



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **MAYFIELD (RCH) PROPERTIES INC.** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 104, Plan 43M-2102, municipally known as **8 PUFFIN CRESCENT**, Brampton;

AND WHEREAS the applicant is requesting the following variance associated with a proposed detached dwelling:

1. To permit a rear yard setback of 7.37m (24.18 ft.) whereas the by-law requires a minimum rear yard setback of 7.50m (24.60 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, May 11, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 29th day of April, 2021.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall
2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures
How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, May 6, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, May 7, 2021**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, May 7, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

EXPLANATORY LETTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 8 PUFFIN CRESCENT A-2021-0085

To whom it may concern,

The purpose of this minor variance application is to request that a 7.37 metres rear yard be allowed for the subject property, whereas zone R1F-9.0-2368 requires 7.5m. Due to the curvature of the lot, the front and rear property lines bend towards the front of the lot on its northern side. This creates a deficiency of 0.13 metres on that side of the lot. It is to be noted that most of the rear wall of the building complies with the 7.5m rear yard requirement.

Dated this 4th day of February, 2021



DAVID HUIE (RN DESIGN LTD)

Applicant



FILE NUMBER: _____

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION**Minor Variance or Special Permission**

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. **Name of Owner(s)** MAYFIELD (RCH) PROPERTIES INC.
Address 171 BASALTIC ROAD, CONCORD, ON, L4K 1G4

Phone # 905-669-5003 **Fax #** 905-669-8511
Email dot@regalcresthomes.com

2. **Name of Agent** David Huie (RN Design Ltd)
Address 8395 Jane Street
Vaughan, ON M2J0A4

Phone # 905-738-3177 **Fax #** 905-738-5449
Email DavidH@mdesign.com

3. **Nature and extent of relief applied for (variances requested):**

Requesting rear yard reduction from required 7.50m down to 7.37m

4. **Why is it not possible to comply with the provisions of the by-law?**

Due to the curvature of the lot, the rear lot line bends on the right side of the lot. Note that the left side of the building complies with the 7.5m rear yard required.

5. **Legal Description of the subject land:**

Lot Number 104
Plan Number/Concession Number PART OF LOT 16/ CONCESSION 4 PLAN 43M2102
Municipal Address 8 PUFFIN CRESCENT

6. **Dimension of subject land (in metric units)**

Frontage 11.604
Depth 27.5
Area 319.19

7. **Access to the subject land is by:**

Provincial Highway ☐
Municipal Road Maintained All Year ☒
Private Right-of-Way ☐

Seasonal Road ☐
Other Public Road ☐
Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

N/A

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Single detached dwelling
Ground floor area: 103.70 m² Building length: 15.37m
Gross floor area: 251.50 m² Building height: 8.32m
Storeys: 2
Building width: 9.70m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback N/A
Rear yard setback N/A
Side yard setback N/A
Side yard setback N/A

PROPOSED

Front yard setback 4.60m
Rear yard setback 7.37m (subject of minor variance)
Side yard setback 0.65m (left side)
Side yard setback 1.25m (right side)

10. Date of Acquisition of subject land: MARCH 22, 2021
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 2021
15. Length of time the existing uses of the subject property have been continued: N/A (NEW LOT)

16. (a) What water supply is existing/proposed?

Municipal ☒ Other (specify) _____
Well ☐

- (b) What sewage disposal is/will be provided?

Municipal ☒ Other (specify) _____
Septic ☐

- (c) What storm drainage system is existing/proposed?

Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☒

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

D. Dyce

Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ CITY _____ OF _____ BRAMPTON

THIS 30th DAY OF MARCH April, 2021.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, David Huie, OF THE _____ CITY _____ OF _____ BRAMPTON

IN THE _____ PROVINCE OF _____ ONTARIO _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 8th DAY OF
April, 2021.

April Dela Cerna
A Commissioner etc.

D. Dyce
D. Dyce

Signature of Applicant or Authorized Agent

Ad.
April Dela Cerna,
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires May 8, 2021.

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1F-9.0-2368

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

[Signature]

Zoning Officer

April 8, 2021

Date

DATE RECEIVED April 08, 2021

Date Application Deemed Complete by the Municipality April 8, 2021

REG. PLAN No.	
ZONE	R1F-9.0-2368
LOT NUMBER	LOT 104 -COFA
LOT AREA(m) ²	319.19
BLDG AREA(m) ²	N/A
LOT COVERAGE(%)	N/A
No. OF STOREYS	2
MEAN HEIGHT(m)	8.32
INT. GARAGE DIMS(m)	5.59m x 6.10m
GARAGE DOOR(m)	2 - 2.54m

FFE	FINISHED FLOOR ELEVATION		SUMP PUMP
TFW	TOP OF FOUNDATION WALL		BELL PEDESTAL
TBS	TOP OF BASEMENT SLAB		CABLE PEDESTAL
USF	UNDER SIDE FOOTING		CATCH BASIN
USFR	UNDER SIDE FOOTING @ REAR		DBL. CATCH BASIN
USFG	UNDER SIDE FOOTING @ GARAGE		ENGINEERED FILL
TEF	TOP OF ENGINEERED FILL		FIRE HYDRANT
R	NUMBER OF RISERS TO GRADE		STREET LIGHT
WOD	WALKOUT DECK		MAIL BOX
LOB	LOOKOUT BASEMENT		TRANSFORMER
WOB	WALK OUT BASEMENT		SEWER CONNECTIONS 2 LOTS
WUB	WALK UP BASEMENT		SEWER CONNECTIONS 1 LOT
REV	REVERSE PLAN		WATER CONNECTION
STD	STANDARD PLAN		WATER VALVE CHAMBER
	DOOR		HYDRANT AND VALVE
	WINDOW		HYDRO METER
	AIR CONDITIONING		GAS METER
	DOWN SPOUT TO SPLASH PAD		MANHOLE - STORM
	DOWNSPOUT CONNECTED TO STM		MANHOLE - SANITARY
	SWALE DIRECTION		
			CHAINLINK FENCE
			PRIVACY FENCE
			SOUND BARRIER
			FOOTING TO BE EXTENDED TO 1.22 [4'] BELOW GRADE

NOTE: USF IS BASED ON 150mm [6"] FOOTING DEPTH. CONTRACTOR TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.

[illegible]

IMPORTANT POINTS TO REMEMBER:

- TO THE RESPONSE OF THE BUILDER TO VERIFY FROM THE ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER AN ADDITIONAL THICKNESS MAY BE REQUIRED.
- LOT GRADING PLANS ASSUME A TBS TO USF DISTANCE OF 0.23, BASED ON FOOTING THICKNESS UP TO 6'.
- IF ADDITIONAL FOOTING THICKNESS IS REQUIRED THE USF IS TO BE LOWERED BY THE FOLLOWING AMOUNTS:

- UP TO 9" FOOTING, LOWER USF BY 0.07
- 10" FOOTING, LOWER USF BY 0.10
- 11" FOOTING, LOWER USF BY 0.13
- 12" FOOTING, LOWER USF BY 0.15
- 13" FOOTING, LOWER USF BY 0.18
- 14" FOOTING, LOWER USF BY 0.20



I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RM DESIGN LTD.** UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: FIRM BCIN: DATE:		21032 26995 FEB-03-2021
SIGNATURE: _____		

CLIENT MAYFIELD (RCH) PROPERTIES
INC.

PROJECT/LOCATION
MAYFIELD PHASE 5
BRAMPTON

DRAWING SITE PLAN

DRAWN BY JC	SCALE 1:250
PROJECT No. 20071	LOT NUMBER LOT 104-COFA

1. THESE STANDARDS ARE FOR URBAN LOTS AND GENERAL IN NATURE. CERTAIN LOTS MAY REQUIRE CHANGES
2. LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 6%
3. WHERE GRASSES IN EXCESS OF 6% ARE REQUIRED THE MAXIMUM SLOPE SHALL BE 3:1 IN ANY CASE GRADE CHANGES IN EXCESS OF 0.6m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT BE PERMITTED
4. THE MAXIMUM DEPTH OF REAR YARD SWALE SHALL BE 0.3m. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 YARDS. SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.
5. THE MAXIMUM DEPTH OF A SIDE YARD SWALE SHALL BE 0.2m. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE MAXIMUM FLOW IN A SIDE SWALE IN THAT FROM 4 REAR YARDS
6. AT LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2% SLOPE) OF 0.6m MINIMUM
7. A REAR APRON (2% SLOPE) OF 5m MINIMUM SHALL BE PROVIDED FOR ALL DETACHED UNITS
8. REAR LOT CATCH-BASIN GRATES TO BE 75mm BELOW FINISHED GRADE
9. DOWNSPOUTS TO DISCHARGE ONTO GROUND ON FLASH-PADS. DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS
10. WEEPING TILE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN STANDARDS
11. 200mm OF TOPSOIL SHALL BE APPLIED TO EACH LOT PRIOR TO SCODDING
12. DRIVEWAY GRADES SHALL NOT BE LESS THAN 2% AND NO GREATER THAN 8%
13. THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRIVEWAY AND A UTILITY STRUCTURE IS 1.2m
14. HOUSE STYLES ARE TO BE USED TO SUIT THE LOT GRADING
15. SIDE DETACHED AND TOWNHOUSE UNITS TO EMPLOY SPLIT DRAINAGE
16. PAVO STONES MUST BE INSTALLED ALONG THE SIDE ENTRANCE
17. THIS IS MEANT TO BE READ IN CONJUNCTION WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA
18. 0.15m CLEARANCE MUST BE PROVIDED BETWEEN THE BROOKLINE AND THE FINAL GROUND ELEVATION AT THE HOUSE
19. 0.20m CLEARANCE MUST BE PROVIDED BETWEEN THE SIDING AND THE FINAL TOP OF GROUND ELEVATION AT THE HOUSE
20. ALL DRIVEWAY WIDTHS AND DRIVEWAY PAVING SHALL BE AS PER THE CITY OF BRAMPTON STANDARDS
21. BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE ENGINEER
22. FOOTINGS CONSTRUCTED NEXT TO A CATCH-BASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE INSTALLED BELOW THE LEAD PIPE
23. EXCAVATION FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOUL CONSULTANTS VERIFICATION REQUIRED
24. SOIL CONSULTANT TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED FILL LOTS
25. SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING CONSTRUCTION ON ENGINEERED FILL LOTS
26. LIMESTONE NOT TO BE USED AS BEDDING FOR WEEPING TILE AND BASEMENT SLAB IF FDC PROPOSED

GRADING CERTIFICATION:

1. THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION.
2. THE BUILDER IS RESPONSIBLE FOR RELOCATION OF ALL THE UTILITIES ON SITE.
3. THE BUILDER MUST TOPSOIL AND SOO ALL BOULEVARDS.
4. DOWNSPOUTS SHALL DISCHARGE TO THE GROUND VIA SPLASH PADS.
5. BRICKLINE TO BE 150mm TO 200mm ABOVE FINAL GRADE AT HOUSE.

NOTE:
LATERAL SEWERS AS-BUILT ELEVATIONS AND UTILITY
LOCATIONS WERE NOT AVAILABLE AT THE TIME OF
CERTIFICATION. SCHAFFER WILL NOT ACCEPT
LIABILITY ARISING FROM THIS MATTER. REVISIONS MAY
BE REQUIRED UPON AVAILABILITY OF LATERAL
ELEVATIONS AND UTILITY LOCATIONS.
ALSO UNDERGROUND SEWERS WHERE NOT
CONSTRUCTED WHEN SITE PLANS REVIEWED AND
APPROVED.



FRONT ELEVATION 'A'



FRONT ELEVATION 'B'

Drawing List:

38-04
RIVONIA

- A0 TITLE SHEET
- A1 BASEMENT FLOOR ELEV. 'A' & 'B'
- A2 GROUND FLOOR ELEV. 'A'
- A3 SECOND FLOOR ELEV. 'A'
- A4 PARTIAL GROUND & SECOND FLOOR ELEV. 'B'
- A5 FRONT ELEVATION 'A'
- A6 RIGHT SIDE ELEVATION 'A'
- A7 REAR ELEVATION 'A' & 'B'
- A8 LEFT SIDE ELEVATION 'A'
- A9 FRONT ELEVATION 'B'
- A10 RIGHT SIDE ELEVATION 'B'
- A11 LEFT SIDE ELEVATION 'B'
- D1 CONSTRUCTION NOTES
- D2 CONSTRUCTION NOTES
- D3 CONSTRUCTION NOTES

Areas:

	ELEVATION 'A'		ELEVATION 'B'	
	SF	SM	SF	SM
GROUND FLOOR	1115.9	103.7	1115.9	103.7
SECOND FLOOR	1555.9	144.5	1591.1	147.8
TOTAL AREA	2671.8	248.2	2707.0	251.5
COVERAGE INC PORCH	1579.1	146.7	1579.1	146.7
COVERAGE NOT INC PORCH	1513.3	140.6	1513.3	140.6

Regal Crest Homes
Mayfield (RCH)

I, NELSON CUNHA, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 21032
FIRM BCIN: 26995
DATE: OCTOBER 15, 2018

SIGNATURE: _____

client

Regal Crest Homes

location

Brampton

project

Mayfield (RCH)

marketing name

RIVONIA

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	3-07-2018	NA	NC					
2	REVISED AS PER ENGINEER COMMENTS	12-SEP-2018	HAZ	NC					
3	REVISED AS PER CLIENT COMMENTS	15-OCT-2018	JD	NC					
	ISSUED FOR FINAL								



model
38-04

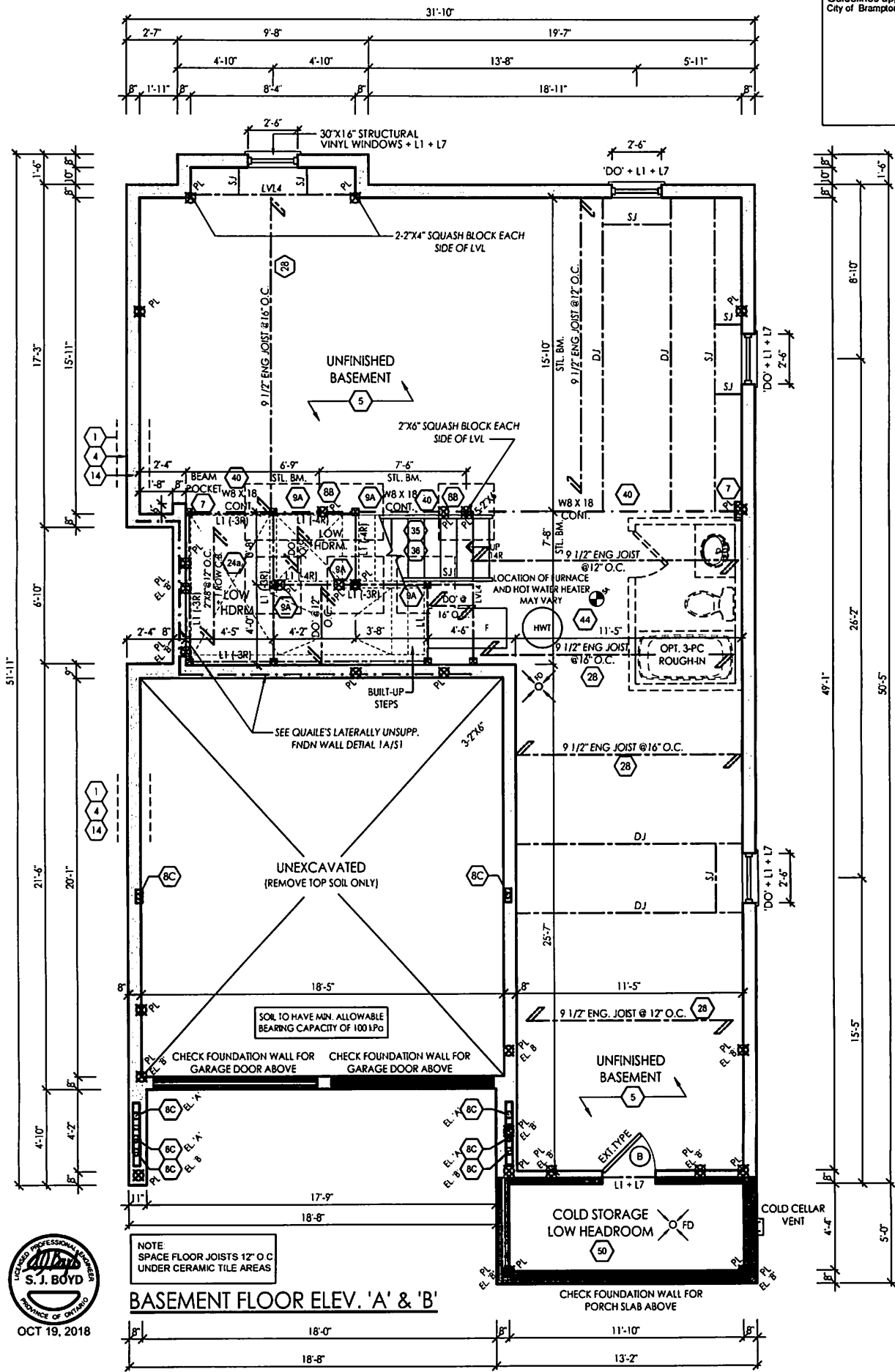
scale
3/16" = 1'0"

project #
18020

page
A0

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Brampton.



