



11687 Chinguacousy Road, Brampton, Ontario

Robert Hall House

Issued: February 2021

HERITAGE IMPACT ASSESSMENT

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1.0 INTRODUCTION TO THE REPORT

1.1 EXECUTIVE SUMMARY

AREA, Architects Rasch Eckler Associates Ltd. (AREA) was retained by TFP Mayching Developments Ltd. ('owner') (an associate company of Paradise Developments) to prepare this Heritage Impact Assessment report (HIA) for the property municipally known as 11687 Chinguacousy Road, Brampton, Ontario, and legal description: PT LT 17 CON 2 WHS CHINGUACOUSY PART 3, 43R15957; SAVE AND EXCEPT PART 1, PLAN 43R35275; SUBJECT TO AN EASEMENT IN GROSS OVER PARTS 1 & 2, PLAN 43R37101 AS IN PR2947960; SUBJECT TO AN EASEMENT IN GROSS OVER PART 1, PLAN 43R37492 AS IN PR3170995; CITY OF BRAMPTON. The property is located at the southeast corner of Mayfield Road and Chinguacousy Road ("subject site" or "Robert Hall House"), is bound by single family residential developments to the north, agricultural land to its west, an open space and flood plain area to its immediate south and west. Medium-density residential development on the lands west of the subject property are under construction as per the current zoning.

The first version of the HIA report ('HIA January 2013') for the subject property was previously submitted to City Staff in January 2013. At the time, the assessment carried out under contract to a different owner-developer, PenEquity Realty Corporation, for submission to the City of Brampton as part of the Block Plan Studies in conjunction with the City's Mount Pleasant Secondary Plan process, the Official Plan Amendment (OPA), Zoning By-law Amendment (ZBA) and Draft Plan of Subdivision (DPS) supported a large commercial development. However, this proposal was never implemented. The ownership of the subject lands was recently transferred to the current owner TFP Mayching Developments Ltd. in 2021. This particular version of the HIA ('HIA February 2021') reflects the change in ownership, in congruous to the progress and the review processes of the subject development proposal.

The subject site is approximately 19.92 acres in area and is located at the southeast corner of Chinguacousy Road and Mayfield road. The property at **11687 Chinguacousy Road** consists of a nineteenth-century limestone residence, also referred to in this report and in other official documents as the **Robert Hall House**. The south portion of the site previously also included an inferred barn, up to four (4) silos, two (2) buildings inferred to be used for agricultural related purposes, a salt shed, and a drive shed, all of which had been demolished by a previous owner at the time of this assessment.¹

The time of the house construction may have occurred under either of the owners of the 1870's, being Charters Nicholl or Robert Hall. Site investigations confirmed the original portions of the house structure as a one-and-a-half storey limestone farm residence (Figures 14 & 15). Several exterior additions/alterations to the building envelope were generally comprised of:

- Replacement of the entry porch in wood construction on the north side (1969, 'Wood Porch');
- Removal of the red brick extension on the west side (1979, 'Monkman Addition'); and

¹ Phase One Environmental Site Assessment, 11687 Chinguacousy Road, Southern Block Brampton, Ontario, DS Consulting Ltd. (December 2020)

- Removal of the two-storey wood-clad addition on the east side (1991, 'Pseudo-Gothic Addition').

The latest addition is clearly a poor reinterpretation of historical style(s) because of incongruous combination of classical elements (i.e., semi-circular and oval gable windows) with Carpenter Gothic board-and-batten cladding. So, in assessing the heritage value of the house, only the original c. 1875 house, consisting of the "middle" limestone structure, was determined to have sufficient historical integrity.

City Heritage staff identified in their Listing Report, and to the client that the primary cultural heritage resource within this parcel is only the "19th Century stone farmhouse." The farm landscape (including trees) and the other outbuildings – barns, shed, etc. – are not identified as part of the property's heritage significance and are therefore only discussed briefly in this report. The property is included on the City of Brampton's heritage municipal register of Cultural Heritage Resources ('CHR') as it contains an 1870s Georgian limestone residence.

The development proposal will be governed under several planning policy documents as supported by and include the Planning Act itself to provide controls, supplementary to the Ontario Heritage Act ('OHA'), and appropriate regulatory framework in balancing heritage aspects with other planning issues. In a macro-level scale, the current stage of the approved process for this development involves the implementation of the Mount Pleasant Secondary Plan (MPSP) into the Official Plan Amendment (OPA). These and other submissions for various applications will require the City's Planning & Development Department approval with the input of heritage staff, the BHB Committee and ultimately Council. Therefore, at milestones in the development process, the City heritage authority will have the opportunity to review and approve the heritage aspects of this project.

AREA, in conjunction with the other consultants for the development, will provide its heritage expertise to prepare the various aspects of the heritage feature(s) design to satisfy City requirements. This is part of AREA's comprehensive architectural heritage consultant responsibilities for this project. It is recommended that the proposed mitigation strategies for the Robert Hall House be incorporated into the proposed mixed-use development and be approved 'in principle' by the Brampton Heritage Board (BHB) to proceed onto the more technical details described in this report.

This HIA concludes that:

- The Robert Hall House has cultural heritage value or interest as a unique example of a 1 ½ storey 19th-century Georgian style residence, for its high degree of craftsmanship and historical integrity;
- Through alteration, preservation and restoration, the proposed development will not result in significant direct and indirect impacts to the heritage attributes of Robert Hall House.

To ensure the long-term sustainability and use of Robert Hall House as a valued built heritage resource, AREA recommends to:

- Relocate the house to a new lot within the proposed development and demolish other structures on the subject property that have no heritage value. The proposed new location for the heritage house shown in the subdivision draft plan is optimal from a heritage assessment of the considered alternatives.
- Prepare and implement a Heritage Building Protection Plan (HBPP) and Heritage Conservation Plan (HCP) for the cultural heritage resource, per the City of Brampton Terms of Reference.
- Designate the Robert Hall House at its associated new location within the property under Part IV of the Ontario Heritage Act and install a commemorative plaque.

1.2 METHODOLOGY OF HIA REPORT

This HIA was prepared based on the City of Brampton's Terms of Reference for HIAs as well as best practice in Ontario municipalities. The scope of this HIA report involves the evaluation of the existing heritage resources and the impact on them from the proposed development on and around the subject property.

Archival research, site and building investigations were also incorporated as part of AREA's comprehensive heritage consulting services. Representatives of AREA undertook site visits on December 18, 2009, on September 18, 2012 for the previously submitted HIA ('HIA January 2013') and, more recently, November 5th 2020 ('HIA December 2020') to view and photograph the subject property, later modern additions, and their surroundings.

Historical research for this report was referred to and incorporated from 'HIA January 2013' and derived from secondary sources, such as the City's *Listing Report* relating to the subject property. Additional background research for this report was based on information gathered from available registry office records, historical maps, census records, and other published materials accessed at the Peel Land Registry Office (LRO) and the Peel County Archives located in Brampton, or accessed online. Furthermore, the Brampton *Heritage Register* was consulted online to determine if the property is a recognized, designated or protected cultural heritage property. The consultants also conducted discussions and e-mail correspondence with and obtained earlier photographs and documents from the former property owners, Neil and Lori Monkman (Figures 13, 14, & 15).

Further historical research for this report was based on property background information included in existing Archeological Reports, Topographic Study, Environmental Assessments, Geotechnical Studies, Hydrogeological Reports and Cultural Heritage Report relating to the subject lands. Additional background research for this report was based on information gathered from available Land Registry records, historical maps, aerial photographs, census records and other published materials. The property owner has retained Glen Schnarr and Associates Inc. (GSAI) as consulting planner for the development approval applications.

The scope of this HIA report involves the evaluation of the existing house structure on the property, its history and context and the proposed development and its impact on the site using *Ontario Regulation 9/06*. The format and content of this HIA generally follow the guidelines suggested in the "Heritage Resources in the Land Use Planning Process" contained in the *Ontario Heritage Tool Kit* as follows:

- Historical Research, Site Analysis and Evaluation
- Identification of the Significance and Heritage Attributes of the Cultural Heritage Resource
- Description of the Proposed Development or Site Alteration
- Measurement of Development or Site Alteration Impact
- Consideration of Alternatives, Mitigation and Conservation Methods
- Implementation and Monitoring
- Summary Statement and Conservation Recommendations

This same content list is incorporated in the City's HIA Terms of Reference cited above (Appendix C). The provincial guideline will be used as a general outline for this report. These content requirements are incorporated into this report except for some changes to section numbering and titles as applicable to the subject property and project. This HIA is being submitted in compliance with the requirements of the Ontario Heritage Act (OHA), and by Council through the Municipal Register. It also references technical drawings, heritage policies, historical documents and applicable references of the municipality associated with the subject property, other provincial and municipal heritage standards and guidelines, as well as archive documents from various sources. These references include but are not limited to:

- Stage 1&2 Archaeological Assessment of Part of West Half of Lot 17, Concession W.H.S., City of Brampton, Regional Municipality of Peel, (Geographic Township of Chinguacousy, County of Peel), The Archaeologists Inc., January 2011
- City of Brampton's Cultural Heritage Impact Assessment, Terms of Reference ("HIA-ToR"), (Appendix C)
- City of Brampton Official Plan ('OP'), 2006 (with September 2020 Office consolidation)
- City of Brampton's Municipal Register of Cultural Heritage Resources 'Listed' Heritage Properties (2020)
- Development Concept Plan, Glen Schnarr & Associates Inc. (GSAI) November 2020 (Appendix D)
- Phase One Environmental Site Assessment (ESA) 11687 Chinguacousy Road, Southern Block Brampton, Ontario, DS Consultants Ltd., December 2020
- Geotechnical Investigation Lot 17 Concession 2 WHS, 11687 Chinguacousy Road, Brampton, Terraprobe Inc., October 2006
- Ontario Heritage Act ('OHA');
- Ontario Heritage Tool Kit (OHTK), Ontario Ministry of Culture (now Tourism, Culture, and Sport), 2006;
- PRE-Development Consultation Application, Consolidated Comment Report, Planning & Development Services, the City of Brampton (File: PRE-2020-0148), December 2020
- Provincial Policy Statement ('PPS') of the Planning Act, with revisions up to 2020
- Urban Design Addendum to Mount Pleasant Block Plan 51-2 CDG, John G. Williams Limited Architect & Strybos Barron King Ltd., Landscape Architecture, January 2021

The assessment process of this report will reference the above-listed reports, drawings and heritage conservation standards for managing the heritage resource of the Robert Hall house. Among the figures in the report, all current photographs were taken by the authors of this HIA from their site visits unless indicated otherwise. This HIA will form part of the subsequent local OPA, ZBA development applications and future SPA application, subject to the review of the Brampton Heritage Board ("BHB"), and ultimately, the Council.

David Eckler, B.E.S., B.Arch., OAA, MRAIC of *AREA*, whose curriculum vitae and firm profile are attached (Appendix E) is the primary author responsible for the overall preparation and recommendations of this HIA. Historical research and assessment support were provided by Robert J. Burns, Ph.D. CAHP, who was engaged by *AREA* as a sub-consultant historian, to research the historical background of this property which has been incorporated into this report. (Robert J. Burns, Appendix E).

1.3 PROJECT DESCRIPTION

In November 2020, Glen Schnarr & Associates Inc. (GSAI, 'Applicant') applied for a PRE-Application Consultation Meeting ('PRE-2020-0148') to the City of Brampton's Planning and Development Services Department to discuss and receive guidance about Choice Properties' intention to propose a mixed-land use development and initiate the preparation of the Application to Amend local Official Plan (OPA), the Zoning By-law (ZBL) and a concurrent Draft Plan of Subdivision Application. To support the planning applications, the heritage submission will comprise a Heritage Impact Assessment report (HIA) to address the City's heritage policies and guidelines. Since the property is listed as a heritage property by the municipality, this HIA was required as part of GSAI's development application package. This development proposal anticipates the addition of a total of 260 new dwellings not including the new lot for the Robert Hall House supplemented with a mixed use/ medium density residential / convenience commercial block, NHS Channel block and multiple open space areas, covering a total Site Area of 19.92 acres (8.06 hectares).

The proposed development includes converting agricultural lands on the south-east side corner of Mayfield Road and Chinguacousy Road of the Mount Pleasant Secondary Plan area. The proposal further includes the retention and relocation of the subject property's-built heritage resource on a new lot within the same site fronting Chinguacousy Road. The historic building will be protected, restored and reused as a single-family dwelling for the proposed residential development. The proposed new uses for the site are illustrated in the PRE-Consultation Development Concept Plan, prepared by GSAI. The proposed development contemplates a mix of uses including single detached dwellings, a range of townhouse dwellings, a 1.03 hamixed use/ medium density residential / convenience commercial block, NHS Channel block and multiple open space areas. The existing cultural heritage resource ('CHR') is proposed to be relocated on-site near the southeast corner of Clockwork Drive and Chinguacousy Road, adjacent to the walkway and servicing block (Appendix D).

After reviewing the proposal, the City issued a Consolidated Comment Report² for this PRE-Development Consultation Application dated December 9th 2020. The following comments were provided by City staff as part of the Heritage review:

"Prior to the enactment of the amending Zoning By-law, the following shall be required to the satisfaction of Heritage staff:

- Studies/Documentation;
- Heritage Impact Assessment;
- Heritage Conservation Plan with Structural Assessment;

² Consolidated Comment Report, Planning & Development Services, City of Brampton (File: PRE-2020-0148)

- Heritage Building Protection Plan; and,
- An executed Heritage Easement Agreement.

The lands containing the Cultural Heritage Resource shall be designated as part of the development approval.”

Through heritage listing, selected properties are implemented with heritage protection tools. For the subject property, this HIA report is required to form part of a local Official Plan Amendment (OPA), a Zoning By-Law Amendment (ZBA) application and subsequent Site Plan Application (SPA).

The following are the city comments from other technical groups pertaining to the heritage house:

1. Development Review

‘The Official Plan also indicates that this site exhibits heritage value and is designated as a ‘Class B Heritage Resource’. On-site retention of heritage resources is preferred before resorting to relocation. Studies as outlined in the Heritage Section of this report are required to demonstrate that the heritage resource and its attributes are not adversely affected as a result of the proposed development. Appropriate measures to mitigate impacts on the heritage resource shall be implemented as part of any development approval.’

Impacts by the proposed development, the considered conservation strategies and mitigation options have been listed and studied as a part of this report (Section 7 & 8).

2. Park Planning Review

‘At 0.07 ha, the proposed “Heritage Park” Block 60 is well below our smallest park category size (the Vest Pocket Park has a size range of 0.40 to 0.60 ha). It’s the same size as the other walkway blocks on this plan and should just be considered as a walkway with some upgraded treatments.’

A walkway and servicing block has now been provided in place of the previously proposed heritage parkette.

3. Open Space Development Review

‘Heritage staff shall be consulted to finalize the proposed relocation of the heritage home.’

Heritage staff was consulted. This Heritage Impact Assessment (HIA) is thus required to identify and assess the impacts of the proposed undertaking for the property at 11687 Chinguacousy Road in Brampton that involves the retention, restoration and relocation of the historic Robert Hall House building and construction of a mixed-use development and address the issues identified under City Comments above.

Following the guidelines provided by the Ministry of Heritage, Sport, Tourism and Culture Industries (MHSTCI), the City of *Brampton Official Plan and Heritage Impact Assessment Terms of Reference*, and Parks Canada’s *Standards and Guidelines for the Conservation of Historic Places in Canada (2010)*, this HIA identifies the heritage policies applicable to new development, summarizes the property’s geography and history, and provides an inventory and evaluation of the property’s built features. Based on this understanding of the property, the potential impacts resulting from the proposed development are assessed and future conservation actions are recommended. The following section lists the provincial and municipal policies that are applicable and relevant for the subject property and its associated redevelopment.

2.0 POLICY FRAMEWORK

The subject property at 11687 Chinguacousy Road, Brampton is subject to several provincial and municipal heritage planning policies. The subject property is designated 'Residential' on Schedule A - General Land Use designations in the Brampton Official Plan, which permits predominantly residential land uses including a full range of dwelling types. Furthermore, the subject property is located within the 51 Mount Pleasant Secondary Plan Area, as defined Schedule G – Secondary Plan Areas in the Brampton Official Plan, and is designated 'Low/Medium Density' and 'Listed Heritage Property'³ (Figure 1). The low/medium-density designation allows for single-detached, semi-detached, townhouses and lane-based townhouse structural types, stormwater management facilities and other infrastructure, places of worship, schools and parks.⁴ The Robert Hall Housebuilding located on the subject property has been designated as a 'Heritage Resource' and will be incorporated into the proposed development. Several provincial and municipal heritage planning policies should be considered during the decision-making process in the cultural heritage environment. The following policies are relevant to the proposed development:

2.1 PROVINCIAL POLICY STATEMENT (PPS, 2020)

The PPS 2020 identifies conservation of resources of significant architectural, cultural, historical, archaeological, or scientific interest as a provincial interest and it further recognizes that protecting cultural heritage and archaeological resources has economic, environmental, and social benefits, and contributes to the long-term prosperity, environmental health, and social well-being of Ontarians. The following sections of the PPS 2020 recognize the importance of identifying and evaluating built heritage and cultural heritage landscapes:

2.6 Cultural Heritage and Archaeology

2.6.1 *Significant built heritage resources and significant cultural heritage landscapes shall be conserved.*

2.6.3 *Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.*

PPS 2020 defines *significant resources* in regard to cultural heritage and archaeology resources that have been 'determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the *Ontario Heritage Act* and *conserved* means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a

³ Brampton Maps. Accessed from: <https://geohub-brampton.opendata.arcgis.com/pages/maps/>

⁴ Land Use Policies – Low and Medium Residential. Mount Pleasant Secondary Plan, Secondary Plan Area 51. (Office Consolidation February 2017), City of Brampton. Retrieved from: <https://www.brampton.ca/EN/Business/planning-development/policies-master-plans/secondary%20plans/SPA51%20Mount%20Pleasant.pdf>

manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decisionmaker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.

Built heritage resources, cultural heritage landscapes, heritage attributes, and protected heritage property are also defined in the PPS 2020:

Built heritage resources: means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on property that may be designated under Parts IV or V of the *Ontario Heritage Act*, or that may be included on local, provincial, federal and/or international registers.

Cultural heritage landscape: means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the *Ontario Heritage Act*, or have been included on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms.

Heritage attributes: means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g. significant views or vistas to or from a *protected heritage property*).

Protected heritage property: means property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites.

For municipalities, PPS 2020 is implemented through an 'Official Plan' which may outline further heritage policies (see Section 2.5.1).

