c) 15 MPa for all other applications.

(2) Concrete used for garage and carport floors and exterior steps shall have air entrainment of 5 to 8%. 9.3.1.7. Concrete Mixes

(1) For site-batched concrete, the concrete mixes described in Table 9.3.1.7. shall be considered acceptable if the ratio of water to gementing materials does not exceed.

(a) 0.45 for garage floors, carport floors and all exterior flatwork,

(b) 0.65 for Interior floors other than those for garages and carports, and

(c) 0.70 for all other applications.

(2) The size of aggregate in unreinferced concrete mixes referred to in Sentence (1) shall not exceed, (a) 1/5 the distance between the sides of vertical forms, or

9.3.1.8. Admbdures

(1) Admixtures shall conform to ASTM C260, 'Air-Entraining Admixtures for Concrete', or ASTM C494 / C494M, "Chemical Admixtures for Concrete", as applicable

9.3.1.9. Cold Weather Requirements

(1) When the air temperature is below 5°C, concrete shall be,

(a) kept at a temperature of not less than 10°C or more than 25°C while being placed, and

(b) maintained at a temperature of not less than 10°C for 72 h after placing.

(2) No frozen material or ice shall be used in concrete described in Sentence (1).

9.5.2.3. Stud Wall Reinforcement

(1) If wood wall study or sheet steel wall study enclose the main bathroom in a dwelling unit, reinforcement shall be installed to permit the future installation of a grab bar on a wall adjacent to,

(a) a water closet in the location required by Clause 3.8.3.8.(1)(d), and (b) a shower or bathtub in the location required by Clause 3.8.3.13.(1)(1).

9.7.5.2. Resistance to Forced Entry for Doors

(1) Except for extendr doors to garages and to other ancillary spaces, this Article applies to,
(a) swinging entrance doors to dwelling units,

(b) swinging doors between dwelling units and attached garages or other ancillary spaces, and (c) swinging doors that provide access directly or indirectly from a storage garage to a dwelling unit.

(2) Doors, frames and hardware that conform to a security level of at least Grade 10 as described in the Annex to ASTM F476, "Security of Swinging Door Assemblies", are not required to conform to Sentences (3)

(3) Except as provided in Sentence (2), wood doors described in Sentence (1) shall,

(a) be solid core or stile and rail type.

(b) be not less than 45 mm thick, and

(c) if of the stile and rail panel type, have a panel thickness of not less than 19 mm, with a total panel area not more than half of the door area.

(4) Except as provided in Sentence (2), doors described in Sentence (1) shall be provided with a deadboilt lock with a cylinder having no fewer than 5 pins and a bolt throw not less than 25 mm, protected with a solid or hardened free-turning ring or beveiled cylinder housing

(5) Except as provided in Sentence (2), an inactive leaf in double doors used in locations specified in Sentence (1) shall be provided with heavy-duty bolts top and bottom having an engagement of not less than

(6) Except as provided in Sentence (2), hinges for doors described in Sentence (1) shall be fastened to wood doors with wood screws not less than 25 mm long and to wood frames with wood screws such that at least two screws per hinge penetrate not less than 30 mm into solid wood, or shall be fastened to metal doors and metal frames with machine screws not smaller than No. 8 and not less than 10 mm long.

(7) Except as provided in Sentence (2), strikeplates for deadbolts described in Sentence (4) shall be fastened to wood frames with wood screws that penetrate not less than 30 mm into solid wood, or to metal

frames with machine screws not smaller than No. 8 and not less than 10 mm long.
(8) Except for storm doors or screen doors, doors described in Sentence (1) that swing outward shall be provided with hinges or pins so that the doors cannot be removed when they are in the closed position. (9) Solid blocking shall be provided on both sides at the lock height between the jambs for doors described in Sentence 9.6.9.1.(1) and the structural framing so that the jambs will resist spreading by force.

9.7.5.3. Resistance to Forced Entry for Windows

(1) In dwelling units, windows, any part of which is located within 2 m of adjacent ground level, shall conform to the requirements for resistance to forced entry as described in Clause 5.3.5 of AMAWDMA/CSA 101/LS.2/A440, "NAFS - North American Fenestration Standard/Specification for Windows, Doors, and Skylights*.

