



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **RUTHGERUS JACOBUS DAMEN AND MARIA LIGAYA DAMEN** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 75, Plan M-546 municipally known as **36 CRANMORE COURT**, Brampton;

AND WHEREAS the applicants are requesting the following variances(s):

1. To permit a portion of a proposed open sided roof structure attached to the dwelling to project 5.74m (18.83 ft.) into the required rear yard resulting in a setback of 1.86m (6.10 ft.) to the rear lot line whereas the by-law permits a maximum encroachment of 2.0m (6.56 ft.) for an open sided roof structure into the required rear yard with a resulting required setback of 5.6m (18.38 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____ **NO** _____
Application for Consent: _____ **NO** _____

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, May 11, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

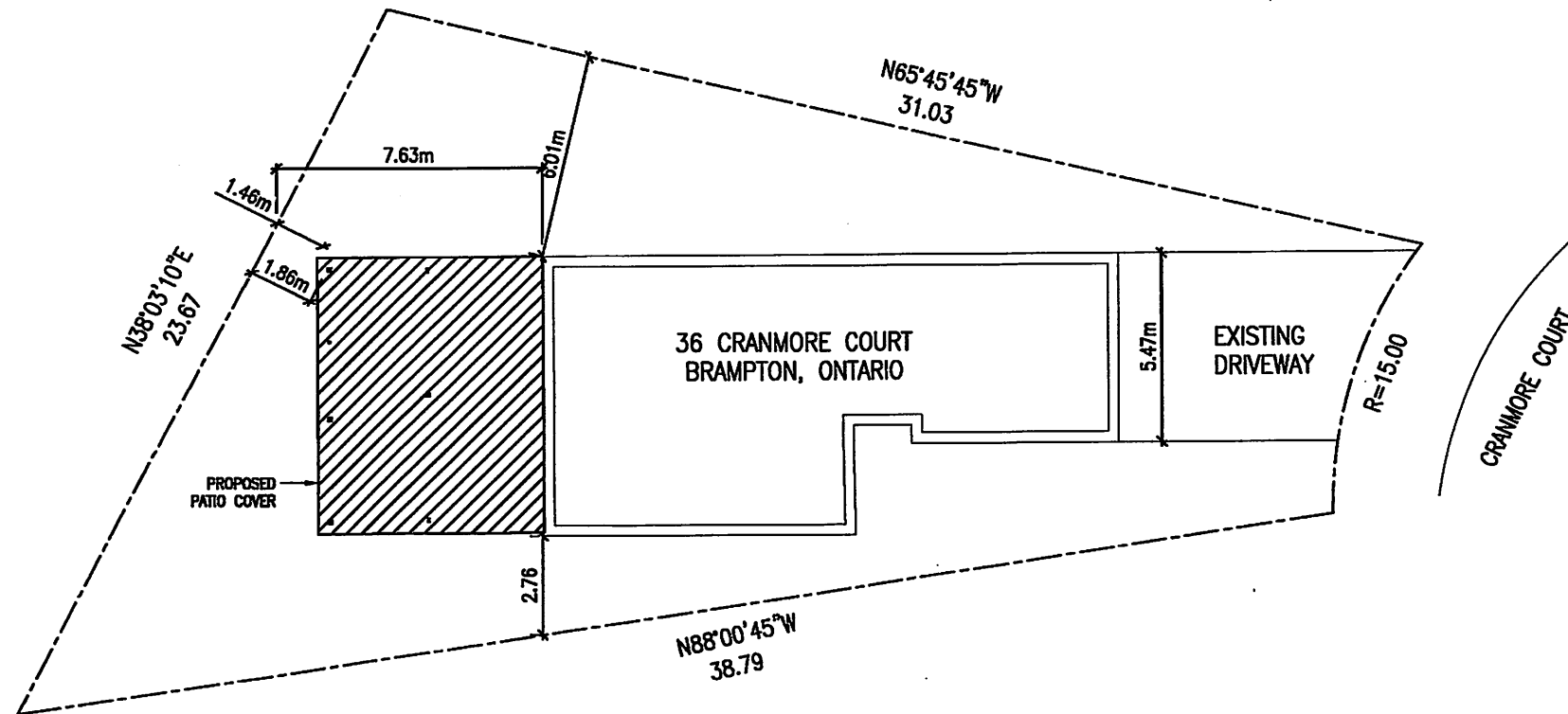
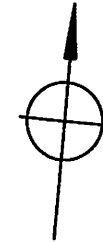
PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 29th day of April, 2021.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall
2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

TOTAL LOT =464 m ²	LOT COVERAGE:	PROPOSED LOT COVERAGE =33.49%
	DWELLING FOOTPRINT (INCLUDING GARAGE) =110.88 m ²	
	PROPOSED PATIO COVER =44.53 m ²	
	DWELLING FOOTPRINT + PATIO COVER =155.41 m ²	



1 SITE PLAN
6 SCALE 1:150

LUMCON CANADA <small>800 ZIMMER BLVD. UNIT 8 WILLOWDALE, ONTARIO M2H 3G5 P: 877-707-7427 F: 877-255-7677</small>	36 CRANMORE CT RUTHGERUS JACOBUS DAMEN SITE PLAN		DESIGNED BY: RH	APPROVED BY:
			DATE: 23 FEB 2021	SCALE: 1:150
			REV. NO.	REV. DATE:
			PROJECT NO. 50450326	DRAWING: 6

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures
How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, May 6, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, May 7, 2021**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, May 7, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City



brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2021-0096

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) RUTHGERUS JACOBUS DAMEN and MARIA LIGAYA DAMEN
Address 36 CRANMORE CT. BRAMPTON ON, L6Z 1G3

Phone # 416 258 2177 Fax # _____
Email rutdamen@rogers.com

2. Name of Agent RONALD HEERALALL (LUMON CANADA INC)
Address 600 ZENWAY BLVD, UNIT 5, VAUGHAN ON, L4H 3M9

Phone # 226 821 4294 Fax # _____
Email ronald.heeralall@lumon.com

3. Nature and extent of relief applied for (variances requested):

To permit a portion of a proposed open sided roof structure attached to the building to project 6.14m into the required rear yard depth resulting in a setback of 1.86m whereas the by-law permits a maximum encroachment of 2m for an open sided roof structure into the required rear yard depth with a resulting setback of 5.6m required.