2.2 A Place to Grow - Growth Plan for The Greater Golden Horseshoe (Office Consolidation 2020)

The Greater Golden Horseshoe (GGH) is one of the North America's fastest growing regions. The GGH City Region includes the City of Toronto and 15 surrounding counties. The subject property is located within the identified 'Urban System' in the Region of Peel (Region of Peel Official Plan Schedule D). Like other provincial plans, this Plan builds upon the policy foundation provided by the PPS and provides additional and more specific land use planning policies to address issues

facing specific geographic areas in Ontario. This Plan is to be read in conjunction with the PPS. The policies of this Plan take precedence over the policies of the PPS to the extent of any conflict, except where the relevant legislation provides otherwise.⁵

The following guidelines and policies stated under Section 4.2.7 *Cultural Heritage Resources* of the Growth Plan for GGH⁶ (August 2020 Consolidation) are applicable and relevant for the subject property and its associated redevelopment:

1. *Cultural heritage resources will be conserved in order to foster a sense of place and benefit communities, particularly in strategic growth areas.*

2.3 Region of Peel Official Plan (ROP OP, Office Consolidation 2018)

The Regional Official Plan (ROP) is a long-term plan used to manage Peel's growth and development. It is a public document which provides *Regional Council* a policy framework for decision making and sets the regional context for more detailed planning by protecting the environment, managing resources and directing growth.

The subject property is located within the Region of Peel's "Urban System" (Region of Peel Official Plan Schedule D – Regional Structure). The subject property is also located within a "Designated Greenfield Area". Moreover, the subject property is situated proximally to an "Other Rapid Transit Corridor" as show on Schedule G – Rapid Transit Corridors of the Region of Peel Official Plan. The following guidelines and policies stated under Section 3.6 *Cultural Heritage* of the ROP OP⁷ (Office 2018 Consolidation) are applicable and relevant for the subject property and its associated redevelopment:

- 3.6.2.4 *Require and support cultural heritage resource impact assessments, where appropriate, for infrastructure projects, including Region of Peel projects.*

- 3.6.2.8 *Direct the area municipalities to only permit developments and site alteration on adjacent lands to protected heritage property where the proposed property has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.*

2.4 The Ontario Heritage Act and Ontario Regulation 9/06

The Province and municipalities are enabled to conserve significant individual properties and areas through the *Ontario Heritage Act (OHA)*. Under Part III of the OHA, compliance with the Standards and Guidelines for the Conservation of Provincial Heritage Properties is mandatory for Provincially-owned and administered heritage properties.

⁵ Relationship with PPS 2020, Place to Grow Growth Plan for The Greater Golden Horseshoe Office Consolidation 2020. Retrieved from: <https://files.ontario.ca/mmah-place-to-grow-office-consolidation-en-2020-08-28.pdf>

⁶ Cultural Heritage Resources, Place to Grow Growth Plan for The Greater Golden Horseshoe Office Consolidation 2020. Retrieved from <https://files.ontario.ca/mmah-place-to-grow-office-consolidation-en-2020-08-28.pdf>

⁷ Cultural Heritage, Region of Peel Official Plan (Office Consolidation 2018). Retrieved from: https://www.peelregion.ca/planning/officialplan/pdfs/ropdec18/ROPConsolidationDec2018_TextSchedules_Final_TE_XT.pdf

For municipalities, Part IV and Part V of the *OHA* enables councils to 'designate' individual properties (Part IV), or properties within a heritage conservation district (HCD) (Part V), as being of 'cultural heritage value or interest' (CHVI). Evaluation for CHVI under the *OHA* is guided by *Ontario Regulation 9/06*, which prescribes the *criteria for determining cultural heritage value or interest*. The criteria are as follows:

1. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 29 (1) (a) of the Act.

(2) A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:
 1. The property has **design value or physical value** because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.
 2. The property has **historical value or associative value** because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
 3. The property has **contextual value** because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark.

If a property meets one or more of these criteria, it may be eligible for designation under Part IV, Section 29 of the *OHA*. Once a property is placed on the Register, it gains public recognition, and a level of heritage due diligence is exercised for planning, building and/or demolition permit applications.

The City of Brampton maintains two registers⁸:

- 1) A register of properties that are designated cultural heritage resources under the *Ontario Heritage Act*. This register is known as the "**Municipal Register of Cultural Heritage Resources Designated under the *Ontario Heritage Act***".
- 2) A register of properties that are identified or "listed" as cultural heritage resources and may be considered for designation. This register is known as the "**Municipal Register of Cultural Heritage Resources**".

⁸ Heritage Registers, Brampton. Accessed from: <https://www.brampton.ca/EN/Arts-Culture-Tourism/Cultural-Heritage/Pages/Identification.aspx>

2.4.1 MINISTRY OF HERITAGE, SPORT, TOURISM AND CULTURE INDUSTRIES

As mentioned above, heritage conservation on provincial properties must comply with the MHSTCI *Standards and Guidelines for the Conservation of Provincial Heritage Properties*. To advise municipalities, organizations, and individuals on heritage protection and conservation, the MHSTCI developed the following:

- **Standards and Guidelines for Conservation of Provincial Heritage Properties**
These standards and guidelines set out the criteria and process for identifying provincial heritage properties and to set standards for their protection, maintenance, use and disposal.
- **Ontario Heritage Tool kit:**
The Ontario Heritage Tool Kit is a series of guides for municipal councils, municipal staff, Municipal Heritage Committees, land use planners, heritage professionals, heritage organizations, property owners and others. It was designed to help them understand the heritage conservation process in Ontario.⁹

The *Heritage Resources in the Land Use Planning Process* (MHSTCI) defines an HIA as follows: 'A heritage impact assessment (or equivalent study) is a study to determine if any cultural heritage resources (including those previously identified and those found as part of the site assessment) or in any areas of archaeological potential, are impacted by a specific proposed development or site alteration. It can also demonstrate how the cultural heritage resource will be conserved in the context of redevelopment or site alteration. Mitigative or avoidance measures or alternative development or site alteration approaches may be recommended.'

Determining the optimal conservation or mitigation strategy is further guided by the MHSTCI 'Eight guiding principles in the conservation of historical properties.

The following guiding principles for the conservation of historical properties are based on international charters that have been established over the past century:¹⁰

1. Respect for documentary evidence

Do not base restoration on conjecture. Conservation work should be based on historical documentation, such as historical photographs, drawings and physical evidence.

2. Respect for the original location

Do not move buildings unless there is no other means to save them. Site is an integral component of a building. Any change in site diminishes heritage value considerably.

3. Respect for historical material

⁹ Ontario Heritage Tool kit, Culture, Heritage, Ministry of Heritage, Sport, Tourism and Culture Industries. Accessed from: http://www.mtc.gov.on.ca/en/heritage/heritage_toolkit.shtml

¹⁰ Eight guiding principles in the conservation of historical properties, Ontario Heritage Trust. Accessed from: <https://www.heritagetrust.on.ca/en/pages/tools/tools-for-conservation/eight-guiding-principles>

Repair or conserve rather than replace building materials and finishes, except where absolutely necessary. Minimal intervention maintains the historical content of the resource.

4. Respect for original fabric

Repair with like materials, to return the resource to its prior condition without altering its integrity.

5. Respect for the building's history

Do not restore to one period at the expense of another. Do not destroy later additions to a house solely to restore it to a single time period.

6. Reversibility

Alterations should be able to be returned to original conditions. This conserves earlier building design and technique. For instance, when a new door opening is put in a stone wall, the original stones are numbered, removed and stored, allowing for future restoration.

7. Legibility

New work should be distinguishable from old. Buildings should be recognized as products of their own time, and new additions should not blur the distinction between old and new.

8. Maintenance

With continuous care, future restoration will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.

2.5 CITY OF BRAMPTON PLANS AND POLICIES

2.5.1 City of Brampton Official Plan Policies

Brampton's current Official Plan was adopted by City Council in October 2006 and approved by the Ontario Municipal Board (OMB) in October 2008. The updated September 2020 Office Consolidation includes OMB decisions and LPAT decisions that have resolved several of the appeals to the 2006 Official Plan as well as amendments made to reflect Council decisions.¹¹ The following guidelines and policies stated under Section 4.10 Cultural Heritage of the Brampton Official Plan¹² (September 2020 Consolidation) are applicable and relevant for the subject property and its associated redevelopment:

4.10.1.3 All significant heritage resources shall be designated as being of cultural heritage value or interest in accordance with the Ontario Heritage Act to help ensure effective protection and their continuing maintenance, conservation and restoration.

4.10.1.4 Criteria for assessing the heritage significance of cultural heritage resources shall be developed. Heritage significance refers to the aesthetic, historic, scientific, cultural, social or spiritual importance or significance of a resource for past, present or future generations. The significance of a cultural heritage resource is embodied in its heritage attributes and other character defining elements including: materials, forms, location,

¹¹ Brampton's current Official Plan. Accessed from: <https://www.brampton.ca/EN/City-Hall/Official-Plan/pages/official-plan-background.aspx>

¹² Built Heritage, Cultural Heritage, Policies, Brampton Official Plan (2006). Retrieved from: https://www.brampton.ca/EN/City-Hall/Official-Plan/Documents/Sept2020_Consolidated_OP_2006.pdf

spatial configurations, uses and cultural associations or meanings. Assessment criteria may include one or more of the following core values:

- Aesthetic, Design or Physical Value;*
- Historical or Associative Value; and/or,*
- Contextual Value.*

4.10.1.8 Heritage resources will be protected and conserved in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada, the Appleton Charter for the Protection and Enhancement of the Built Environment and other recognized heritage protocols and standards. Protection, maintenance and stabilization of existing cultural heritage attributes and features over removal or replacement will be adopted as the core principles for all conservation projects.

4.10.1.9 Alteration, removal or demolition of heritage attributes on designated heritage properties will be avoided. Any proposal involving such works will require a heritage permit application to be submitted for the approval of the City.

4.10.1.10 A Heritage Impact Assessment, prepared by qualified heritage conservation professional, shall be required for any proposed alteration, construction, or development involving or adjacent to a designated heritage resource to demonstrate that the heritage property and its heritage attributes are not adversely affected. Mitigation measures and/or alternative development approaches shall be required as part of the approval conditions to ameliorate any potential adverse impacts that may be caused to the designated heritage resources and their heritage attributes. Due consideration will be given to the following factors in reviewing such applications:

- (i) The cultural heritage values of the property and the specific heritage attributes that contribute to this value as described in the register;*
- (ii) The current condition and use of the building or structure and its potential for future adaptive re-use;*
- (iii) The property owner's economic circumstances and ways in which financial impacts of the decision could be mitigated;*
- (iv) Demonstrations of the community's interest and investment (e.g. past grants);*
- (v) Assessment of the impact of loss of the building or structure on the property's cultural heritage value, as well as on the character of the area and environment;*
and,
- (vi) Planning and other land use considerations.*

4.10.1.12 All options for on-site retention of properties of cultural heritage significance shall be exhausted before resorting to relocation. The following alternatives shall be given due consideration in order of priority:

- (i) On-site retention in the original use and integration with the surrounding or new development;*
- (ii) On site retention in an adaptive re-use;*
- (iii) Relocation to another site within the same development; and,*
- (iv) Relocation to a sympathetic site within the City.*

4.10.1.13 In the event that relocation, dismantling, salvage or demolition is inevitable, thorough documentation and other mitigation measures shall be undertaken for the heritage resource. The documentation shall be made available to the City for archival purposes.

4.10.1.18 The City's "Guidelines for Securing Vacant and Derelict Heritage Buildings" shall be complied with to ensure proper protection of these buildings, and the stability and integrity of their heritage attributes and character defining elements.

The following guidelines and policies stated under Section 4.11 Urban Design of the Brampton Official Plan¹³ (September 2020 Consolidation) are applicable and relevant for the subject property and its associated redevelopment:

4.11.3.2.9 Cultural heritage resources on sites subject to community revitalization shall be protected and restored in accordance with the Cultural heritage policies of this Plan.

4.11.4.7 (vi) Preservation: How the significant elements of the built and natural heritage shall be maintained and protected in new development. Some of the significant elements include:

- *Natural heritage features such as woodlots, valley lands and watercourse corridors, wetlands, and ponds,*
- *Built structures such as significant architecture,*
- *Cultural heritage features; and,*
- *Important views and vistas.*

2.5.2 City of Brampton Mount Pleasant Secondary Plan (Secondary Plan Area 51)

One of the primary goals of the Mount Pleasant Secondary Plan is to develop excellence in community living.¹⁴ The following guidelines and policies stated under Section 8.0 Cultural Heritage of the Mount Pleasant Secondary Plan (Secondary Plan Area 51)¹⁵ are applicable and relevant for the subject property and its associated redevelopment:

5.2.1.4 Buildings fronting onto Transit Spine Collector Road within Mixed Use Areas shall range in height from 3 to 6 storeys. Building heights within a "Convenience Retail", "Motor Vehicle Commercial", "Neighbourhood Retail", "Mixed Use Areas" or "School" designation may be less than 3 storeys but are encouraged to incorporate building mass and height approximating 2 storeys. One and two storey buildings are permitted through the remainder of the Mixed-Use Area. (OPA 2006- 055)

¹³ Built Heritage, Cultural Heritage, Policies, Brampton Official Plan (2006). Retrieved from:

https://www.brampton.ca/EN/City-Hall/Official-Plan/Documents/Sept2020_Consolidated_OP_2006.pdf

¹⁴ Section 4.2.6 Goals, ¹⁴ Mount Pleasant Secondary Plan, Secondary Plan Area 51. (Office Consolidation February 2017), City of Brampton. Retrieved from: <https://www.brampton.ca/EN/Business/planning-development/policies-master-plans/secondary%20plans/SPA51%20Mount%20Pleasant.pdf>

¹⁵ Mount Pleasant Secondary Plan, Secondary Plan Area 51. (Office Consolidation February 2017), City of Brampton. Retrieved from: <https://www.brampton.ca/EN/Business/planning-development/policies-master-plans/secondary%20plans/SPA51%20Mount%20Pleasant.pdf>

8.1 Conservation of Cultural Heritage Resources within the Mount Pleasant Secondary Plan Area shall be undertaken in accordance with Appendix A of this Chapter and Section 4.10 and other relevant policies of the Official Plan.

8.2 Schedule SP51 (a) and Appendix A of this Chapter identifies Cultural Heritage Resources “Recommended for Retention” by the approved Mount Pleasant Secondary Plan Cultural Heritage Component Study. These resources are considered to be of cultural heritage value or interest and are recommended to be retained and conserved on their original sites, when deemed feasible from a structural, land use, programming and financial perspective. If it is not feasible to retain and conserve the resources on their original sites, then they may be relocated elsewhere, failing which they may be demolished in accordance with municipal requirements.

8.4 Cultural Heritage Resources will be identified for retention through the approved Heritage Study. The integration of identified Cultural Heritage Resources into new development proposals based on their original use or an adaptive reuse is to be guided by a suitable Conservation Plan for each property. City Council shall obtain and consider, but not necessarily be bound by the recommendation of the Brampton Heritage Board as to whether existing Cultural Heritage Resources should be retained, relocated or demolished. 8.5 Where a development proposal will impact a cultural heritage resource identified for retention by the approved Heritage Study, the City shall require the applicant to prepare a Heritage Resource Assessment which will indicate whether or not it is feasible from a structural, land use, programming and financial perspective, to preserve and conserve the resource, to the satisfaction of City Council.

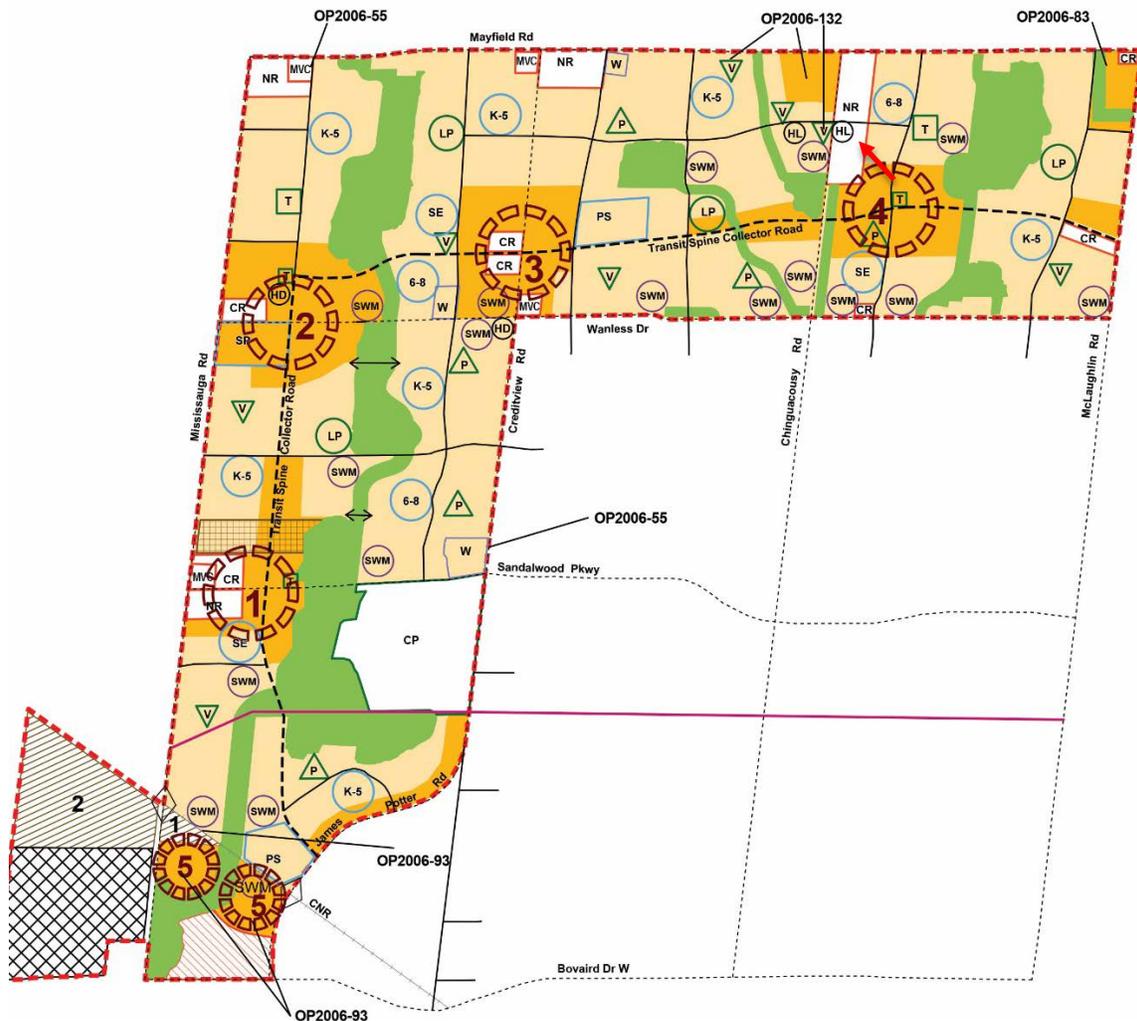
8.6 Assuming that the resource identified in Section 8.5 is worthy of retention and conservation, then the applicant shall prepare a detailed Conservation Plan outlining requirements for stabilization, conservation, restoration, reuse or adaptive reuse, prior to development approval to the satisfaction of City Council, including heritage designation under the Ontario Heritage Act, as appropriate.

8.7 All development adjacent to or incorporating a cultural heritage resource should, from a built form perspective be respectful of the resource, having regard for scale, massing, setbacks, materials and design features.

8.9 Landowners are required to adequately maintain, protect, and secure any cultural heritage resource identified for retention in the approved Heritage Study.

