



**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **SUKHWINDER SINGH, RAJWINDER KAUR AND DIDAR SINGH** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 311, Plan M-774 municipally known as **4 MEADOWLARK DRIVE**, Brampton;

AND WHEREAS the applicants are requesting the following variances(s):

1. To permit a 0.9m (2.95 ft.) interior side yard setback to an above grade entrance whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.);
2. To permit a 0.65m (2.13 ft.) interior side yard setback to a step leading to an above grade entrance whereas the by-law requires a minimum interior side yard setback of 0.9m (2.95 ft.) to a step leading to a below grade entrance;
3. To permit a driveway width of 8.6m (28.22 ft.) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.);
4. To permit a permeable landscape strip 0.16m (0.53 ft.) along the side lot line whereas the by-law requires a minimum 0.6m (1.97 ft.) permeable landscaping between the driveway and the side property line.

**OTHER PLANNING APPLICATIONS:**

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO  
Application for Consent: NO

File Number: \_\_\_\_\_  
File Number: \_\_\_\_\_

The Committee of Adjustment has appointed **TUESDAY, May 11, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT.** This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 29th day of April, 2021.

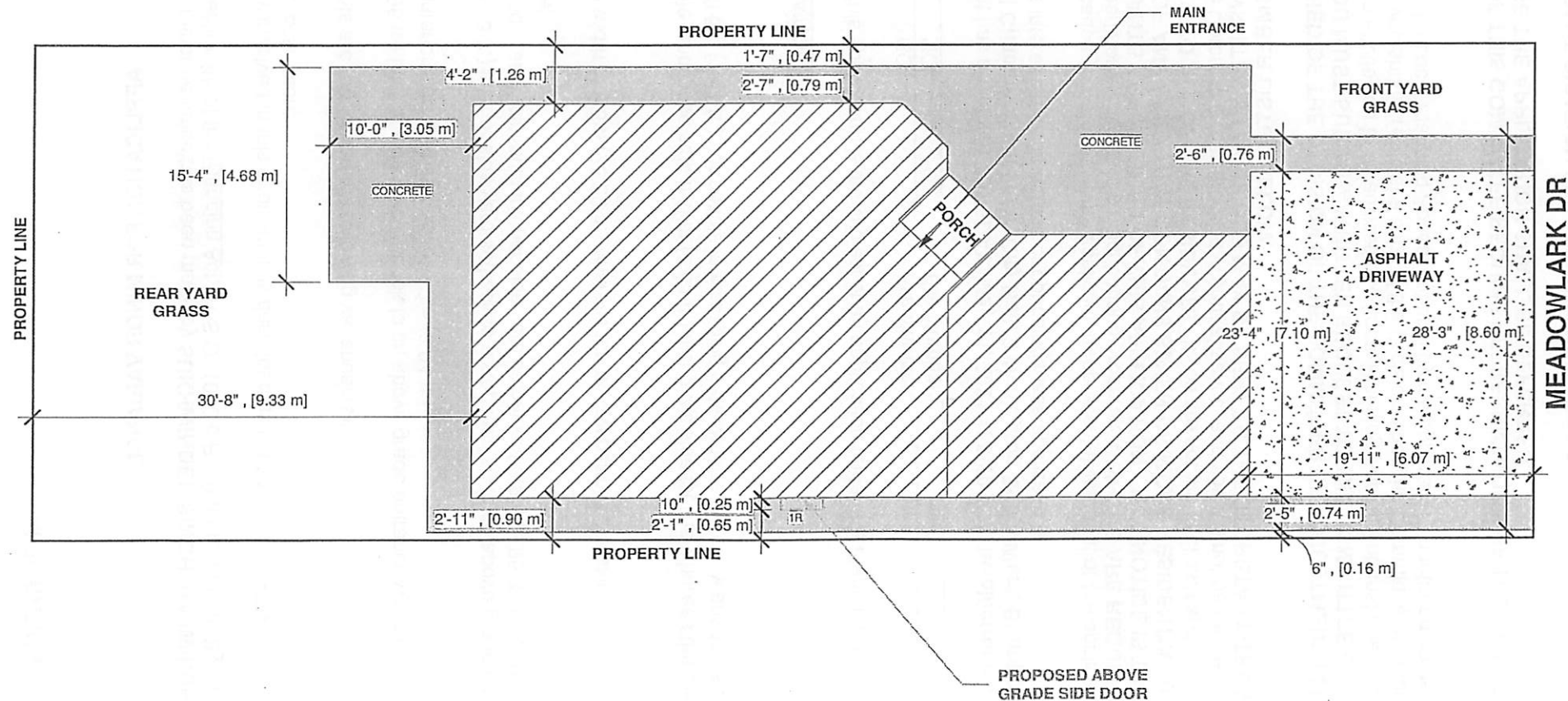
Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer  
Committee of Adjustment, City Clerk's Office,  
Brampton City Hall  
2 Wellington Street West,  
Brampton, Ontario L6Y 4R2  
Phone: (905)874-2117  
Fax: (905)874-2119  
[jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca)