9.10.13.15. Doors Between Garages and Dwelling Units

(1) A door between an attached or built-in garage and a dwelling unit shall be tight-fitting and weatherstripped to provide an effective barrier against the passage of gases and exhaust furnes and shall be fitted with a self-closing device.

(2) A doorway between an attached or built-in garage and a dwelling unit shall not be located in a room intended for aleeping.

 9.10.9.17. Separation of Repair Garages
 (4) Where a building containing a repair garage also contains a dwelling unit, an air barrier system conforming to Subsection 9.25.3. shall be installed between the dwelling unit and the suite containing the garage to provide an effective air barrier to gas and exhaust fumes. Where membrane materials are used to provide the required airtightness in the air barrier system, all

9.20.13.12. Drips Beneath Window Sills

joints shall be sealed and structurally supported.

(1) Except for wall openings located less than 150 mm above ground level, where a concealed flashing is not installed beneath window and door sills, such sills shall be provided with an outward slope and a drip located not less than 25 mm from the wall surface.

9.23 Wood Frame Construction

9.23.2.1. Strength and Rigidity

(1) All members shall be so framed, anchored, fastened, tied and braced to provide the necessary strength

9.23.3. Fasteners

9.23.3.1. Standards for Nalls and Screws

(1) Unless otherwise indicated, nails specified in this Section shall be common steel wire nails or common spiral nails, conforming to CSA B111, "Wire Nails, Spikes and Staples".

(2) Wood screws specified in this Section shall conform to ANSI/ASME B18.6.1.. "Wood Screws (Inch.

9.23.3.2. Length of Nails

(1) All nalls shall be long enough so that not less than half their required length penetrates into the second member, 9.23.3.3. Prevention of Splitting

9.23.3.3. Prevention of Spiltting

(1) Splitting of wood members shall be minimized by staggering the nails in the direction of the grain and by keeping nails well in from the edges.

9.23.3.4. Nailing of Framing

(1) Except as provided in Sentence (2), nailing of framing shall conform to Table 9.23.3.4.

9.23.16. Wall Sheathing

9,23,16.1, Regulred Sheathing

(1) Exterior walls and gable ends shall be sheathed when the exterior cladding requires intermediate fastening between supports or if the exterior cladding requires solid backing.

9.23 16.2. Thickness, Rating and Material Standards

(1) Where wall sheathing is required, it shall conform to Table 9.23.16.2.A. or Table

9.23.16.5. Joints in Panel-Type Sheathing

 A gap of not less than 2 mm shall be left between sheets of plywood, OSB, waferboard or fibreboard.

9.23.15. Roof Sheathing

9.23.15.1. Required Roof Sheathing

(1) Except as provided in Section 9.26., continuous lumber or panel-type roof sheathing shall be installed to support the roofing

9.23,15.2, Material Standards

(1) Wood-based panels used for roof sheathing shall conform to the requirements of,

(a) CSA O121-M, 'Douglas Fir Plywood', (b) CSA 0151, "Canadian Softwood Phyrood"

(c) CSA O153-M, "Poplar Plywood",

(d) CAN/CSA-O325.0, "Construction Sheathing", or

(e) CSA 0437.0, "OSB and Waferboard". 9.23.15.3. Direction of Installation

(1) Plywood roof sheathing shall be installed with the surface grain at right angles to the roof framing. (2) OSB roof sheathing conforming to CAN/CSA-O325.0, "Construction Sheathing", or to O-1 and O-2 grades as specified in CSA 0437.0, "OSB and Waferboard", shall be installed with the direction of face

orientation at right angles to the roof framing members. 9.23.15.4. Jointa in Panel-Type Sheathing

(1) Panel-type sheathing board shall be applied so that joints perpendicular to the roof

ridge are staggered where,

(a) the sheathing is applied with the surface grain parallel to the roof ridge, and

(b) the thickness of the sheathing is such that the edges are required to be supported.
(2) A gap of not less than 2 mm shall be left between sheets of plywood, OSB or waferboard. 9.23.15.6. Edge Support

(1) Except as permitted in Sentence (2), where panel-type roof sheathing requires edge support, the support shall consist of.