4. Why is it not possible to comply with the provisions of the by-law?

Allowable rear yard setback is 5.6m. The Patio cover we are proposing will have a rear yard setback of 1.86m

5. Legal Description of the subject land:

Lot Number 75
Plan Number/Concession Number 10-07-0-012-74300-0000
Municipal Address 36 CRANMORE CT, BRAMPTON ON, L6Z 1G3

6. Dimension of subject land (in metric units)

Frontage 8.28m
Depth 38.79m
Area 464 m2

7. Access to the subject land is by:

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

RESIDENTIAL DWELLING WITH FULL BASEMENT AND ATTACHED GARAGE
NUMBER OF STOREYS = 2
SQUARE FOOTAGE = 1763 m2

PROPOSED BUILDINGS/STRUCTURES on the subject land:

REAR YARD PATIO COVER,
GROUND FLOOR AREA = 44.5 m2
NUMBER OF STOREYS = 1
WIDTH = 7.3m, LENGTH = 6.1m, HEIGHT = 3.15m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.10m

Rear yard setback 7.63m

Side yard setback 6.01m

Side yard setback 2.76m

PROPOSED

Front yard setback 22.69m

Rear yard setback 1.86m

Side yard setback 6.01m

Side yard setback 2.76m

10. Date of Acquisition of subject land: 1984
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: OCTOBER 1984
15. Length of time the existing uses of the subject property have been continued: 1984 TO PRESENT
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

RONALD HEERLALL (LUMON CANADA INC)

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON

THIS 14 DAY OF APRIL, 2021.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, RONALD HEERLALL, OF THE CITY OF MISSISSAUGA
IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 14th DAY OF
April, 2021.

April Dela Cerna
A Commissioner etc.

[Signature]
Signature of Applicant or Authorized Agent
April Dela Cerna,
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires May 8, 2021.

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1D - 296

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

HOTHIS.

Zoning Officer

APRIL 14 2021

Date

DATE RECEIVED April 14, 2021

Date Application Deemed
Complete by the Municipality

April 14, 2021

RUTHGERUS JACOBUS DAMEN

36 CRANMORE CT

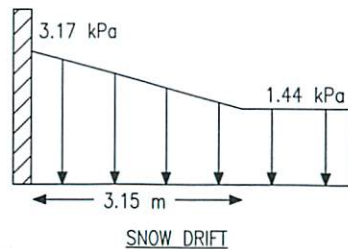
BRAMPTON, ONTARIO

L6Z 1G3

1.1 DESIGN CRITERIA

1. PREVAILING CODE: OBC 2012
2. SNOW LOAD: $S_s = 1.3$ kPa
3. RAIN LOAD: $S_r = 0.4$ kPa
4. WIND LOAD:
 - a. 1 in 10: 0.34 kPa
 - b. 1 in 50: 0.44 kPa
5. DEAD LOAD: $DL = 0.49$ kPa

LOCATION: BRAMPTON, ONTARIO



6. SEISMIC LOAD:
 $S_a(0.2) = 0.168$, $S_a(0.5) = 0.096$, $S_a(1.0) = 0.053$
 $PGA = 0.105$, $T_a = 0.22$ sec,
 SITE CLASS: D (STIFF SOIL) - TO BE SITE VERIFIED
 $RD = R_0 = 1.0$

1.2 DEFLECTION CRITERIA

FRONT BEAM: $L/300$
 INTERMEDIATE BEAM: $L/300$
 ROOF BEAM: $L/120$
 ACRYLIC HEATSTOP: $\min(W/20, 76.2\text{mm})$

GENERAL NOTES

1. THESE DRAWINGS DETAIL THE INSTALLATION
2. DESIGN IS IN ACCORDANCE WITH CAN3-S157-M83 STRENGTH.
3. STRUCTURE AND ALL MATERIALS ARE IN ACCORDANCE WITH CURRENT EDITIONS OF THE NATIONAL BUILDING CODE OF CANADA 2015 AND THE 2012 ONTARIO BUILDING CODE (2019 AMENDMENT).
4. ACRYLITE HEATSTOP PANEL DESIGN:
 ROARKS FORMULAS FOR STRESS AND STRAIN, 7TH EDITION - EXOVA: #13-06-M0387-B (FEB 4 2014)
5. SCREW PILE AND RELATED CONNECTION IS DESIGN BY OTHERS
6. CONSTRUCTION OF EXISTING STRUCTURE (i.e FOUNDATION WALLS, FOOTING, EXTERIOR WALLS AND SHEATHING ARE ASSUMED TO BE IN ACCORDANCE WITH REQUIREMENT OF PART 4 OR PART 9 OF ONTARIO BUILDING CODE. LATERAL LOAD OF THE SUNROOM (WIND AND SEISMIC) IS ASSUMED TO BE RESISTED BY THE MAIN STRUCTURE. EXISTING STRUCTURE WHICH SUPPORTS THE SUNROOM IS REQUIRED TO SATISFY THE FOLLOWING REQUIREMENTS:
 - * STUD WALL WITH SHEATHING: 2×4 SPRUCE-PINE-FIR NO. 1 / NO. 2 @ 12" OR BETTER.
 - * MINIMUM CONCRETE WALL THICKNESS : 8" AND Laterally SUPPORTED TO THE FLOOR
 - * MINIMUM FOOTING SIZE 30" WIDE AND 10" THICK .
 - * LINTEL BEAM ABOVE THE DOOR (1400mm WIDE) = 2PLY 2x8 SPF.

-FOLLOW ALL NOTES AND RECOMMENDATIONS CONTAINED WITHIN THESE DRAWINGS.
 -NO CLADDING IS CONSIDERED FOR THE SUNROOM. NO ADDITIONAL SIDE CLADDING IS PERMITTED IN FUTURE.
 -CONSULT SEALING ENGINEER IF SITE CONDITIONS ARE DIFFERENT FROM WHAT SHOWN ON THE DRAWINGS OR ASSUMED ABOVE.

1.3 REACTIONS

SEISMIC BASE SHEAR: 7.3 kN
 WIND BASE SHEAR (LONGITUDINAL) = N/A
 WIND BASE SHEAR (TRANSVERSE) = N/A (OPEN STRUCTURE - NO CLADDING PERMITTED)

LOCATION	CASE	VERTICAL	HORIZONTAL
MIDDLE COLUMN (kN)	DEAD	10.3	0.1
	SNOW	31.2	0.4
	WIND (L)	-32.2	0.2
	WIND (T)	14.4	0.2
	SEISMIC		2.5
CORNER COLUMN (kN)	DEAD	2.3	0.1
	SNOW	2.8	0.3
	WIND (L)	-4.8	0.3
	WIND (T)	2.2	0.2
	SEISMIC	0.1	2.5

- * LOADS ARE UN-FACTORED
- * L IS PARALLEL TO THE MAIN BLDG WALL
- * T IS PERPENDICULAR TO MAIN BLDG WALL
- * +/- TO BE CONSIDERED FOR WIND AND SEISMIC
- * + IS DOWNWARD LOAD