NOTE:
SPACE FLOOR JOISTS 12" O.C.
UNDER CERAMIC TILE AREAS

BASEMENT FLOOR ELEV. 'A' & 'B'

I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RIN DESIGN LTD. UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 21032
FIRM BCIN: 26995
DATE: OCTOBER 15, 2018

SIGNATURE:

client
Regal Crest Homes

location
Brampton

project
Mayfield (RCH)

marketing name
RIVONIA

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
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2.	REVISED AS PER ENGINEER COMMENTS	12-09-2018	HAI	NC					
3.	REVISED AS PER CLIENT COMMENTS	15-OCT-2018	JO	NC					

RIN design
Imagine • Inspire • Create



model
38-04

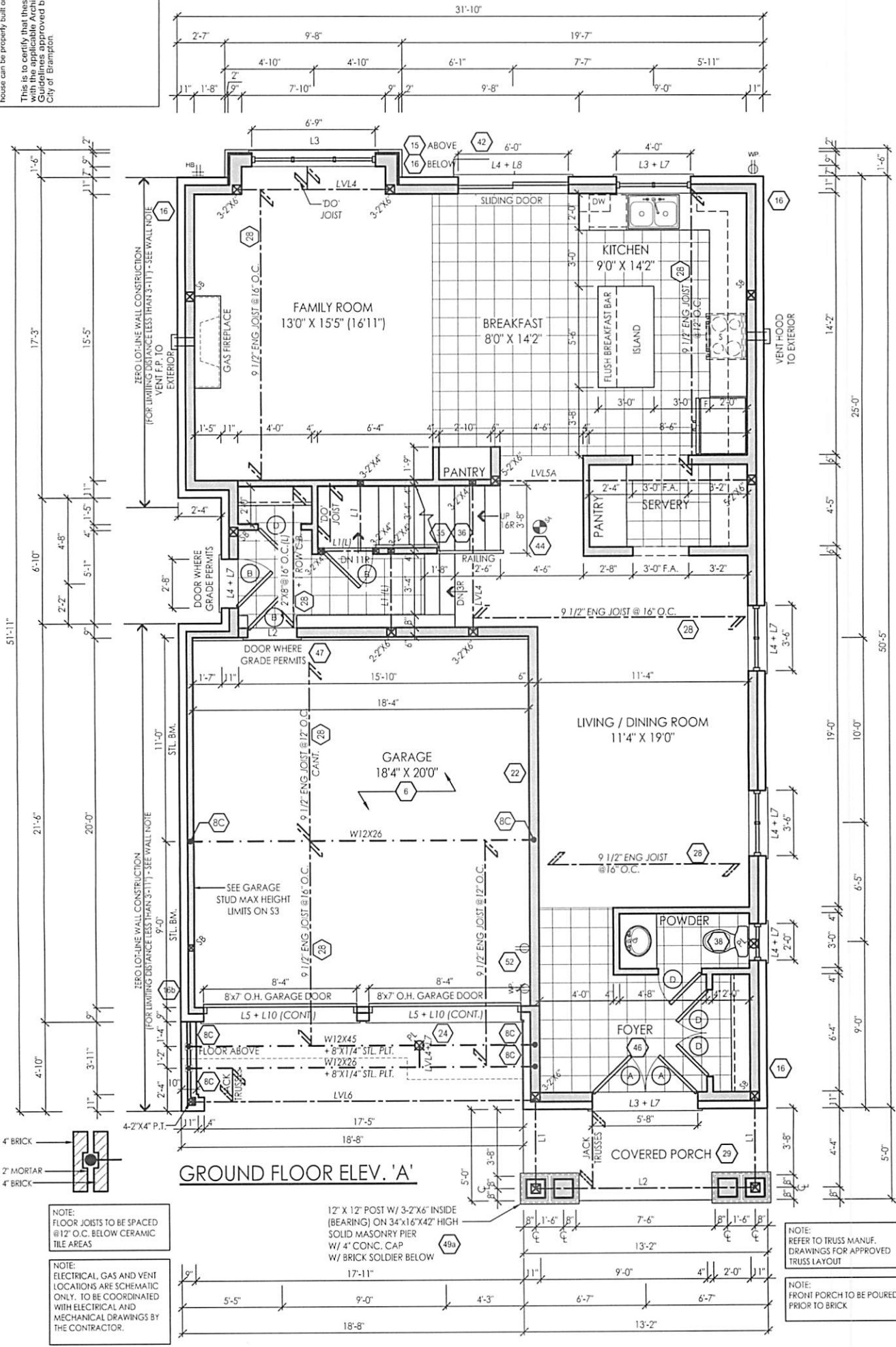
scale
3/16" = 1'0"

project #
18020

page

A1

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines including zoning provisions and any provisions in the subdivision agreement. The Control Authority is not responsible for the accuracy or completeness of the drawings or for any errors or omissions. The Control Authority is not responsible for the accuracy or completeness of the drawings or for any errors or omissions. The Control Authority is not responsible for the accuracy or completeness of the drawings or for any errors or omissions.



I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN design LTD** UNDER DIVISION C, PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN#: 21032
FIRM BCIN#: 26995
DATE: OCTOBER 15, 2018

SIGNATURE: _____

client		location	
Regal Crest Homes		Brampton	
project		marketing name	
Mayfield (RCH)		RIVONIA	
#	revisions	date	dwn
1.	ISSUED FOR CLIENT REVIEW	3-07-2018	NA
2.	REVISED AS PER ENGINEER COMMENTS	12-SEP-2018	HA
3.	REVISED AS PER CLIENT COMMENTS	15-OCT-2018	JD

RN design
Imagine • Inspire • Create

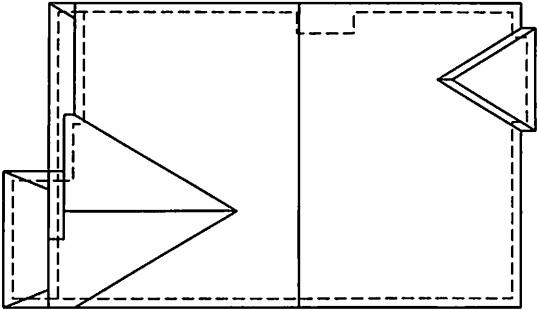
model
38-04

scale
3/16" = 1'0"

page
A2

project #
18020

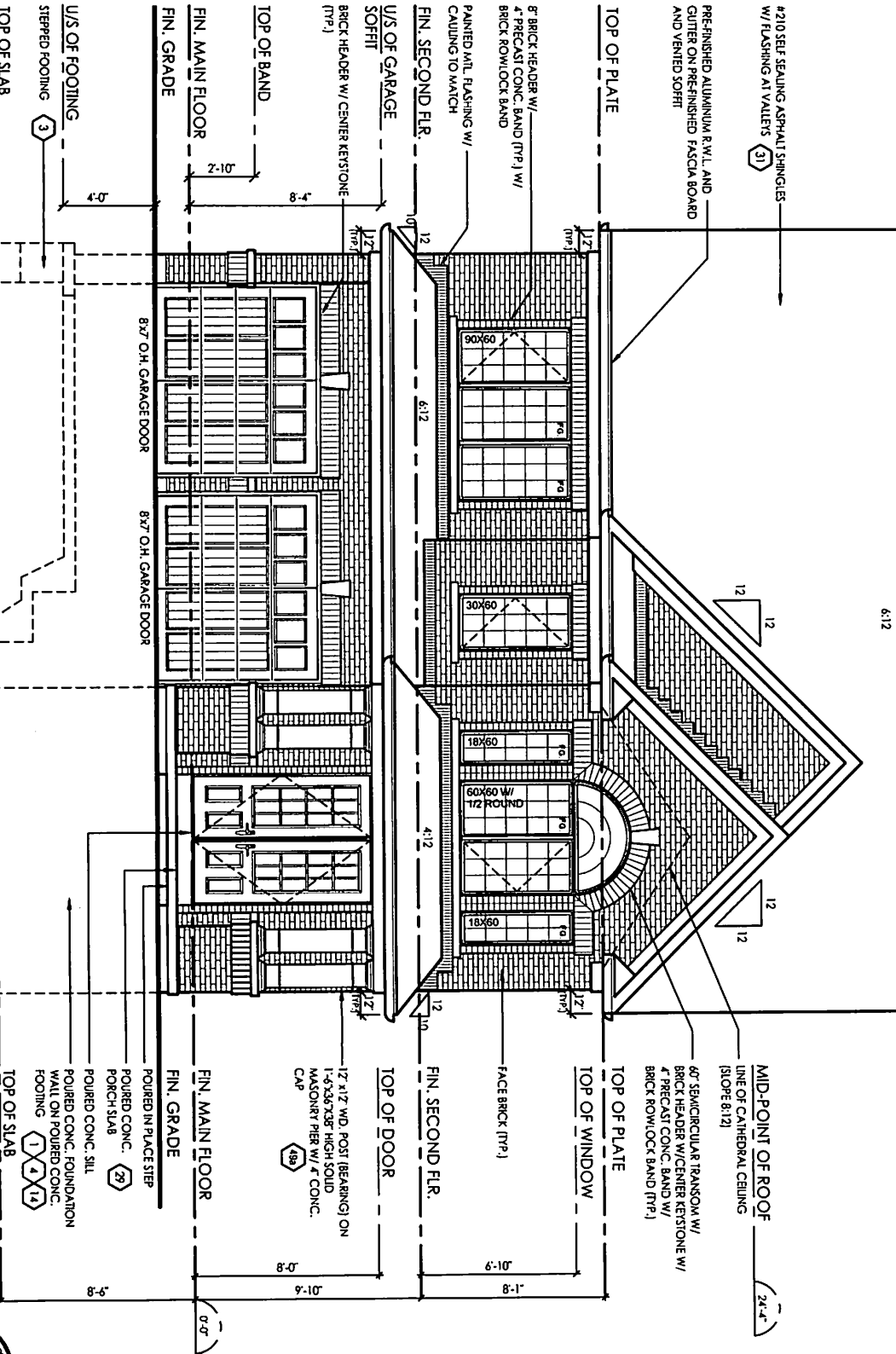
ROOF PLAN 'A'



ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 3 OF THE CBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 7"x4" SPF @ 24" o.c. WITH A 7"x4" 3"PF VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO STREET SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT.



FRONT ELEVATION 'A'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement. The Control Architect is not responsible in any way for approving or approving any (existing) plans or drawings. The Control Architect is not responsible for any building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design City of Brampton.



I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 21032
FIRM BCIN: 26995
DATE: OCTOBER 15, 2018

SIGNATURE:

client Regal Crest Homes					location Brampton				
project Mayfield (RCH)					marketing name RIVONIA				
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	31 OCT 2018	NA	NC					
2	REVISED AS PER ENGINEER COMMENTS	12 SEP 2018	HAZ	NC					
3	REVISED AS PER CLIENT COMMENTS ISSUED FOR FINAL	19 OCT 2018	JD	NC					

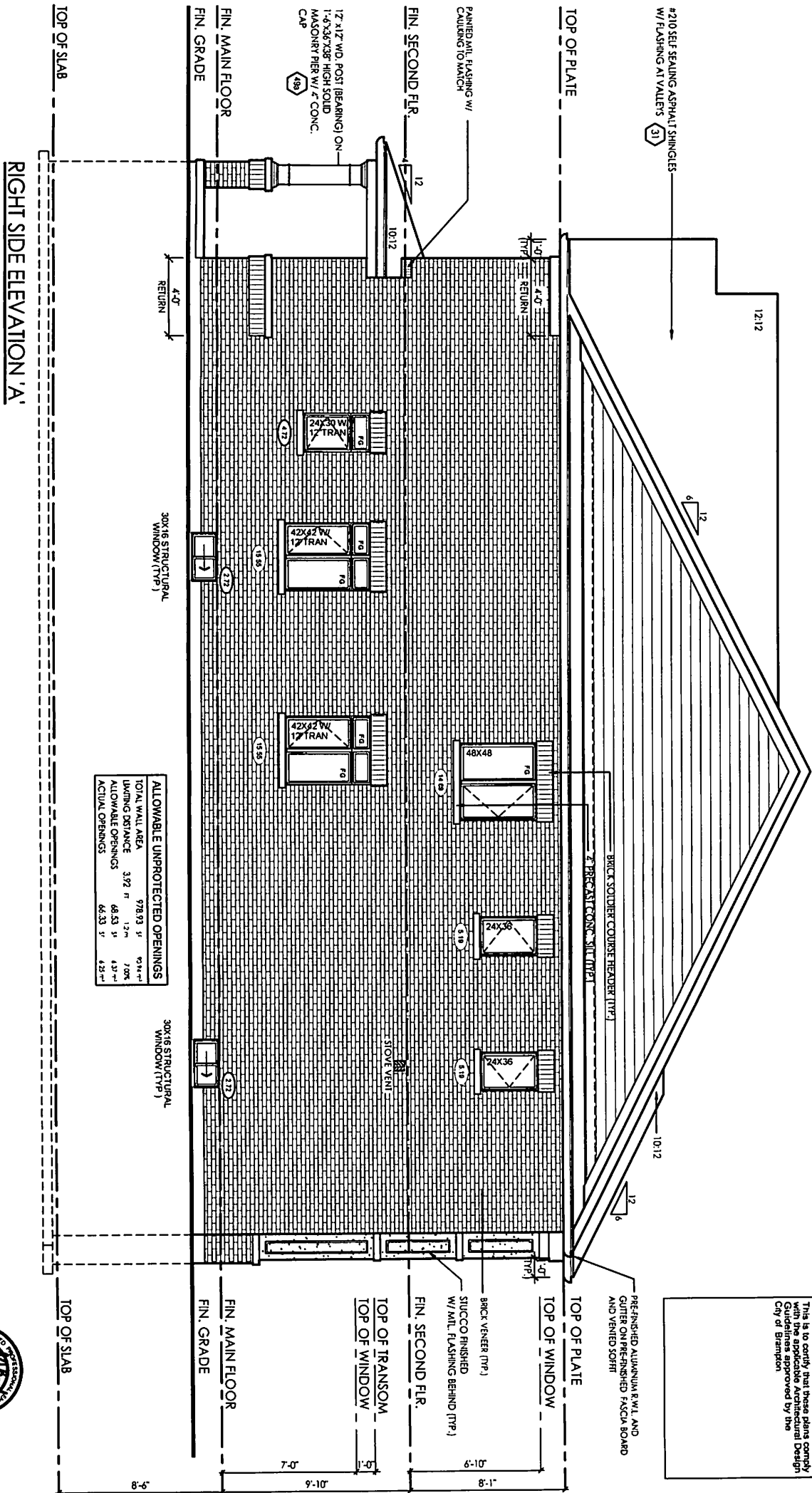


model
38-04

scale
3/16" = 1'0"

project #
18020

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It is the builder's complete responsibility to ensure that the building is constructed in full compliance with the applicable building codes and all applicable regulations and requirements in the jurisdiction of the project. The Architect is not responsible in any way for examining or approving site (lot) plans or building codes or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Code of Brampton.