(a) metal H clips, or

(b) not less than 38 mm by 38 mm blocking securely nailed between framing members.

(2) The supports referred to in Sentence (1) are not required when tongued-and-grooved edged panel-type sheathing board is used. 9.23,15.7. Thickness or Rating (1) The thickness or rating of roof sheathing on a flat roof used as a walking deck shall conform to either

Table 9.23.14.5.A. or Table 9.23.14.5.B. for subfloors.

(1) Where downspouts are provided and are not connected to a sewer, extensions shall be provided to carry reinweter eway from the building in a manner that will prevent soil erosion.

Table 9.23.3.4. Nailing for Framing

Forming Part of Sentence 9.23.3.4.(1)

Item	Column 1	Column 2	Column 3
	Construction Detail	Minimum Langth of Neils, mm	Minimum Number or Maximum Specing of Nells
1.	Floor joist to plate - toe nail	82	2
2.	Wood or metal strapping to underside of floor joists	57	2
3	Cross bridging to joists	57	2 at each end
4.	Double header or trimmer joists	75	300 mm (a.c.)
5.	Floor joint to stud (belicon construction)	76	2
ā.	Ledger strip to wood bearn	82	2 per joist
2	Joint to joint aplice (See also Table 9.23.13.8.)	76	2 at each end
3.	Header joist end nailed to joists along perimeter	101	3
3.	Tail joint to adjacent header joint	82	5
	(end nailed) around openings	101	3
10.	Each header joist to adjacent trimmer joist	82	5
	(end nailed) around openings	101	3
11.	Stud to wall plate leach end) toe nail	62	4
	or end nail	82	2
12.	Doubled studs at openings, or studs at walls or wall intersections and corners	76	750 mm to.c.t
13.	Doubled top wall plates	76	600 mm (a.c.)
14.	Bottom wall plate or sole plate to joists or blocking (exterior walls) ⁵⁸	87	400 mm (a.c.)
15.	Interior walls to framing or subflooring	82	600 mm (a.c.)
16.	Horizontal member over openings in non-loadbearing walls - each end	82	2
17	Lintels to studs	87	2 at each end
18.	Calling joist to plate - toe rail each end	82	2
19.	Roof rafter, roof truss or roof joist to plate - toe nail	82	3
20.	Rafter plate to each ceiling joist	101	2
21.	Rafter to joist (with ridge supported)	76	3
22.	Rafter to joist (with ridge unsupported)	76	See Table 9.23.13.8.
23.	Gusset plate to each rafter at peak	57	4
24.	Rafter to ridge board - toe nail - end nail	82	3
25.	Collar tie to safter - each end	76	3
26.	Collar tie lateral support to each collar tie	57	2
27.	Jack rafter to hip or velley rafter	82	2
28.	Roof strut to rafter	76	3
29.	Roof strut to loadbearing wall - toe nail	82	2
30.	38 mm × 140 mm or less plank decking to support	82	2
31.	Plank decking wider than 38 mm × 140 mm to support	82	3
32.	38 mm edge laid plank decking to support (toe neil)	76	1
33.	38 mm edge laid plank to each other	76	450 mm la.c.l

Table 9.23.16.2.B. Rating For Wall Sheathing When Applying CAN/ CSA-0325.0

Forming Part of Sentence 9.23.16.2.(1)

ttem	Column 1	Columa 2	
	Maximum Spacing of Supports, mm	Panel Mark	
1.	406	W16	
2.	508	W/20	
3.	610	W24	