LOT : 311  
4 MEADOWLARK DR  
2 STOREY DETACHED HOUSE

MINOR VARIANCE

- TO PERMIT A SIDE DOOR IN INTERIOR SIDE YARD WITH SETBACK OF 0.9M WHEREAS THE BY-LAW REQUIRES A MINIMUM 1.2M OF INTERIOR SIDE YARD SETBACK TO A SIDE DOOR;
- TO PERMIT A CONCRETE STEP IN INTERIOR SIDE YARD WITH SETBACK OF 0.65M WHEREAS THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 0.9M TO A STEP;
- TO PERMIT MINIMUM LANDSCAPING OF 0.16M IN INTERIOR SIDE YARD WHEREAS THE BY-LAW REQUIRES A MINIMUM LANDSCAPING OF 0.6M INTERIOR SIDE YARD.
- TO PERMIT A DRIVEWAY WIDTH OF 8.6M, WHEREAS THE ZONING BY-LAW ALLOWS FOR A MAXIMUM DRIVEWAY WIDTH OF 6.71M.



SITE PLAN

STAMP

01 ISSUED FOR PERMIT APR 09/21

ADDRESS:  
4 MEADOWLARK DR,  
BRAMPTON, ON

DRAWN BY: NK CHECKED BY: JB

PROJECT NUMBER: 21R-23188

**NOBLE PRIME  
SOLUTIONS LTD**  
2131 WILLIAMS PARKWAY  
BRAMPTON, ON  
UNIT 19  
(437)-888-1800

DATE: APR 09/21

SCALE: 1:100

DWG No:

A-1



Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures**  
**How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

**How to Participate in the Hearing:**

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, May 6, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm, Friday, May 7, 2021**.
  - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, May 7, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:  
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or  
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

April 28, 2021

To: Committee of Adjustment

**RE: APPLICATION FOR MINOR VARIANCE  
SUKHWINDER SINGH, RAJWINDER KAUR AND DIDAR SINGH  
LOT 311, PLAN M-774  
A-2021-0095- 4 MEADOWLARK DRIVE  
WARD 4**

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Please **amend** application **A-2021-0095** to reflect the following:

1. To permit a 0.9m (2.95 ft.) interior side yard setback to an above grade entrance whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.);
2. To permit a 0.65m (2.13 ft.) interior side yard setback to a step leading to an above grade entrance whereas the by-law requires a minimum interior side yard setback of 0.9m (2.95 ft.) to a step leading to a below grade entrance;
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*Didar Singh  
Gandhu  
April 29, 2021*