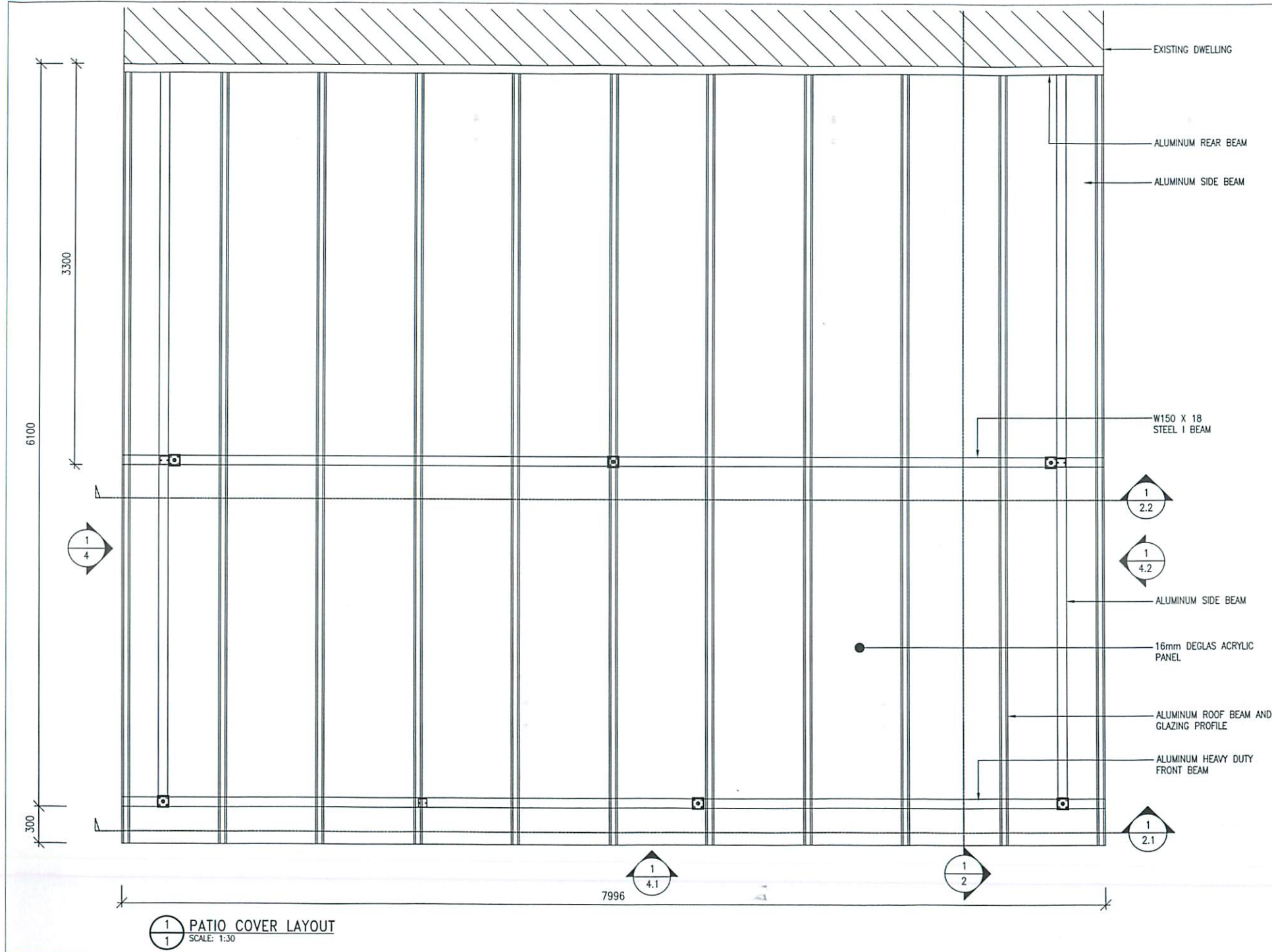
ENGINEER SEAL

REV. No.	REVISION	REV. DATE :