8.10 Those Cultural Heritage Resources identified for retention in the approved Heritage Study shall be subject to the standard subdivision financial security provisions. Upon completion of these conditions, to the satisfaction of the City, securities shall be reduced or released accordingly.

8.11 As a component of Block Plan Approval, the City shall adopt a strategic implementation plan for Cultural Heritage Resources. This plan will identify priority resources for conservation based on specific criteria, including but not limited to, historical merit, the financial feasibility of acquisition and long term maintenance, contextual merit, reuse or adaptive reuse potential and structural integrity.



LEGEND

ROAD NETWORK

- Transit Spine Collector Road
- Arterial Road
- Collector Road
- Potential Connection

NATURAL HERITAGE SYSTEM

- Natural Heritage System Area

RESIDENTIAL

- LOW / MEDIUM DENSITY
- MEDIUM DENSITY

INFRASTRUCTURE

- TransCanada Gas Pipeline
- CNR Rail Line
- ◇ Grade Separation
- SWM Stormwater Management Facility

INSTITUTIONAL

- K-5 Public Junior Elementary School Site
- 6-8 Public Senior Elementary School Site
- SE Separate Elementary School Site
- PS Public Secondary School Site
- SP Separate Secondary School Site
- W Place of Worship

RECREATIONAL OPEN SPACE

- CP City Park
- LP Local Park
- P Parkette
- T Town Square
- V Vest Pocket

RETAIL

- District Retail
- CR Convenience Retail
- NR Neighbourhood Retail
- MVC Motor Vehicle Commercial

OTHER

- HD Heritage Resource Designation under the Ontario Heritage Act
- HL Heritage Resource Listed on the City of Brampton Register of Heritage Properties
- Mixed Use Area
- Special Policy Area 1-2
- Peel Regional Police Association Special Policy Area
- Area Subject to this Amendment
- Osmington Special Policy Area (Mixed Use Centre)

Figure 1: Schedule SP 51(a) Mount Pleasant Secondary Area No.51, Brampton Maps.

Accessed from: <https://geohub-brampton.opendata.arcgis.com/pages/maps/>

(Annotated by AREA)

2.5.3 Zoning By-Law

The Brampton Property Report for 11687 Chinguacousy Road displays the existing zoning on the subject property as 'Agricultural' under the City of Brampton Zoning By-law 270 - 2004.¹⁶

SECTION 46.1 AGRICULTURAL ZONE – A

The lands zoned A on Schedule A to this by-law:

46.1.1 shall only be used for the following purposes:

(a) Agricultural

(1) agricultural purposes as defined in Section 5 of this by-law

(b) Non-Agricultural

(1) a single detached dwelling

(2) a group home type 1 or a group home type 2

(3) a cemetery

(4) an animal hospital

(5) a kennel

(6) a home occupation

(c) Accessory

(1) purposes accessory to the other permitted purposes

The proposed residential development is not currently permitted in the existing Mount Pleasant Secondary Plan land-use policies and provisions under Zoning By-law 270 - 2004. As a result, a local Official Plan Amendment and Zoning By-law Amendment are required to permit the proposed development. As such a new "Residential and Convenience Commercial" designation within Mount Pleasant Secondary Plan Area of the City of Brampton OP is proposed to alter the existing 'Neighbourhood Retail' zoning category. The proposed "Residential and Convenience Commercial" designation is intended to permit 260 new dwellings, not including the new lot for the Robert Hall House, supplemented with a mixed use/ medium density residential / convenience commercial block, NHS Channel block and multiple open space areas, covering a total Site Area of 19.92 acres (8.06 hectares).

To permit the proposed development, it is proposed that the subject property be rezoned from "Agricultural" to "A mix of residential, commercial and open space uses".

¹⁶ 11687 Chinguacousy Rd., Brampton Property Report. Retrieved from: https://www.brampton.ca/EN/BUSINESS/PLANNING-DEVELOPMENT/ZONING/COB%20ZONING/CATEGORY/SECTION_46_AGRICULTURAL.PDF

3.0 INTRODUCTION TO SUBJECT PROPERTY

3.1 LOCATION OF THE SUBJECT PROPERTY

Municipal Address	11687 Chinguacousy Road, Brampton, Ontario (Figure 2)
Legal Description	CONC 2 WHS PT LOT 17 43R-15957 PART 3
Site Area	The subject property has a site area of approx. 8.8 ha. (approx. 19.92 acres) (north and south blocks combined)
Location & Boundaries	This property is located at the southeast corner of Mayfield Road and Chinguacousy Rd. in the City of Brampton. Access to the Property is via Chinguacousy Road.
Official Plan Designation	The subject property is located within the Mount Pleasant Secondary Plan Area, as defined by the City of Brampton Official Plan, and is designated 'Neighbourhood Retail' and 'Heritage Resource'.
Zoning By-Law	The existing zoning on the subject property is 'Agricultural' under the City of Brampton Zoning By-law 204-2010.

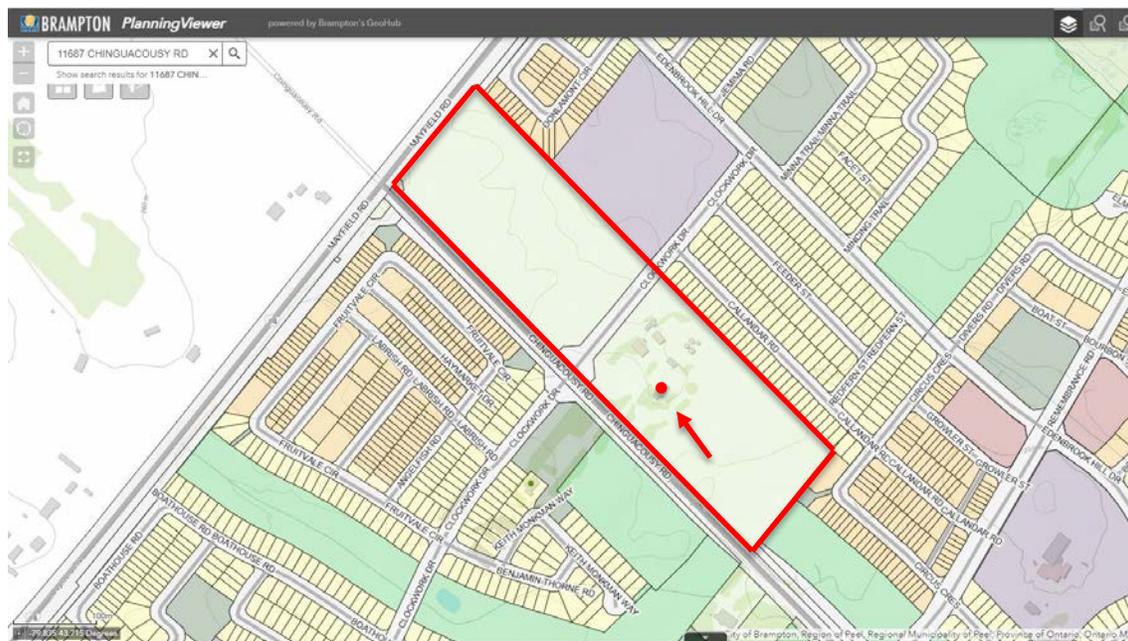


Figure 2: Map showing the location of the Heritage resource and site boundary of the subject property in red. (Source: Brampton Planning Viewer 2020). Annotated by AREA



Figure 3: November 2020 survey showing the subject property with buildings and features Annotated by AREA (Source: R-PE Surveying Limited)

3.2 DESCRIPTION OF SUBJECT PROPERTY

The subject property's address is 11687 Chinguacousy Road, located at the southeast corner of Chinguacousy Rd. and Mayfield Road in the City of Brampton (Figure 1). The subject property was originally the West Half of Lot 17, Concession 2, West of Hurontario Street, Chinguacousy Township, Peel County. Its legal description through the Land Registry Office is now: PT LT 17 CON 2 WHS CHINGUACOUSY PART 3, 43R15957; SAVE AND EXCEPT PART 1, PLAN 43R35275; SUBJECT TO AN EASEMENT IN GROSS OVER PARTS 1 & 2, PLAN 43R37101 AS IN PR2947960; SUBJECT TO AN EASEMENT IN GROSS OVER PART 1, PLAN 43R37492 AS IN PR3170995; CITY OF BRAMPTON and PIN No.14251-3645 (LT).

While Chinguacousy Road runs in a roughly north-westerly direction, it will, for the sake of convention and clarity, be discussed as if it followed a north/south alignment, much as Mayfield Road is typically described as running east/west.

3.2.1 Site

The subject property is rectangular in shape and covers an area of approximately 19.92 acres (Figure 4). Most of the property is currently open and cultivated farmland. The north portion is cultivated agricultural field while the south portion contains the Robert Hall House, later additions and outbuildings. The property is mostly flat and open, with no significant woodlands or wetland features. A natural drainage feature flow into a tributary of Fletcher's Creek found on the eastern boundary. It gently slopes down to the southeast.

Behind these structures are single-family dwellings to the east (Figure 4).

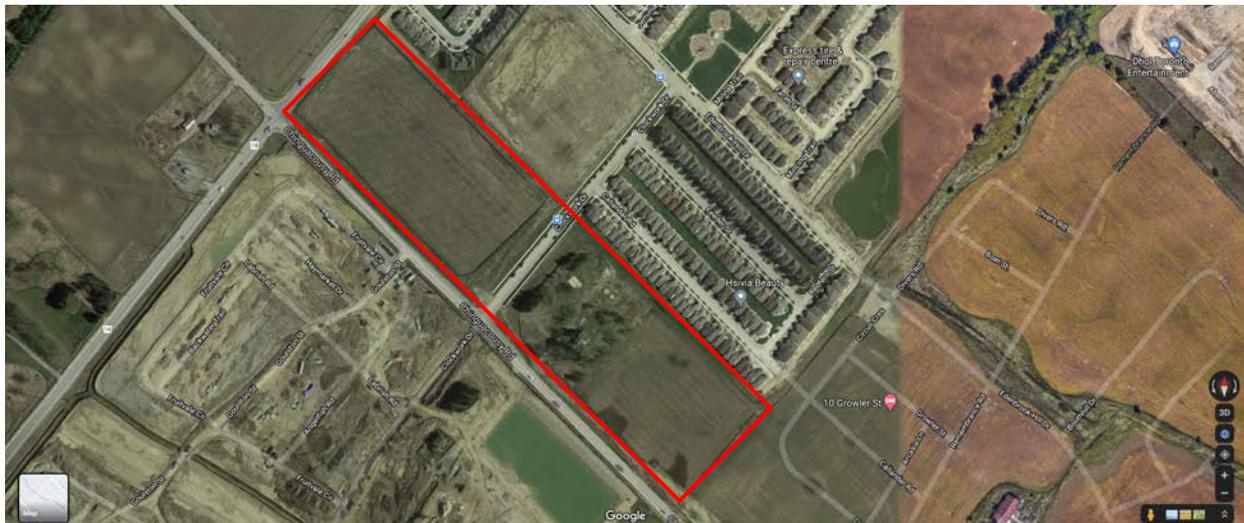


Figure 4: Aerial photograph showing the approximate extents of the subject property in red (Google 2020).



Figure 5: View of the subject lands and entrance to the site from Chinguacousy Road looking north.
(Source: Google Maps 2020)

3.2.2 Buildings

The property at 11687 Chinguacousy Road consists of a nineteenth-century limestone residence and accompanying outbuildings and is surrounded by residential developments (Figure 6). All of this property is currently vacant but was previously occupied by Neil and Lori Monkman's family.



2012

2020

Figure 6: Robert Hall House with later additions and outbuildings
(Source: Google Maps)

In conformance with Chinguacousy Road, the structures within the property are oriented in a southwest-to-northeast axis. At present, the site contains the Robert Hall House with its later additions. Outbuildings that were once located on-site were removed by a previous owner as they did not have any heritage value.

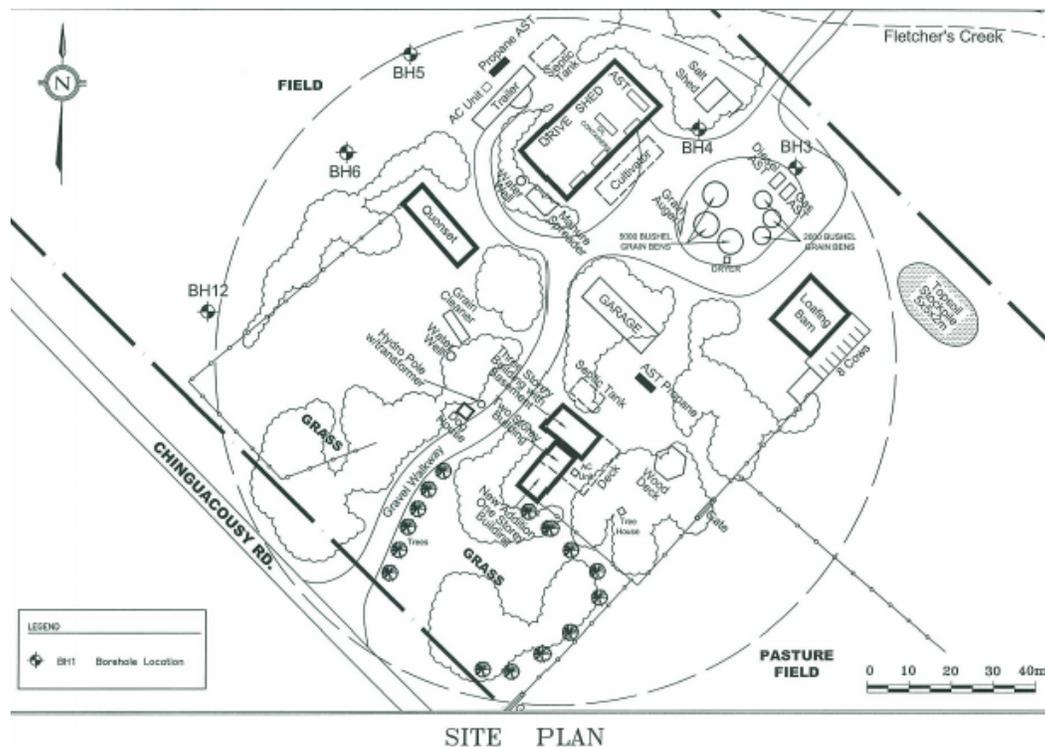


Figure 7: Site Plan showing the two storey limestone residence with its later additions and outbuildings (Source: Terraprobe, 2006)

Besides the Robert Hall house, other structures included the following (Figure 6,7):

- *Trailer House* - set on slab-on-grade concrete, and was serviced by water supply from the same water well as the main house.
- *Quonset* - approximately built in the 1950's; the arch steel frame structure was primarily used for machine storage.
- *Drive shed* - approximately built in the 1980's; the steel-frame structure, clad in galvanized sheeting, was primarily used for machine storage.
- *Salt Shed* - the wood structure that is set on slab-on-grade concrete was used to store salt for owner's snow removal business.
- *Loafing Barn* - the steel frame structure, also clad in galvanized sheeting was used to house farm animals; the gate of this building is located at the south, open to the loafing field.
- *Grain Bins* - a total of six grain bins were located at the east of the central portion of the property, three of which had an approximate capacity of 5,000 bushels and the other three with 2,000 bushels; all grain bins were a cylindrical steel frame structure covered by galvanizing sheeting, built on slab-on-grade concrete.
- *Garage* - located right at the center was a 1960's wooden garage that was subsequently used for storage.

3.2.3 Context

The subject property is located at the intersection of Chinguacousy Rd. and Mayfield Road. The intersection is currently within the City of Brampton but was historically an unincorporated area of Chinguacousy Township in Peel County. Chinguacousy Rd. and Mayfield Road were laid out as lot and concession roads, the main thoroughfares of agricultural regions in the 19th century.

The site's present surroundings are representative of suburban development in Ontario. East of Chinguacousy Rd. is a large residential subdivision. West of Chinguacousy Road are more proposed subdivisions (Figure 4). Directly south of the site is a flood plain area and north of the site are vacant lands. These sites contain athletic fields and open green space.

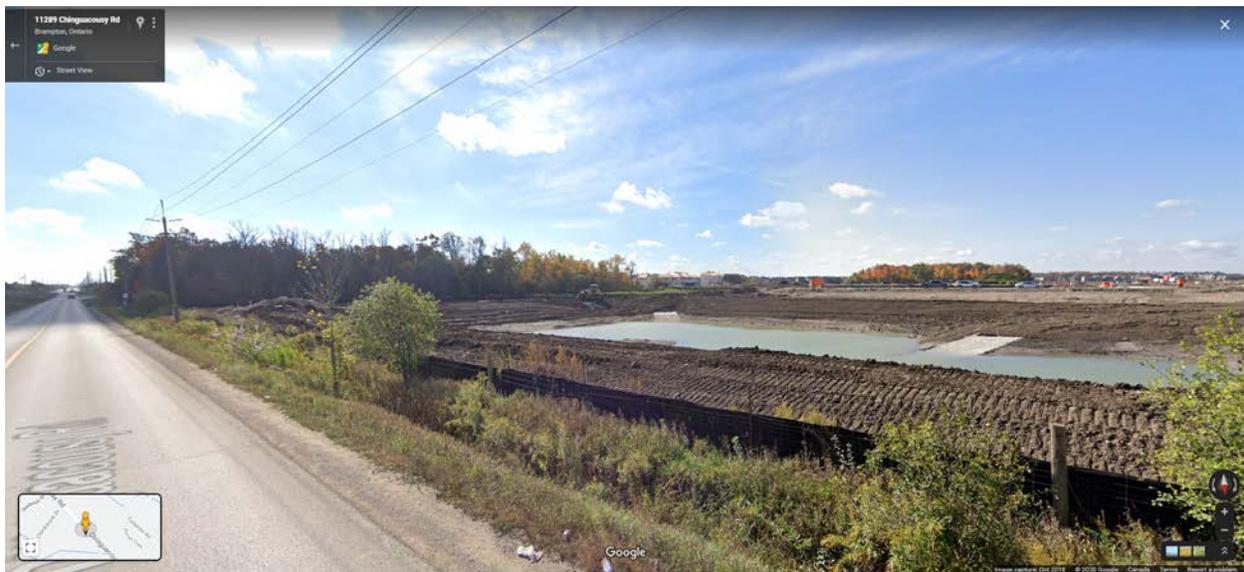


Figure 8: Looking west (across the street) from the subject property onto adjacent flood plain area and beyond
(Source: Google Maps)

Historically the vicinity was dominated by agricultural uses. By the 1950s and into the 1960s, several houses were built along the west of Chinguacousy Rd, though agriculture continued to predominate behind (See Figure 4). By 2000 most of the subdivisions east of Chinguacousy Rd. had been built.