Table 9.23.16.2.A. Wall Sheathing Thickness and Specifications

Forming Part of Sentence 9.23,16.2.(1)

ltem	Column 1	Column 2	Column 3	Column 4
	Type of Sheathing	Minimum Thickness, mm ^p		Material Standards
		With Supports 406 mm o.e.	With Supports 610 mm o.e.	
1.	Fibreboard (insulating)	9.5	11.1	CAN/ULC-5706
2.	Gypsum Sheathing	9.5	12.7	CAN/CSA-A82.27-M
				ASTM C1177 / C1177M
				ASTM C1396 / C1396M
3.	Lumber	17.0	17.0	Ses Table 9.3.2.1.
4.	Mineral Fibre, Rigid Board, Type 2	25	25	CAN/ULC-5702
5.	OSB, D-2 Grade	6.0	75	CSA 04370
G.	OSB, D-1 Grade, and Waterboard, R-1 Grade	6.35	29	CSA 04370
2	Phenolic, faced	25	25	CAN/CGSB-51.25-M
8.	Pfywood (exterior type)	od (exterior type) 6	75	CSA 0121-M
				CSA 0151
3				CSA 0153-M
9.	Polystyrene, Types 1 and 2	38	38	CANAULC-S701
10.	Polystyrene, Types 3 and 4	25	25	CANULC-S701
11.	Polyurethane and Polyisocycanurate Type 1, faced	28	38	CANAULC S704
12	Polywethane and Polyisocycanurate Types 2 and 3, faced	25	25	CANAULC-5704

THESE DRAWINGS MUST BE SIGNED TO BE VALID FOR PERMIT. THEY ARE VALID ONLY FOR THE ORIGINAL ADDRESS IN THE TITLE BLOCK



The undersigned has reviewed and lakes responsibility for this design, and has the qualifications and meats the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION

equired unless design is exempt unite Division C-3.2.3.1 of the 2012 C.B.C.

John Vanderwoerd BCIN 2151 REGISTRATION INFORMATION Required unless design is exempt under Division C-3.2.4.1 of the 2012 O.B.C. inderwoord Drafting & Design BCIN 35975



JOHN VANDERWOERD. M.A.A.T.O. BCIN: 21611

CONTRACTOR

TARTING DATE: July 31, 2020

Feb 18, 2021

CUSTOMER

Donna Smith 40 Inglewood Drive Brampton, On

Addition

20-301

N.T.S.

13 of 15

34 Duka Street, Arthur, Ontario NOG 1A0

LAST REVISION DATE:

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9.27.4.1. Required Caulking

(1) Caulking shall be provided where required to prevent the entry of water into the structure.

(2) Caulking shall be provided between masonry, siding or stucco and the adjacent door and window frames or

trim, including sills unless such locations are completely protected from the entry of rain.

(3) Caulking shall be provided at vertical joints between different cladding materials unless the joint is suitably lapped or flashed to prevent the entry of rain.

(1) Caulking shall be

(a) a non-hardening type suitable for exterior use.

(b) selected for its ability to resist the effects of weathering, and

(c) compatible with and adhere to the substrate to which it is applied.

(2) Caulking shall conform to,

(a) CGSB 19-GP-5M, "Sealing Compound, One Component, Acrylic Base, Solvent Curing",

(b) CAN/CGSB-19.13-M, "Sealing Compound, One Component, Elastomeric, Chemical Curing".

(c) CGSB 19-GP-14M, "Sealing Compound, One Component, Butyl-Polyisobutylene Polymer Base, Solvent

(d) CAN/CGSB-19.24-M, "Multicomponent, Chemical Curing Seeling Compound".

9.10.19.1. Required Smoke Alarms

(1) Smoke alarms conforming to CAN/ULC-S531, "Smoke Alarms", shall be installed in each dwelling unit and in each sleeping room not within a dwelling unit.

(2) Smoke alarms shall have a visual signalling component conforming to the requirements in 18.5.3. of NFPA 72, "National Fire Alarm and Signaling Code"

(3) The visual signalting component required in Sentence (2) need not,

(a) be integrated with the smoke siarm provided it is interconnected to it.

(b) be on battery backup, or

(c) have synchronized flash rates, when installed in a dwelling unit.

(4) The luminous intensity for visual signalling components required in Sentence (2) that are installed in sleeping rooms shall be a minimum of 175 cd.

9.10.19.3. Location of Smoke Alarms

(1) Within dwelling units, sufficient smoke alarms shall be installed so that,

(a) there is at least one smoke alarm on each floor level, including basements, and

(b) on any storey of a dwelling unit containing sleeping rooms, a smoke alarm is installed,

(I) In each sleeping room, and

(ii) in a location between the sleeping rooms and the remainder of the storey, and if the sleeping rooms are served by a hallway, the smoke alarm shall be located in the hallway.