I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RIN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 21032
FIRM BCIN: 26995
DATE: OCTOBER 15, 2018

SIGNATURE:

client
Regal Crest Homes

location
Brampton

project
Mayfield (RCH)

marketing name
RIVONIA

revisions				revisions			
#	revisions	date	dwn	chk	#	revisions	date
1	ISSUED FOR CLIENT REVIEW	21-07-2018	NA	NC			
2	REVISED AS PER ENGINEER COMMENTS	17-SEP-2018	HAZ	NC			
3	REVISED AS PER CLIENT COMMENTS ISSUED FOR FINAL	15-OCT-2018	JO	NC			

RIN design
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model
38-04

scale
3/16" = 1'0"

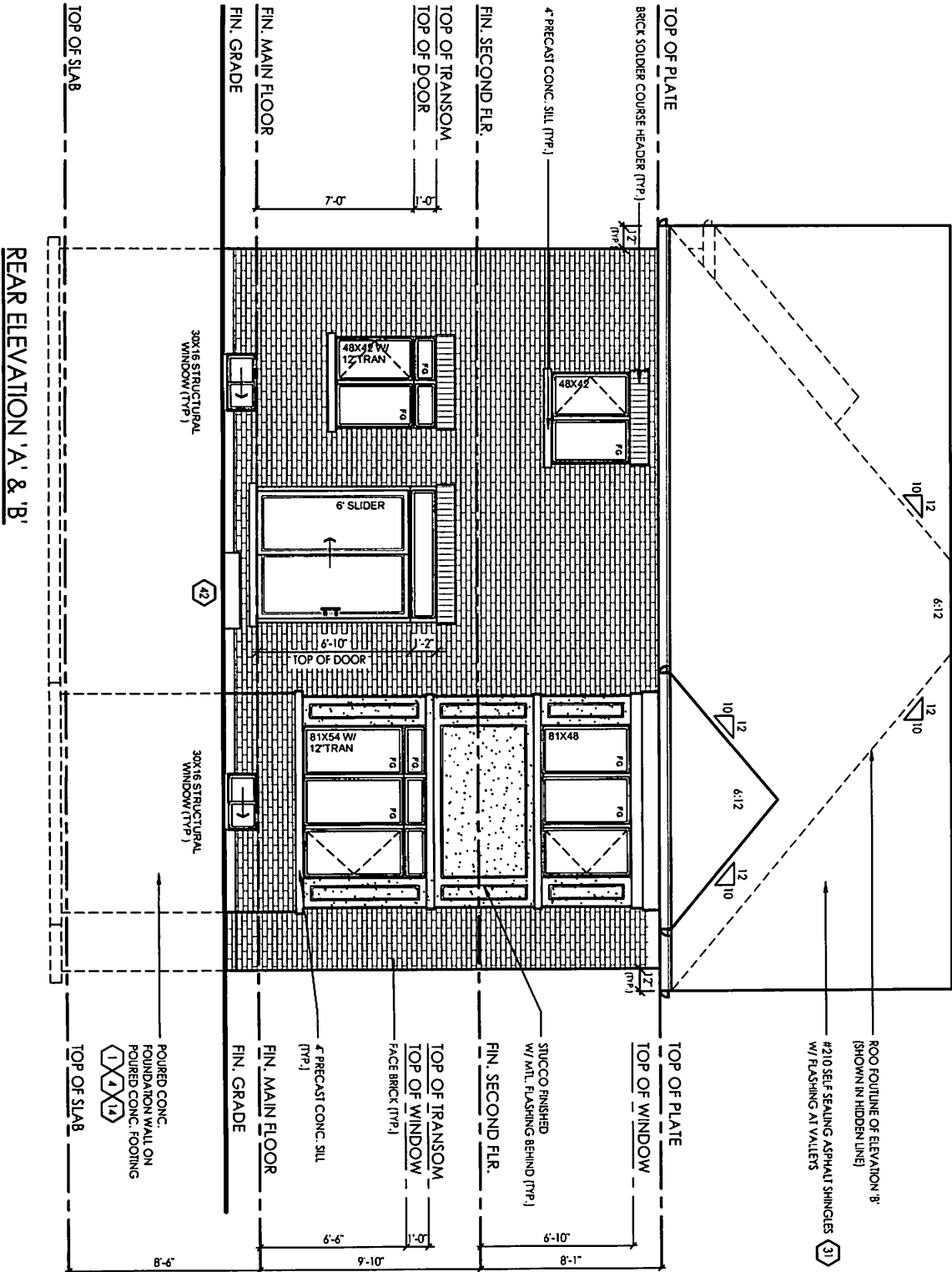
project #
18020

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A6

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3	REVISED AS PER CLIENT COMMENTS	15-OCT-2018	JD	NC					

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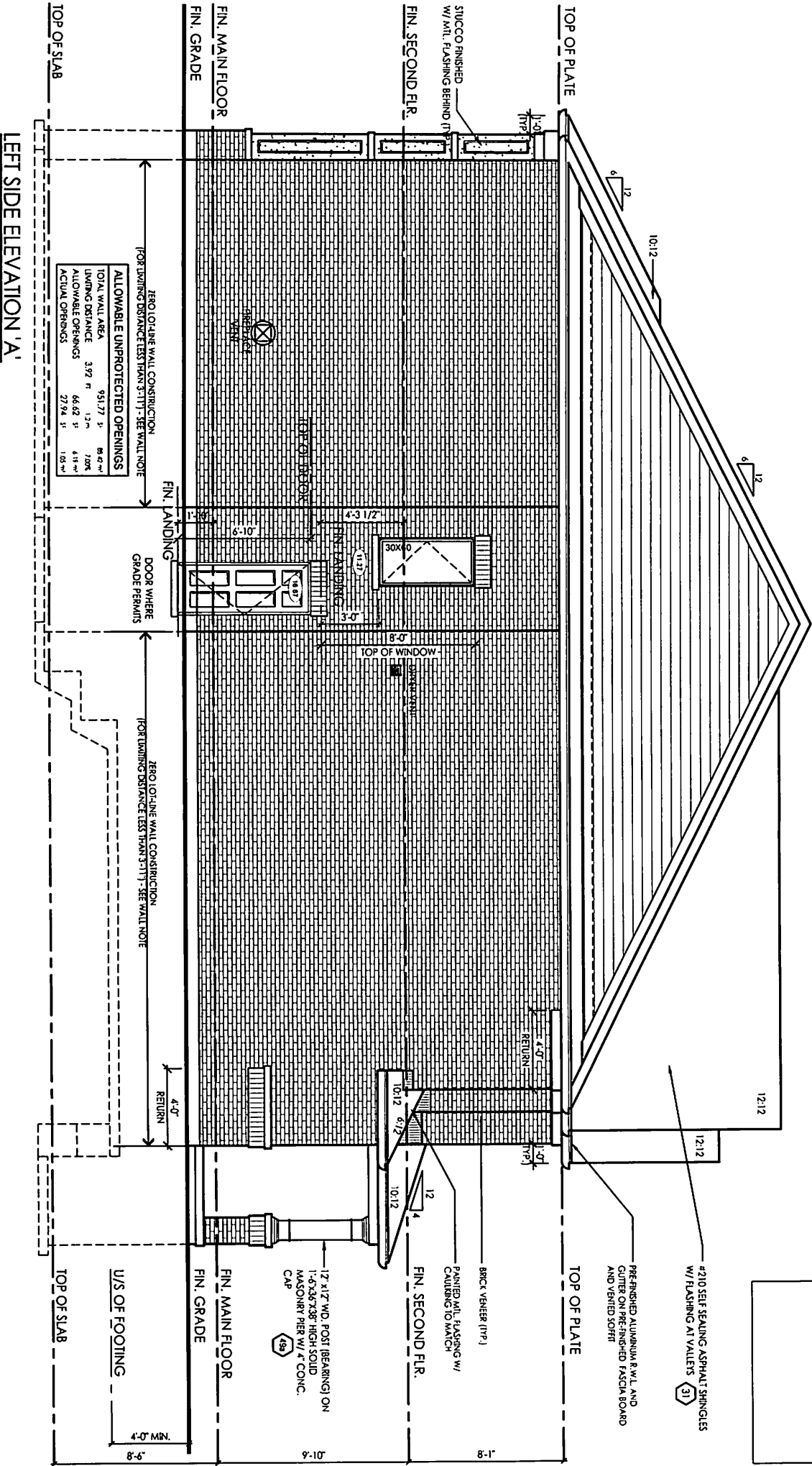
model
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scale
3/16" = 1'0"

project #
18020

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A7



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client					location				
Regal Crest Homes					Brampton				
project					marketing name				
Mayfield (RCH)					RIVONIA				
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3	REVISED AS PER CLIENT COMMENTS	15 OCT 2018	JO	NC					
	ISSUED FOR FINAL								

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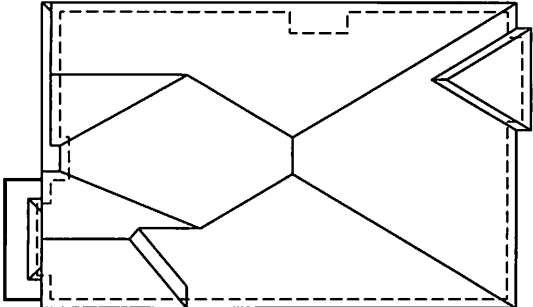


model 38-04
scale 3/16" = 1'0"
project # 18020

page

A8

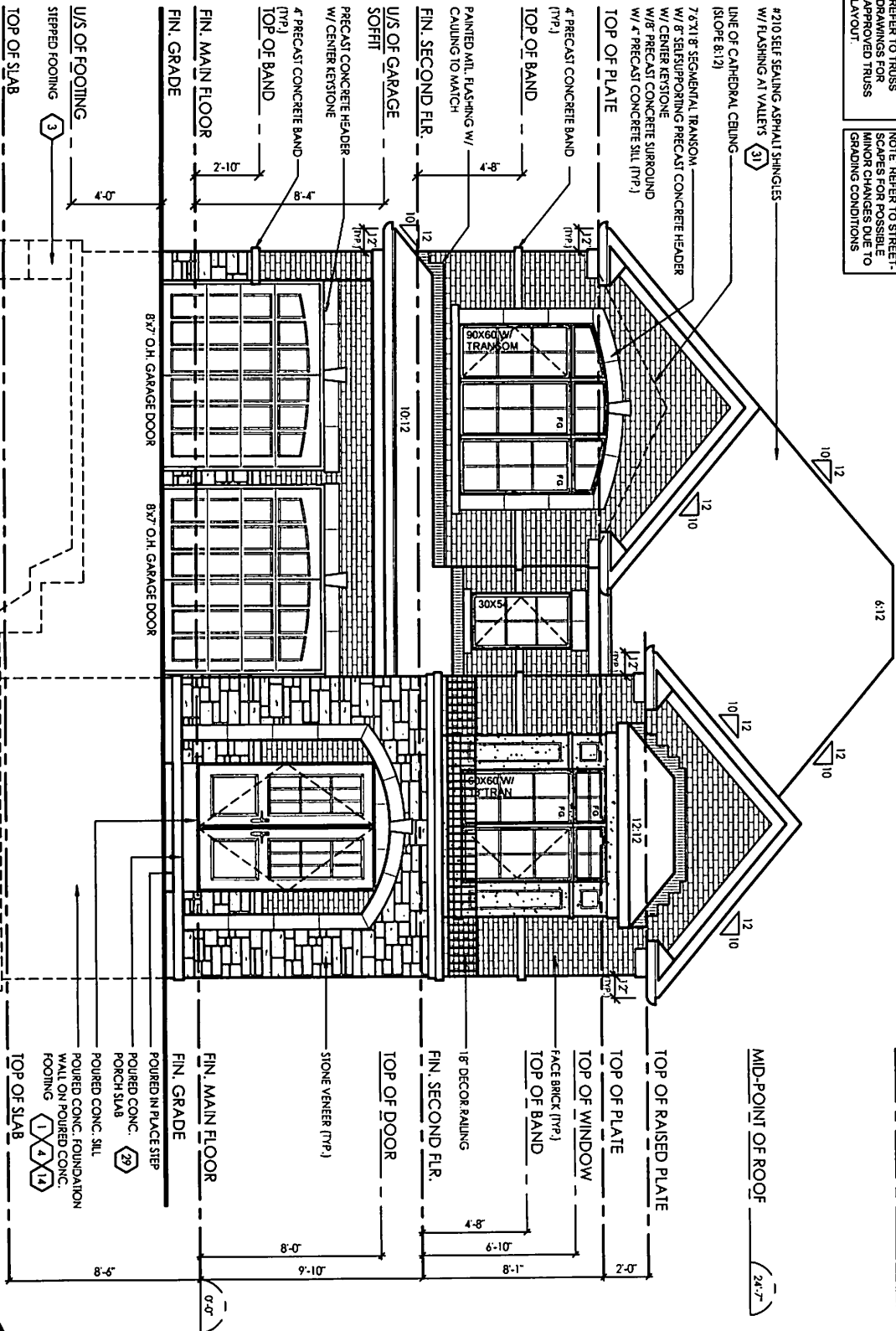
ROOF PLAN 'B'



ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 3 OF THE CBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" o.c. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE Laterally Braced so that the distance between end points & between rows of bracing does not exceed 6'.

REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT.

NOTE: REFER TO STREET SCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS.



It is the builder's complete responsibility to ensure that all plans submitted for approval conform to the applicable zoning bylaws and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council reserves the right to require the builder to submit revised drawings with respect to any zoning or building code or zoning bylaw that may be adopted or amended after the date of approval of these plans. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Brampton.



OCT 19, 2018

I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

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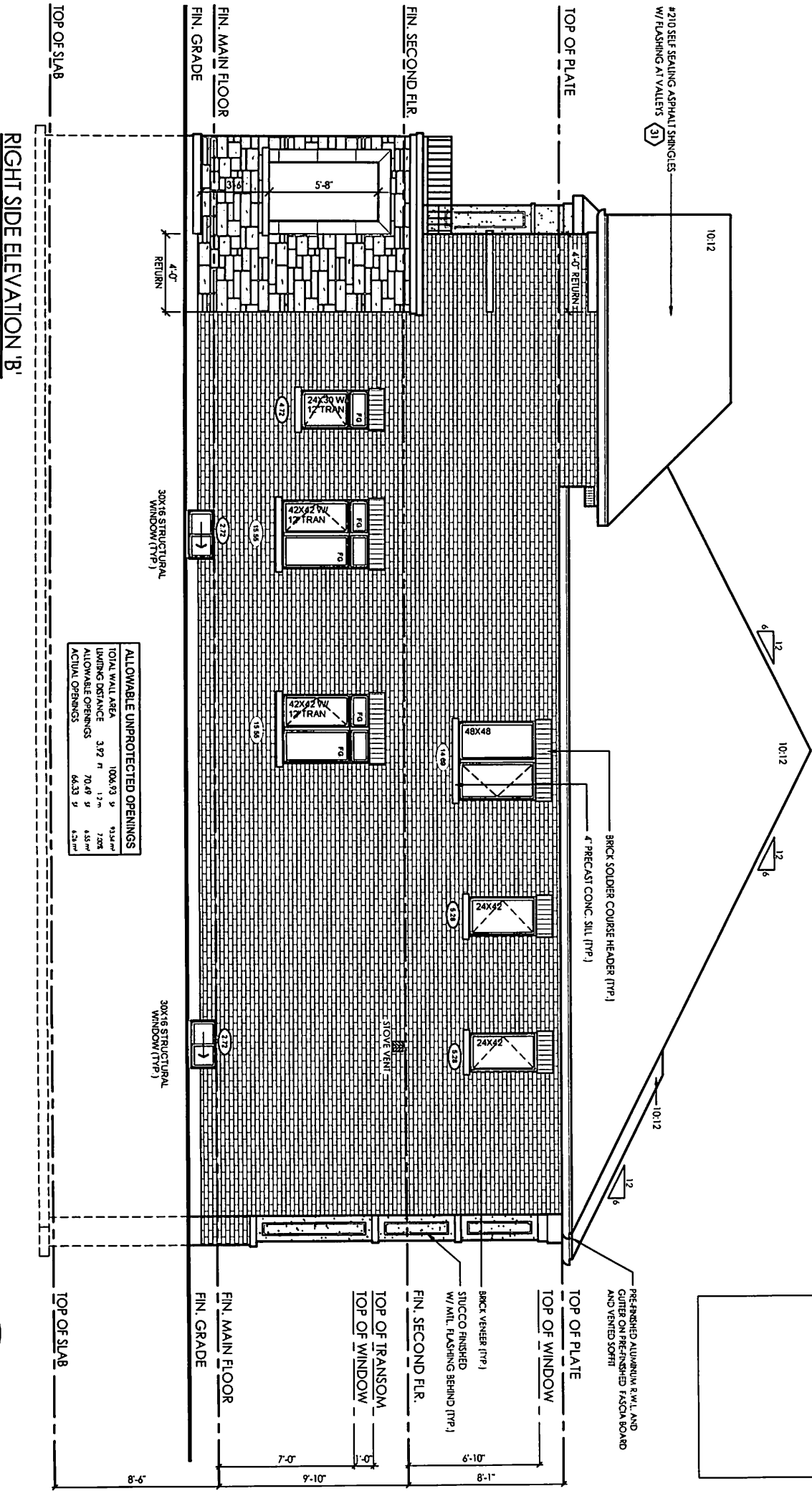
model
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scale
3/16" = 1'0"

project #
18020

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It is the builder's complete responsibility to ensure that all work is done in accordance with the applicable building codes, regulations and standards, and to comply with the applicable building codes, regulations and standards. The Architect is not responsible for any errors or omissions in the drawings or specifications, or for any consequences arising from the use of the drawings or specifications. The Architect is not responsible for any errors or omissions in the drawings or specifications, or for any consequences arising from the use of the drawings or specifications. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the