3.3 HERITAGE STATUS

3.3.1 HERITAGE LISTING OF THE PROPERTY

The farm landscape and other outbuildings – barns, shed, etc. – are not identified as part of the property’s heritage significance; therefore, the historic house will be the principal focus of this HIA. The house is “listed” on the City’s Heritage Register but without an assigned criteria Class or Score. For the house at 11687 Chinguacousy Road, the HIA report will need to assess its heritage value with the following preliminary information:

- This house has been “listed” on the City’s *Heritage Register* as part of the Secondary Plan review and is not designated under the Ontario Heritage Act (OHA).
- It is identified as belonging to the Robert Hall family who owned the farm as indicated on the 1877 Historical Illustrated Atlas of Peel County (Figure 11).
- This former farmhouse comprises both a rear wood frame, board-and-batten clad portion and the middle fieldstone wing (Figures 15, 26 & 27).
- This structure appears to be in fair condition although the basement of the masonry portion exhibits some deterioration which required underpinning in more recent times (Figure 24).
- The original stone house has been extended in a series of additions and alterations which are all post-1960 and are not considered to be of heritage value.

The City Heritage Staff’s *Listing Report* identifies primarily the “19th Century stone farmhouse” as providing the property’s cultural heritage value.¹⁷ Because 11687 Chinguacousy Road is not a designated property under the terms of the *OHA* but has been entered on the Clerk’s *Heritage Register*, it will be assessed using the guidelines established by the City of Brampton and the *Listing Report* of the property prepared by City staff for and approved by the Brampton Heritage Board (BHB) for the *Municipal Register of Cultural Heritage Resources*. The City of Brampton *HIA – Terms of Reference* (ref. subsection 2.1) state:

2.1 An HIA will be required for the following:

- Any property listed or designated in the municipal heritage register, pursuant to Section 27 (1.1) or (1.2) of the *Ontario Heritage Act* that is subject to land use planning applications;
- Any property listed or designated in the municipal heritage register, pursuant to Section 27 (1.1) or (1.2) of the *Ontario Heritage Act* that is facing possible demolition;
- Any property that is subject to land use planning applications and is adjacent to a property designated in the municipal heritage register, pursuant to Section 27 (1.1) of the *Ontario Heritage Act*.

The first category of properties requiring an HIA applies to the subject farmhouse since it will be the subject of various planning approvals for the proposed commercial development.

¹⁷ Brampton Heritage Board, “Municipal Register of Cultural Heritage Resources ‘Listed’ Heritage Properties Last Updated: 2020,” https://www.brampton.ca/EN/Arts-Culture-Tourism/Cultural-Heritage/Documents1/Listed_Register.pdf

3.3.2 ADJACENT CULTURAL HERITAGE RESOURCE

The following adjacent heritage property is included in the Brampton’s Municipal Register of Cultural Heritage Resources (2020) as ‘Listed’ heritage properties¹⁸.

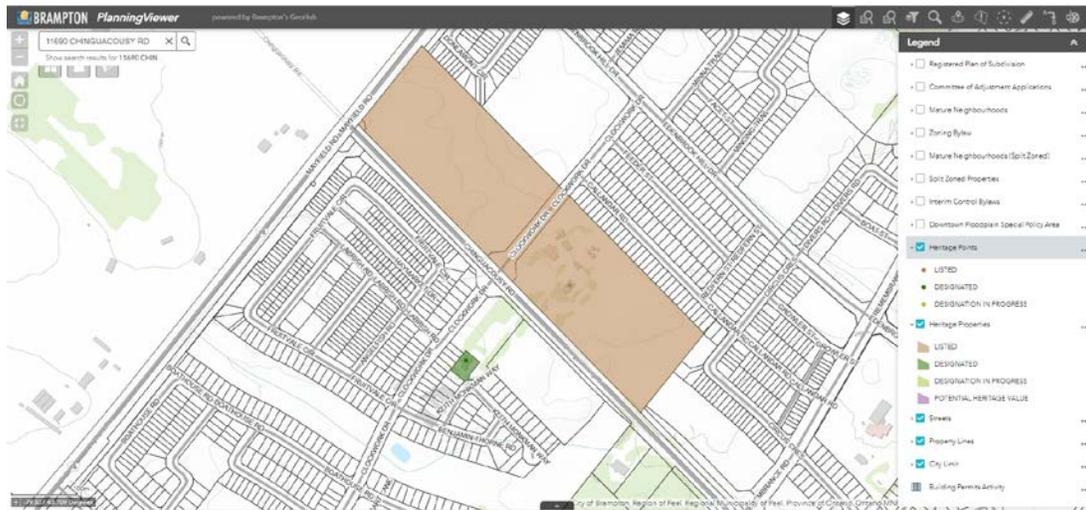


Figure 9: Adjacent Cultural Heritage Resource at 11690 Chinguacousy Road (Designated - Green) and the subject site 11687 Chinguacousy Road (Listed – Brown) (Source: Brampton Planning Viewer 2020)

TABLE 1: ADJACENT CULTURAL HERITAGE RESOURCES

#	Resource (Category and Type)	Description	Image
1	11690 Chinguacousy Road, Brampton Built Heritage Resource (BHR), Residential Municipally designated under Part IV of the OHA (By-Law Number 19-2019)	Taylor-Monkman Farmhouse The Taylor-Monkman Farmhouse has design and physical value as a representative example of Queen Anne Revival style. The farmhouse features an asymmetrical massing and wrapping porch at the corner of the principal (east) and side (south) elevation, both indicative of the Queen Anne Revival style. The Taylor-Monkman farmhouse is one of the few distinctive buildings within the area valued for supporting and defining the historical character of the agricultural past of Chinguacousy Township. ¹⁹	

¹⁸ Brampton Heritage Board, “Municipal Register of Cultural Heritage Resources ‘Listed’ Heritage Properties Last Updated: 2020,”

https://www.brampton.ca/EN/Arts-Culture-Tourism/Cultural-Heritage/Documents1/Listed_Register.pdf

¹⁹ NOTICE OF INTENTION TO DESIGNATE, 11690 Chinguacousy Road in the City of Brampton. Accessed from: <https://www.brampton.ca/EN/City->

4.0 HISTORICAL / ASSOCIATIVE SUMMARY

4.1 EARLY HISTORY OF THE AREA

Although the territory we now know as Southern Ontario has been occupied for millennia, the following will present a brief description of European settlement from the late 18th century.

The Constitutional Act (sometimes called the Canada Act) of 1791 created the Provinces of Upper Canada and Lower Canada. John Graves Simcoe, the first Lieutenant-Governor of the Province, initiated several schemes to populate and protect the newly created province, as the ongoing threat of war with the United States required the borders to be populated quickly. A settlement strategy that relied on the creation of shoreline communities and effective transportation links between the settlements was employed. To this end, the acquisition of lands inhabited by the First Nations was required.

The first purchase of land from the Mississauga First Nations occurred in 1805, and included land between Etobicoke Creek and Burlington Bay, and extended north about 5 miles from Lake Ontario. The second purchase of the northern portion of the Mississauga Tract, including the present Study Area, was completed in October 1818. Richard Bristol undertook the first survey of Chinguacousy Township in 1819.

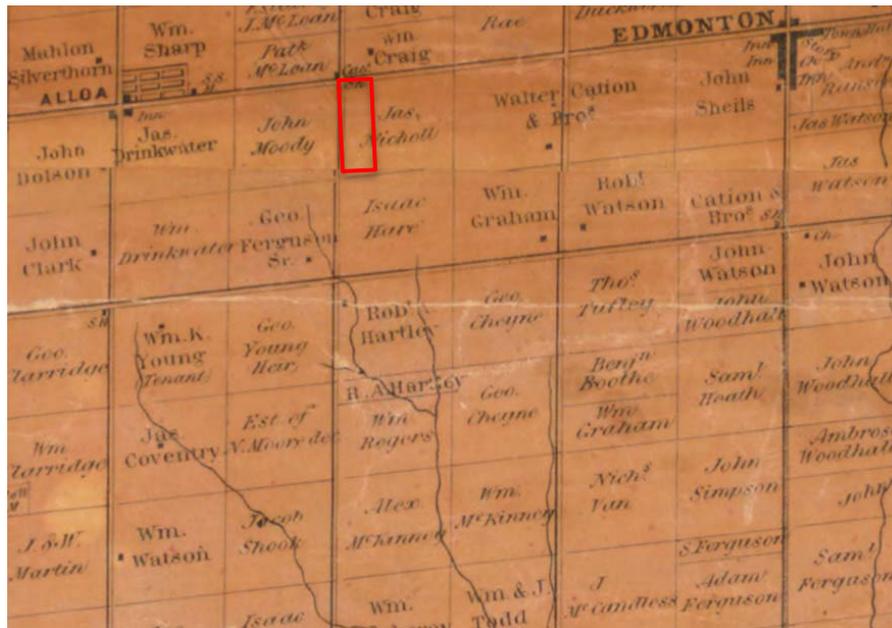


Figure 10: Tremaine Map, 1859, Partial Detail showing the hamlets of Alloa and Edmonton and west half Lot 17, Con. 2 WHS, Chinguacousy Township, belonging at this time to James Nicholl, with the subject property shown outlined.

Hall/Documents/11690%20Chinguacousy%20Road_Public%20Notice_Notice%20of%20Intention%20to%20Designate_final.pdf

4.2 HISTORICAL CONTEXT OF CHINGUACOUSY TOWNSHIP

In the 1819 survey of Chinguacousy Township, the township was divided into east and west halves by Hurontario Street, with concessions running in north-south strips on either side. The subject property is located in the second concession West of Hurontario Street (WHS). Chinguacousy Township consisted of fertile agricultural land and settlement in the immediate area occurred during the 1820s and 30s. The nearest communities to the subject property were Brampton six kilometers to the south, Alloo and Edmonton, each respectively one concession to the east and west. Alloo and Edmonton developed on the original east-west road, now Regional Road 14 or Mayfield Road, forming the northern boundary of the subject property.

Brampton developed as a cluster of homes and small businesses in the 1830s and was incorporated as a village in 1853. Three years later the Grand Trunk Railway arrived to connect the community with Toronto and points east and, in 1867 Brampton was chosen as the Peel County seat. The Credit Valley Railway passed northward through Brampton 12 years later, its route coming within two concessions of the subject property. The change from wilderness to settled and accessible farmland had taken just 30 years.

Mainly United Empire Loyalists or their descendants, who had come from New Brunswick, New York, or other parts of Upper Canada, settled Chinguacousy Township. In 1821, the Township had a population of only 412, with 320 acres of land under cultivation (ref. 'u': 64). In the 19th century, Chinguacousy was considered to be a first-class agricultural township. For administrative purposes, the Townships in Peel County remained within the District of Home until 1851 when the county administrative system was created. The administrative boundaries of Peel remained unchanged until 1974 when Chinguacousy Township was incorporated into the boundaries of the City of Brampton and it, with the City of Mississauga, and the Town of Caledon, amalgamated to create the Region of Peel.

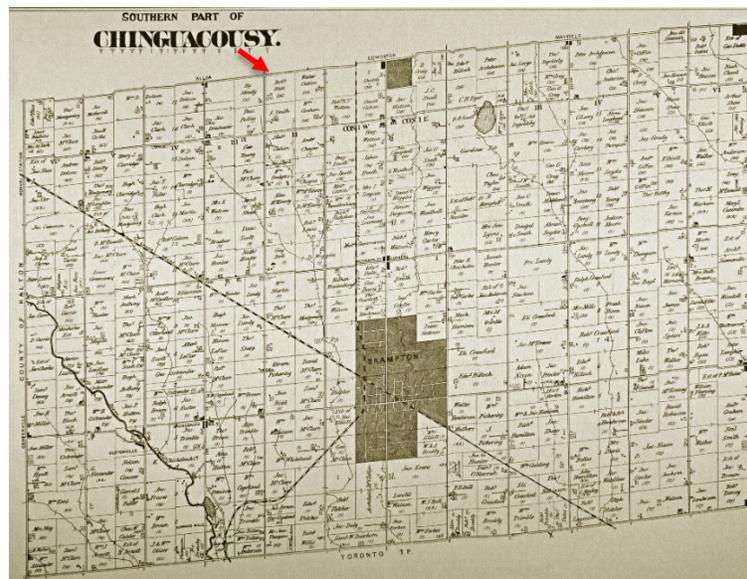


Figure 11: Chinguacousy Township South, 1877 (Historical Atlas of Peel County, subject property identified by arrow.)

4.3 HISTORY OF THE PROPERTY

The patent to the west half of Lot 17, Con. 2 WHS, Chinguacousy Township was issued in 1836 to Joseph Boyle of whom little is known (3 Feb. 1838). Boyle and his wife, Mary, sold the property within days for £131. The new owners of what would have been virgin land were brothers John and James McCulloch and James Nicholl (7 Feb. 1838).

The McCulloch brothers and their friend James Nichol present an insightful vignette of the immigration and settlement process in early Upper Canada. John and James McCulloch, in their early 20s and teens at the time, emigrated from Ireland in 1832 with their widowed mother, Anne McCulloch, two younger sisters and a friend, James Nicholl (9 Aug. 1934). Mrs. McCulloch died of cholera near the end of the voyage and was buried at Gross Isle. The youngsters proceeded to Toronto, where they remained together and worked and saved to purchase their own farms.

In 1838, they continued to Brampton, where they bought, again in common, three lots in the second concession of Chinguacousy Township. One of these, the west half of Lot 17, became the farm of James Nicholl who soon married Lavina, one of the McCulloch sisters. The couple raised four sons on their property. In 1875, James Nicholl transferred the farm to his youngest son, Charters Nicholl, for \$4,000. In 1876, Charters Nicholl, and John and James McCulloch who had remained signatories to the property, sold the 100-acre farm to Robert Hall for \$7,000 (24 Jan. 1876, Figure 13).

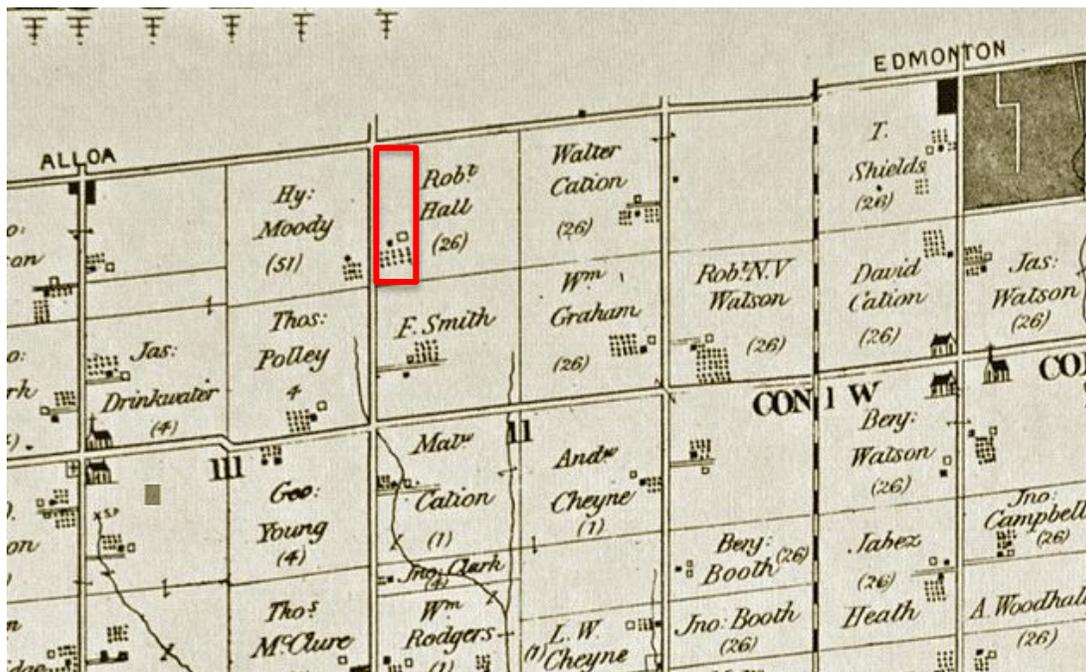


Figure 12: Chinguacousy Township South, 1877, Partial Detail, showing west half Lot 17, Con. 2 WHS, belonging at the time to Robert Hall (Historical Atlas of Peel County), with subject property shown outlined.

5.0 DESIGN / PHYSICAL SUMMARY

5.1 PERIOD UP TO HOUSE CONSTRUCTION

James Nicholl, the first permanent resident of the subject property, would have built a home and outbuildings shortly after taking possession in 1838, but nothing is known of these structures until 1851 when the Nicholl family are recorded as residing in a one-and-a-half storey log house. The 1861 census provides the same information. Unfortunately, later census returns do not include any details regarding existing structures. Assessment information for the area and the period is also sporadic and partial.



Figure 14: Farmhouse Exterior, view of east and north façades, 11687 Chinguacousy Road, Brampton, c. 1969, showing the wood porch on the north which replaced the original stone summer kitchen and a drive shed and the non-original concrete block chimney on the east.

The year of this photo coincides with the Monkman purchase and is before the two-storey rear addition on the west and the one-storey brick extension on the east. This image of the house is conjectured to be close to the original c.1875 construction except for the missing north elevation appendages and the later utilitarian chimney (courtesy of Neil and Lori Monkman).

Between 1875 when Charters Nicholl purchased the 100-acre property from his father and the following year when he sold it to Robert Hall, the property rose in value from \$4,000 to \$7,000. While one might be tempted to equate this rise in value with the possible construction of a new house on the property, it must be kept in mind that the first sale was between a father and son and may not have been a true reflection of the value of the property.

It must also be noted that \$3,000, the difference in the two selling prices, was much more than what the construction of a one and a half storey limestone residence would have warranted in 1875-76. It is also possible that the \$4,000 paid out in 1875 was compensation for John and James McCulloch who had not yet officially relinquished title to the property.

Under this conjecture, one could evaluate the farm as being worth \$6,000 in 1875 with the third portion being waived as the gift from a father to a son. Despite the absence of documentary evidence, it is certain that the current house postdates 1861, and it seems likely that it was erected in the mid-1870s, either by Charters Nicholl or Robert Hall, i.e., before or after the property sale/purchase.

5.2 DESCRIPTION OF THE ORIGINAL RESIDENCE

The site investigation conducted in September 2012 suggests that the original structure was much as it appears in photographs from 1969 (Figure 14) and even 1984 (Figure 15) provided by the Monkman family²⁰. The original structure was a one-and-a-half-storey limestone farm residence, rectangular and measuring approximately 11 by 9 meters.