(3) Smoke alarms required in Article 9.10.19.1. and Sentence (1) shall be installed on or near the celling.

9.10.19.4. Power Supply (1) Except as permitted in Sentence (2), smoke alarms shall be installed by permanent connections to an electrical

circuit and shall have no disconnect switch between the overcurrent device and the smoke alarm and in case the regular power supply to the smoke alarm is interrupted, be provided with a battery as an alternative power source that can continue to provide power to the smoke alarm for a period of not less than 7 days in the normal condition, followed by 4 min of alarm.

(2) Where the building is not supplied with electrical power, smoke alarms are permitted to be battery operated. 9.10.19.5. Interconnection of Smoke Alarms

(1) Where more than one smoke elarm is required in a dwelling unit, the smoke elarms shall be wired so that the activation of one elerm will cause all alarms within the dwelling unit to sound.

9.10.19.6, Silencing of Smoke Alarms

(1) A manually operated device is permitted to be incorporated within the circuitry of a smoke alarm installed in a dwelling unit so that it will silence the signal emitted by the smoke alarm for a period of not more than 10 min, after which the smoke alarm will reset and again sound the alarm if the level of smoke in the vicinity is sufficient to reactuate the smoke alarm.

9.10.19.7. Instructions for Maintenance and Care

(1) Where instructions are necessary to describe the maintenance and care required for smoke alarms to ensure continuing satisfactory performance, they shall be posted in a location where they will be readily available to the

9.33.4. Carbon Monoxide Alarms

9.33.4.1. Application

(1) This Subsection applies to every building that,

(a) contains a residential occupancy, and

(b) contains a fuel-burning appliance or a storage garage.

9.33.4.2. Location of Carbon Monoxide Detectors

(1) Where a fuel-burning appliance is installed in a suite of residential occupancy, a carbon monoxide alarm shall he installed adjacent to each sleening area in the suite.

(2) Where a fuel-burning appliance is installed in a service room that is not in a suite of residential occupancy, a

carbon monoxide alarm shall be installed.

(a) adjacent to each sleeping area in every suite of residential occupancy that is adjacent to the service room, and (b) in the service mom.

(3) Where a storage garage is located in a building containing a residential occupancy, a carbon monoxide alarm shall be installed adjacent to each sleeping area in every suite of residential occupancy that is adjacent to the storage garage.

(4) Where a storage garage serves only the dwelling unit to which it is attached or built in, a carbon monoxide alarm shall be installed adjacent to each sleeping area in the dwelling unit.

9.33.4.3. Installation and Conformance to Standards

(1) The carbon monoxide alarm required by Article 9.33.4.2. shall,

(a) be permanently connected to an electrical circuit and shall have no disconnect switch between the overcurrent device and the carbon monoxide alarm.

(b) be wired so that its activation will activate all carbon monoxide alarms within the suite, where located within a suite of residential occupancy,

(c) be equipped with an alarm that is audible within bedrooms when the intervening doors are closed, where located adjacent to a sleeping area, and (d) conform to.

(f) CAN/CSA-6.19, "Residential Carbon Monoxide Alarming Devices", or

(II) UL 2034, "Single and Multiple Station Carbon Monoxide Alarms".

9.34.2.6. Garages and Carports

(1) A lighting outlet with fixture shall be provided for an attached, built-in or detached garage or carport. (2) Except as provided in Sentence (3), lighting outlets required in Sentence (1) shall be controlled by a wall

(3) Where the lighting outlet and fixture required in Sentence (1) are ceiling mounted above an area not normally occupied by a parked car; or are wall mounted, a fixture with a built-inswitch is permitted to be used. (4) Where a carport is lighted by a light at the entrance to a dwelling unit, additional carport lighting is not

9.15.3.9. Step Footings

(1) Where step footings are used,

a) the vertical rise between horizontal portions shall not exceed 600 mm, and

(b) the horizontal distance between risers shall be not less than 600 mm.