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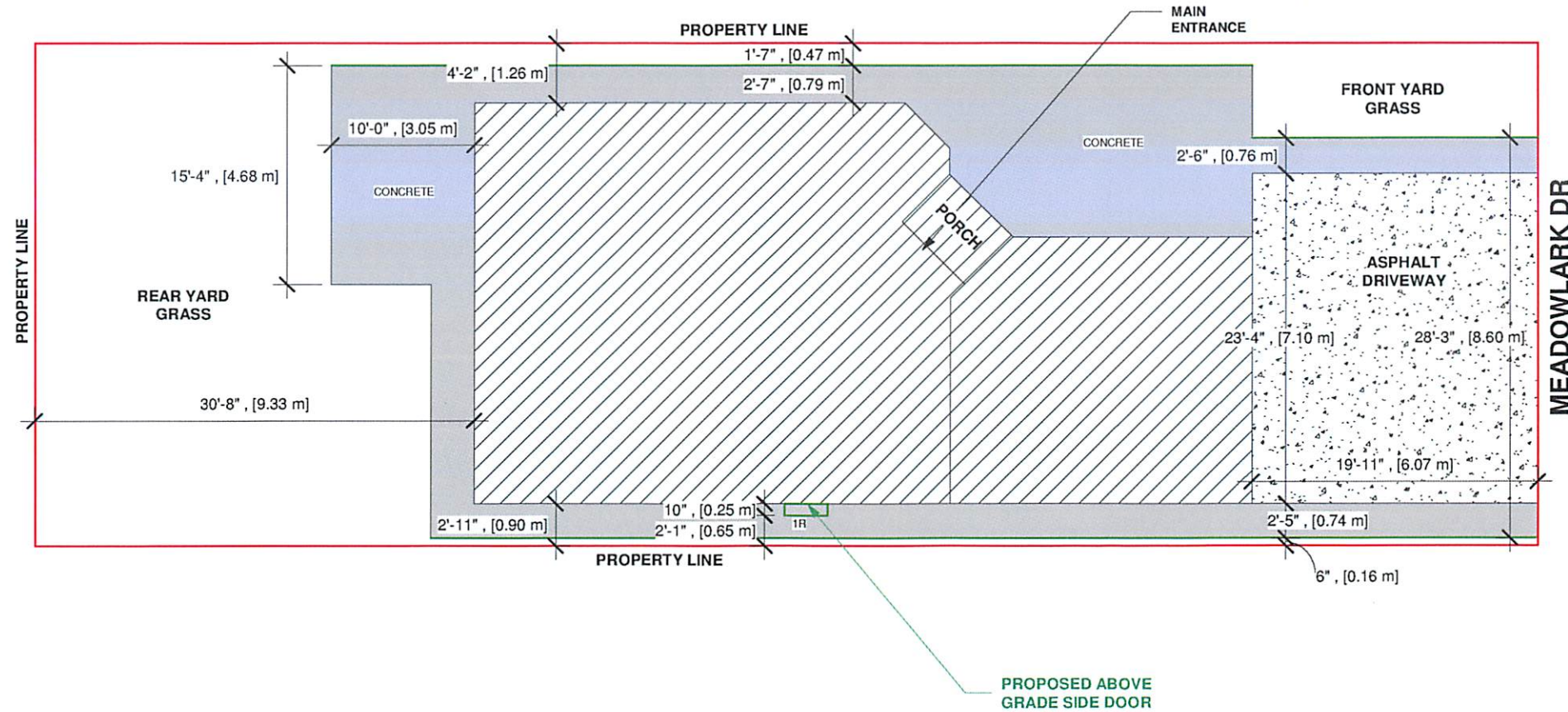
Applicant/Authorized Agent



LOT : 311  
4 MEADOWLARK DR  
2 STOREY DETACHED HOUSE

MINOR VARIANCE

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**NOBLE PRIME  
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2131 WILLIAMS PARKWAY  
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UNIT 19  
(437)-888-1800

DATE: APR 09/21 DWG No.  
SCALE: 1 : 100 A-1

Flower City



brampton.ca

For Office Use Only  
(to be inserted by the Secretary-Treasurer  
after application is deemed complete)

FILE NUMBER: A-2021-0095

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

**APPLICATION**  
**Minor Variance or Special Permission**  
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** SUKHWINDER SINGH, RAJWINDER KAUR, DIDAR SINGH  
**Address** 4 MEADOWLARK DR BRAMPTON, ON, L6Y4B2