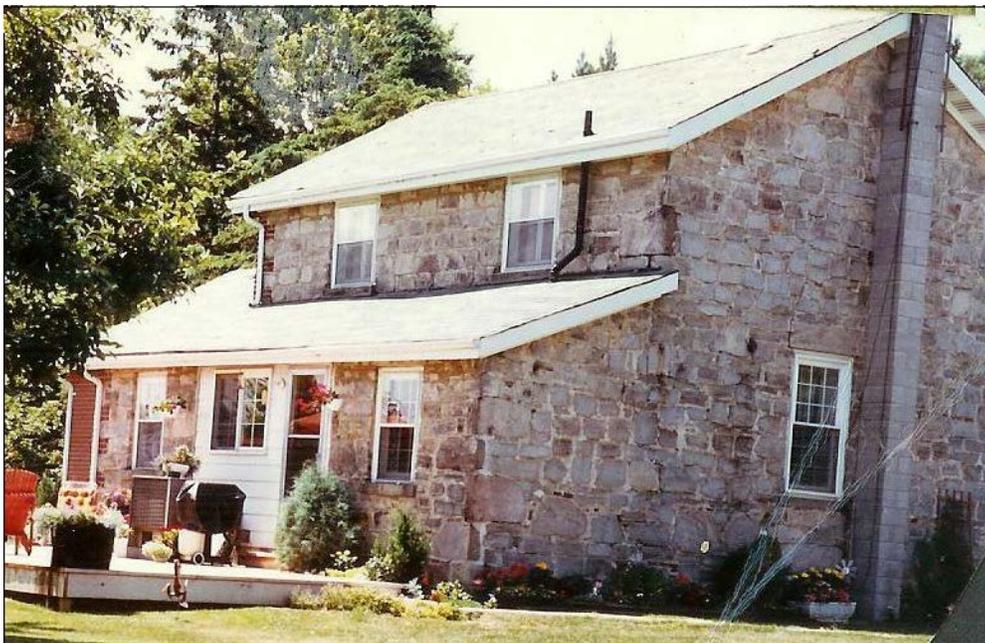


Figure 15: Farmhouse Exterior, view of east and south façades, 11687 Chinguacousy Road, Brampton, c. 1984

The photo shows the non-original concrete block chimney and before the two-storey rear addition on the west but after the one-storey brick extension on the east shown obliquely in the background (courtesy of Neil and Lori Monkman).

²⁰ These photos date from the purchase of the property from William Taylor by the older generation Monkman, Keith and Catherine, the latter of whom was alone listed on title.

The images above (Figures 14 & 15) show the house from the east without its rear addition and, for the former earlier photo, prior to the addition of a one-storey brick extension at the front. With respect to the later c.1984 photo, the west side would have been changed with the brick addition by the Monkman family at that time which is discussed further below. The wood porch in the earlier image is a replacement of a stone summer kitchen and drive shed that had been integrated into the original structure. The concrete block chimney running up the east (rear) face of the building is also a replacement of the original chimney which may have consisted of a flue pipe from a wood burning stove.

For simplicity and the purposes of this report, the original c.1875 stone structure (which is only the middle portion of the current residence) will be called the Robert Hall House to correlate with its identification in other reports. But it should be noted and emphasized that the time of the house construction may have occurred under either of the owners of the 1870s, Charters Nicholl or Robert Hall.

The front or west façade originally was the main central entrance that can be observed in its formal decorated brick quoins (missing from the east façade) and facing the access from Chinguacousy Road (Figure 16). A horizontal beam running the width of the front at the level of the roof ties which is set into the stone as a “nailer” strip (Figure 17) and holes in the masonry, now hidden, at the ground floor ceiling height as pockets for the soffit members once provided support of the former porch. This suggests that the front of the house originally featured a wide verandah with a sloping roofline in a shed form.²¹



Figure 16: Farmhouse Exterior, view of west and south façades, 11687 Chinguacousy Road, Brampton, December 2009,

The photo shows the upper gable above the 1-storey brick extension from 1979 with its brick quoins and inset wood nailer strip of this former front porch. This relatively unobstructed view can only be seen when the obscuring vegetation of spring and summer are not an obstruction.

²¹ Again, this information comes from the Monkman family who constructed the front brick extension in 1979. They have confirmed the existence, though hidden now, of the pockets for the porch ceiling ties.

5.3 CONDITION ASSESSMENT

The exterior walls consist of an outside surface of carefully coursed and positioned stone. The exterior stone coursing can be described as “semi-dressed” or rough coursed since the irregular rectangular blocks are somewhat consistent but the surface is certainly not cleanly cut or honed (Figure 18). The exposed stone on the interior has a rougher fieldstone appearance. The exterior walls appear to be about two feet thick and, by the description of the Monkman, has its centre filled with rubble stone²² (Figure 19). There are two bays of windows on the north and south façades, each supported on a stone sill. Some of the first-floor windows are crowned with large, fully dressed stone lintels (Figure 20).



Figure 17: Farmhouse Exterior, detail view of west facade, showing the brick quoins and the horizontal nailer beam from the former porch.



Figure 18: Farmhouse Exterior, detail view of north facade, showing the rough coursed limestone masonry



Figure 19: Farmhouse Exterior, detail view of north facade, showing the dressed stone lintels and sills



Figure 20: Farmhouse Interior, detail view of former east facade, showing the wall thickness, the rough rubble fieldstone and the doorway converted from the original window for the 1991 addition.

²² The Monkman family determined the composition of the exterior walls while changing the original window on the east façade to a doorway providing entry to the tall 1991 wood frame and board-and-batten addition.

The south façade incorporates a porch area, now enclosed (Figure 16). This 1-storey shed roof extension from the 2-storey stone structure is unusual, and even more so since it appears to date from the original house construction. Its stonework is similar and it even incorporates the same brick quoins on its south-west corner as the 2-storey west elevation (Figures 16 & 17).

The composition of this one-storey projection incorporates two small wall-enclosed side-bays containing windows and the middle portion which was formerly exterior (Figure 21) – other “exterior” walls and doorways (now on the interior) face into the niche of this one-time porch. Its elevation is close to (if not actually) symmetrical. It is quite possible that this façade constituted an early front entry prior to its relocation to the west elevation.

This reorientation of the entrance would have occurred relatively close to the original construction – such as even within the same decade since the stone work and brick quoins all appear to be from the same circa 1870s period. Indeed, this Georgian style would have more commonly incorporated the front façade on its long (and usually south-facing) façade which was parallel to the ridge and orientation of the gable roof. It is more unusual for this style that the west gable end of the house features the entrance porch and front door.



Figure 21 Farmhouse Exterior, view of south façades, December 2009 (left) & November 2020 (right) showing the former porch now enclosed with two small wall-enclosed side-bays forming a somewhat symmetrical elevation.

The interior of the original residence consisted of a central kitchen-eating-living area with two smaller rooms at the rear or east end of the structure (Figure 22). A straight flight of stairs leads to the second floor and a large open landing. There were two small rooms on the west side of this level. Some of the fine interior joinery, such as door casing (Figure 23), remains intact as does some of the original flooring material (Figure 25). The rafters and the roof decking board, visible in the attic, appear to be original material (Figure 24). The basement, under the original stone house only (not the additions), has been excavated and underpinned to provide a higher ceiling and has its original perimeter wall of fieldstone (Figure 29).



Figure 22 Farmhouse Interior, view of east wall of central kitchen, showing original door openings including access to stair to second floor.
(December 2009)



Figure 23 Farmhouse Interior, detail view of wood trim joinery such as the original door casing.
(December 2009)



Figure 24 Farmhouse Interior, detail view of the attic showing original hewn roof rafters and decking board
(December 2009)



Figure 25 Farmhouse Interior, detail view showing original pine wood plank flooring.
(December 2009)

5.4 CHANGES TO THE ORIGINAL STRUCTURE

The first notable change to the original stone house occurred about 1969 when a wall of the original stone summer kitchen on the north side collapsed during stabilization efforts. It was replaced by the porch built in wood framing and clad with shiplap siding (Figure 14) which has since been re-clad in vertical boards (Figure 27, at the time of the 1991 addition).

A second extension, a simple red brick single-storey structure, was added to the front façade in 1979 (Figures 16 & 26). It reconfigured the building to make the north side the primary entrance (Figures 14 & 27).

The third and largest extension, erected in 1991, is a tall pseudo-Gothic designed addition in wood framing and clad with vertical siding that serves as a living area (Figures 27 & 28). Its western interior wall is the former exterior surface of the original house (Figure 19).²³



Figure 26 Farmhouse Exterior, view of west façade, showing the 1979 1-storey brick extension covered the former front entry porch which was re-located to the north wood-clad enclosed porch.



Figure 27 Farmhouse Exterior, view of east and north façades, December 2009, showing the 1991 2-storey addition with board-and-batten cladding also applied to the enclosed porch from 1969.

So, in summary, the exterior additions/alterations to the building envelope comprise:

- Replacement of the entry porch in wood construction on the north side (1969, 'wood porch');
- Removal of the red brick extension on the west side (1979, 'Monkman addition'); and
- Removal of the two-storey wood-clad addition on the east side (1991, 'Pseudo-Gothic addition').

This latest addition is a poor reinterpretation of historical style(s) because of the incongruous combination of classical elements (i.e., semi-circular and oval gable windows) with Carpenter Gothic board-and-batten cladding. Thus, in assessing the heritage value of the house, only the original c. 1875 house, consisting of the limestone structure, has sufficient historic integrity to warrant evaluation.

²³ Information on alterations to the house during the latter half of the twentieth century was provided by Neil and Lori Monkman.



Figure 28: Farmhouse Exterior, view of west and south façades, 11687 Chinguacousy Road, Brampton, December 2009 (Left) & South Façade December 2020 (Right)

The photo shows the upper gable above the 1-storey brick extension from 1979 with its brick quoins and inset wood nailer strip of this former front porch. This relatively unobstructed view can only be seen when the obscuring spring and summer vegetation are not an obstruction.

Interior changes as seen in the December 2009 photos include new kitchen cupboards which hide but have not impinged on the original lower-wall wainscoting (Figure 22), some replacement windows and reconfigured rooms on both levels area (Figure 23), as well as the addition of modern water, heating and electrical systems. In 1981, the basement floor was lowered, through underpinning, to provide a higher ceiling (Figure 29).



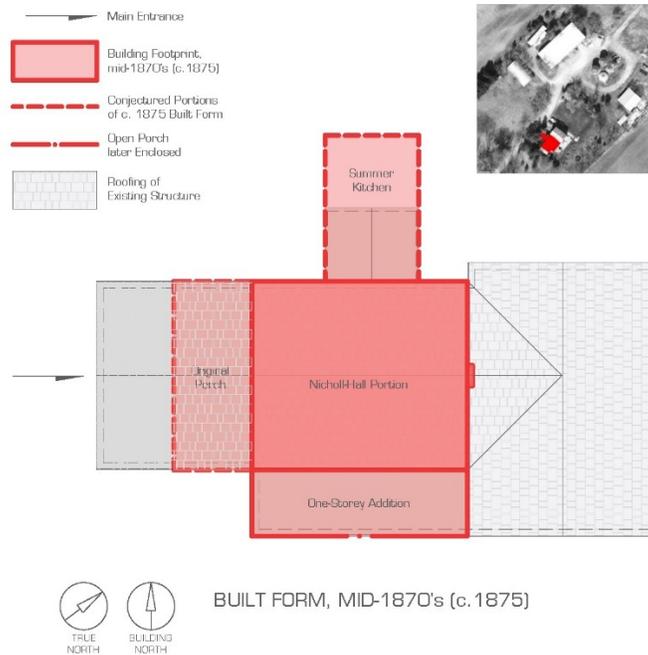
Figure 29: Farmhouse Basement Interior (December 2009 Left & November 2020 Right)

View of basement under the original stone house only showing the rough rubble fieldstone foundations, a closed window opening on the front (west) wall (covered by the 1979 extension) and the replacement modern-day masonry on the north wall which collapsed in 1969 and was replaced with the enclosed wood entry porch. Also evident are the mechanical and electrical systems which have been upgraded by and during the ownership of the Monkman's, (Figure 29, see Appendix B for more Site Photos – November 2020).

5.5 EVOLUTION OF ROBERT HALL HOUSE

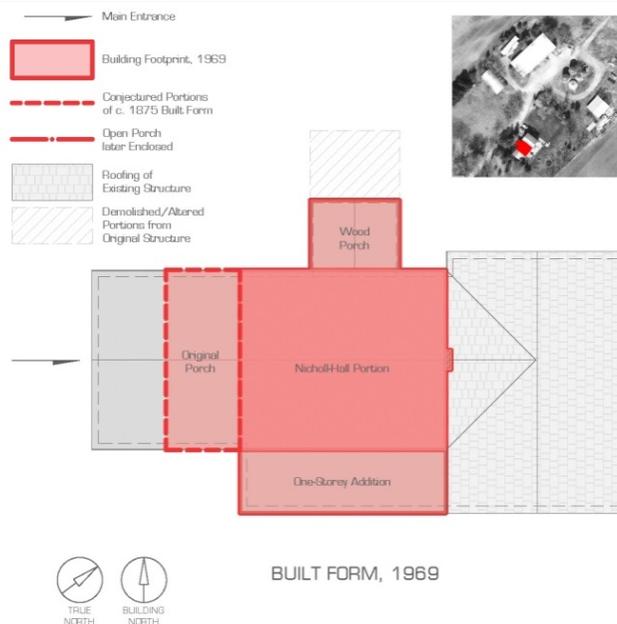
A. Built Form, Mid-1870's (c.1875)

1. Original limestone house, presumably built in the mid-1870's, either by Charters Nicholl or Robert Hall.
2. It is a one-and-a-half-storey farmstead, in an 11x9-metre rectangular plan, with a stone summer kitchen abutting the north facade.
3. Original block chimney on the east wall may have been a flue pipe from a wood burning stove.
4. West facade originally incorporated the main entrance as indicated by its formal, decorated brick quoins, and facing towards the access from Chinguacousy Road.



B. Built Form, 1969

In 1969, the wall of the summer kitchen collapsed and was replaced by the wood porch.



C. Built Form, 1979

In 1979, a one-storey brick structure was added to the front facade, reconfiguring the entrance to the north side.

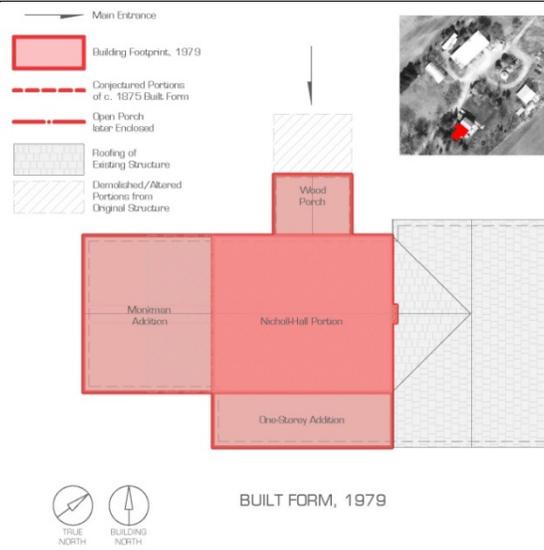


Figure 32: Built Form-1979 (AREA)

D. Built Form, 1979

In 1991, a tall pseudo-Gothic designed addition in wood framing and vertical cladding was incorporated to serve as a living area.

Figure 33 represents the current built form of the heritage structure.

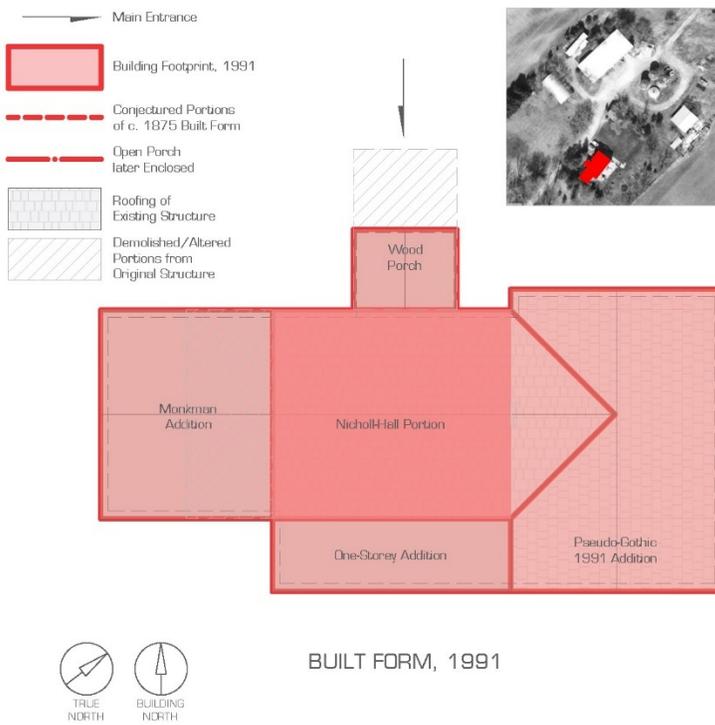


Figure 33: Built Form-1991 (AREA)

5.6 ARCHITECTURAL STYLE AND TYPE

Georgian Architecture

Georgian Architecture was commonly built in Upper Canada between the late 18th and mid-19th centuries. It originated in Great Britain, becoming the predominant style during the reigns of the first three King Georges for whom it was named. The style integrated Renaissance ideals of proportion, symmetry and classical decoration in a restrained execution that emphasized harmony over ornamentation. The style was brought to Upper Canada by United Empire Loyalists starting in the 1780s. Having been displaced by the American Revolution, the colonists sought a style that both represented and reinforced ties to their British home and monarch. The style is often associated with grand houses of the upper classes.

In Ontario, Georgian architecture is characterized by rectangular plans and massing rising to side-gable or hipped roofs (Figure 34). Principal facades are typically 3 or 5 bays, spaced evenly and symmetrically about a central doorway. Windows are usually double-hung sash set in rectangular openings lacking surrounds. Doors are also rectangular, often accentuated by sidelights or a transom. The decorative regimen is generally restrained, drawing on classical elements. Interior layouts are typically based on a centre-hall plan with a symmetrical layout of four rooms at grade, two on each side of the hall. Second floors often had two larger and two smaller rooms, again symmetrically arranged.²⁴



Figure 34: The Butler House in Niagara-on-the-Lake (b.1817) is an example of a one-storey Georgian composition, with corresponding basement windows as at the subject property (Source: Niagara-on-the-Lake Public Library).

²⁴ Marion MacRae and Anthony Adamson, *The Ancestral Roof: Domestic architecture of Upper Canada* (Toronto: Clark, Irwin & Company Limited, 1963), 14-20.

6.0 EVALUATION OF CULTURAL HERITAGE VALUE OR INTEREST

The following evaluation applies Ontario Heritage Act O. Reg. 9/06: Criteria for Determining Cultural Heritage Value or Interest to the Subject Property. It is also based on the structure of the 'Evaluation of Cultural Heritage Value or Interest Summary Table' included as Appendix C in the Brampton HIA Terms of Reference. The evaluation provides a 'yes' or 'no' response to each criterion. In both instances, a rationale is provided. A statement of heritage value follows, synthesizing the results of the evaluation into a summary of the site's cultural heritage values, and related heritage attributes.

This evaluation is being provided for information purposes only and represents the professional opinion of *AREA*. An assessment by the City of Brampton could produce a different result in one or more of the criteria.

6.1 EVALUATION

Design or Physical Value

The property has design or physical value because it:

- 1) is a rare, unique, representative or early example of a style, type, expression, material or construction method.

Yes: The subject property is a representative example of a Georgian farmhouse building. This is seen in its siting, and simple massing rising from a rectangular plan to a side gable roof. The composition is typically Georgian, with a central doorway symmetrically flanked by rectangular window openings complete with double-hung sash windows. The interior layout is also typical of the style, boasting a centre-hall plan leading to symmetrically arranged rooms. The decorative regimen relies on classical motifs and details, and is especially restrained on the exterior. However, the subject property is not considered to be a representative example of a historic Ontario farm landscape. Despite being used for agriculture continuously since the 1830s, significant alterations of the site and its context over its life prevent it from being considered a representative of that landscape type.