(1) Exterior foundation walls shall extend not less than 150 mm above finished ground level.

9.15.4.2. Foundation Wall Thickness and Required Lateral Support

(1) Except as required in Sentence (2), the thickness of foundation walls made of unreinforced concrete block or solid concrete and subject to lateral earth pressure shall conform to Table 9.15.4.2.A. for walls not exceeding 2.5 m in unsupported height.

(4) Where average stable soils are encountered and wind loads on the exposed portion of the foundation are no greater than 0.70 kPa, the thickness and reinforcing of foundation walls made of reinforced concrete block and subject to lateral earth pressure shall conform to Table 9.15.4.2.B. and Sentences (5) to (10).

(5) For concrete block walls required to be reinforced, continuous vertical reinforcement shall (a) be provided at wall corners, wall ends, wall intersections, at changes in wall height, at the jambs of all openings and at movement loints.

(b) extend from the top of the footing to the top of the foundation wall,

(c) where foundation walls are laterally unsupported at the top, have not less than 600 mm embedment into the footing, and

(d) where foundation walls are laterally supported at the top, have not less than 50 mm embedment into the locting, if the floor slab does not provide lateral support at the wall base.

(6) Where foundation walls are laterally unsupported, the footing shall be designed according to Part 4 to resist overturning and aliding. If the maximum height of finished ground above the basement floor or craw space ground cover exceeds 1.50 m.

(7) At the base of concrete block walls required to be reinforced and where the height of finished ground above the basement floor or crawl space ground cover exceeds 2.0 m, not less than one 15M intermediate vertical bar reinforcement shall be installed midway between adjacent continuous vertical reinforcement, and shall.

(a) extend to not less than 600 mm above the top of the footing, and

(b) have not less than 50 mm embedment into the footing, if the floor slab does not provide lateral support at the wall here

(8) For concrete block walls required to be reinforced, a continuous horizontal bond beam containing at least one 15M bar shall be installed.

(a) along the top of the wall,

(b) at the sill and head of all openings greater than 1.20 m in width, and

(c) at structurally connected floors.

(9) In concrete block walls required to be reinforced, all vertical bar reinforcement shall be installed along the centre line of the wall.

(10) In concrete block walls required to be reinforced, ladder or truss type lateral reinforcement not less than 3.8 mm (No. 9 ASWG) shall be installed in the bed joint of every second masonry course.

9.15.4.3. Foundation Walls Considered to be Laterally Supported at the Top (1) Sentences (2) to (4) apply to lateral support for walls described in Sentence 9.15.4.2.(1).

(2) Foundation walls shall be considered to be laterally supported at the top if,

a) such walls support solid masonry superstructure,

(b) the floor joists are embedded in the top of the foundation walls, or

(c) the floor system is anchored to the top of the foundation walls with anchor bolts, in which case the joists may run either parallel or perpendicular to the foundation walls.

(3) Unless the wall around an opening is reinforced to withstand earth pressure, the portion of the foundation wall beneath an opening shall be considered laterally unsupported, if,

(a) the opening is more than 1.2 m wide, or (b) the total width of the openings in the foundation wall constitutes more than 25% of the length of the wall.
 (4) For the purposes of Sentence (3), the combined width of the openings shall be considered as a single. opening if the average width is greater than the width of solid wall between them.

9.15.6. Parging and Finishing of Foundation Walls

9.15.6.1. Foundation Walls Below Ground

(1) Concrete block foundation walls shall be parged on the exterior face below ground level as required in Section 9.13.

9.15.6.2. Foundation Walls Above Ground

(1) Exterior surfaces of concrete block foundation walls above ground level shall have tooled joints, or shall be rendered, parged or otherwise suitably finished.

9.25.3.2. Air Barrier System Properties

(1) Sheet and panel type materials intended to provide the principal resistance to air leakage shall have an air leakage characteristic not greater than 0.02 L/(s-m2) measured at an air pressure differential of 75 Pa. (2) Where polyethylene sheet is used to provide the air-tightness in the air barrier system, it shall conform to

CAN/CGSB-51.34-M, "Vapour Barrier, Polyethylene Sheet for Use in Building Construction". 9.25.3.3. Continuity of the Air Barrier System

(1) Where the air barrier system consists of an air-impermeable panel-type material, all joints shall be sealed to prevent air leakage.