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Regal Crest Homes					Brampton				
project					marketing name				
Mayfield (RCH)					RIVONIA				
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1	ISSUED FOR CLIENT REVIEW	31-07-2018	NA	MC					
2	REVISED AS PER ENGINEER COMMENTS	12-SEP-2018	NA	MC					
3	REVISED AS PER CLIENT COMMENTS	15-OCT-2018	AD	MC					
	ISSUED FOR FINAL								

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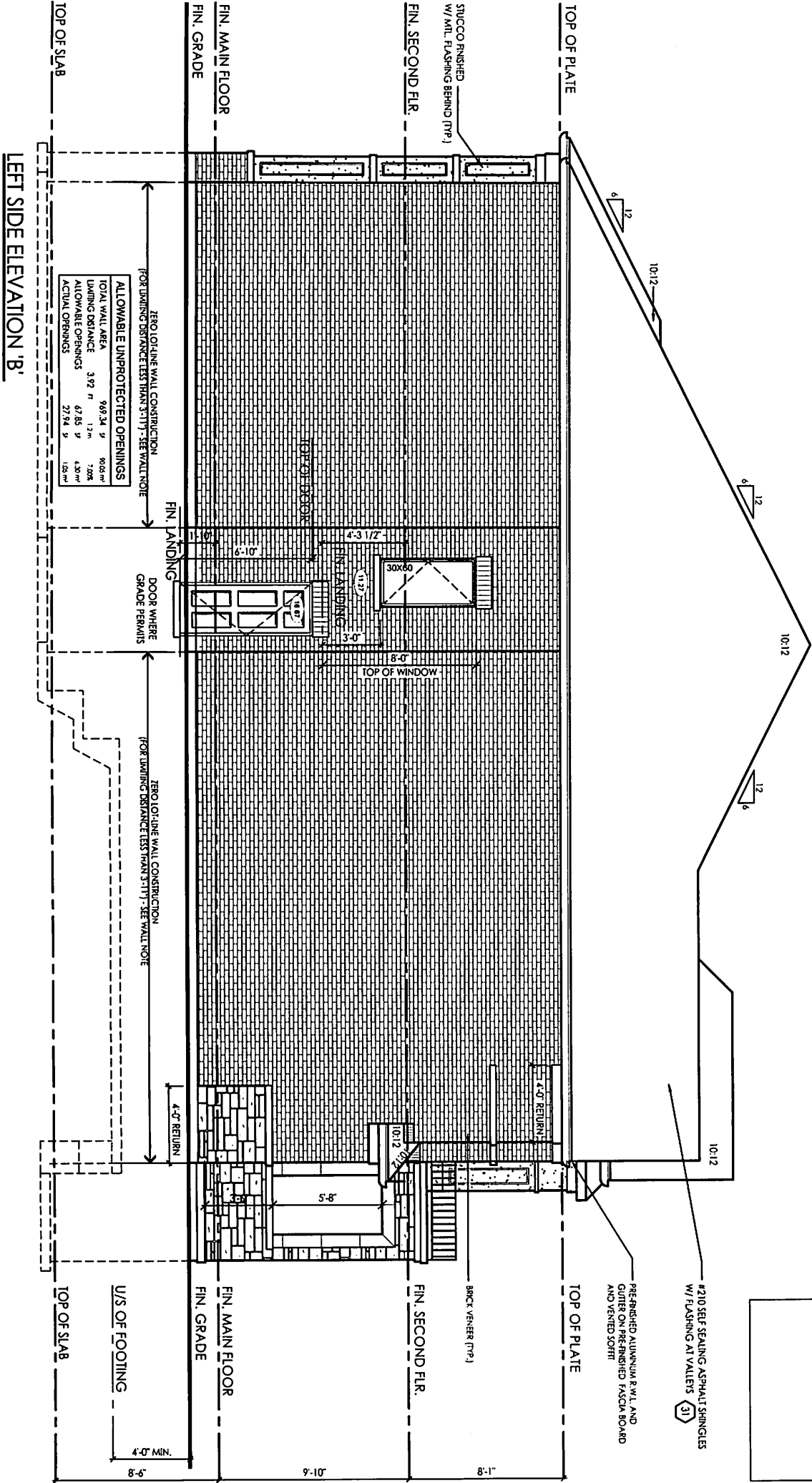
model
38-04

scale
3/16" = 1'0"

page
A10

project #
18020





It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines including zoning provisions and any provisions in the subdivision agreement. The Council shall not be responsible for any errors or omissions in the drawings or for any consequences arising from the use of the drawings. The Council shall not be responsible for any errors or omissions in the drawings or for any consequences arising from the use of the drawings. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Brampton.

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model
38-04

scale
3/16" = 1'-0"

project #
18020

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CONSTRUCTION NOTES:

COMPLIANCE PACKAGE A1 - OBC 2012 - 2017 ENACTMENT

(UNLESS OTHERWISE NOTED)

- ALL CONSTRUCTION TO CONFORM TO THE ONTARIO BUILDING CODE (O.B.C.) AND ALL OTHER CODES AND LOCAL AUTHORITIES HAVING JURISDICTION.
- ALL DIMENSIONS GIVEN FIRST IN IMPERIAL, FOLLOWED BY METRIC.
- THERMAL RESISTANCE VALUES BASED ON ZONE 1

FOOTINGS / SLABS:

TYPICAL STRIP FOOTING:

O.B.C. 9.15.3.3

- BASED ON 16'-1 1/4" (4.9m) MAX. SUPPORTED JOIST LENGTH
- MIN. 2200psi (15MPa) CONCRETE AFTER 28 DAYS

- ◆ SHALL REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL W/ MIN. 14.5psi (100kPa) BEARING CAPACITY
- FIG. TO HAVE CONTINUOUS JOINTS
- FIG. SIZES MAY BE REDUCED FOR SOILS W/ GREATER BEARING CAPACITY (AS PER SOILS ENGINEERING REPORT)

1 TYPICAL STRIP FOOTING: (EXTERIOR WALLS)

O.B.C. 9.15.3.5

- FIG. TO EXTEND MIN. 4'-0" (1200mm) BELOW GRADE
- BRICK VENEER -1 STOREY - 13" X 4" (330mm X 100mm)
- 2 STOREY - 19" X 6" (485mm X 155mm)
- 3 STOREY - 26" X 9" (660mm X 230mm)

- SIDING:-
- 1 STOREY - 10" X 4" (255mm X 100mm)
- 2 STOREY - 14" X 4" (360mm X 100mm)
- 3 STOREY - 18" X 5" (460mm X 130mm)

2 TYPICAL STRIP FOOTING: (INTERIOR BEARING WALLS)

O.B.C. 9.15.3.6

- 1 STOREY MASONRY - 16" X 4" (410mm X 100mm)
- 1 STOREY STUD - 12" X 4" (305mm X 100mm)
- 2 STOREY MASONRY - 26" X 9" (660mm X 230mm)
- 2 STOREY STUD - 18" X 5" (460mm X 130mm)
- 3 STOREY MASONRY - 36" X 14" (900mm X 360mm)
- 3 STOREY STUD - 24" X 8" (600mm X 200mm)

3 STEP FOOTING:

O.B.C. 9.15.3.9

- 23 5/8" (600mm) MAX. VERTICAL RISE & 23 5/8" (600mm) MIN. HORIZONTAL RUN.

4 DRAINAGE TILE OR PIPE:

O.B.C. 9.14.3

- 4" (100mm) MIN. DIA. LAID ON UNDISTURBED OR WELL COMPACTED SOIL W/ TOP OF TILE OR PIPE TO BE BELOW BOTTOM OF FLR. SLAB.
- COVER TOP & SIDES OF TILE OR PIPE W/ 5/8" (150mm) OF CRUSHED STONE OR OTHER COURSE CLEAN GRANULAR MATERIAL.
- TILE SHALL DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL.

5 BASEMENT SLAB:

O.B.C. 9.13. & 9.16.

- 3" (75mm) CONCRETE SLAB
- 2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9.16.4.5.
- DAMP PROOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.
- DAMP PROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi (25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS
- 4" (100mm) OF COURSE GRANULAR MATERIAL
- PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FIG.
- WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO O.B.C. 9.13.3.
- FLOOR DRAIN PER O.B.C. 9.31.4.4.
- R10 (RSI 1.76) INSULATION AT PERIMETER OF SLAB WHERE GRADE IS WITHIN 23-1/2" (600mm) OF BASEMENT SLAB EDGE. INSULATION TO EXTEND TO NOT LESS THAN 23-1/2" (600mm) BELOW EXTERIOR GRADE LEVEL (OBC SB-12 - 3.1.1.7 (5))
- UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFORM TO SUPPLEMENTARY STANDARD (O.B.C. SB-9)

5a SLAB ON GROUND:

O.B.C. 9.16.4.3.

- 3" (75mm) CONCRETE SLAB - O.B.C. 9.16.4.3.
- 2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9.16.4.5.
- DAMP PROOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.
- DAMP PROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi (25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS
- R10 (RSI 1.76) INSULATION UNDER ENTIRE SLAB WHERE THE ENTIRE SLAB IS WITHIN 23-1/2" (600mm) OF GRADE.
- 4" (100mm) OF COURSE GRANULAR MATERIAL
- PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FIG.
- WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO O.B.C. 9.13.3.
- FLOOR DRAIN PER O.B.C. 9.31.4.4.
- UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFORM TO SUPPLEMENTARY STANDARD (O.B.C. SB-9)

6 GARAGE SLAB / EXTERIOR SLAB:

O.B.C. 9.13.3.

- 4" (100mm) CONCRETE SLAB
- 4650psi (32MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS FOR UNREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT - O.B.C. 9.3.1.6.
- 6" X 6" (W29 X W 29) WIRE MESH LOCATED NEAR MID-DEPTH OF SLAB
- 4" (100mm) OF COURSE GRANULAR MATERIAL
- ANY FILL PLACED UNDER SLAB, OTHER THAN COURSE CLEAN GRANULAR MATERIAL, SHALL BE COMPACTED.

7 PILASTERS:

O.B.C. 9.15.5.3.

- PILASTER
- CONCRETE NIB - 4" X 12" (100mm X 300mm)
- BLOCK NIB - 4" X 12" (100mm X 300mm) BONDED & TIED TO WALL AS PER O.B.C. 9.20.11.2. TOP 7/8" (200mm) SOLID.
- OR
- BEAM POCKET
- 4" (100mm) INTO FDN. WALL W/ WIDTH TO MATCH BEAM SIZE.
- 1/2" (13mm) SPACE AROUND WOOD BEAMS (O.B.C. 9.23.2.2.)

STRUCTURAL COLUMNS:

- SIZES BASED ON COLUMN SUPPORTING BEAMS CARRYING LOADS FROM NOT MORE THAN 2 WOOD FRAME FLOORS, WHERE THE LENGTHS OF JOISTS CARRIED BY SUCH BEAMS DO NOT EXCEED 16'-1 1/4" (4.9m) AND THE LIVE LOAD ON ANY FLOOR DOES NOT EXCEED 50psf (2.4kPa).

8 STEEL PIPE COLUMN:

O.B.C. 9.15.3.4. & 9.17.3.

- FIXED COLUMN
- MIN. 3 1/2" (90mm) DIA. W/ 3/16" (4.76mm) WALL THICKNESS
- FOR STEEL BEAMS, CLIPS @ TOP & MIN. 6" X 4" X 1/4" (152mm X 100mm X 6.35mm) STEEL BTM. PLATE
- FOR WOOD BEAMS, MIN. 4X4X1/4" (100mm X 100mm X 6.35mm) STEEL TOP & BTM. PLATES, OR TOP PLATE TO EXTEND MIN. WIDTH OF BEAM
- ADJUSTABLE COLUMNS TO CONFORM TO CAN/CSG-7.2-M WHERE IMPOSED LOAD DOES NOT EXCEED 36 kN (O.B.C. 9.17.3.4.)
- COL. SPACING: FIG. SIZE:
- 2 STOREY
- MAX. 9'-10" (2997mm)
- 34" X 34" X 16"
- 44" X 44" X 21"
- MAX. 16'-0" (4880mm)
- 1120mm X 1120mm X 530mm
- 3 STOREY
- MAX. 9'-10" (2997mm)
- 40" X 40" X 19"
- 1010mm X 1010mm X 480mm
- MAX. 16'-0" (4880mm)
- 51" X 51" X 24"
- 1295mm X 1295mm X 610mm
- WHERE COL. SITS ON FDN. WALL, USE 4" X 8" X 5/8" (100mm X 200mm X 16mm) STEEL PLATE WITH 2-5/8" (16mm) ANCHOR BOLTS

8a BASEMENT COLUMN:

- 3/2" DIA. X 3/16" WALL THICKNESS FIXED HSS COLUMN
- CSA G40 21-M GRADE 350W
- 6" X 6" X 1/4" TOP PLATE WELDED TO BEAM
- 6" X 6" X 1/4" BOTTOM PLATE ON FOOTING
- 40" X 40" X 12" DEEP SPREAD CONCRETE FOOTING W/15M BARS @ 8"O/C EACH WAY AT BOTTOM (SEE DETAIL 1/51)

8b BASEMENT COLUMN:

- 3/2" DIA. X 0.150" WALL THICKNESS ADJUSTABLE COLUMN
- MAXIMUM ALLOWABLE WORKING LOAD = 17.2 kips (76.5 kN) AT MAXIMUM EXTENSION OF 7'-7"
- 1/4" - 1/4" TOP CLIP AND 1/4"X3/4"X3 1/4" METAL STRAPS WELDED TO STEEL BEAM
- 6" X 6" X 7/16" BOTTOM PLATE ON FOOTING
- 40" X 40" X 12" DEEP SPREAD CONCRETE FOOTING W/ 15M BARS @ 8"O/C EACH WAY AT BOTTOM (SEE DETAIL 1/51)

8c GROUND FLOOR COLUMN:

- 3/2" DIA. X 3/16" WALL THICKNESS FIXED HSS COLUMN
- CSA G40 21-M GRADE 350W
- 4" X 4" X 1/4" TOP PLATE WELDED TO BEAM
- 4" X 4" X 1/4" BOTTOM PLATE FIELD-WELDED TO
- 4" X 12" X 5/8" LANDING PLATE ANCHORED TO CONCRETE FOUNDATION WALL (SEE DETAIL 2/51)

8d GROUND FLOOR COLUMN:

- 3/2" DIA. X 3/16" WALL THICKNESS FIXED HSS COLUMN
- CSA G40 21-M GRADE 350W
- 4" X 4" X 1/4" TOP PLATE WELDED TO BEAM
- 4" X 4" X 3/8" BOTTOM PLATE WELDED TO STEEL BEAM BELOW

8e BASEMENT COLUMN:

- 3/2" DIA. X 3/2" X 1/4" WALL THICKNESS FIXED HSS COLUMN
- CSA G40 21-M GRADE 350W
- 6" X 6" X 1/4" TOP PLATE WELDED TO BEAM
- 6" X 9" X 5/8" BOTTOM PLATE ON FOOTING
- 52" X 52" X 14" DEEP SPREAD CONCRETE FOOTING W/15M BARS @ 8"O/C EACH WAY AT BOTTOM (SEE DETAIL 1/51)

9 WOOD COLUMN:

O.B.C. 9.17.4.1.

- 5 1/2" X 5 1/2" (140mm X 140mm) SOLID WOOD COLUMN.
- METAL SHOE ANCHORED TO FOOTING
- 25" X 25" X 12" (640mm X 640mm X 300mm) CONC. PAD (1 FLOOR SUPPORTED W/ 9'-10" COL. SPACING)
- 34" X 34" X 14" (860mm X 860mm X 360mm) CONC. PAD (2 FLOORS SUPPORTED W/ 9'-10" COL. SPACING)

9a BASEMENT POST (S-P-F, No.1):

- 4"X4" WOOD POST OR
- 5" - 2X4" WOOD POST ON
- 24" X 24" X 12" DEEP CONCRETE FOOTING

9b BASEMENT POST (S-P-F No.1):

- 6" X 6" WOOD POST OR
- 3" - 2X6" FASTENED WITH 2 ROWS OF 4 1/2" NAILS @ 8" O/C DRIVEN FROM EACH FACE ANCHORED TO
- 30" X 30" X 12" DEEP SPREAD CONCRETE FOOTING W/3-15M BARS EACH WAY AT BOTTOM (SEE DETAIL 1/51)

10 BLOCK PARTY WALL BEAM END BEARING: (WOOD BEAM / GIRDER TRUSSES)

- 2X8X12" LEDGER BOARD FASTENED W/ 2/ 1/2" ANCHOR BOLTS @ 4" O.C.
- WHERE WOOD BEAMS BEAR ON FIREWALLS USE GENERAL NOTE 11 WHERE REQUIRED TO OBTAIN 5' SEPARATION DISTANCE BETWEEN ADJACENT BEAMS

11 BLOCK PARTY WALL BEAM END BEARING: (STEEL BEAM)

- 12X11" X 5/8" STL. PLATE ON TOP OF SOLID CONCRETE BLOCK WITH 2- 1/2" @ 48" ANCHOR BOLTS.