- 2) displays a high degree of craftsmanship or artistic merit.

Yes: The house overall, is a rare, unique example of its vernacular style with the exemplification of high-quality craftsmanship in its original interior detailing, and in the carefully coursed and positioned rough-stone masonry technique on the exterior walls.

- 3) demonstrates a high degree of technical or scientific achievement.

No: The subject property has supported agricultural uses since the first half of the 19th century; however, no significant technical or scientific achievements have been associated with it over that time.

Historical or Associative Value

The property has historical or associative value because it:

- 1) has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.

Yes: It has historical associations with Robert Hall who occupied the property from 1876 to 1907 and was a prominent regional figure according to notes gathered in the Perkins Bull Collection (Peel Regional Complex). Hall was a justice of the peace and served as deputy reeve of Chinguacousy Township and as a Peel County councillor.

- 2) yields or has the potential to yield information that contributes to an understanding of a community or culture.

No: Research conducted during the course of this HIA did not identify that the property has the potential to yield additional information that contributes to an understanding of the community or culture.

- 3) demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

No: No architect, artist, builder, designer or theorist has been identified in association with the subject property.

Contextual Value

The property has contextual value because it:

- 1) is important in defining, maintaining or supporting the character of the area.

Yes: The subject property supports the low-scale, residential, agricultural character of the area through the existence of the c. 1850 stone farmhouse known as the Robert Hall House and surrounding farmland. The subject property supports the historic character of the area due to its proximity to other historic homes including 11690 Chinguacousy Road.

- 2) is physically, functionally, visually or historically linked to its surroundings.

Yes: The subject property is historically linked to its surroundings through the existence of the c. 1850 stone farmhouse constructed for the Hall family.

- 3) is a landmark.

No: The subject property has not been identified as being a landmark to the local community.

The subject property meets 2/3rd of the design criteria, 1/3rd of the historical criteria and 2/3rd of the contextual criteria. Based on this assessment, a statement of cultural heritage value has been prepared.

6.2 STATEMENT OF CULTURAL HERITAGE VALUE

Design Value

The house at 11687 Chinguacousy Road is a fine example of Georgian vernacular design rendered in limestone. While late 20th century additions have obscured its west and east façades, its north and south sides present two formal bays of windows, either side of a central doorway bay, and each crowned with dressed stone lintels and resting on large stone sills. The original front (west) entrance welcoming visitors approaching from Chinguacousy Road has been covered by an addition but the decorative brick quoins remain visible. The house interior retains much of its original architectural fabric including door surrounds, flooring, and wood framing. The quality of the authentic craftsmanship on the exterior, in rough coursed stone, is well executed. But the c.1875 stone structure is encompassed on three sides with more recent built enclosures and is therefore considerably altered and its original appearance is compromised.

The house overall, is a rare, unique example of its vernacular style with the exemplification of high-quality craftsmanship in its original interior detailing, and in the carefully coursed and positioned rough-stone masonry exterior walls. This primary design attribution is displayed in the original, limestone, “middle” structure, which perhaps is one of the only two known remaining stone houses in the City of Brampton, and must therefore, be conserved.

Historical Value

This house has been home to just five families over the past century and a half, all of whom worked the same 100-acre lot that was patented in 1838. It has historical associations with Robert Hall who occupied the property from 1876 to 1907 and was a prominent regional figure according to notes gathered in the Perkins Bull Collection (Peel Regional Complex). Hall was a justice of the peace and served as deputy reeve of Chinguacousy Township and as a Peel County councilor. The property, if not the house, also contains an interesting story of misfortune, co-operation and perseverance in early Upper Canada from the experiences of John, James and Lavina McCulloch and James Nicholl.

Contextual Value

Despite the later additions to the stone house, the property speaks to and supports the rural heritage of Brampton. The house has continually been the centre of the same working farm for the past 174 years. The landscape that immediately surrounds the house features expanses of lawn and numerous mature trees, evoking a long, steady presence at the site. Surrounded as it is by its original farm, this house is historically, physically, functionally and visually linked to its surroundings. Contextually, the farm may contribute to an understanding of 19th-century rural life in Chinguacousy Township. There are few remaining mid-19th century farmhouses in the area likely due to their being replaced by more substantial residences in the late 1800s as farming thrived. As a result, mostly remaining in the area are large, grand houses built in the late-19th and early 20th centuries which clearly demonstrate the prosperity of that later time in this part of Chinguacousy Township. The subject farmhouse at 11687 Chinguacousy Road represents what might have been a typical rural family home, in earlier and more modest times.

Heritage Attributes

Heritage attributes related to the original Robert Hall House's Design or Physical Value, including:

- Gabled form and simple massing;
- Symmetrical composition of the 3-bay entrance;
- Use of rectangular window and door openings throughout
- Redbrick quoins;
- Coursed limestone masonry;
- Dressed stone lintels and sills; &
- Interior elements – paneling, window and door casings, mouldings, flooring.

Heritage attributes related to the Robert Hall House's Historic Value, including:

- Location of the c. 1870 limestone farmhouse constructed for the Hall family on Concession 2, Lot 17, Chinguacousy Township.
- Carved Initials of Robert Hall carved into brick.



Figure 35: Carved Initials of Robert Hall

Heritage attributes related to the Robert Hall House's Contextual Value, including:

- The farm may contribute to an understanding of 19th century rural life in Chinguacousy Township & Orientation to Chinguacousy Road.

This HIA includes an evaluation against the criteria in O. Reg. 9/06 to determine potential cultural heritage value or interest. The property meets criteria under design, historical and contextual values. As a result, a Statement of Cultural Heritage Value was drafted to inform measures to mitigate the impacts of the proposed undertaking.

Summary Statement

The "Robert Hall House" at 11687 Chinguacousy Road sits on a century-and-a-half old, 22.7-acre farmland property in the City of Brampton. Its original, one-and-a-half-storey structure, attributed in this report as the Robert Hall portion, is a fine, rare example of vernacular Georgian Style expressed in its unique and high-quality rough-stone coursing technique. It is one of the two residential stone structures in the city, and would therefore, contribute to an understanding of the 19th-century rural life in Chinguacousy Township. The house structure is worthy of designation under the OHA. Its higher-valued Robert Hall portion must be conserved and integrated within the development site, with commemorative strategies to the original agricultural context that will substantially be removed with the rezoning of North-West Brampton (NWB) area, and the spiraling future developments resulting from the approval of the City's Mount Pleasant Secondary Plan Sub-Area 51-2.

7.0 DESCRIPTION AND EXAMINATION OF PROPOSED DEVELOPMENT/SITE ALTERATIONS

7.1 PROPOSAL OVERVIEW

This part of the HIA describes the proposed plan of development of the subject site, its conceptual design vision and principles. This description is based on a Draft Plan of Subdivision ('DPS') of the property surrounding the subject site submitted to City of Brampton's Planning and Development Services Department by Glen Schnarr & Associates Inc. on behalf of TFP Mayching Developments Ltd. (Figure 36).

TFP Mayching Developments Ltd. is proposing to develop the property as a subdivision. The subject heritage property is included in Block 31 of the subdivision plan (Figure 36) and will be protected for adaptive re-use as a residential building. The 19.92 acres new development is designed to front onto Chinguacousy Road with both the residential and mixed use/ medium density residential / convenience commercial block component to be located facing towards this frontage.

7.2 DESCRIPTION OF THE PROPOSED DEVELOPMENT

The rectangular shaped site has a lot area of 19.92 acres. The proposed development contemplates a mix of uses including single detached dwellings, a range of townhouse dwellings, a 1.03 ha mixed use/ medium density residential / convenience commercial block, NHS Channel block and multiple open space areas (Table 2). The existing cultural heritage resource ('CHR') is proposed to be relocated on site near the south east corner of Clockwork Drive ('CD') and Chinguacousy Road ('CR'), adjacent to a walkway and servicing block (Appendix D).

7.2.1 SITE LAYOUT

Regarding the subject site, the Draft Plan of Subdivision for TFP Mayching Developments Ltd. was prepared by Glen Schnarr & Associates Inc. (GSAI) on January 25th, 2021 showing development of two blocks of land generally located southeast of Mayfield Road and Chinguacousy Road, and north and south of Clockwork Drive.

Vehicular access to the proposed residential development is planned exclusively from Clockwork Drive, located at the center of the site (Figure 36). This main entrance to the community from Chinguacousy Road is flanked by a landscaped community entry feature, i.e., a pedestrian walkway south of Clockwork Drive and a mixed use/ medium density residential / convenience commercial block on the north of Clockwork Drive. This design is congruous to the community gateway dwellings design guidelines recommended by the City of Brampton's document 'Part VII – Architectural Control Guidelines for Ground-Related Residential'²⁵.

²⁵ Part VII – Architectural Control Guidelines for Ground-Related Residential. Accessed from: <https://www.brampton.ca/EN/Business/planning-development/Documents/CD/UD/UDS/Brampton%20ACGGRRD%20080717%20final.pdf>

The block of land north of Clockwork Drive proposes the development of 34 dual frontage townhouses (Block 41-45), 46 back-to-back townhouses (Block 56-59), 39 street townhouses (Block 34-39) and a walkway and serving block (Block 61). A mixed use/ medium density residential / convenience commercial block (Block 60) is proposed further south of these residential units, which would allow a mixed-use building or medium density residential or a convenience commercial²⁶.

The block of land south of Clockwork Drive proposes the development of 36 dual frontage townhouses (Block 46-51), 64 back-to-back townhouses (Block 52-55), 30 detached residential, 11 street townhouses (Block 32-33) and a walkway block (Block 63). Another walkway block (Block 62) is proposed at the intersection of Chinguacousy Road and Clockwork Drive which would be adjacent to the new heritage house lot. A natural heritage system (Block 64) will be located at the southwest end of the site incorporating a multi-use trail and acting as a buffer from the city collector road.

TABLE 2: SITE STATISTICS FOR THE PROPOSED DEVELOPMENT²⁷

Site Statistics	
Lot Area (Total 65 lots)	80613.38 square meters (19.92 acres)
Proposed Development	
Detached Residential – 9.15m (30')	022 Units
Detached Residential – 11.6m (38')	008 Units
Street Townhouses – 6.1m(20')	050 Units
Dual Frontage Townhouses – 6.0m(20')	070 Units
Back-to-back Townhouses – 6.4m(21')	110 Units
Heritage House Lot	001 Unit
Total Number of Units	261 Units
Mixed-Use Medium Density Residential/Convenience Commercial (MU/MDR/CC)	10319.48 square meters (2.55 acres)
Walkways and Servicing Blocks	1092.65 square meters (0.27 acres)
Natural Heritage System (NHS)	2711.39 square meters (0.67 acres)
.3m Reserve	80.93 square meters (0.02 acres)
16.5m – 20m ROW (1,370m Length)	23795.52 square meters (5.88 acres)

²⁶ Section 5.2.1.4 Mixed-Use. Mount Pleasant Secondary Plan (Office Consolidation February 2017). Accessed from: <https://www.brampton.ca/EN/Business/planning-development/policies-master-plans/secondary%20plans/SPA51%20Mount%20Pleasant.pdf>

²⁷ Site Statistics, DPS, January 11th,2021 GSAI

7.2.2 SCALE, FORM AND MASSING

The design of the proposed heritage house relocation conforms to the 'Site Planning and Built Form' Development Design Guidelines provided by the City of Brampton for apartments.

- Maintaining the front elevation of the relocated heritage Robert Hall House parallel to Chinguacousy Road helps preserve the existing heritage streetscape and context.
- The Robert Hall house will be adjacent to an open space and would have more exposed elevations than mid-block houses.
- Entrance /access points to open space and open space features shall be reinforced by the siting of adjacent built form. The siting and articulation of the building(s) shall reinforce the sense of entry, frame views and provide visual connections to the open space.
- Housing located adjacent to parks, open space and pedestrian links possess similar heightened visibility as housing at corner lot locations. Both the front and exposed side elevations of housing in these locations shall be of equal quality in terms of the architectural materials, amount and proportions of openings, and attention to detail.
- The proposed new addition to the heritage house should incorporate features that emphasize the corner of the structure and its side elevation, such as corner bay windows, wrap-around porches, and roof elements at the corner.²⁸

7.2.3 URBAN DESIGN GUIDELINES AND PLANNING POLICIES

According to the Urban Design Addendum report locating the heritage house together with an adjacent generous-sized walkway block located opposite Keith Monkman Park and another existing heritage house located to the west of Chinguacousy Road will form a Community Character Area with a strong heritage identity to foster place-making within the community.

The Urban Design addendum (John G. Williams Limited Architect & Strybos Barron King Ltd., Landscape Architecture) further concludes the following:

- The relocated heritage house will function as familiar focal point within the community and assist in placemaking and neighbourhood identity at the intersection of Chinguacousy Road and Clockwork Drive.
- It is important that new construction in proximity to the heritage building promotes architectural interest, human scale, and sympathetic design to the character-defining attributes of the heritage structure.
- New, contemporary buildings may be sympathetically designed to incorporate concepts and elements from the heritage structure.

Refer to the UD Addendum for further details.

7.2.4 BUILT CHARACTER

The proposed design aims to create a dynamic new development comprised of innovative housing forms, a Mixed-Use Medium Density Residential / Convenience Commercial block and integration of an existing heritage house that will become an integral component of the Alloa Green Community. The dual frontage townhouses shall be designed in accordance with Part VI,

²⁸ Development Design Guidelines, Site Planning and Built Form. City of Brampton

Section 5 of the DDG - “Transit-Supportive Townhouse Design Guidelines (TSTDG)” which provides best practices in built form/architectural design for townhouse residential development.



Figure 37 Conceptual façade design for the dual frontage Townhouses



Figure 38 Conceptual Examples of Proposed Architectural Character, Back-to-Back Townhouses

Built form character will combine a blend of traditional and contemporary architecture, incorporating heightened building massing in critical areas to recognize the site’s important location at a major gateway into the City of Brampton. High quality landscape treatments will complement the built form to create a vibrant public realm.²⁹

²⁹ 3.0 Built Form - Urban Design Addendum to Mount Pleasant Block Plan 51-2 CDG, John G. Williams Limited Architect & Strybos Barron King Ltd., Landscape Architecture, January 2021

7.3 SITE ALTERATION

The site alteration is the relocation of the one-and-a-half-storey limestone farm residence. The proposed new location for the house is the southeast corner of the Chinguacousy Road and Clockwork Drive within the boundaries of Block 31. The new proposed site will have an area of 0.1 acres (Figure 36). The proposed new parcel for the relocated heritage house is close to its original location, preserving its context. The house will enjoy a prominent location at the intersection of Clockwork Drive and Chinguacousy Road on a corner lot, ensuring visibility from the public right-of-way and maintaining its existing visual relationship with Chinguacousy Road.

The relocation of the heritage house is according to the design development guidelines as the new lot will be a 'Priority Lot', which will ensure better and higher visibility of the heritage structure. The current proposal would see the relocated heritage resource set back from Chinguacousy Road (approximately 6.8m) adjacent to a walkway block. This design will regard the transition and physical integration with adjacent forms of development. Beechwood Homes' relationship across the street and the walkway block will be maintained and enhanced, creating a heritage character area. The new construction in proximity to the heritage building promotes architectural interest, human scale, and sympathetic design to the heritage structure's character-defining attributes. The relocated heritage house will function as a familiar focal point within the community and assist in placemaking and neighbourhood identity at the intersection of Chinguacousy Road and Clockwork Drive.³⁰

Through the restoration, rehabilitation and relocation, the heritage building could be conserved and strategically placed in context with the changing site. The subject property will be preserved and restored for adaptive re-use and will be utilized as a residence for future private owners. The entire portion of the building containing the heritage attributes will be moved. The building will stay on its property throughout construction. The later additional building wings not identified as heritage attributes, currently existing on-site are proposed to be demolished.

7.4 IMPACT ASSESSMENT

Impacts can be described as 'direct' when cultural heritage landscapes and/or built heritage resources will be removed or significantly altered by a proposed development activity or 'indirect' when cultural heritage resources are disrupted by the introduction of physical, visual, audible or atmospheric elements that are not in keeping with their character and, or setting.

7.4.1 ASSESSMENT OF ADVERSE IMPACTS

When determining the effects, a development or site alteration may have on known or identified built heritage resources or cultural heritage landscapes, the MTCS Heritage Resources in the Land Use Planning Process advises that the following direct and indirect adverse impacts be considered:

A. DIRECT IMPACTS

- *Destruction* of any, or part of any, significant heritage attributes, or features; and

³⁰ Ibid

- *Alteration* that is not sympathetic or is incompatible, with the historic fabric and appearance.

B. INDIRECT IMPACTS

- *Shadows* created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden;
- *Isolation* of a heritage attribute from its surrounding environment, context or a significant relationship; or
- *A change in land use* such as a rezoning an open space to residential use, allowing new development or site alteration to fill in the formerly open spaces.

Other potential impacts associated with the undertaking may also be considered. Historic structures, particularly those built-in masonry, are susceptible to damage from vibration caused during the construction phase. Like any other structure, they are also threatened by collisions with heavy machinery or subsidence from utility line failures (Randl 2001:3-6).

The following is an assessment of the potential direct or indirect adverse impacts on the property’s heritage attributes resulting from the proposed development and the relocation, based on those identified in Ontario Heritage Tool Kit, Info Sheet #5.