RUTHGERUS JACOBUS DAMEN
 36 CRANMORE CT

TITLE

PROJECT No.	50450326
DATE :	11 JAN 2021
DRAWN BY :	RH
DRAWING :	T



1 PATIO COVER LAYOUT
SCALE: 1:30



600 ZENWAY BLVD, UNIT 5
VAUGHAN, ONTARIO L4H 3M9
P: 877-707-7427 F: 877-258-7977



ENGINEER SEAL

REV. No.	REVISION	REV. DATE

RUTHGERUS JACOBUS DAMEN
36 CRANMORE CT

PATIO COVER LAYOUT

PROJECT No.	50450326
DATE :	11 JAN 2021
DRAWN BY :	RH
DRAWING :	1



600 ZEDWAY BLVD. UNIT 5
VAUGHAN, ONTARIO L4H 3M9
P: 877-767-7427 F: 877-258-7977



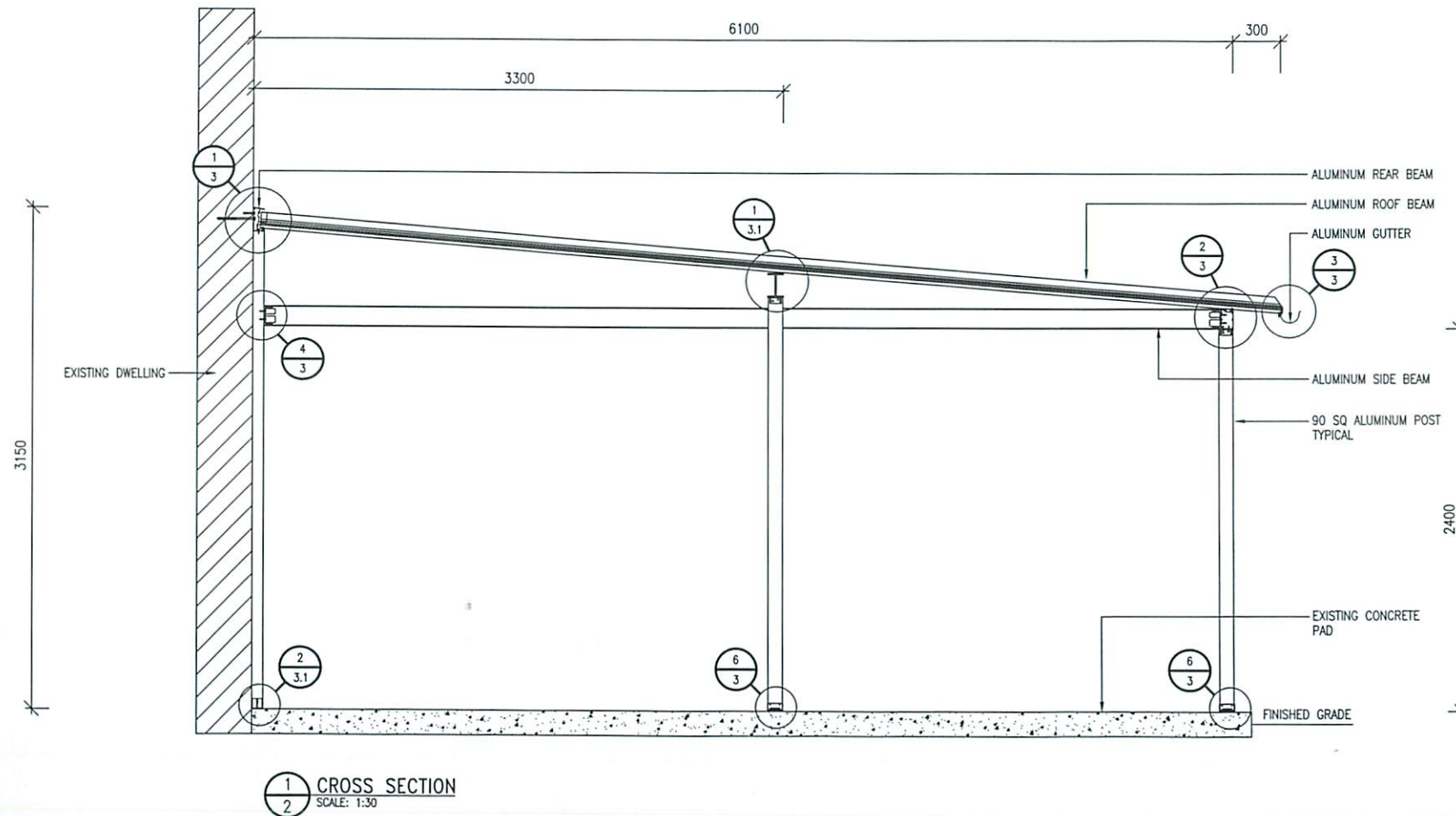
ENGINEER SEAL

REV. No.	REVISION	REV. DATE :

RUTHGERUS JACOBUS DAMEN
36 CRANMORE CT

CROSS SECTION

PROJECT No. 50450326
DATE : 11 JAN 2021
DRAWN BY : RH
DRAWING : 2





ENGINEER SEAL

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REV. No.	REVISION	REV. DATE :

RUTHGERUS JACOBUS DAMEN
36 CRANMORE CT

CROSS SECTION

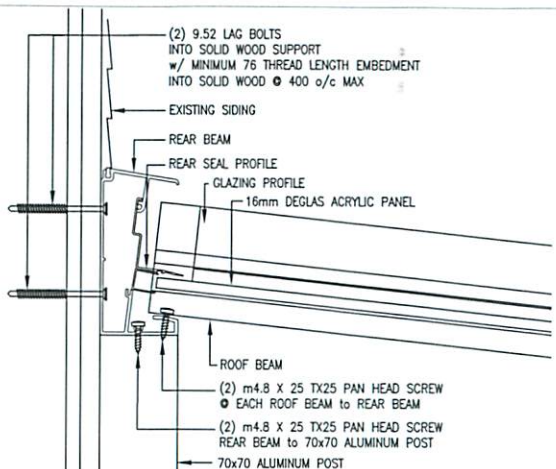
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DATE :	11 JAN 2021
DRAWN BY :	RH
DRAWING :	2.1

REV. No.	REVISION	REV. DATE

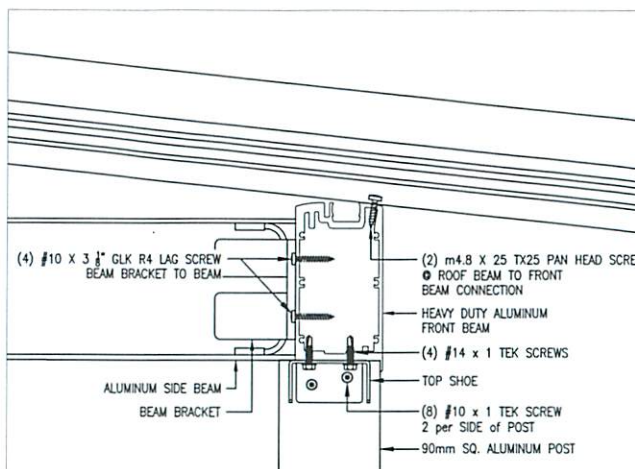
RUTHGERUS JACOBUS DAMEN
36 CRANMORE CT

DETAILS

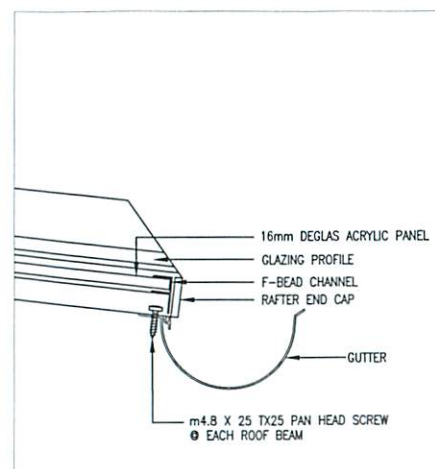
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DATE :	11 JAN 2021
DRAWN BY :	RH
DRAWING :	3