WALL ASSEMBLIES:

14 FOUNDATION WALL:

O.B.C. 9.15.4.2.

- FOR WALLS NOT EXCEEDING 8'-2" (2500mm) IN LATEROALLY SUPPORTED HEIGHT.
- 8" (200mm) SOLID 2200psi (15MPa) CONCRETE
- MAX. UNSUPPORTED HEIGHT OF 3'-11" (1200mm) & MAX. SUPPORTED HEIGHT OF 7'-0" (2150mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.
- FOR WALLS NOT EXCEEDING 9'-0" (2750mm) IN LATEROALLY SUPPORTED HEIGHT.
- 10" (250mm) SOLID 2200psi (15MPa) CONCRETE
- MAX. UNSUPPORTED HEIGHT OF 4'-7" (1400mm) & MAX. SUPPORTED HEIGHT OF 8'-6" (2600mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR.
- LATERAL SUPPORT PROVIDED BY ANCHORED SLL PLATE TO JOISTS.
- FOR CONDITIONS EXCEEDING THESE MAXIMUMS AN ALTERNATIVE IN CONFORMANCE TO O.B.C. 1.9.15.4.2.A SHALL BE USED OR IT SHALL BE DESIGNED UNDER O.B.C. - PART 4
- WALL SHALL EXTEND A MIN. 5 7/8" (150mm) ABOVE GRADE
- INSULATE W/ R20 (RSI 3.52) CONTINUOUS INSULATION FROM UNDERSIDE OF SUBFLOOR TO NOT MORE THAN 8" (200mm) ABOVE FINISHED FLOOR OF BASEMENT (ZONE 1 OBC SB-12 T.3.1.1.2.A.)
- ALTERNATE INSULATION METHOD: 2" (51mm) R10 (RSI 1.76) RIGID INSULATION W/ 2X4" (38mm X 89mm) WOOD STUD W/ R12 (RSI 2.11) BATT INSULATION
- BACK FILL W/ NON-FRUST SUSCEPTIBLE SOIL

REDUCTION OF THICKNESS:

O.B.C. 9.15.4.7.

- WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO ALLOW MASONRY FACING, THE MIN. REDUCED THICKNESS SHALL NOT BE LESS THAN 3-1/2" (90mm) THICK.
- TIE TO FACING MATERIAL WITH METAL TIES SPACED MAX. @ 7/8" (200mm) VERTICALLY O.C. & 2'-11" (900mm) HORIZONTALLY.
- FILL SPACE BETWEEN WALL AND FACING SOLID W/ MORTAR
- WHERE WALL IS REDUCED FOR JOISTS, THE REDUCED THICKNESS SHALL BE MAX. 13-3/4" (350mm) HIGH & MIN. 3-1/2" (90mm) THICK

DAMP PROOFING & WATERPROOFING:

- DAMP PROOF THE EXTERIOR FACE OF WALL BELOW GRADE AS PER O.B.C. 9.13.2.
- WHERE INSULATION EXTENDS TO MORE THAN 4'-9" (1450mm) BELOW GRADE, A FDN. WALL DRAINAGE LAYER SHALL BE PROVIDED IN CONFORMANCE TO O.B.C. 9.14.2.1.(2) (3) (4)
- FINISHED BASEMENTS SHALL HAVE INTERIOR DAMP PROOFING EXTENDING FROM SLAB TO GRADE LEVEL & SHALL CONFORM TO O.B.C. 9.13.3.3.(3)
- WHERE HYDROSTATIC PRESSURE OCCURS, FDN. WALLS SHALL BE WATERPROOFED AS PER O.B.C. 9.13.3.
- WALLS THAT ARE WATERPROOFED DO NOT REQUIRE DAMP PROOFING.

14c FOUNDATION WALLS @ UNSUPPORTED OPENINGS:

- 2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING)
- 3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING)
- 4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING)
- BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL.
- BARS TO HAVE MIN. 2' (500mm) CONCRETE COVER
- BARS TO EXTEND 2'-0" (600mm) BEYOND BOTH SIDES OF OPENING.

15 FRAME WALL CONSTRUCTION:

O.B.C. 9.23.

- SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.)
- WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
- 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16.
- 2" X 6" (38mm X 140mm) WOOD STUDS @ 16" (400mm) O.C.
- MIN. R22 (RSI 3.87) INSULATION (ZONE 1, OBC SB-12 T.3.1.1.2.A.)
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
- 1/2" (12.7mm) GYPSUM BOARD
- NOTE - SUPPORT FOR 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
- FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

- O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
- FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE THE FOLLOWING MATERIALS:
- REPLACE R22 (RSI 3.87) INSULATION WITH R22 (RSI 3.87) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/ sq.m.
- REPLACE 1/2" (12.7mm) INTERIOR GYPSUM BOARD WITH 1/2" (12.7mm) TYPE 'X' GYPSUM BOARD.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

- REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
- NON-COMBUSTIBLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).
- OR
- VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING WHICH REPLACES EXTERIOR PLYWOOD OR EQUIV.

15c ALTERNATE FRAME WALL CONSTRUCTION:

O.B.C. 9.23.

- SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.)
- 1 1/2" (38mm) RB (RSI 1.41) RIGID INSULATION W/ TAPED JOINTS (O.B.C. 9.27.3.4.)
- BRACE W/ CONT. 16 GAUGE STEEL T BRACES FROM TOP PLATE TO BTM. PLATE FOR THE FULL LENGTH OF WALL, OR CONT. 2" X 4" (38mm X 89mm) SOLID WOOD BLOCKING @ APPROXIMATELY 45 DEG. FROM TOP PLATE TO BTM. PLATE FOR FULL LENGTH OF WALL.
- 2" X 4" (38mm X 89mm) WOOD STUDS @ 16" (400mm) O.C. @ 12" (300mm) O.C. ON BOTTOM FLR. WHEN 3 STOREYS.
- R14 (RSI 2.46) INSULATION
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. - 9.25.3. & 9.25.4.
- 1/2" (12.7mm) GYPSUM BOARD
- NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
- FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mm X 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
- FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

- O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
- FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
- ADD 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16. BETWEEN RIGID INSULATION AND WOOD STUD.
- REPLACE R14 (RSI 2.46) INSULATION WITH R14 (RSI 2.46) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
- REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.
- REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):
- REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
- NON-COMBUSTIBLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).
- OR
- VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER SHEATHING PAPER OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING ON EXTERIOR SIDE OF RIGID INSULATION

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

- O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
- FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
- ADD 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16. BETWEEN RIGID INSULATION AND WOOD STUD.
- REPLACE R14 (RSI 2.46) INSULATION WITH R14 (RSI 2.46) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
- REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.
- REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):
- REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
- NON-COMBUSTIBLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).
- OR
- VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER SHEATHING PAPER OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING ON EXTERIOR SIDE OF RIGID INSULATION

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

- O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
- FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
- ADD ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
- REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.
- REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):
- REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
- NON-COMBUSTIBLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).
- OR
- VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER SHEATHING PAPER OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING ON EXTERIOR SIDE OF RIGID INSULATION

FRAME WALL CONSTRUCTION @ GARAGE:

O.B.C. 9.23.

- SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.)
- WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
- 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16.
- 2" X 4" (38mm X 89mm) WOOD STUDS @ 16" (400mm) O.C.
- 1/2" (12.7mm) GYPSUM BOARD
- NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
- FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mm X 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
- FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

- O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
- FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
- ADD ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
- REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.
- REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):
- REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
- NON-COMBUSTIBLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).
- OR
- VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER SHEATHING PAPER OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING WHICH REPLACES EXTERIOR PLYWOOD OR EQUIV.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

- O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
- FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
- ADD ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
- REPLACE 1/2" (12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.
- REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):
- REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
- NON-COMBUSTIBLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).
- OR
- VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER SHEATHING PAPER OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING WHICH REPLACES EXTERIOR PLYWOOD OR EQUIV.

BRICK VENEER CONSTRUCTION:

O.B.C. 9.23.

- 3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX. HEIGHT
- MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING
- PROVIDE WEEP HOLES @ 2'-7" (800mm) O.C. @ BTM. COURSE & OVER OPENINGS
- BASE FLASHING UP TO 5/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2))
- BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER
- 1" (25mm) AIR SPACE
- WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
- 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16.
- 2" X 6" (38mm X 140mm) WOOD STUDS @ 16" (400mm) O.C.
- MIN. R22 (RSI 3.87) INSULATION (ZONE 1, OBC SB-12 T.3.1.1.2.A.)
- CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. - 9.25.3. & 9.25.4.
- 1/2" (12.7mm) GYPSUM BOARD
- NOTE - SUPPORT FOR 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
- FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mm X 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):
O.B.C. SB-3 WALL = EW1B (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
-ADD 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16. BETWEEN RIGID INSULATION AND WOOD STUD.
-REPLACE R14 (RSI 2.46) INSULATION WITH R14 (RSI 2.46) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
-REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

BRICK VENEER CONSTRUCTION @ GARAGE:
O.B.C. 9.23.
-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX. HEIGHT
-MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL SPACING
-PROVIDE WEEP HOLES @ 2'-7" (800mm) O.C. @ BTM. COURSE & OVER OPENINGS
-BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE [O.B.C. 9.20.13.6.(2)]
-BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER
-1" (25mm) AIR SPACE
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2.
-1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16.
-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C.
-1/2" (12.7mm) GYPSUM BOARD
NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. 1.9.23.10.1. =
-FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):
O.B.C. SB-3 WALL = EW1B (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
-ADD R15 (RSI 2.64) ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
-REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.
MAXIMUM HEIGHT FOR 2"x4" GARAGE WALL
-2"x4" @ 16" O/C 9'-10"
-2- 2"x4" @ 12" O/C 10'-9"
-3- 2"x4" @ 16" O/C 11'-2"
-3- 2"x4" @ 12" O/C 12'-4"

DESIGN ASSUMPTIONS:
1. DESIGN SNOW LOAD = 2.6 kPa
2. SUPPORTED ROOF TRUSS LENGTH = 6.0m
3. FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR
4. PROVIDE HORIZONTAL SOLID BLOCKING AT 1.2M
5. PROVIDE A MINIMUM OF 9.5mm PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE

INTERIOR STUD WALLS:
O.B.C. 1.9.23.10.1.
-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. OR
-2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W/
-DOUBLE 2" X 4" OR 2" X 6" TOP PLATES AND SINGLE BOTTOM PLATE
-1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.

BEARING STUD WALL (BASEMENT):
-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. OR
-2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W/
-DBL 2" X 4" OR 2" X 6" TOP PLATE.
-2" X 4" OR 2" X 6" BOTTOM PLATE ON DAMPROOFING MATERIAL.
-1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.
-1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C.
-FOOTING AS PER GENERAL NOTE #2 W/ 4" CONC. CURB

PARTY WALL - BLOCKS:
O.B.C. SB-3 WALL = B6e (STC = 57, FIRE = 2 HR)
-MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE U/S OF ROOF DECK
-SPACE BETWEEN TOP OF WALL & ROOF DECK SHALL BE TIGHTLY FILLED W/ MINERAL WOOL OR NONCOMBUSTIBLE MATERIAL & CAULKED TO PREVENT SMOKE PASSAGE
-1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS BOTH SIDES
-2" X 2" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. BOTH SIDES
-ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF 90% OF THE CAVITY
-7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)
-STAGGER JOISTS & BEAMS MIN. 3 1/2" (90mm) @ PARTY WALLS AS PER O.B.C. 9.10.9.9.(1) & TABLE 2.1.1. SB-2
-ACQUISITUAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)

PARTY WALL - BLOCK (AGAINST GARAGE):
O.B.C. SB-3 WALL = B5C (STC = 51, FIRE = 2 HR)
-MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS
-1/2" (12.7mm) GYPSUM BOARD
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. - 9.25.3. & 9.25.4.
-2" X 4" (38mmX 89mm) WOOD STRAPPING @ 16" (400mm) O.C.
-R20 (RSI 3.52) RIGID INSULATION
-7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)
-1/2" (12.7mm) GYPSUM BOARD @ WALL & U/S OF CEILING BETWEEN HOUSE AND GARAGE
-TAPE AND SEAL ALL JOINTS GAS TIGHT
REQ. INSULATION VALUES:

INSULATION VALUES PROVIDED BY CAN/CSA-F280-M90
-RIGID INSULATION = 20.00
-LOW DENSITY CONCRETE BLOCK = 1.70
-WOOD FRAME W/ GYPSUM = 2.72
-AIR FILM - MOVING = 0.68
-AIR FILM - STILL = 0.17
TOTAL "R" VALUE = 25.27

FIREWALL:
O.B.C. 9.10.11. & 3.1.10. & SB-3 WALL = B6e (STC = 57, FIRE = 2 HR)
-ONE FIREWALL IS REQUIRED FOR EVERY 6460 S.F. (600 SQ.M) OF BUILDING AREA. O.B.C. 1.3.2.2.47.
-1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS
-2" X 2" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. ON BOTH SIDES OF WALL
-SOUND ABSORPTIVE MATERIAL EACH SIDE FILLING 90% OF THE CAVITY
-7 1/2" (190mm) CONC. BLOCK, MIN. 2 HR. FIRE-RESISTANT RATING
-EVERY FIREWALL SHALL BE CONTINUOUS THROUGH ALL BUILDING STOREYS
-STAGGER JOISTS & BEAMS MIN. 5" (130mm) @ FIRE WALLS AS PER O.B.C. 9.10.9.9.(1) & TABLE 2.1.1. SB-2
-ACQUISITUAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)
-PROTRUDE PAST FASCIA @ EAVES W/ BRICK CORBELLING
-EXTEND 5 7/8" (150mm) ABOVE ROOF SURFACES & HAVE ALUMINUM CAP W/ THROUGH WALL FLASHING PER O.B.C. 3.1.10.4.(1)
-WHERE THE DIFFERENCE IN HEIGHT BETWEEN ADJACENT ROOFS IS GREATER THAN 9'10" (3m), WALL NEED NOT EXTEND PAST UPPER ROOF SURFACE PER O.B.C. 3.1.10.4.(2)

PARTY WALL - FOUNDATION:
O.B.C. 9.15.4.2.
-7 7/8" (200mm) SOLID CONC. FOUNDATION WALL @ 2200psi (15MPa)
COMPRESSIVE STRENGTH AFTER 28 DAYS
-FOUNDATION WALL TO REST ON FOOTING PER GENERAL NOTE #2

PARTY WALL - WOOD STUD:
O.B.C. SB-3 WALL = W13a (STC = 57, FIRE = 1 HR)
-MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE U/S OF ROOF DECK
-2 ROWS 2"x4"(38mmX 89mm) STUDS @ 16"(400mm) O.C. W/ SEPARATE 2" X 4" (38mmX 89mm) BOTTOM PLATE & SEPARATE DOUBLE 2" X 4" (38mmX 89mm) TOP PLATES
-SOUND ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF 90% OF THE CAVITY.
-5/8" (16mm) TYPE 'X' GYPSUM BOARD BOTH SIDES W/ JOINTS TAPED & FILLED.
-ACQUISITUAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)
NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. 1.9.23.10.1. =
-FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

GARAGE WALL & CEILING:
O.B.C. 9.10.9.16.(3)
-1/2" (12.7mm) GYPSUM BOARD ON BOTH SIDES OF WALL & U/S OF CEILING BETWEEN HOUSE AND GARAGE
-TAPE AND SEAL ALL JOINTS GAS TIGHT
-R22 (RSI 3.87) INSULATION IN WALLS.
-R31 (RSI 5.41) INSULATION IN CEILINGS W/ FLOOR ABOVE
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. - 9.25.3. & 9.25.4. FOR FLOOR ABOVE.
-INSULATION AROUND DUCTS AND PIPING NOT TO ENCR OACH MIN. REQUIRED GARAGE AREA (REFER TO MUNICIPAL STANDARDS).
-1/2" (12.7mm) GYPSUM BOARD
-ROOF FRAMING MEMBERS ARE FASTENED TO TOP PLATES WITH 4 - 3 1/4" (82mm) TOE NAILS
-BOTTOM PLATES ARE FASTENED TO FLOOR JOISTS, BLOCKING OR RIM JOIST WITH 3 1/4" (82mm) NAILS AT 7 7/8" (200mm) O.C.