TABLE 3: ASSESSMENT OF DIRECT AND INDIRECT ADVERSE IMPACTS

Potential direct and indirect adverse impact	Assessment	Summary of Impact with Mitigation
<p>1. <i>Destruction</i> of any, or part of any significant heritage attributes of features.</p>	<p>The proposed development includes the retention of the property’s-built heritage resource (limestone building with a gable roof and adorning quoining) in its entirety.</p> <p>The relocation of the Robert Hall House (Subject CHR) has the potential to negatively impact heritage attributes during the relocation and construction phase through accident or faulty procedure. Construction activity and potential excavation adjacent to the property has potential to cause limited and temporary impacts to former Robert Hall House. These impacts can be mitigated though construction controls, protection plans and retention of a structural engineer to avoid any damage to the property’s heritage attributes.</p>	<p>Minor Impact.</p> <p>If controls are followed during relocation, impact will be limited and monitored. No heritage attributes are at risk if the recommended mitigation measures are implemented (see section 7.5.2).</p>

<p>2. Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance.</p>	<p>No alterations to the building are proposed as a result of the relocation.</p> <p>The proposed development will alter the surrounding environment of the property by changing it from rural to mixed-use suburban, thereby increasing population density and traffic. The surrounding agricultural setting will also be altered. However, Robert Hall House will be relocated to the southeast corner of CD and CR where it will maintain a visual relationship to CR. The property lot will also be relatively larger than the adjacent new lots to ensure distinguishability and preserve the rural character of the house.</p> <p>The building sits on a raised rubble fieldstone foundation. Foundations and coursed limestone masonry will be restored and protected to emulate the historic heritage structure.</p> <p>The existing windows will be replaced (sashes inside original frames) in reproduction wood double hung 6-over-6 or 9-over-9 sashes (Figure 14). The existing entry steps will be removed and replaced with historically compatible entrance stairs. The Robert Hall House will be relocated adjacent to a walkway block and will be used as a residence.</p> <p>A Heritage Conservation Plan (HCP) detailing the conservation approach (i.e., preservation, rehabilitation or restoration), to conserve former Robert Hall House prior to, during and after the relocation effort will mitigate adverse effects from rehabilitation.</p>	<p>Minor impact results from the integration of the Robert Hall House with the proposed residential development.</p> <p>As per guidance from Canada's Historic Places (Section 4.3.1: Exterior Form), the new development proposed immediately adjacent to the Robert Hall House will provide distinguishability and legibility of 'new' from 'old'.</p> <p>Positive impacts will be the restoration of several heritage attributes and removal of earlier unsympathetic alterations.</p> <p>As Robert Hall House will be next to a park, it will be quite visible to an open area of frequent public use and thus will require a higher level of upgrading than dwellings backing onto or next to a wooded valley. The level of upgrading will be consistent with the level of public exposure.</p>
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<p>3. Shadows created that alter the appearance of the heritage attribute or change the viability of an associated natural feature or plantings, such as a garden.</p>	<p>N/A - No shadows are anticipated that will alter the appearance of the building or that would negate the viability of natural features.</p>	<p>No impact.</p>
<p>4. Isolation of a heritage attribute from its surrounding environment, context or a significant relationship.</p>	<p>The relocation of the Robert Hall House will move the building from its original location dating to c. 1870s. Currently the building fronts CR and sits deep inside the lot, making it completely hidden from the major road. In its proposed new location, the building will continue to the front on CR and will remain within its original farm lot. In its new location, the building will be adjacent to residential units (south) and medium density residential & convenience commercial and walkway block (north), and a residential neighborhood comprised of townhouses and two-story single detached dwellings (east).</p> <p>The rear addition will not block the existing structure from surrounding properties or views.</p>	<p>No impact.</p> <p>Relocation is within the original site and will maintain a visual relationship with Chinguacousy Road, and potentially draw new interest and appreciation for the Robert Hall House and the history of Ontario Georgian style homes.</p> <p>No significant surrounding environmental elements, context or relationships were identified.</p>
<p>5. Direct or indirect obstruction of significant views or vistas with, from, or of built and natural features.</p>	<p>N/A - No significant views or vistas have been identified within, to, or from the subject property. However, it is currently not possible to view the front facade of the building from CR which is hidden heavy vegetation.</p> <p>The Robert Hall House will be relocated to the southeast corner of the intersection of CD and CR where it will maintain a visual relationship to Chinguacousy Road. This location will allow the CHR to be experienced as a three-dimensional building from the public realm, easily visible from the</p>	<p>No impact.</p> <p>The impact of the proposed development will be minimal, as the addition is located to the rear of the property and the existing heritage structure will be retained.</p> <p>Positive impact will be the removal; of the modern porch, former west and east wing which obscured the view from and to the</p>

	Clockwork Drive and Chinguacousy Road intersection.	east and west facades respectively, of the original former Robert Hall house.
6. A change in land use (such as rezoning a church to a multi-unity residence) where the change in use affects the property's cultural heritage value.	<p>A change in land use has not been proposed for the subject property. As a result, the proposed residential use does not affect the CHR's cultural heritage value as outlined in Section 6.0.</p> <p>The rural character of the area will change to mixed-use residential. The subject property will be preserved and restored for residential use which will pride stewardship of the CHR in the long-term.</p>	<p>No Impact.</p> <p>The intensified use will have less impact as the new construction will be located to the rear of the CHR.</p> <p>The positive impact is the preservation of the character of the CHR and its long-term use.</p>
7. Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource, including archeological resources.	<p>Demolition of the modern porch and later additions.</p> <p>Land disturbances during construction phase can be monitored if mitigation measures such as standard drainage, site grading and vibration monitoring are implemented. There are no anticipated changes in grade that would negatively impact the building. A Heritage Conservation Plan would demonstrate the mitigation strategy for the impacts of relocation.</p>	<p>No impact.</p> <p>If mitigation measures are followed during relocation, the impact will be limited and monitored.</p> <p>The positive impact will be the proposed landscaping on all three sides of the CHR.</p>

7.4.2 Results of Impact Assessment

The preceding assessment has determined that with the proposed conservation strategy, the proposed development will not result in significant direct and indirect impacts to the heritage attributes of Robert Hall House. Such impact will be limited and monitored through proper mitigation measures. The following section provides an analysis of potential alternative mitigation strategies.

7.5 CONSIDERED ALTERNATIVES AND MITIGATION STRATEGIES

7.5.1 Considered Alternatives

Various mitigation options are evaluated in this section, to determine how the proposed redevelopment can lessen its impacts on the subject Robert Hall House. Mitigation options are defined by the Provincial Policy Statement 2020 ('PPS 2020') as development initiatives that permit the preservation of a heritage resource. This PPS provision is incorporated municipally through the Official Plan, which states that, "All options for on-site retention of properties of cultural heritage significant shall be exhausted before resorting to relocation."³¹ In line with this policy, this HIA evaluates the following mitigation options, as recommended by the OP in Section 4.10.1.12 in the following order of priority:

- (i) On-site retention of the Robert Hall House in the original use and integration with the surrounding or new development;
- (ii) On-site retention of the Robert Hall House in an adaptive re-use;
- (iii) Relocation of the Robert Hall House to another site within the same development; and,
- (iv) Relocation of the Robert Hall House to a sympathetic site within the City.

The following table provides an analysis of each mitigation option:

TABLE 4: ANALYSIS OF OPTIONS FOR CONSIDERED ALTERNATIVES

OPTION	ADVANTAGES	DISADVANTAGES	FEASIBILITY
<p>(i) On-site retention of the Robert Hall House in the original use and integration with the surrounding or new development</p> <p>This option involves retaining the CHR on its current location and using the building as a residence and integrating it with the new development.</p>	<ul style="list-style-type: none"> - Minimal intervention - Potential for retaining all heritage attributes of the property. - The Robert Hall House will maintain a visual relationship to CR. 	<ul style="list-style-type: none"> - The Robert Hall House will not enjoy a prominent location as it's view from CR is currently hidden due to vegetation. -To ensure that the building does not suffer from rapid deterioration, repairs must be carried out for both exteriors and interiors. -Development surrounding Robert Hall House would impact the heritage resource significantly. 	<p>This option is not feasible because of the following:</p> <ul style="list-style-type: none"> - High expense to stabilize, preserve and maintain the CHR and its lot; - Reduction in the economic viability of the property; and - If retained in-situ, the historic house will also be affected by the significant re-grading of the subject lands due to the proposed residential development. <p>-The preliminary DCP complies with the community design guidelines in the MPSP 2017 (Section 10.7 Street Network), which recommends the establishment of a hierarchy of streets within the community to facilitate easy</p>

³¹ Section 4.10.1.12 'Built Heritage' of the City of Brampton Official Plan 2006 (September 2020 Office Consolidation)

			<p>movement and orientation. This option situates the house in the middle of the proposed - block 55 and street F, and is therefore obstructive and incompatible.</p>
<p>(ii) On site retention of the Robert Hall House in an adaptive re-use</p> <p>This option involves retaining the CHR on its current location and re-using the building adaptively.</p>	<ul style="list-style-type: none"> - All heritage attributes retained. - The house will maintain a visual relationship to CR. 	<ul style="list-style-type: none"> - The Robert Hall House will not enjoy a prominent location being located in the mid-depth of the property instead of the south-east corner of CR and CD which will be more visible. - Development surrounding Robert Hall House would by necessity, occupy the portion of the property east of the CHR. Such a development would obscure the view from/to the east facade of the Robert Hall House and impact the heritage resource significantly. 	<p>This option is not feasible because of the following:</p> <ul style="list-style-type: none"> -The Robert Hall House cannot be converted to accommodate a commercial use because of non-compatible construction. - The Robert Hall House will be subjected to incompatible forms of alterations and additions which may obscure and jeopardize the Robert Hall House's heritage attributes.
<p>(iii) Relocation of the Robert Hall House to another site within the same development</p> <p>This option considers relocating the Robert Hall House to the southeast corner of CR</p>	<ul style="list-style-type: none"> - All heritage attributes retained. - The Robert Hall House will maintain a visual relationship to Chinguacousy Road. - Through restoration and relocation, the heritage building could be conserved, and 	<ul style="list-style-type: none"> - The new development may introduce further design constraints, i.e., difference in scale, architectural compatibility etc. - The Robert Hall House will require new foundations. 	<p>This option is feasible as this is a compatible relocation for the Robert Hall House.</p> <ul style="list-style-type: none"> -The subject property has sufficient lands to incorporate a compatible relocation site for the Robert Hall House and sustainably integrate the CHR to the proposed residential building. -The CHR is in overall good condition with high integrity; - It will assist in meeting the objectives for Protection of

<p>and CD within the same site, restoring and using it as a residence (original use). (Figure 36).</p>	<p>strategically placed in context with the changing site.</p> <ul style="list-style-type: none"> - The Robert Hall House site can be designated after its relocation. - The development plan proposes a green buffer space adjacent to the new location of the heritage Robert Hall House that will act as a noise buffer. -The new location of the Robert Hall House is close to its original location, which will help preserve its context and urbanity. - The Robert Hall House will enjoy a prominent position at the intersection of CD and CR at a corner location, ensuring visibility from the public right-of-way. - The relocated Robert Hall House will enjoy direct pedestrian connectivity as the existing municipal sidewalk along CR is planned to be connected to the walkway block adjacent to the subject property. 		<p>Cultural Heritage Resources as identified in the City of Brampton’s <i>Official Plan</i> under section 4.10.</p> <ul style="list-style-type: none"> -The proposed use as a detached single-family dwelling has would be easily accommodated in the Robert Hall House with a compatible rear addition.
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<p>(iv) Relocation of the Robert Hall House to a sympathetic site within the City.</p> <p>This option involves relocating Robert Hall House to a surrounding similar to its historic setting on a rural, agricultural lot.</p>	<p>-This option ensures the long-term protection of the structure and might provide the historic rural setting of the heritage Robert Hall House.</p>	<ul style="list-style-type: none"> - The relocation to another site will sever the historical relationship of the building with Chinguacousy Road. - The building could be damaged during the relocation effort. - The Robert Hall House will require new foundations. - The new location might not have a buffer from the proposed development around. 	<p>This option is not feasible because it would sever the connection with Chinguacousy Road and the connection with the original site.</p> <p>-Since the third mitigation option is possible, it is unnecessary to relocate the Robert Hall House to another site within the City.</p>
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7.5.2 Considered Mitigation Strategies

Section 7.4.1 identified two potential negative impacts related to the proposed development:

1. **Destruction** of any, or part of any significant heritage attributes of features.
 2. **Alteration** that is not sympathetic, or is incompatible, with the historic fabric and appearance.
- In order to avoid these impacts or mitigate to acceptable levels, a number of measures are prescribed for each.

Potential Negative Impact	Proposed Mitigation
<p>1. Destruction of any, or part of any significant heritage attributes of features.</p>	<p>The limestone residence and its heritage attributes will be conserved through relocation of the cultural heritage resource.</p> <p>A Conservation Plan and/or Relocation Plan should be prepared to ensure heritage attributes are adequately protected during relocation (see Section 9.4). Relocation of the building must be undertaken by a company with demonstrated experience moving historic structures.</p>
<p>2. Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance.</p>	<p>Removal of earlier unsympathetic alterations will help preserve the original character and style of the CHR. The new 2-storey rear addition will replace the existing incompatible rear addition on the east. The porch of the west façade facing the CR will be reinstated. The level of upgrading will be consistent with the level of public exposure so as to ensure safety and privacy for the Robert Hall House.</p>

8.0 CONSERVATION AND IMPLEMENTATION STRATEGIES

8.1 RELOCATION AND RESTORATION APPROACH

Based on the evaluation from the previous section, the relocation of the Robert Hall House to a compatible site within the same development is the most feasible and most appropriate form of conservation strategy among those listed in the Official Plan.

The relocation of the Robert Hall House also calls for its restoration. Restoration is the recovery of forms³², and may involve the removal of intervening periods where necessary, to replace or to reproduce missing elements. It is also defined as “accurately revealing, recovering or representing the state of a historic place or individual component as it appeared at a particular period in its history, while protecting its heritage value.” The proposal to combine relocation with restoration is guided by the following rationale:

- a. The later 20th century modifications to the property undermine the Robert Hall House’s contextual, architectural, and historical values.

The Robert Hall House, the primary structure within the property, is recommended to be restored by recovering its original Georgian form. This can be achieved through the demolition of its additions, including (see subsection 5.5):

- Replacement of the entry porch in wood construction on the north side (1969, ‘Wood Porch’);
- Removal of the red brick extension on the west side (1979, ‘Monkman Addition’); and
- Removal of the two-storey wood-clad addition on the east side (1991, ‘Pseudo-Gothic Addition’).

The latest addition is clearly a poor reinterpretation of historical style(s) because of incongruous combination of classical elements (i.e., semi-circular and oval gable windows) with Carpenter Gothic board-and-batten cladding.

So, in assessing the heritage value of the house, only the original c. 1875 house, consisting of the “middle” limestone structure, was determined to have sufficient historical integrity. It must be stabilized while the other non-historic exterior and interior portions are being removed. The materials and assemblies of the mid-block – its stone masonry (brick quoins and brick accents), and precast decorative elements, and stone assemblies (sills and foundations) – are unique to the structure, and must be protected with utmost care. Coursed limestone masonry will be restored and protected or replaced, where required, to emulate the historic heritage structure.

³² page 42, Fram, M. "Well-Preserved: The Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation." *Ontario Heritage Foundation*: Boston Mills Press, 2010. Web. May 2015.

Original wood windows have been replaced by contemporary units and doors have also been replaced. The existing windows may be replaced (sashes inside original frames) in reproduction wood double hung 6-over-6 or 9-over-9 sashes (Figure 14) or other appropriate material.

Since access into the historic structure is necessary to integrate with the new buildings, the northern wood porch could be replaced with in-kind wood materials as part of the house's re-use. Although considered a subsequent component, the wood porch has been serving as an access point since 1969 and as the main entrance since 1979. With its materials and architectural form, the wood porch differentiates itself from the rest of the masonry structure. Therefore, a replacement porch is proposed to conform to the original shape and wood materials but with new construction meeting current standards.

The removal of the incompatible forms of 20th-century alterations, comprising the east and west additions, will renew and strengthen the cultural associations represented by the CHR with the Robert Hall period of ownership.

- b. Substantial physical evidence exists to carry out the reversal of later modifications, and the recovery of the original Georgian form.

The later alterations to the Robert Hall House can still be reversed as there is substantial physical evidence reflecting the Robert Hall House's earlier form (Figure 14). Later interior and exterior modifications – including its interiors, rear portions, and window and door replacement units – can also be reversed and replaced with compatible reproduction materials.

- c. The significance of the CHR during the Robert Hall period of ownership outweighs the loss of existing, non-character-defining components from other periods.

The proposed restoration of the subject property to its original Georgian design will reinforce its association with Robert Hall. In retaining this original middle portion, the western and eastern additions, referred to as the 'Monkman addition' and the 'Pseudo-Gothic 1991 addition' respectively, shall be removed. Although they are part of the structure's accumulated alterations, they minimally contribute to depicting the historic 1870's farming period.

The removal of these least significant western and eastern additions shall proceed in the manner of careful disassembly so as not to jeopardize the significant limestone core. Prior to this restorative approach, and as part of its Heritage Approval process, the Heritage Conservation Plan drawings (see section 9.3) will be prepared that would include proper documentation of the existing structure and the proposed salvage and conservation approach.

- d. Through restoration and relocation, the heritage building could be conserved, and strategically placed in context with the changing site.

The proposed use will involve altered site conditions, a new mixed-use development, new intensification strategies, and altered vehicular movement. Relocating the heritage building on a site, where its heritage value could be enhanced, accessed, and preserved, will promote the feasibility of its long-term conservation. The process of relocation can be achieved and will permit the restoration of the Robert Hall House. The restoration of the Robert Hall House will not only

reveal its historic Georgian form, but it will also simplify its building mass to allow a feasible relocation process.

In conclusion, the proposed restoration and relocation of the Robert Hall House building will accommodate a balance between conservation and development, and is therefore recommended by this HIA. This approach will allow the recovery of the building's historic Georgian form, while also permitting viability for its relocation and integration within the proposed residential-commercial development. The process of restoration and relocation can be achieved through the processes described in the following sub-sections.

8.2 PLANNING FOR RELOCATION

Planning for the relocation of the heritage structure involves consultations with several groups, such as the owners, consultants, the City's heritage staff, its other planning departments, and ultimately, Council. It also involves the employment of qualified consultants and a moving contractor, who are selected based on their qualifications. It also requires the identification and approval of the final relocation site, which is critical as it will define the economic viability and the long-term conservation of the heritage structure.

The City of Brampton recognizes the lengthy period between redevelopment and formal planning submissions. During this period, the subject heritage structure will be subject to vacancy. The City of Brampton therefore refers to the guidelines incorporated in its Heritage Building Protection Plan ("HBPP") and Vacant Heritage Building Strategy ("VHBS"). According to the HBPP (subsection 2b. of the HBPP), properties are subjected to these guidelines "if a heritage resource is present on the lands subject to a development application and shall be applied to:

2b. any non-designated (listed) heritage buildings and structures pursuant to Section 27 (1.2) of the Ontario Heritage Act."

Essentially, the ultimate purpose of the VHBS and the HBPP is to encourage the protection of the City's heritage resources, and to reduce risks associated with building vacancy. The preparation of an HBPP would include components such as, the description of all buildings and structures, baseline documentation report, preventive maintenance or stabilization plan, security plan for vacant buildings and structures, and proof of insurance (section 5 of the HBPP). Some of these requirements are already provided in this HIA.

The submission of documents supporting the HBPP and the VHBS may be incorporated in a Conservation Plan, or a Relocation Plan, which will outline the sequence, methods, and equipment proposed for relocating the structure to its final relocation site, including the clearance of the structure's path towards the final relocation site.

8.3 RELOCATION PROCESS

These planning submissions must demonstrate the commitment to protect and to stabilize the heritage structure. Once these processes are agreed upon, and are set in place, site remediation activities (ex. site decontamination, soil stabilization, snow control, and effective groundwater treatment) may commence, and new foundations for the heritage structure may be planned and built on the final relocation site.

Following a field verification, and as permitted by the City and a licensed structural engineer, the heritage structure shall be separated from its utilities and foundations, through the placement typically of steel I-beams directly below the floor framing. This steel cribbing will then be lifted by hydraulic jacks upon the approval of a structural engineer. As part of the moving operations, the exterior and interior bracings of the heritage structure shall be designed and constructed to support the building envelope. Openings shall be boarded up, and water eradicating systems shall be verified as operational. Operations shall cease if the heritage structure appears endangered, and the heritage architect, engineer, and City Staff should be notified. Moving shall only resume once corrective measures have been undertaken.