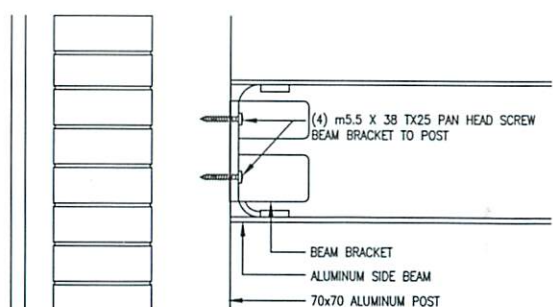
1 REAR BEAM DETAIL
SCALE: 1:5



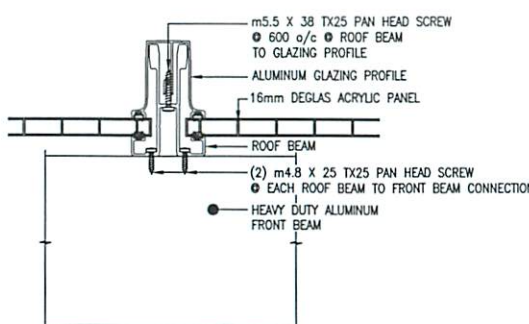
2 FRONT BEAM/POST DETAIL
SCALE: 1:5



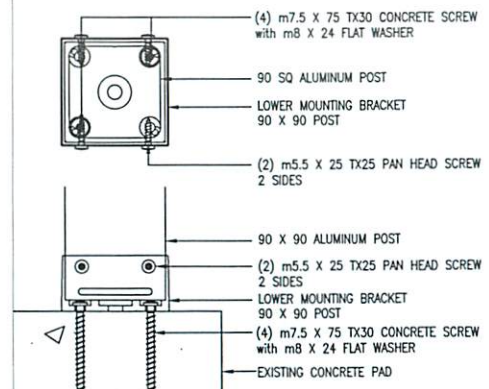
3 GUTTER DETAIL
SCALE: 1:5



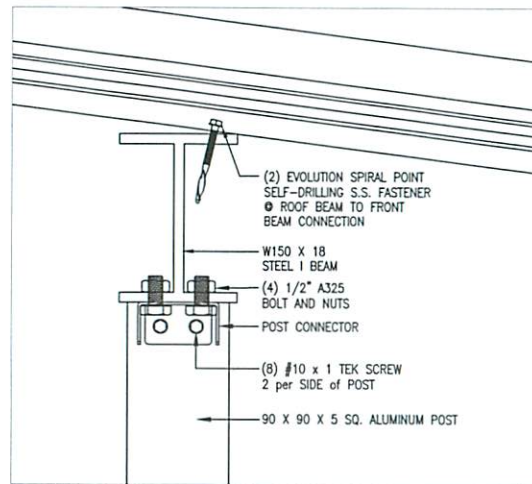
4 SIDE BEAM DETAIL
SCALE: 1:5



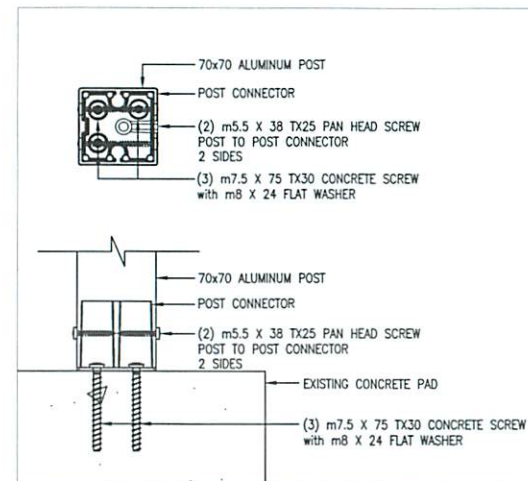
5 ROOF BEAM DETAIL
SCALE: 1:5



6 POST BASE DETAIL
SCALE: 1:5



1
3.1 INTERMEDIATE BEAM/POST DETAIL
SCALE: 1:5



2
3.1 POST BASE DETAIL
SCALE: 1:5



600 ZENWAY BLVD, UNIT 5
VAUGHAN, ONTARIO L4H 3M9
P: 877-707-7427 F: 877-256-7977



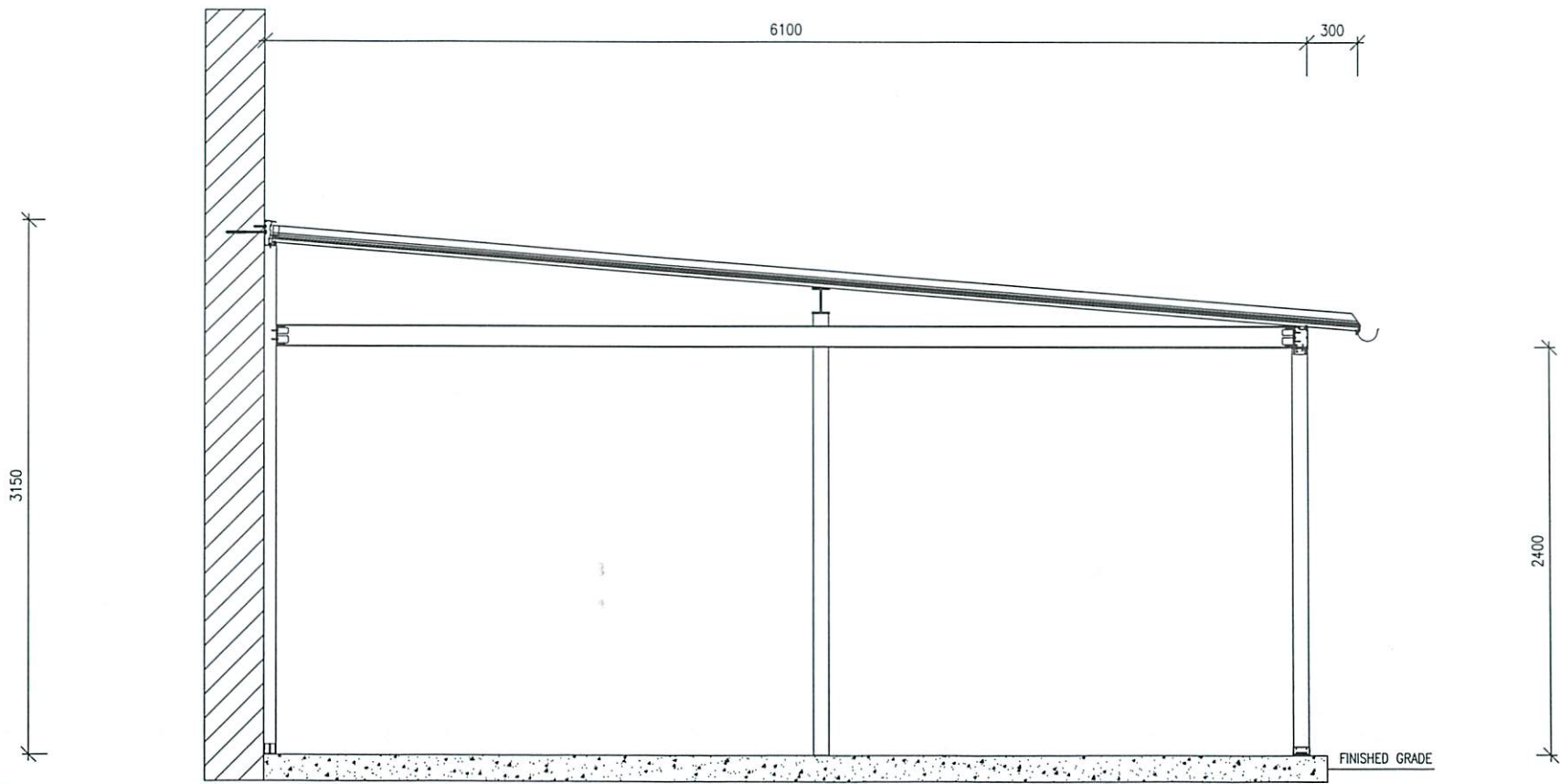
ENGINEER SEAL

REV. No.	REVISION	REV. DATE :

RUTHGERUS JACOBUS DAMEN
36 CRANMORE CT

DETAILS

PROJECT No.	50450326
DATE :	11 JAN 2021
DRAWN BY :	RH
DRAWING :	3.1



1
4 ELEVATION
SCALE: 1:30



600 ZENWAY BLVD. UNIT 5
VAUGHAN, ONTARIO L4H 3M5
P: 877-707-7427 F: 877-256-7977



ENGINEER SEAL

REV. No.	REVISION	REV. DATE

RUTHGERUS JACOBUS DAMEN
36 CRANMORE CT

ELEVATION

PROJECT No.	50450326
DATE :	11 JAN 2021
DRAWN BY :	RH
DRAWING :	4



600 ZENKAY BLVD. UNIT 5
VAUGHAN, ONTARIO L4H 3M9
P: 877-707-7427 F: 877-238-7977



ENGINEER SEAL

REV. No.	REVISION	REV. DATE :