**Phone #** 416-318-7558 **Fax #** \_\_\_\_\_  
**Email** sukhisst@gmail.com

2. **Name of Agent** NOBLE PRIME SOLUTIONS LTD  
**Address** UNIT 19, 2131 WILLIAMS PARKWAY, BRAMPTON L6S 5Z4

**Phone #** 437-888-1800 **Fax #** \_\_\_\_\_  
**Email** applications@nobleltd.ca

3. **Nature and extent of relief applied for (variances requested):**

TO PERMIT A SIDE DOOR IN INTERIOR SIDE YARD WITH SETBACK OF 0.9M WHEREAS THE BY- LAW REQUIRES A MINIMUM 1.2M OF INTERIOR SIDE YARD SETBACK TO A SIDE DOOR;  
-TO PERMIT A CONCRETE STEP IN INTERIOR SIDE YARD WITH SETBACK OF 0.65M WHEREAS THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 0.9M TO A STEP;  
-TO PERMIT MINIMUM LANDSCAPING OF 0.16M IN INTERIOR SIDE YARD WHEREAS THE BY-LAW REQUIRES A MINIMUM LANDSCAPING OF 0.6M INTERIOR SIDE YARD

4. **Why is it not possible to comply with the provisions of the by-law?**

THE BY- LAW REQUIRES A MINIMUM 1.2M OF INTERIOR SIDE YARD SETBACK TO A SIDE DOOR;  
THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 0.9M TO A STEP;  
THE BY-LAW REQUIRES A MINIMUM LANDSCAPING OF 0.6M INTERIOR SIDE YARD

5. **Legal Description of the subject land:**

**Lot Number** 311  
**Plan Number/Concession Number** M774  
**Municipal Address** 4 MEADOWLARK DR BRAMPTON, ON, L6Y4B2

6. **Dimension of subject land (in metric units)**

**Frontage** 10.7 m  
**Depth** 31 m  
**Area** 331.7 sqm

7. **Access to the subject land is by:**

**Provincial Highway** ☐  
**Municipal Road Maintained All Year** ☒  
**Private Right-of-Way** ☐

**Seasonal Road** ☐  
**Other Public Road** ☐  
**Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES** on the subject land: List all structures (dwelling, shed, gazebo, etc.)

2 STOREY DETACHED HOUSE - AREA 159.63 SQM

**PROPOSED BUILDINGS/STRUCTURES** on the subject land:

NO CHANGE

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback	6.07 m
Rear yard setback	9.33 m
Side yard setback	1.26 m
Side yard setback	0.90 m

**PROPOSED**

Front yard setback	N/A
Rear yard setback	N/A
Side yard setback	1.26 m
Side yard setback	0.65 m

10. Date of Acquisition of subject land: 1999
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 1989
15. Length of time the existing uses of the subject property have been continued: 31 YEARS

16. (a) What water supply is existing/proposed?

Municipal ☒ Other (specify) \_\_\_\_\_  
Well ☐

- (b) What sewage disposal is/will be provided?

Municipal ☒ Other (specify) \_\_\_\_\_  
Septic ☐

- (c) What storm drainage system is existing/proposed?

Sewers ☒ Other (specify) \_\_\_\_\_  
Ditches ☐  
Swales ☐



17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Raukirat Sandhu  
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON  
THIS 13 DAY OF APRIL, 20 21.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, RAUKIRAT SANDHU, OF THE CITY OF BRAMPTON  
IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton  
IN THE Region OF Peel  
THIS 13<sup>th</sup> DAY OF April, 20 21

Jeannie Myers  
A Commissioner etc.

Raukirat Sandhu  
Signature of Applicant or Authorized Agent

Jeannie Cecilia Myers  
a Commissioner, etc.,  
Province of Ontario  
for the Corporation of the  
City of Brampton  
Expires April 8, 2024. J.M.