WALLS ADJACENT TO ATTIC SPACE:
-1/2" (12.7mm) GYPSUM BOARD
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. - 9.25.3. & 9.25.4.
-2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C.
-R22 (RSI 3.87) INSULATION
-1/2" (12.7mm) GYPSUM BOARD OR 1/4" (6mm) PLYWOOD SHEATHING ON ATTIC SIDE.
-ATTIC ACCESS TO BE PROVIDED AS PER O.B.C. 9.19.2.1.

DOUBLE VOLUME WALLS:
O.B.C. 9.23.10.1.
-3/8" (9.5mm) PLYWOOD, OSB OR WATERBOARD SHEATHING
-REFER TO PLAN FOR STUD SPECIFICATION
-STUDS FASTENED AT TOP & BOTTOM WITH 3/1-1/4" (82mm) TOE NAILS
-DOUBLE TOP PLATES FASTENED TOGETHER WITH 3" (76mm) AT 7 7/8" (200mm) O.C.
-SOLID BRIDGING AT 3'-11" (1200mm) O.C.
-MIN. R22 (RSI 3.87) INSULATION (ZONE 1 OBC SB-12.1.3.1.1.2.A.)
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3. & 9.25.9.

EXPPOSED FLOOR:
FLOOR AS PER NOTE # 28
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. - 9.25.3. & 9.25.4.
-R31 (RSI 5.46) INSULATION
-VENTED ALUMINUM SOFFIT

SUNKEN FINISHED AREAS:
-USE SOLID BUILT-UP WOOD BEARING POST TO SUPPORT SUNKEN AREA AT FOUNDATION WALLS. EXTEND FOOTINGS TO SUPPORT POSTS.
-WHERE GRADING CONDITIONS WILL ALLOW, CHECK FOUNDATION WALLS INSTEAD OF USING BEARING POSTS.
-FLOOR STRUCTURE AS PER NOTE # 28.

DOUBLE MASONRY WYTHE WALL:
O.B.C. 9.20.8.2.
-3 1/2" MASONRY VENEER ON 2" MORTAR JOINT ON 3 1/2" MASONRY VENEER
-WYTHES TO BE TIED W/ METAL TIES INSTALLED AS PER O.B.C. 9.20.9.4.
SILL PLATE REQUIRED FOR ROOF AND CEILING FRAMING MEMBERS
-6" SILL W/ 2" BEARING ON EACH SIDE & ANCHOR BOLTS @ 4'-0" O.C.
NOTE: MASONRY TO BE SOLID & MORTAR JOINT FILLED SOLID FOR FLOOR JOISTS BEARING ON WYTHES. FLOOR JOISTS ARE NOT TO PROJECT INTO CAVITY AREA.

CORBEL MASONRY VENEER:
-MASONRY VENEER TO BE CORBELLED AS PER O.B.C. 9.20.12.3.(1)

FLOOR ASSEMBLIES:
STRUCTURAL COMPOSITE LUMBER:
-STRUCTURAL COMPOSITE LUMBER SHALL BE 2800 Fb, 2 OE GRADE VERSALAM OR LP LVL

SILL PLATE:
O.B.C. 9.23.7.
-2" X 4" (38mm X 89mm) PLATE
-1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2400mm) O.C. FASTENED TO PLATE W/ NUTS AND WASHERS & SHALL BE EMBEDDED NOT LESS THAN 4" (100mm) INTO FOUNDATION WALL
-SILL PLATE TO BE CAULKED, OR PLACED ON A LAYER NOT LESS THAN 1" (25mm) THICK BEFORE COMPRESSING, OR FOAM GASKET, OR PLACED ON FULL BED OF MORTAR.

BRIDGING & STRAPPING:
O.B.C. 9.23.9.4.
a) STRAPPING
-1" X 3" (19mmX 64mm) NAILED TO U/S OF JOISTS @ MAX. 6'-11" (2100mm) O.C.
-FASTED TO SILL OR HEADER @ ENDS
b) BRIDGING
-1" X 3" (19mmX 64mm) OR 2" X 2" (38mmX 38mm) CROSS BRIDGING @ MAX. 6'-11" (2100mm) O.C.
c) BRIDGING & STRAPPING
-a) & b) USED TOGETHER OR
-1 1/2" (38mm) SOLID BLOCKING @ MAX. 6'-11" (2100mm) O.C. USED WITH STRAPPING (a)
d) FURRING OR PANEL TYPE CEILING
-STRAPPING NOT REQUIRED IF FURRING STRIPS OR PANEL TYPE CEILING FINISH IS ATTACHED DIRECTLY TO JOISTS.

FLOOR ASSEMBLY:
O.B.C. 9.23.14.3. 9.23.14.4
-5/8" (15.9mm) WAFERBOARD (R-1 GRADE) OR EQUIVALENT
-FLOOR JOISTS AS PER FLOOR PLANS

PORCH SLABS ABOVE COLD CELLAR:
O.B.C. 9.39.1.4.
-REINFORCED CONCRETE SLABS ABOVE COLD CELLARS THAT ARE SUPPORTED ON FOUNDATION WALLS NOT TO EXCEED 8'-2"
-4 7/8" (125mm) 4650 psi (32 MPa) CONC. SLAB WITH 5 TO 8% AIR ENTRAINMENT
-REINFORCE WITH 10M BARS @ 7 7/8" (200mm) EACH WAY
-1 1/4" (30mm) CLEAR COVER FROM THE BOTTOM OF THE SLAB
-3" (76mm) END BEARING ON FOUNDATION WALL
-23 5/8" (600mm) X 23 5/8" (600mm) 10M DOWELS @ 23 5/8" (600mm) O.C.

EXTERIOR BALCONY ASSEMBLY:
-1 1/4" X 3 1/2" PRESSURE TREATED DECKING W/ 1/4" SPACING
-2"x4" WOOD PURLINS (CUT DIAGONALLY) @ 12" O.C. LAYING UNFASTENED ON SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT ON 5/8" (15.9mm) EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x4" WOOD PURLINS (CUT DIAGONALLY) @ 12" O.C. DIRECTLY ON 2"x8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN)
-EXTERIOR GUARD AS PER #36a
-SLOPE ASSEMBLY MINIMUM 2% TO ROOF SCUPPER
REQUIRED FOR OVER HEATED SPACES:
-ADD 2"x2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF CEILING AREA
-ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS
-ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
-ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
-ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C.1.9.29.5.3.)

EXTERIOR FLAT ROOF ASSEMBLY:
SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
-1/4" EXTERIOR GRADE WOOD PANEL TYPE UNDERLAY TAPERED PURLINS SLOPED MIN. 2% TO ROOF SCUPPER.
-3/8" EXTERIOR GRADE PLYWOOD SHEATHING ON
-2"x8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN)
REQUIRED FOR OVER HEATED SPACES:
-ADD 2"x2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS
-ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS
-ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
-ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
-ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C.1.9.29.5.3.)

ROOF ASSEMBLIES:
TYPICAL ROOF:
O.B.C. 9.26.
-NO. 210 (30. 5KG/m2) ASPHALT SHINGLES
-FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.
-EAVES PROTECTION LAID BENEATH STARTER STRIP.
-EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES.
-STARTER STRIP AS PER O.B.C. 9.26.7.2.
-STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)
-3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS
-APPROVED WOOD TRUSSES @ 24" (600mm) O.C. (REFER TO MANUFACTURER'S LAYOUT)
-TRUSS BRACING AS PER TRUSS MANUFACTURER
-EAVESTROUGH ON PREFINISHED FASCIA AND VENTED SOFFIT (VINYL OR ALUMINUM)
-ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH, 50% AT SOFFIT.

CEILING:
-R60 (RSI 10.56) INSULATION
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.
-1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR
-5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. 1.9.29.5.3.)

VAULTED OR CATHEDRAL CEILING:
O.B.C. 9.26. & TABLE A4
-NO. 210 (30. 5KG/m2) ASPHALT SHINGLES
-FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.
-EAVES PROTECTION LAID BENEATH STARTER STRIP.
-EAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES OR WHERE ROOF SLOPES ARE 8:12 OR GREATER PER O.B.C. 9.26.5.1.
-STARTER STRIP AS PER O.B.C. 9.26.7.2.
-STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)
-3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS
-2"x8" (38mm x 184mm) @ 16" O.C. W/ 2"x2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 13'-3" (4050mm) OR
-2"x10" (38mm x 235mm) @ 16" O.C. W/ 2"x2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 17'-0" (5180mm)
-R31 (RSI 5.46) INSULATION
-MIN. 3" CLEARANCE FROM U/S OF ROOF SHEATHING TO INSULATION
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3. & 9.25.4.
-1/2" (12.7mm) GYPSUM BOARD

CONVENTIONAL FRAMING:
O.B.C. TABLE A6 OR A7
-2" X 6" (38mm X 140mm) RAFTERS @ 16" (400mm) O.C. MAX. SPAN 12'-9" (3890mm)
-2"x4" (38mm X 89mm) COLLAR TIES AT MIDSPANS
-CEILING JOISTS TO BE 2" X 6" (38mmX 140mm) @ 16" (400mm) O.C. UNLESS OTHERWISE NOTED.
-HIP & VALLEY RAFTERS TO BE MIN. 2" (50mm) LARGER THAN COMMON RAFTERS & MIN. 1 1/2" (38mm) THICK.

ATTIC ACCESS HATCH:
OBC 9.19.2.1. & SB-12.3.1.1.B.(1)
-19 3/4" X 27 1/2" (500mm X 700mm) ATTIC HATCH WITH WEATHERSTRIPPING & BACKED W/ R20 (RSI 3.52) INSULATION.

GENERAL:
PRIVATE STAIRS:
O.B.C. 9.8.4.
-MAX. RISE = 7-7/8" (200mm)
-MIN. RUN = 8-1/4" (210mm)
-MIN. TREAD = 9-1/4" (235mm)
-MAX. NOSING = 1" (25mm)
-MIN. HEADROOM = 6'-5" (1950mm)
-MIN. WIDTH = 2'-0" (600mm)
(BETWEEN WALL FACES)
-MIN. WIDTH = 2'-11" (900mm)
(EXIT STAIRS, BETWEEN GUARDS)
ANGLED TREADS:
-MIN. RUN = 5 7/8" (150mm)
-MIN. AVG. RUN = 7 7/8" (200mm)
-FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS
-EXTERIOR CONC. STEPS TO HAVE MIN. 9 1/4" (235mm) TREAD & MAX. 7 7/8" (200mm) RISE
-FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2
-FTG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE HANDRAILS:

O.B.C. 9.8.7
-ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)
-TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3'-7" (1100mm)
-ONE HANDRAIL IS REQUIRED ON CURVED STAIRS OF ANY WIDTH WITHIN DWELLING UNITS
-HANDRAILS ARE TO BE CONTINUOUS EXCEPT WHERE INTERRUPTED BY DOORWAYS, LANDINGS OR POSTS AT CHANGES IN DIRECTION

HEIGHT:
O.B.C. 9.8.7.4
-2'-10" (665mm) TO 3'-2" (965mm)
-3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS
-MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

PROJECTIONS:
O.B.C. 9.8.7.6
-HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR

PUBLIC STAIRS:
O.B.C. 9.8.4.
-MAX. RISE = 7-7/8" (200mm)
-MIN. RUN = 9" (230mm)
-MIN. TREAD = 9-7/8" (250mm)
-MAX. NOSING = 1" (25mm)
-MIN. HEADROOM = 6'-9" (2050mm)
-MIN. WIDTH = 2'-11" (900mm)
(EXIT STAIRS, BETWEEN GUARDS)
-FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS
-EXTERIOR CONC. STEPS TO HAVE MIN. 9 7/8" (250mm) TREAD & MAX. 7 7/8" (200mm) RISE
-FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2
-FTG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE HANDRAILS:

O.B.C. 9.8.7
-ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)
-TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3'-7" (1100mm)
-TWO HANDRAILS ARE REQUIRED ON CURVED STAIRS OF ANY WIDTH
-HANDRAILS ARE TO BE CONTINUOUS INCLUDING AT LANDINGS EXCEPT WHERE INTERRUPTED BY DOORWAYS OR NEWEL POSTS AT CHANGES IN DIRECTION

HEIGHT:
O.B.C. 9.8.7.4
-2'-10" (665mm) TO 3'-2" (965mm)
-3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS
-MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD



I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 21032
FIRM BCIN: 26995
DATE: OCTOBER 15, 2018

SIGNATURE:

client
Regal Crest Homes
location
Brampton
project
Mayfield (RCH)
marketing name
RIVONIA

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1.	ISSUED FOR CLIENT REVIEW	31-07-2018	NA	NC					
2.	REVISED AS PER ENGINEER COMMENTS	12-SEP-2018	HA2	NC					
3.	REVISED AS PER CLIENT COMMENTS: ISSUED FOR FINAL	15-OCT-2018	JD	NC					

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model
38-04
scale
N/A
project #
18020

page

D2

PROJECTIONS:

O.B.C. 9.8.7.6
- HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED WIDTH OF THE STAIR

TERMINATION:

O.B.C. 9.8.7.3
- ONE HAND RAIL SHALL EXTEND HORIZONTALLY NOT LESS THAN 11 3/4" (300mm) BEYOND THE TOP & BOTTOM OF EACH STAIR AS

FINISH:

O.B.C. 9.8.9.6
- TREADS ARE TO BE WEAR AND SLIP RESISTANT, SMOOTH, EVEN AND FREE FROM DEFECTS PER OBC 9.8.9.6.4
- STAIRS AND RAMPS SHALL HAVE A COLOUR CONTRAST OR DISTINCTIVE VISUAL PATTERN TO DEMARCAT THE LEADING EDGE OF THE TREADS, LANDING AND THE BEGINNING AND END OF A RAMP

36 INTERIOR GUARDS:

O.B.C. 9.8.8.3
- GUARDS TO BE 3'-6" (1070mm) HIGH
- FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH
- INCLUDES WINDOWS OVER STAIRS, RAMPS AND LANDINGS
- PICKETS TO HAVE 4" (100mm) MAX. SPACING
- GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

36b EXTERIOR GUARDS:

O.B.C. 9.8.8.3
- GUARDS ARE REQUIRED WHEN WALKING SURFACE TO GRADE IS GREATER THAN 23 5/8" (600mm)
- GUARDS TO BE 3'-6" (1070mm)
- FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH
- FOR DWELLING UNITS GUARDS TO BE 3'-6" (1070mm) HIGH WHERE WALKING SURFACE IS MORE THAN 5'-11" (1800mm) ABOVE ADJACENT GRADE.
- PICKETS TO HAVE 4" (100mm) MAX. SPACING
- PROVIDE MID-SPAN POSTS AS PER 9.8.7.
- GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

36b EXTERIOR GUARDS @ JULIET BALCONY:

- FOR RAILING SPANNING MAXIMUM OF 6'-0"
- PROVIDE PREFIN. METAL RAILING W/ 76mm VERTICAL OPENING TO CONFORM WITH O.B.C. APPENDIX A-9.8.8.5.
- GUARDS TO BE 3'-6" (1070mm)
- FOR DWELLING UNITS GUARDS TO BE 2'-11" (900mm) WHERE FLOOR TO GRADE DIFFERENCE IS LESS THAN 5'-11" (1800mm) AS PER O.B.C. 9.8.8.2.
- OR
- FOR DWELLING UNITS GUARDS TO BE 3'-6" WHERE FLOOR TO GRADE DIFFERENCE IS 5'-11" (1800mm) OR GREATER AS PER O.B.C. 9.8.8.2.
- VERTICAL END RAILING ANCHORED TO CORNER DOUBLE STUDS USING 3 ROWS OF 3/8" MIN. ANCHOR BOLTS EQUALLY SPACED WITH 3" MIN. EMBEDMENT TO STUDS.
- PROVIDE SAME ANCHOR BOLTS @ 36" O.C. FOR BASE PLATE CONNECTION.

37 - LINEN CLOSET 4 SHELVES MIN. 1'-2" (350mm) DEEP

38 - WASHROOMS TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR, O.B.C. 9.32.1.3.(3)
39 - CAPPED DRYER VENT

40 - 1"x2" (19mmx38mm) BOTH SIDES OF STEEL

41 - WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN CONTACT WITH GROUND OR FILL SHALL BE PRESSURE TREATED OR SEPARATED FROM CONCRETE W/ 6 mil POLYETHYLENE.

42 - PRECAST CONC. STEP
- 2 RISERS MAXIMUM PERMITTED TO BE LAID ON GROUND

44 SMOKE ALARM, O.B.C. 9.10.19.

- PROVIDE 1 ON EACH FLOOR INCLUDING BASEMENTS
- PROVIDE 1 IN EACH BEDROOM
- INSTALLED AT OR NEAR CEILING
- ALARMS TO BE CONNECTED IN CIRCUIT AND INTERCONNECTED SO ALL ALARMS WILL BE ACTIVATED IF ANY ONE OF THEM SOUNDS AND HAVE A VISUAL SIGNALLING COMPONENT
- ALARMS MUST BE HARDWIRED AND HAVE AN ALTERNATE POWER SOURCE THAT CAN POWER ALARM FOR 7 DAYS, FOLLOWED BY 4 MINUTES OF ALARM

45 CARBON MONOXIDE ALARM (CMA), O.B.C. 9.33.4.

- WHERE THERE IS A FUEL BURNING APPLIANCE A CMA SHALL BE PROVIDED ADJACENT TO EACH SLEEPING AREA.
- CMA TO BE WIRED IN CIRCUIT TO SOUND SMOKE ALARMS WHEN ACTIVATED.