(2) Where the air barrier system consists of flexible sheet material, all joints shall be,

(a) sealed with compatible material such as tape or flexible sealant, or

b) except as required by Sentence (3), lapped not less than 100 mm and clamped, such as between framing members, furring or blocking and rigid panels.

(3) Where an air barrier system consisting of flexible sheet material is installed at locations where it is not

supported by an interior finish, such as a behind a bath tub, shower enclosure or fireplace, the continuity of the air barrier shall be maintained by sealing its joints.

(4) Where an interior wall meets an exterior wall, ceiling, floor or roof required to be provided with an air berrier protection, the sir barrier system shall extend across the intersection and shall be sealed in accordance with Sentences (1) and (2).

(5) Where an interior wall projects through a ceiling or extends to become an exterior wall, spaces in the wall shall be blocked to provide continuity across those spaces with the air barrier system in the abutting walls or celling by.

(a) sealing each air barrier to the blocking, or

parrier on the underside of the floor

(b) wrapping each air barrier around the transition and sealing in accordance with Sentences (1) and (2). (6) Where an interior floor projects through an exterior wall or extends to become an exterior floor.

continuity of the air barrier system shall be maintained from the abutting walls across the floor assembly. (7) Where an interior floor projects through an exterior wall to become an exterior floor a) the air barrier of the wall under the floor shall be continuous with or sealed to the subfloor or the air

(b) the air barrier of the wall above the floor shall be continuous with or sealed to the subfloor or the air

(c) the spaces between floor joists shall be blocked and sealed.

(8) Where a header wrap is used as an air barrier, it shall be sealed or lapped to the wall air barrier above and below in accordance with Sentances (1) and (2).

(9) Penetrations of the air barrier system, such as those created by the installation of electrical winner. electrical boxes, piping or ductwork, shall be sealed with compatible material such as tape or causing to maintain the integrity of the air barrier system over the entire surface.

(10) Penetrations of the air barrier system, such as those created by the installation of doors, windows and other fenestration shall be sealed to maintain the integrity of the air barrier system over the entire surface. (11) Where an interior air barrier is penetrated by doors, windows and other fenestration, the air harrier

shall be sealed to the door frame or window frame with,

a) compatible tape, or (b) spray foam insulation

(12) Where an exterior air barrier is penetrated by doors, windows and other fenestration, the air parrier shall be sealed to the door frame or window frame with,

(a) compatible flexible flashing material,

(b) caulking, or

(c) spray foam insulation.

(13) An access hatch installed through an assembly constructed with an air barrier system shall be weatherstripped around the perimeter to prevent air leakage.

(14) Clearances between chimneys or gas vents and the surrounding construction that would permit air laskage from within the building into a wall or attic or roof space shall be sealed by noncombustible materia to prevent such leakage and shall be sealed to the air barrier with tape or another compatible material, and to the vent with high temperature caulking in accordance with the manufacturer's installation instructions. (15) Where the foundation wall and floor slab are used as an air barrier, they shall be caulked at all joints,

intersections and penetrations. (16) Sump pit covers shall be sealed

9.25.3.4. Vapour Barriers Used as Air Barriers

(1) A vapour barrier used as an air barrier shall comply with the requirements of this Subsection.

9.29.5. Gypsum Board Finish (Taped Joints)

9.29.5.1. Application

(1) The requirements for application of gypsum board in this Subsection apply to the single layer application of gypsum board to wood furring or framing using nails or screws.

(2) Gypsum board applications not described in this Subsection shall conform to CSA A82.31-M, *Gypsum Board Applications

9.29.5.2. Matorials

(1) Gypsum products shall conform to,

(a) CAN/CSA-A82.27-M, "Gypsum Board",

(b) ASTM C1178 / C1178M, "Glass Mat Water-Resistant Gypsum Backing Panel",

(c) ASTM C1396 / C1396M, 'Gypsum Board', 9.29.5.3. Maximum Spacing of Supports (1) Maximum spacing of supports for gypsum board applied as a single layer shall conform to Table

9 29 5.4 Support of Insulation

(1) Gypsum board supporting insulation shall be at least 12.7 mm thick.