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R1D-2631

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

[Signature]  
Zoning Officer

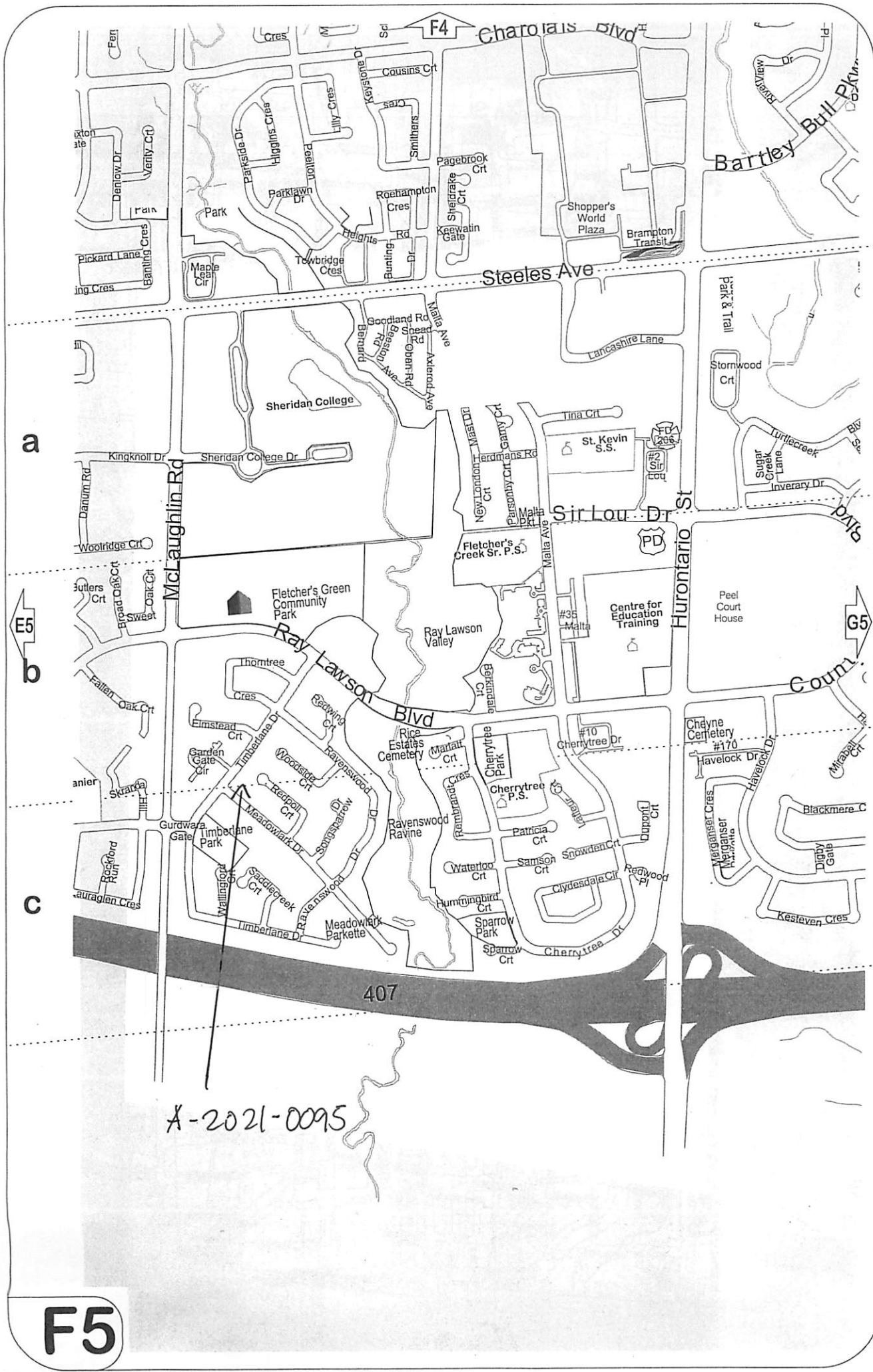
April 15, 2021  
Date

DATE RECEIVED April 13, 2021

Date Application Deemed Complete by the Municipality April 15, 2021







F4

Charolais Blvd

Bartley Bull Park

Steeles Ave

Sheridan College

Sir Lou Dr

PD

Centre for Education Training

Ray Lawson Blvd

County

407

A-2021-0095

F5