RUTHGERUS JACOBUS DAMEN
36 CRANMORE CT

ELEVATION

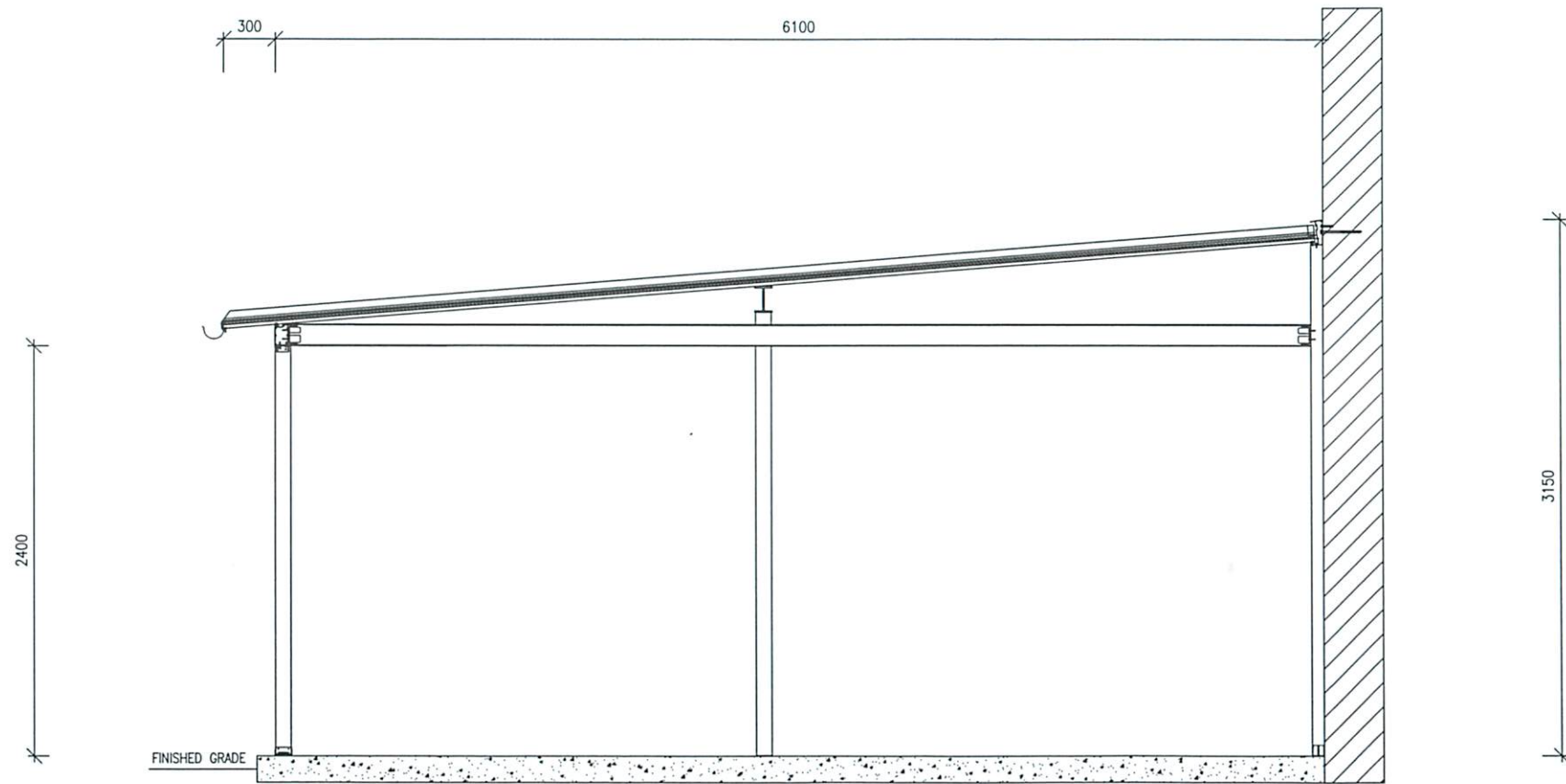
PROJECT No.	50450326
DATE :	11 JAN 2021
DRAWN BY :	RH
DRAWING :	4.1

7996 - BEAM LENGTH

3150

FINISHED GRADE

1
4 ELEVATION
SCALE: 1:30



1 ELEVATION
4.2 SCALE: 1:30



600 ZENWAY BLVD, UNIT 5
VAUGHAN, ONTARIO L4H 3M9
P: 877-707-7427 F: 877-258-7977



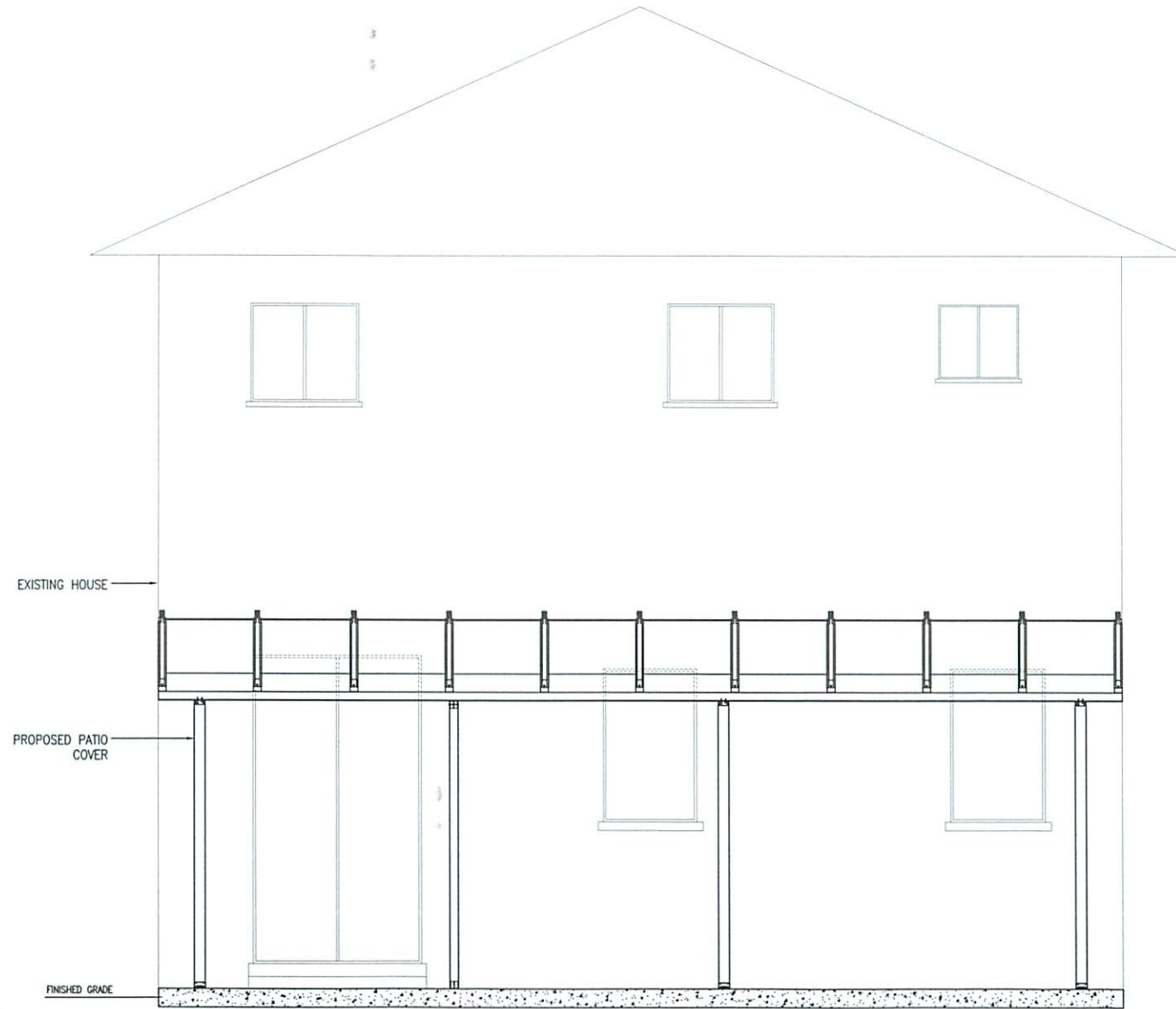
ENGINEER SEAL

REV. No.	REVISION	REV. DATE :