46 MAIN DOOR TO BE OPERABLE FROM INSIDE W/O KEY

- PROVIDE A VIEWER WITH A VIEWING ANGLE OF NOT LESS THAN 160 DEG. UNLESS GLAZING IS PROVIDED IN DOOR OR A SIDELIGHT IS PRESENT.
- R4 (RSI 0.70) WHERE A STORM DOOR IS NOT PROVIDED

47 GARAGE MAIN DOORS TO BE GAS PROOFED WITH SELF CLOSER.

WEATHERSTRIPPING, THRESHOLD & DEAD BOLT PER O.B.C. 9.10.13.15.
- R4 (RSI 0.70)

48 TRAVEL FROM A FLOOR LEVEL TO AN EXIT OR EGRESS DOOR SHALL BE LIMITED TO ONE FLOOR EXCEPT:

1) WHERE THAT FLOOR LEVEL HAS ACCESS TO A BALCONY
OR
2) WHERE THAT FLOOR LEVEL HAS A WINDOW PROVIDING AN UNOBSTRUCTED OPENING OF NOT LESS THAN 3'-3" (1000mm) IN HEIGHT AND 21 5/8" (550mm) IN WIDTH; SUCH WINDOW SHALL BE LOCATED SO THAT THE SILL IS NOT MORE THAN 3'-3" (1000mm) ABOVE FLOOR AND 23'-0" (7.0m) ABOVE ADJACENT GROUND LEVEL.

49 EXTERIOR COLUMN W/ MASONRY PIER:

- MIN. 6"x6" (140mm x 140mm) WOOD POST ANCHORED TO PORCH SLAB W/ METAL SADDLE.
- TOP PORTION OF POST CLAD W/ DECOR. SURROUND PER ELEVATION DRAWINGS.
- 1"4" X 1"4" MASONRY VENEER SURROUND W/ PRECAST CONCRETE CAP.
- REFER TO ELEVATION DRAWINGS FOR HEIGHT OF CAP.
- SURROUND TO BE TIED W/ METAL TIES @ 16" (400mm) O.C. VERT. INSTALLED PER O.B.C. 9.20.9.4.
- 3/4" AIR SPACE AROUND POST.

OR
- MIN. 6"x6" (140mm x 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO CONC. CAP W/ METAL SADDLE.
- 1"4" X 1"4" MASONRY PIER TO BE CONSTRUCTED SOLID W/ PRECAST CONCRETE CAP.
- REFER TO ELEVATION DRAWINGS FOR HEIGHT OF CAP.
NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" POST PROVIDED THAT THEY ARE IN CONFORMANCE WITH O.B.C. 9.17.4.

49c EXTERIOR COLUMN:

- MIN. 6"x6" (140mm x 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO PORCH SLAB W/ METAL SADDLE.
NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" ABOVE PROVIDED THAT THEY ARE IN ACCORDANCE WITH O.B.C. 9.17.4.

50 COLD CELLARS:

FOR COLD CELLARS PROVIDE THE FOLLOWING:
- VENTING AREA TO BE EQUIVALENT TO 0.2% OF COLD CELLAR AREA.
- COVER VENT W/ BUG SCREEN
- WALL MOUNTED LIGHT FIXTURE
- 1.1 L7 FOR DOOR OPENING
- 2'-8" X 6'-8" EXTERIOR TYPE DOOR (MIN. R-4 RSI 0.7)
- INSULATE FULL HEIGHT OF INTERIOR BASEMENT WALL W/ MIN. R12 (RSI 2.11)

51 STUD WALL REINFORCEMENT:

O.B.C. 9.5.2.3.
- WALL STUDS ADJACENT TO WATER CLOSETS & SHOWER BATH TUBS IN MAIN BATHROOM ARE TO BE REINFORCED TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS AS PER O.B.C. 3.8.3.8.(3)(a)&(c) & 3.8.3.13.(2)(f)& 3.8.3.13.(4)(c)
- GRAB BARS TO BE INSTALLED AS PER O.B.C. 9.8.7.7.(2)

FRAME CONSTRUCTION:

- ALL FRAMING LUMBER TO BE No.1 AND No.2 SPF UNLESS NOTED OTHERWISE.
- ROOF LOADING IS BASED ON 1.5kPa SPECIFIED COMPOSITE SNOW AND RAIN LOADS.
- JOISTS TO HAVE MIN. 1-1/2" (38mm) END BEARING.
- BEAMS TO HAVE MIN. 3-1/2" (89mm) END BEARING.
- DOUBLE STUDS @ OPENINGS
- DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" (1200mm) AND 10'-6" (3200mm)
- DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" (800mm) AND 6'-7" (2000mm)
- DOUBLE JOISTS OR SOLID BLOCKING UNDER NON-LOAD BEARING PARALLEL PARTITIONS
- BEAMS TO BE PLACED UNDER LOADBEARING WALLS WHEN WALLS ARE PARALLEL TO FLOOR JOISTS
- BEAMS MAY BE A MAX. 24" (600mm) FROM LOADBEARING WALLS WHEN WALLS ARE PERPENDICULAR TO FLOOR JOISTS
- APPROVED METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY FRAME INTO SIDES OF BEAMS, TRIMMERS AND HEADERS
- FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 15 3/4" (400mm) BEYOND SUPPORTS FOR 2" X 8" (38mm X 184mm)
- FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 23 5/8" (600mm) BEYOND SUPPORTS FOR 2" X 10" (38mm X 235mm) OR LARGER.

WINDOWS:

- WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
- WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.6 W/(m2.K) OR
- AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS
- BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING
- SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 2.8 W/(m2.K)
- FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%.

ADDITIONAL COMPLIANCE ALTERNATIVES FOR PACKAGE J:

- THE MINIMUM R (RSI) VALUE FOR THERMAL INSULATION IN EXPOSED ABOVE GRADE WALLS IS PERMITTED TO BE NO LESS THAN R20 (RSI 3.52) PROVIDED: THAT THE WINDOWS AND SLIDING GLASS DOORS HAVE A MAXIMUM U-VALUE OF 1.6, OR THE THERMAL INSULATION VALUE IN BASEMENT WALLS HAS A MINIMUM R20 (RSI 3.52).

OR
- WHERE BLOWN-IN INSULATION OR SPRAY-APPLIED FOAM INSULATION IS USED, THE MINIMUM R (RSI) VALUE FOR THERMAL INSULATION IN EXPOSED ABOVE GRADE WALLS IS PERMITTED TO BE NO LESS THAN R20 (RSI 3.52) PROVIDED THAT:

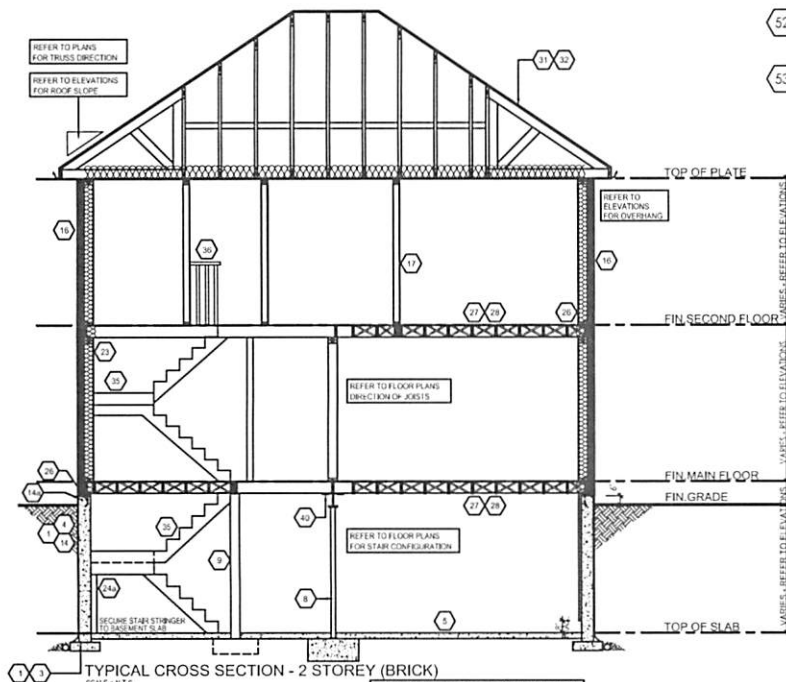
- THE THERMAL INSULATION VALUE IN A CEILING WITH AN ATTIC SPACE IS NOT LESS THAN R60 (RSI 10.55)
- THE MINIMUM EFFICIENCY OF THE HRV IS INCREASED BY NOT LESS THAN 8 PERCENTAGE POINTS.
- THE MINIMUM AFUE OF THE SPACE HEATING EQUIPMENT IS INCREASED BY NOT LESS THAN 2 PERCENTAGE POINTS.
- THE MINIMUM EF OF THE DOMESTIC HOT WATER HEATER IS INCREASED BY NOT LESS THAN 4 PERCENTAGE POINTS.

52 ELECTRICAL VEHICLE CHARGING REQUIREMENTS:

- REFER TO OBC 9.34.4.1. FOR REQUIREMENTS (EFFECTIVE JANUARY 2018)

53 WINDOW GUARDS:

- STAIRS, LANDINGS & RAMPS - OBC 9.8.8.1 (B)
WINDOW SILL AT 3'-0" (900mm) OR GREATER DOES NOT REQUIRE GUARDS
- FLOORS - OBC 9.8.8.1 (A)
WINDOWS LESS THAN 1'-7" (490mm) ABOVE FLOORS WHERE ADJACENT GRADE IS GREATER THAN 5'-11" (1800mm) REQUIRE A GUARD PER OBC 9.8.8.2.
- OR -
WINDOW TO BE NON-OPERABLE AND DESIGNED TO WITHSTAND LATERAL LOADS PER OBC 9.8.8.1.(B)(b)



THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD

CLIENT SPECIFIC REVISIONS

SCHEDULES

DOORS 44, 45
A 865x2030x45 (2'10"x6'8"x1-3/4")
B 815x2030x35 (2'8"x6'8"x1-3/8")
C 760x2030x35 (2'6"x6'8"x1-3/8")
D 710x2030x35 (2'4"x6'8"x1-3/8")
E 460x2030x35 (1'6"x6'8"x1-3/8")
F 610x2030x35 (2'0"x6'8"x1-3/8")
G OVER SIZED EXTERIOR DOOR

STEEL BEAMS
S11 W 6 X 15
S12 W 6 X 20
S13 W 8 X 18
S14 W 8 X 21
S15 W 8 X 24

WD1 3/2" X 8" SPR
WD2 4/2" X 8" SPR
WD3 5/2" X 8" SPR
WD4 3/2" X 10" SPR
WD5 4/2" X 10" SPR
WD6 5/2" X 10" SPR
WD7 3/2" X 12" SPR
WD8 4/2" X 12" SPR
WD9 5/2" X 12" SPR

L1 2/2" X 8" SPR
L2 3/2" X 8" SPR
L3 2/2" X 10" SPR
L4 3/2" X 10" SPR
L5 2/2" X 12" SPR
L6 3/2" X 12" SPR

WOOD BEAMS
LVL2 2-PLY 1 3/4" X 7 1/4" LVL
LVL3 3-PLY 1 3/4" X 7 1/4" LVL
LVL4A 1-PLY 1 3/4" X 9 1/2" LVL
LVL4 2-PLY 1 3/4" X 9 1/2" LVL
LVL5 3-PLY 1 3/4" X 9 1/2" LVL
LVL6 2-PLY 1 3/4" X 11 7/8" LVL
LVL7 3-PLY 1 3/4" X 11 7/8" LVL
LVL7A 4-PLY 1 3/4" X 11 7/8" LVL
L13 5-7/8" X 3-1/2" X 3/8" L
L14 5-7/8" X 3-1/2" X 1/2" L
L15 5-7/8" X 4" X 1/2" L
L16 7-1/8" X 4" X 3/8" L
L17 7-1/8" X 4" X 1/2" L

SMOKE ALARM 44
WATERPROOF DUPLEX OUTLET
VENTS AND INTAKES
HOSE BIB
EXHAUST FAN 38
COLD CELLAR VENT 50
STOVE VENT
FIRE PLACE VENT
DRYER VENT

PLAN/ELEVATION LEGEND

CARBON MONOXIDE ALARM (CMA) 45
D.J. DOUBLE JOIST
P.T. PRESSURE TREATED LUMBER
G.T. GIRDER TRUSS
A.F.F. ABOVE FINISHED FLOOR
EXT. LIGHT FIXTURE (WALL MOUNTED)
HYDRO METER
GAS METER
FLOOR DRAIN
SOLID BEARING (DO NOT SCALE WITHIN AS SUPPORTED AREA)
POINT LOAD
FLAT ARCH
2 STORY WALL
U/S UNDER SIDE
FG FIXED GLAZING
GB GLASS BLOCK
BG BLACK GLASS

File: C:\RN\Shop\304\304-04-FH-A.dwg Plot Date: Oct 18, 2018 by: e.vet

I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C-PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 21032
FIRM BCIN: 26995
DATE: OCTOBER 15, 2018

SIGNATURE:

Client: Regal Crest Homes
Location: Brampton
Project: Mayfield (RCH)
Marketing Name: RIVONIA

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1.	ISSUED FOR CLIENT REVIEW	31/07/2018	NA	NC					
2.	REVISED AS PER ENGINEER COMMENTS	12/SEP/2018	HAZ	NC					
3.	REVISED AS PER CLIENT COMMENTS, ISSUED FOR FINAL	15/OCT/2018	JD	NC					

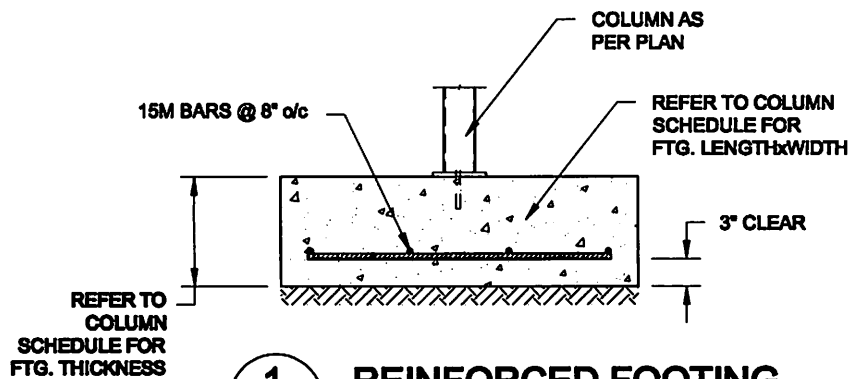
RN design
Imagine • Inspire • Create



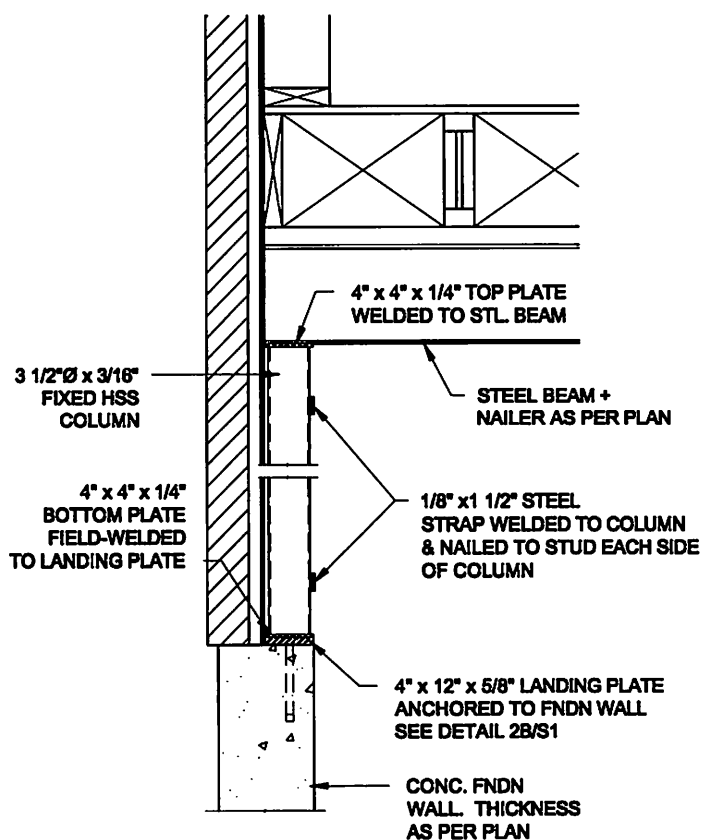
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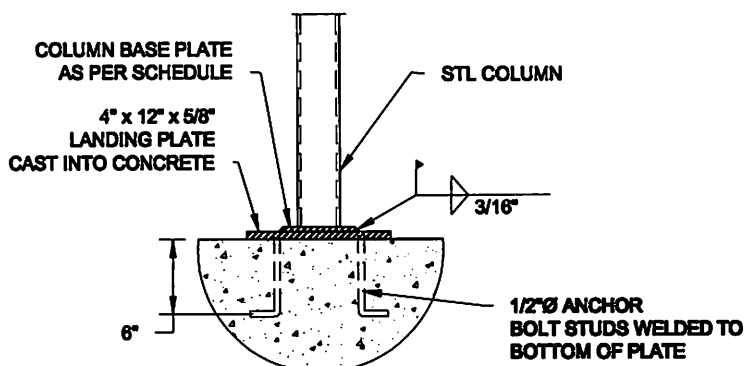
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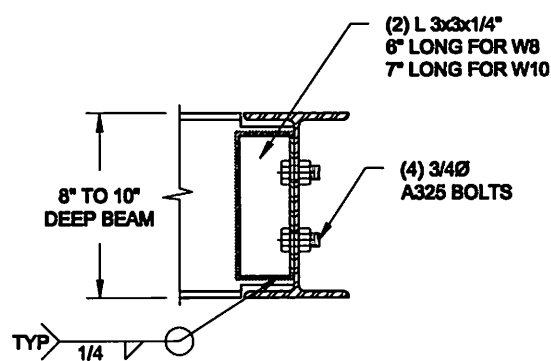
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S1 **REINFORCED FOOTING**
SCALE: 3/4" = 1'-0"