9.29.5.5. Length of Fasteners (1) The length of fasteners for gypsum board shall conform to Table 9.29.5.5., except that lesser depths of penetration are permitted for assemblies required to have a fire-resistance rating provided it can be shown. on the basis of fire tests, that such depths are adequate for the required rating.

(1) Nalls for fastening gypsum board to wood supports shall conform to CSA B111, "Wire Nalls, Spikes and

9.29.5.7. Screws

(1) Screws for fastening gypsum board to wood supports shall conform to ASTM C1002, "Steel Self-Piercing Tapping Screws for the Application of Gypsum Panel Products or Metal Plaster Bases to Wood Studs or

9.29.5.8. Spacing of Nails

(1) For single-layer application on ceilings, nails shall be spaced,

(a) not more than 180 mm o.c. on celling supports, or

(b) every 300 mm o.c. along celling supports, in pairs about 50 mm apart.

(2) Where the ceiling sheets are supported by the wall sheets around the perimeter of the ceiling, this support may be considered as equivalent to nailing at this location.

(3) Except as required by Sentance (4), for single-layer application on walls, nails shall be spaced,

(a) not more than 200 mm o.c. on vertical wall supports, or (b) every 300 mm o.c. along vertical wall supports, in pairs about 50 mm apart. (4) For single-layer application on walls, where gypeum board is required to provide bracing, lateral support

or fire protection, nails shall be spaced not more than 200 mm o.c. on, (a) vertical wall supports and

(b) top and bottom plates.

(5) The uppermost nails on vertical wall supports shall be not more than 200 mm below the ceiling.

i) Nails shall be located not less than 10 mm from the side or edge of the board. (7) Nails shall be driven so that the heads do not puncture the paper.

9.29.5.9. Spacing of Screws

(1) For single-layer application on a ceiling, screws shall be spaced not more than 300 mm o.c. on ceiling

(2) Where the ceiling sheets are supported by the wall sheets around the perimeter of the ceiling, this

support may be considered as equivalent to acrowing at this location. (3) Except as required by Sentance (4), for single-layer application on walls, scraws shall be spaced, (a) not more than 300 mm c.c. on vertical wall supports where the supports are more than 400 mm c.c., or

(b) not more than 400 mm o.c. on vertical wall supports where the supports are not more than 400 mm o.c. (4) Except as required by Sentence (5), for single-layer application on walls, where gypsum board is required to provide bracing, lateral support or fire protection, screws shall be spaced not more than 300 mm

O.C. Off, (a) vertical wall supports, and

(b) top and bottom plates.

(5) Where a fire-resistance rating is determined based on Supplementary Standard SB-3, Sentence (4) need not apply for the purpose of fire protection.

(6) Screws shall be located not less than 10 mm from the side or edge of the board. (7) Screws shall be driven so that the heads do not puncture the paper

9.29.5.10. Low Temperature Conditions

(1) In cold weather, heat shall be provided to maintain a temperature of not below 10°C for 48 h prior to taping and finishing and maintained for not less than 48 h after that.

THESE DRAWINGS MUST BE SIGNED TO BE VALID FOR PERMIT. THEY ARE VALID ONLY FOR THE ORIGINAL ADDRESS IN THE TITLE BLOCK

> TURAL TE John Vanderwood X, M.A.A.T.O.

The undersigned has reviewed and lakes responsibility for this design, and has the qualifications and meda the requirements set out in the Onterio Building Code to be a designer. CULAI ISICATYON INCODMATION

equired unless design is exempt unite Division C-3.2.5.1 of the 2012 C.B.C. ohn Vancierement BCIN 215 tequired unless design is exempt under Division C-3.2.4.1 of the 2012 O.B.C.



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CONTRACTOR

TARTING DATE:

July 31, 2020 Donna Smith

PROJECT

Addition

40 Inglewood Drive

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LAST REVISION DATE Feb 18, 2021

Brampton, On

N.T.S.