RUTHGERUS JACOBUS DAMEN
36 CRANMORE CT

ELEVATION

PROJECT No.	50450326
DATE :	11 JAN 2021
DRAWN BY :	RH
DRAWING :	4.2



1
5 BUILDING ELEVATION
SCALE: 1:40



600 ZENWAY BLVD, UNIT 5
VAUGHAN, ONTARIO L4H 3M9
P: 877-707-7427 F: 877-258-7977



ENGINEER SEAL

REV. No.	REVISION	REV. DATE :

RUTHGERUS JACOBUS DAMEN
36 CRANMORE CT

ELEVATION

PROJECT No.	50450326
DATE :	11 JAN 2021
DRAWN BY :	RH
DRAWING :	5

**BUILDING LOCATION SURVEY OF
LOTS 74, 75 AND 76
PLAN 43M-546
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL**

SCALE 1 : 300

0 5 10 20 30 Metres

ANTON KKAS LIMITED
ONTARIO LAND SURVEYORS
1984

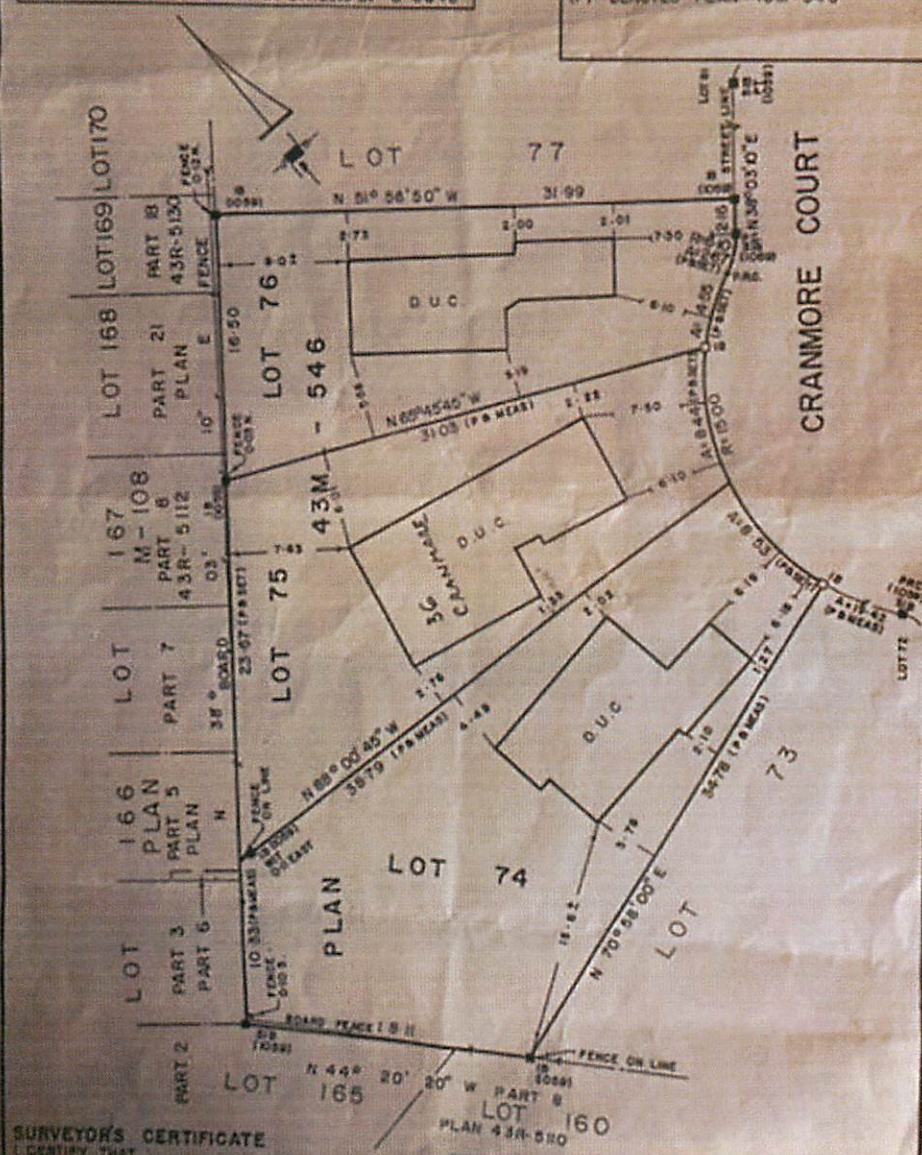
METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

NOTES

BEARINGS ARE ASTRONOMIC AND ARE
REFERRED TO THE NORTHEASTERLY LIMIT
OF LOT 76 AS SHOWN
ON PLAN 43M-546 HAVING A
BEARING OF N 51°56'50" W.
BUILDING TIES SHOWN HEREON ARE TO
CONCRETE FOUNDATION UNLESS NOTED
OTHERWISE