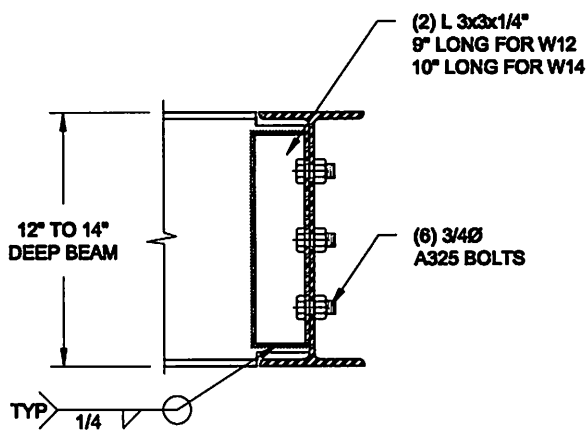
2A
S1 **COLUMN DETAIL**
SCALE: 1" = 1'-0"



2B
S1 **LANDING PLATE DETAIL**
SCALE: 1" = 1'-0"



NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.



NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x88) BEAM MAX AND W14x48 (W380x72) BEAM MAX.

3
S1 **STL. BM. CONNECTION**
SCALE: 1 1/2" = 1'-0"

Scale:
AS NOTED

Date:
AUG-01-2018

Drawn:
SC

Checked:
SJB

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-863-8547
E: quaille.eng@rogers.com

Engineer's Seal:



Project:

REGAL CREST - MAYFIELD VILLAGE - PHASE 4 - SINGLES
BRAMPTON, ONTARIO

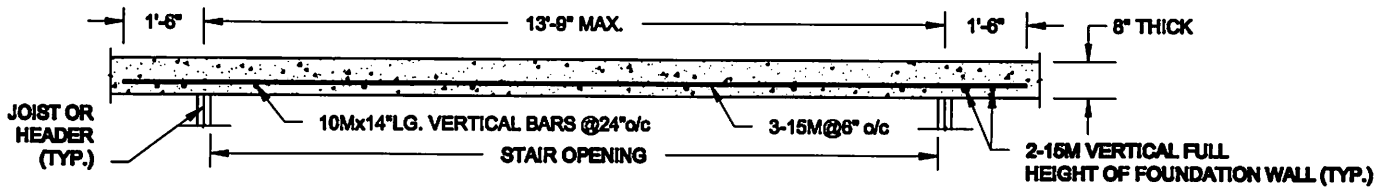
TYPICAL STRUCTURAL DETAILS

Project No.:

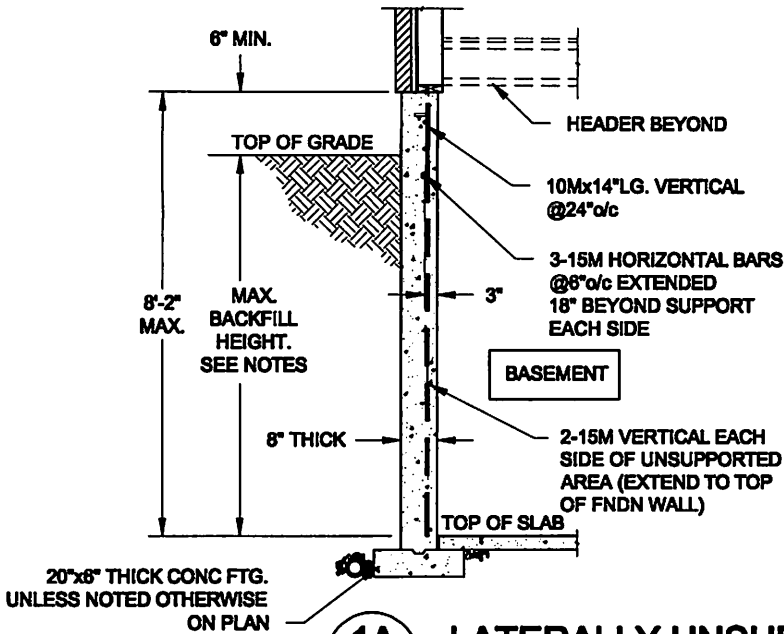
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Drawing No.:

S1



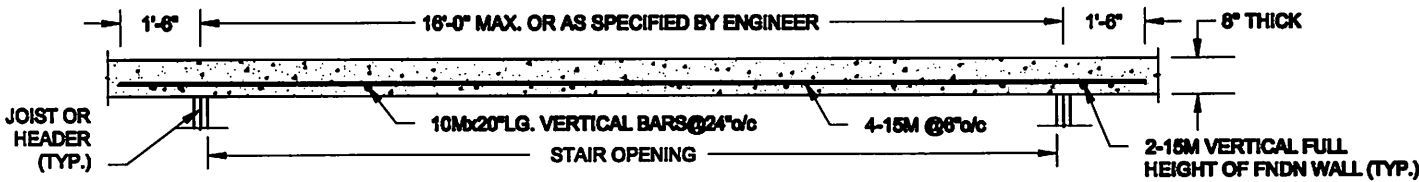
PLAN VIEW



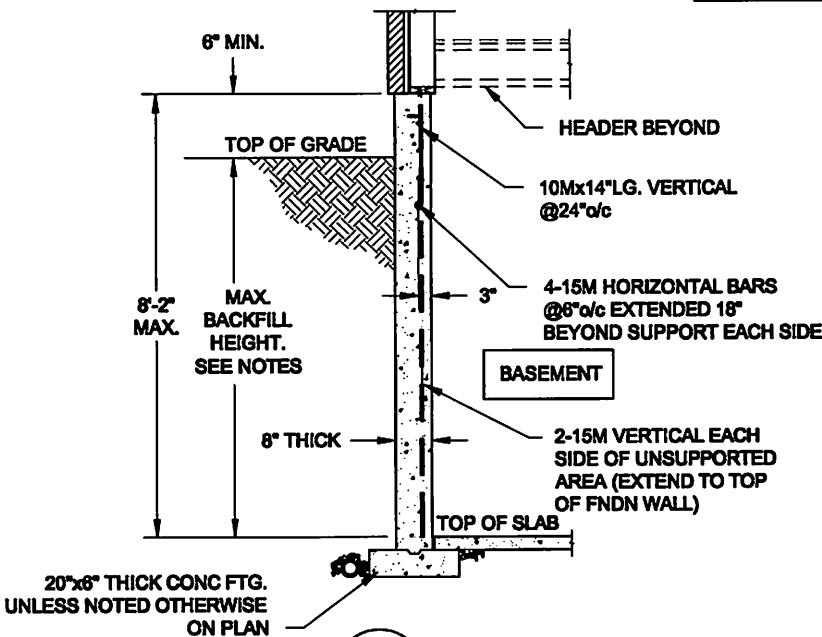
- NOTES:
1. CONFORM TO ONTARIO BUILDING CODE, 2012.
 2. REINFORCING STEEL TO BE GRADE 400.

CONC STRENGTH	MAX. BACKFILL HEIGHT
15 MPa	2.15 m (7'-0")
20 MPa	2.3 m (7'-6")

1A LATERALLY UNSUPPORTED WALL
SCALE: 3/8" = 1'-0"



PLAN VIEW



- NOTES:
1. CONFORM TO ONTARIO BUILDING CODE, 2012.
 2. REINFORCING STEEL TO BE GRADE 400.

CONC STRENGTH	MAX. BACKFILL HEIGHT
15 MPa	2.15 m (7'-0")
20 MPa	2.3 m (7'-6")

1B LATERALLY UNSUPPORTED WALL
SCALE: 3/8" = 1'-0"

Scale:
AS NOTED

Date:
AUG-01-2018

Drawn:
SC

Checked:
SJB

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Engineer's Seal



Project:

REGAL CREST - MAYFIELD VILLAGE - PHASE 4 - CONDOS
BRAMPTON, ONTARIO

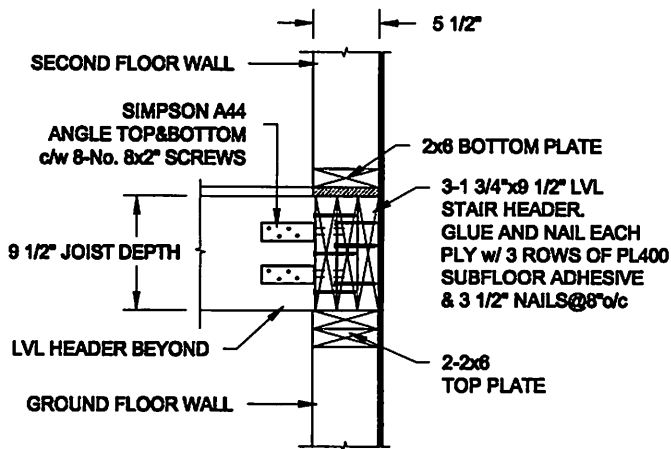
TYPICAL STRUCTURAL DETAILS

Project No.:

18-159

Drawing No.:

S2



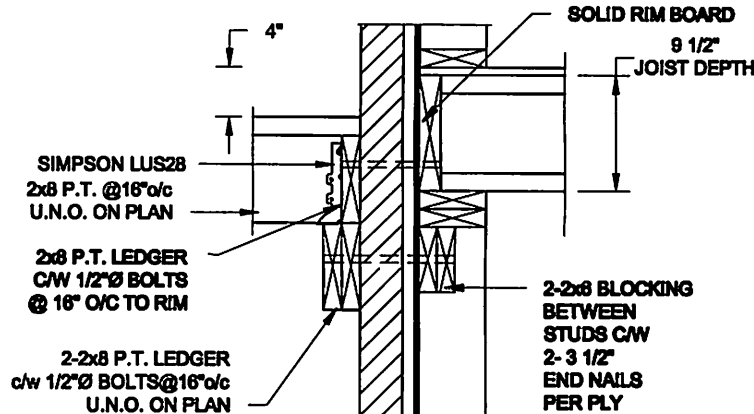
1
S3 **HEADER @ EXTERIOR WALL**
SCALE: 1" = 1'-0"

MAXIMUM GARAGE STUD HEIGHT:

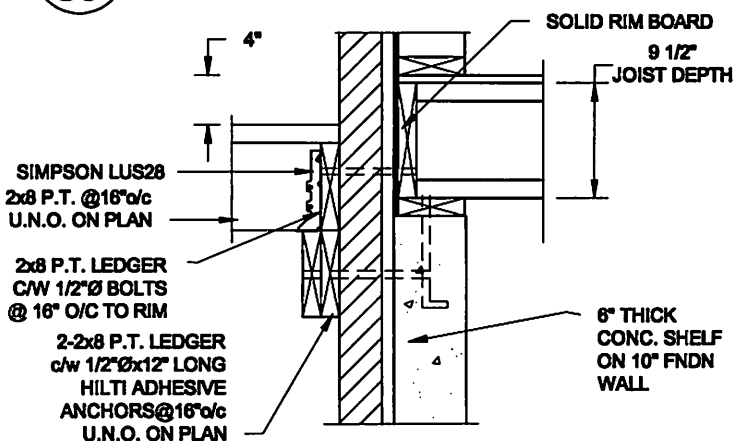
MAX. 8'-10" STUD HEIGHT - PROVIDE 2x4 @ 16" o/c
MAX. 11'-2" STUD HEIGHT - PROVIDE 2-2x4 @ 16" o/c
2x4 STUDWALL TO BE ON 8" THICK FNDN
UNLESS NOTED OTHERWISE ON PLAN

MAX. 11'-10" STUD HEIGHT - PROVIDE 2x6 @ 16" o/c
MAX. 13'-8" STUD HEIGHT - PROVIDE 2x8 @ 12" o/c
2x8 STUDWALL TO BE ON 10" THICK FNDN
UNLESS NOTED OTHERWISE ON PLAN

SPECIFICATIONS APPLICABLE TO LOCATIONS
WITH A 1/50 YEAR HOURLY WIND PRESSURE
OF 0.44 kPa OR LESS

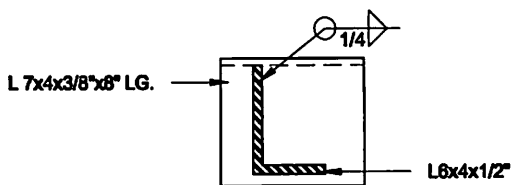


2A
S3 **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"

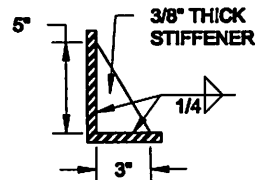


2B
S3 **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"

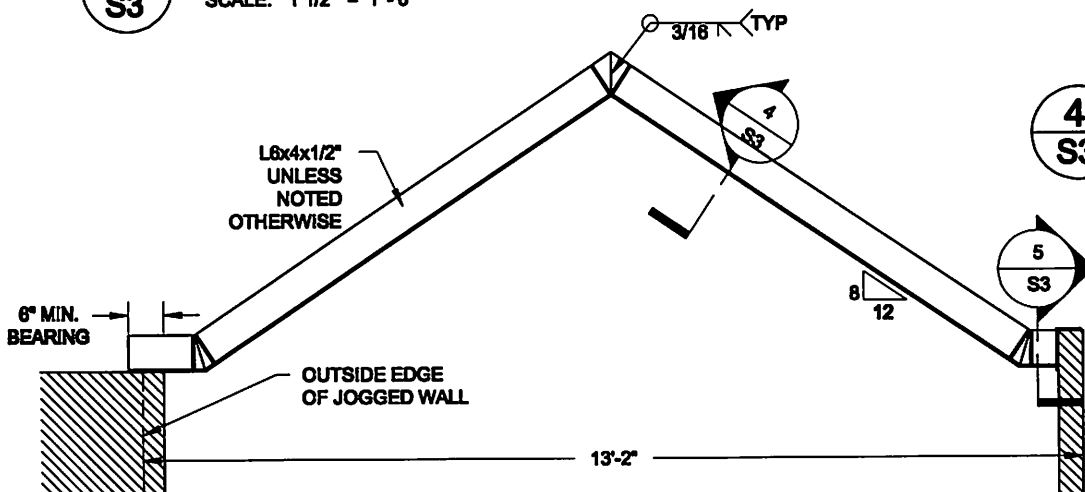
- NOTES: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.



5
S3 **INVERTED ANGLE**
SCALE: 1 1/2" = 1'-0"



4
S3 **TYP. STIFFENER**
SCALE: 1 1/2" = 1'-0"



3
S3 **STEEL LINTEL AT GABLE**
SCALE: 1/2" = 1'-0"

Scale:
AS NOTED

Date:
AUG-01-2018

Drawn:
SC

Checked:
SJB

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Engineer's Seal



Project:

REGAL CREST - MAYFIELD VILLAGE - PHASE 4 - SINGLES
BRAMPTON, ONTARIO

TYPICAL STRUCTURAL DETAILS

Project No.:

18-159

Drawing No.:

S3

A-2021-0085