LEGEND

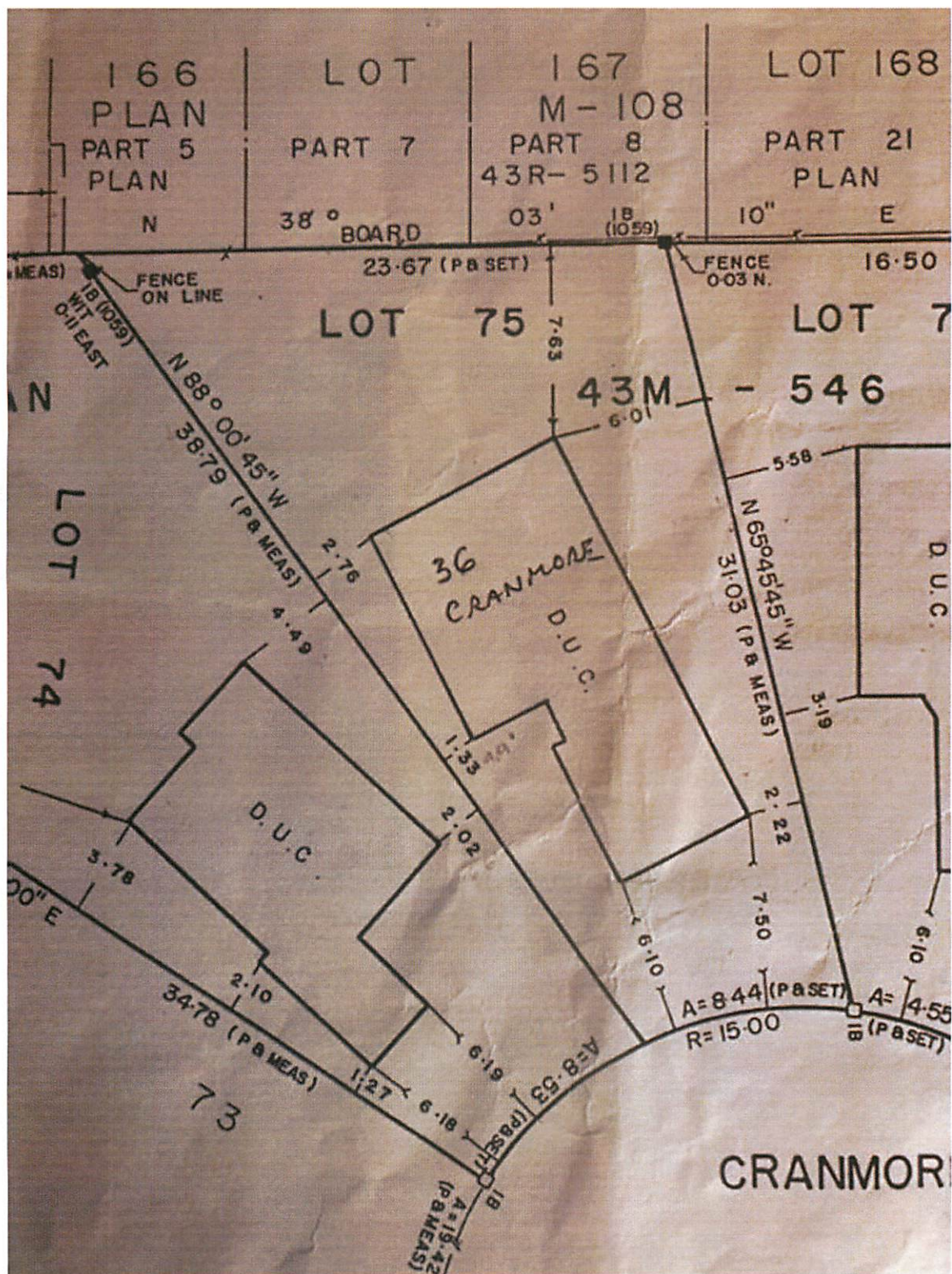
■ DENOTES SURVEY MONUMENT FOUND
□ DENOTES SURVEY MONUMENT SET
SIB DENOTES STANDARD IRON BAR
IB DENOTES IRON BAR
D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
(0059) DENOTES W.M. FENTON - O.L.S.
(P) DENOTES PLAN 43M-546

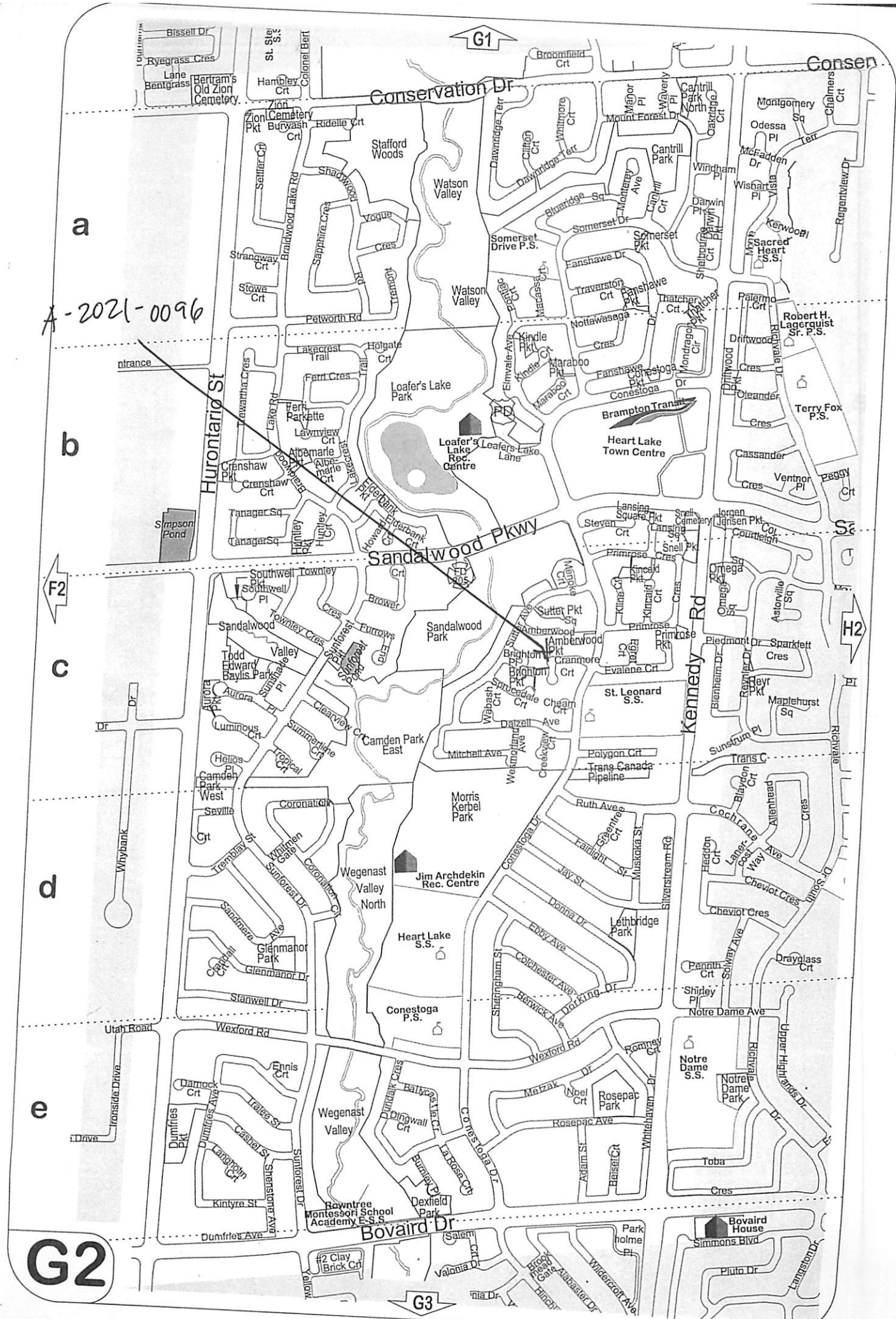


SURVEYORS CERTIFICATE

I CERTIFY THAT

THE PLAN





a

A-2021-0096

b

F2

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G2

G1

G3