The Owner, or any authorized owner-representatives shall notify the City of Brampton's Heritage Coordinators, as well as the Fire Services and Building Department Staff, regarding the details of the moving operations and the temporary vacancy of the heritage structure. The enforcement of the applicable guidelines in the VHBS (The Vacant Building By-Law 155-2012) is also subject to: the Ontario Fire Code (sub-section 3.10) under the Fire Protection and Prevention Act (sub-section 3.9), Minimum Maintenance By-law of the City of Brampton (104-96), the Ontario Building Code Act (sub-section 3.4), the Ontario Heritage Act (sub-section 3.14) and the Ontario Municipal Act (regulations 171 and 173).

9.0 SUMMARY STATEMENT & RECOMMENDATIONS

9.1 PROPERTY WORTHY OF DESIGNATION

Based on historical research, site review and analysis provided in Sections 3, 4, and 5 and evaluation against the criteria in O. Reg 9/06, the HIA finds that the subject property merits designation under Part IV of the *Ontario Heritage Act*. Below is a draft Statement of Cultural Heritage Value or Interest.

The "Robert Hall House" at 11687 Chinguacousy Road sits on a century-and-a-half old, 22.7-acre farmland property in the City of Brampton. Its original, one-and-a-half-storey structure, attributed in this report as the Robert Hall portion, is a fine, rare example of vernacular Georgian Style expressed in its unique and high-quality rough-stone coursing technique. It is one of the two residential stone structures in the city, and would therefore, contribute to an understanding of the 19th-century rural life in Chinguacousy Township.

The house structure is worthy of designation under the OHA. Its higher-valued Robert Hall portion must be conserved and integrated within the development site, with commemorative strategies to the original agricultural context that will substantially be removed with the rezoning of North-West Brampton (NWB) area, and the spiraling future developments resulting from the approval of the City's Mount Pleasant Secondary Plan Sub-Area 51-2.

Heritage Attributes

Heritage attributes related to the original Robert Hall House's Design or Physical Value, including:

- Gabled form and simple massing;
- Symmetrical composition of the 3-bay entrance;
- Use of rectangular window and door openings throughout
- Redbrick quoins;
- Coursed limestone masonry;
- Dressed stone lintels and sills; &
- Interior elements – paneling, window and door casings, mouldings, flooring.

Heritage attributes related to the Robert Hall House's Historic Value, including:

- Location of the c. 1870 limestone farmhouse constructed for the Hall family on Concession 2, Lot 17, Chinguacousy Township.
- Carved Initials of Robert Hall carved into a brick (Figure 35).

Heritage attributes related to the Robert Hall House's Contextual Value, including:

- The farm may contribute to an understanding of 19th-century rural life in Chinguacousy Township.
- Orientation to Chinguacousy Road.

At its present condition, the Robert Hall House within the subject property acquired a good score on architectural, historical, and contextual criteria (see subsection 6.1). Implementation of an appropriate conservation strategy could further enhance its heritage significance. The proposed conservation strategy (see section 8) can address these issues by relocating the Robert Hall House on a compatible site and its restoration in its original Georgian form.

In conclusion, the Robert Hall House is recommended as a candidate for heritage designation, at a time when the proposed conservation strategy of relocation and restoration is implemented to the satisfaction of the City. The processes involved for the Robert Hall House's conservation and designation will be undertaken by Staff and Council, along with the Owners and other professional consultants. At present, the subject heritage resource does not meet all of the OHA criteria as per Regulation 9/06. However, it meets the OHA requirement for a property to have "one or more" of the criteria, grouped into the historical, design, and contextual categories, to qualify for provincial designation³³.

9.2 DESIGN GUIDELINES FOR NEW DEVELOPMENT

With the new compatible use determined, subsequent design development can then occur, and may be done in accordance with other guidelines, such as the City's "Development Design Guidelines" (DDGs). The DDGs seek to promote good urban design with one of its objectives being "to incorporate and reinforce important natural and heritage features into the community structure." The DDGs could therefore be used to promote the compatibility of the subject development and heritage structure, especially in terms of site planning and built form. Part VI-Section 1.0 of the DDGs discusses "Residential Areas," such as the proposed building. Part VII – Architectural Control Guidelines - Section 5.9 further discusses "Dwellings Adjacent to Heritage Buildings" such as the subject property.

The development of these areas is recommended to preserve and to enhance the existing site, to support the logical distribution of buildings, parking, loading areas, and at the same time, to minimize impacts on the streetscape. Some of the recommendations of the DDGs coincide with the possible mitigation options in the HIA-ToR Appendix 2. Recommendations include but are not limited to:

9.2.1 Landscape Buffers & Commemorative Landscaping

Landscape buffers may include setbacks to convey internal road allowances, as well as the provision of parkettes. Building setbacks may also enable a generous landscaped setting adjacent to the arterial road to create pedestrian-oriented landscape strips. The consideration for landscape buffers will limit and obviate the impacts of the intensified residential use surrounding the Robert Hall House structure. It may also enhance private and public spaces in the proposed residential building. A walkway block is proposed north of the CHR's new lot.

³³ p. 20, Ministry of Culture. "Ontario Heritage Toolkit - Heritage Property Evaluation: A Guide to Listing, Researching, and Evaluating Cultural Heritage Property in Ontario Communities". Queen's Printer for Ontario, 2008

Officially naming the subject building 'Robert Hall House' and installing a plaque in the green space adjacent to the property that will be visible from public right of way (not impacting any heritage attributes of the Robert Hall House) to communicate the history and importance of the building is another possible commemorative strategy. This is congruous to the Community Design guidelines in Section 11 of the Mount Pleasant Secondary Plan.³⁴

9.2.2 Sympathetic Design to New Buildings & Surroundings

It is important that new construction promotes architectural interest, human scale, and sympathetic design to the character-defining attributes of the heritage structure. New, contemporary buildings may be sympathetically designed to incorporate concepts and elements from the heritage structure.

Section 5.7 Dwellings facing Parks and section 5.9 Dwellings adjacent to Heritage Buildings of DDG (Part VII) list and recommend the following guidelines that are applicable to the subject site³⁵:

5.7 Dwellings Facing Parks

- *Housing facing parks should use a coordinated and unified architectural theme, colour schemes and exterior material choices in order to create a unique architectural backdrop to the park and foster an identifiable sense of place within the community. This shall be detailed within the required Urban Design document for each community.*
- *The majority of dwellings facing a park should have a full porch, where appropriate to the architectural style. This helps to define the park edge, encourage social interaction and promote casual surveillance of the park.*
- *Dwellings with garages projecting in front of the porch shall be discouraged facing parks. Continuity of building massing is encouraged facing parks.*

5.9 Dwellings Adjacent to Heritage Buildings

- *New housing on lots adjacent to heritage buildings will be considered Priority Lots. They shall be respectful to the adjacent heritage by having appropriate regard for design, massing, setbacks, building materials and colours.*
- *The Builder should limit the model types/elevations available to be sited adjacent to a heritage building to those exhibiting the highest degree of compatibility.*
- *Enhanced elevation treatments will be required for façades facing a heritage building.*

³⁴ Community Design Guidelines, MPSP (Office consolidation 2017). City of Brampton. Accessed from: <https://www.brampton.ca/EN/Business/planning-development/policies-master-plans/secondary%20plans/SPA51%20Mount%20Pleasant.pdf>

³⁵ Development Design Guidelines, Part VII (2008). City of Brampton. Accessed from: <https://www.brampton.ca/EN/Business/planning-development/Documents/CD/UD/UDS/Brampton%20ACGGRRD%20080717%20final.pdf>

9.3 PREPARATION OF A CONSERVATION PLAN

A Heritage Conservation Plan will also be prepared to demonstrate the proposed conservation strategy. A Conservation Plan would typically accompany a full site plan approval application. It is a submission that describes “repairs, stabilization and preservation activities as well as long term conservation, monitoring and maintenance measures” required to preserve a heritage resource. The Conservation Plan may include components that include, but are not limited to:

- Drawings and “Outline” Specifications
- Building Material Inventory,
- Cost Estimate, and
- Other requirements to fulfill planning requirements, such as the HBPP.

A Building Material Inventory (‘BMI’) may be required and submitted to document the methods and materials used for original and later construction. The BMI could form part of the Conservation Plan submission. With the BMI, the types of building assemblies, their components, conditions, and joining techniques are documented, not only for archival purposes, but to create a proper sequence of preservation tasks.

Overall, the Conservation Plan will present the conditions assessment of the building through a general overview of the critical exterior elevations and their portions that would require restoration work. The description of the conservation work, or the “outline” specification, for each exterior element will address the architectural features that are “character-defining” and of particular heritage value. This outline will serve as a guide to be developed, as the first step to prepare construction documents. The Conservation Plan and its components will demonstrate the range of measures that will be undertaken to protect the heritage structure during the approvals and development processes. The Conservation Plan therefore represents a first step in upgrading the building exterior, and discusses the building’s conditions on a ‘macro’ level. It forms the implementing submission intended to guide the future specifications and drawings which will outline the detailed restoration methods.

Following the Conservation Plan, detailed construction documents – comprising drawings and specifications – will need to be prepared for each component of the determined restoration work. To undertake the proposed restoration work, a Heritage Permit Application (HPA) must be submitted to the City’s Heritage Planning Section. The City Heritage staff will require more detailed information relating to the heritage components in the Conservation Plan, prescribing the following construction specifications:

- design detailing,
- materials and colours,
- reproduction windows,
- roof material,
- masonry cleaning method, and
- brick repointing technique.

These and other submissions for the HPA will require the City’s heritage approval through the Heritage Planning staff, the Brampton Heritage Board, and ultimately Council. Therefore, at milestones in the development process, the City heritage authority will have the opportunity to review and approve the heritage aspects of this project.

9.4 SUMMARY STATEMENT

This HIA concludes that:

- The historic portion of the subject property has cultural heritage value or interest as a unique example of a 1 ½ storey 19th-century style Georgian House.
- Through alteration, preservation and restoration, the proposed development will not result in significant direct and indirect impacts to the heritage attributes of Robert Hall House.

To ensure the long-term sustainability and use of the Robert Hall House as a valued built heritage resource, *AREA* recommends to:

- Relocate the Robert Hall House to a new location within the site in the proposed development and demolish other structures on the subject property that have no heritage value. This operation will require the following short-term and long-term actions:

Short-term Conservation Actions:

- Implement a Heritage Building Protection Plan (HBPP) for the cultural heritage resource, in accordance with the City of Brampton Heritage Building Protection Plan Terms of Reference and to the satisfaction of the City of Brampton.
- Prepare a Heritage Conservation Plan (HCP) in accordance with Section 8 of the Heritage Impact Assessment Terms of Reference, detailing the conservation approach (i.e. preservation, rehabilitation or restoration), the required actions and trades, and an implementation schedule to conserve the Robert Hall House prior to, during and after the relocation effort.

Long-term Conservation Actions:

- Designate the Robert Hall House at its associated new location within the property under Part IV of the Ontario Heritage Act;
- Officially name the building 'Robert Hall House' and install a commemorative plaque in a location within the site that will be visible from public right of way but will not impact any heritage attributes of the building to communicate the history and importance of the site.

10.0 APPENDICES

Appendix A: Bibliography & References

Appendix B: Site Photos

Appendix C: City of Brampton's Cultural Heritage Impact Assessment, Terms of Reference
("HIA-ToR")

Appendix D: Development Concept Plan, GSAI January 25th 2021

Appendix E: Resumes

APPENDIX A: BIBLIOGRAPHY & REFERENCES

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APPENDIX B: SITE PHOTOS NOVEMBER 2020



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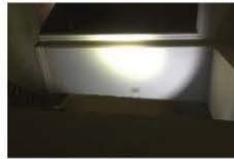
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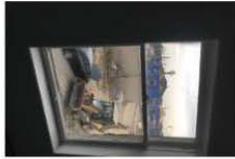
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**APPENDIX C: CITY OF BRAMPTON'S CULTURAL HERITAGE IMPACT
ASSESSMENT, TERMS OF REFERENCE ("HIA-TOR")**

Heritage Impact Assessment Terms of Reference



Planning, Design and Development
Heritage





Planning, Design and Development Heritage

Heritage Impact Assessment - Terms of Reference

A Heritage Impact Assessment (HIA) is a study to determine the impacts to known and potential heritage resources within a defined area proposed for future development. The assessment results in a report that identifies all heritage resources, provides an evaluation of the significance of the resources, outlines any impact proposed development or site alteration will have on the resources, and makes recommendations toward conservation methods and/or mitigative measures that would minimize impacts to those resources. The report will be used to help the municipality make informed decisions related to the identified heritage resources.

1. Background

The requirement to provide a Heritage Impact Assessment is derived from the *Ontario Heritage Act* O. Reg. 9/06, Section 2(d) of the *Planning Act*, Section 2.6 of the Provincial Policy Statement, and Section 4.9 of the City of Brampton's Official Plan.

According to Section 4.9.1.10 of the Official Plan:

A Heritage Impact Assessment, prepared by a qualified heritage conservation professional, shall be required for any proposed alteration, construction, or development involving or adjacent to a designated heritage resource to demonstrate that the heritage property and its heritage attributes are not adversely affected. Mitigation measures and/or alternative development approaches shall be required as part of the approval conditions to ameliorate any potential adverse impacts that may be caused to the designated heritage resources and their heritage attributes.

Official Plan Policy 4.9.1.11 states that:

A Heritage Impact Assessment may also be required for any proposed alteration work or development activities involving or adjacent to heritage resources to ensure that there will be no adverse impacts caused to the resources and their heritage attributes. Mitigation measures shall be imposed as a condition of approval of such applications.

Official Plan Policy 4.9.1.12 outlines and prioritizes preferred mitigation options starting with on-site retention.

In addition, Official Plan Implementation Policy 4.9.2 (ii) allows for:

Requiring the preparation of a Heritage Impact Assessment for development proposals and other land use planning proposals that may potentially affect a designated or significant heritage resource or Heritage Conservation District.

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2. When a Heritage Impact Assessment is Required

2.1 An HIA will be required for the following:

- Any property listed or designated in the municipal heritage register, pursuant to Section 27 (1.1) or (1.2) of the *Ontario Heritage Act* that is subject to land use planning applications;
- Any property listed or designated in the municipal heritage register, pursuant to Section 27 (1.1) or (1.2) of the *Ontario Heritage Act* that is facing possible demolition;
- Any property that is subject to land use planning applications and is adjacent to a property designated in the municipal heritage register, pursuant to Section 27 (1.1) of the *Ontario Heritage Act*.

A HIA may be required for the following:

- Any property that is subject to land use planning applications and is adjacent to a property listed in the municipal heritage register, pursuant to Section 27 (1.2) of the *Ontario Heritage Act*.

2.2 A property does not have to be designated or listed in a heritage register to be subject to a Heritage Impact Assessment. Any property that may exhibit cultural heritage value or interest or 'heritage potential' as determined by City heritage staff will be subject to an appropriate level of heritage due diligence and may require an HIA.

2.3 Heritage Impact Assessments may be 'scoped' based on the specific circumstances and characteristics that apply to a heritage resource. Further consultation with heritage staff will be required to determine when a scoped HIA may be required, as well as requirements for the content.

3. Content of Heritage Impact Assessments

3.1 Background

3.1.1 Provide a background on the purpose of the HIA by outlining why it was undertaken, by whom, and the date(s) the evaluation took place.

3.1.2 Briefly outline the methodology used to prepare the assessment.

3.2 Introduction to the Subject Property

3.2.1 Provide a location plan specifying the subject property, including a site map and aerial photograph at an appropriate scale that indicates the context in which the property and heritage resource is situated.

- 3.2.2 Briefly document and describe the subject property, identifying all significant features, buildings, landscapes, and vistas.
- 3.2.3 Indicate whether the property is part of any heritage register (e.g. Municipal Register of Cultural Heritage Resources Designated under the *Ontario Heritage Act*, or Municipal Register of Cultural Heritage Resources)
- 3.2.4 Document and describe the context including adjacent properties, land uses, etc.
- 3.2.5 Document, describe, and assess the apparent physical condition, security, and critical maintenance concerns, as well as the integrity of standing buildings and structures found on the subject property.
- 3.2.6 If the structural integrity of existing structures appears to be a concern, recommend the undertaking of a follow-up structural and engineering assessment to confirm if conservation, rehabilitation and/or restoration are feasible. Assessments must be conducted by qualified professionals with heritage property experience.

3.3 Evaluation of Cultural Heritage Value or Interest

- 3.3.1 Thoroughly document and describe all heritage resources within the subject property, including cultural heritage landscapes, structures, buildings, building elements, building materials, architectural features, interior finishes, natural elements, vistas, landscaping and potential archaeological resources.
- 3.3.2 Provide a chronological history of the site and all structure(s), including additions, deletions, conversions, etc.
- 3.3.3 Provide a list of owners from the Land Registry office and other resources, as well as a history of the site use(s) to identify, describe, and evaluate the significance of any persons, groups, trends, themes, and/or events that are historically or culturally associated with the subject property.
- 3.3.4 Document heritage resource(s) using current photographs of each elevation, and/or measured drawings, floor plans, and a site map at an appropriate scale for the given application (i.e. site plan as opposed to subdivision). Also include historical photos, drawings, or other archival material that is available and relevant.
- 3.3.5 Using Regulation 9/06 of the *Ontario Heritage Act* (Criteria for Determining Cultural Heritage Value or Interest), identify, describe, and evaluate the cultural heritage value or interest of the subject property as a whole, outlining in detail all significant heritage attributes and other heritage elements.
- 3.3.6 Provide a summary of the evaluation in the form of a table (see Appendix 1) outlining each criterion (design or physical value; historical or associative value; contextual value), the conclusion for each criterion, and a brief explanation for each conclusion.

3.4 Description and Examination of Proposed Development/Site Alterations

- 3.4.1 Provide a description of the proposed development or site alteration in relation to the heritage resource.
- 3.4.2 Indicate how the proposed development or site alteration will impact the heritage resource(s) and neighbouring properties. These may include:
- Destruction of any, or part of any, significant heritage attributes or features;
 - Alteration to the historic fabric and appearance;
 - Shadow impacts on the appearance of a heritage attribute or an associated natural feature or plantings, such as a garden;
 - Isolation of a heritage attribute from its surrounding environment, context or a significant relationship;
 - Impact on significant views or vistas within, from, or of built and natural features;
 - A change in land use where the change in use may impact the property's cultural heritage value or interest;
 - Land disturbances such as a change in grade that alters soils, and drainage patterns that may affect a cultural heritage resource.
- 3.4.3 Submit a drawing indicating the subject property streetscape and properties to either side of the subject lands, if applicable. The purpose of this drawing is to provide a schematic view of how the new construction is oriented and how it integrates with the adjacent properties from a streetscape perspective. Thus, the drawing must show, within the limits of defined property lines, an outline of the building mass of the subject property and the existing neighbouring properties, along with significant trees and/or any other landscape or landform features. A composite photograph may accomplish the same purpose with a schematic of the proposed building drawn in.

3.5 Mitigation Options, Conservation Methods, and Proposed Alternatives

- 3.5.1 Provide mitigation measures, conservation methods, and/or alternative development options that avoid or limit the direct and indirect impacts to the heritage resource.
- 3.5.2 Evaluate the advantages and disadvantages (pros and cons) of each proposed mitigation measure/option. The mitigation options may include, but are not limited to:
- Alternative development approaches;
 - Appropriate setbacks between the proposed development and the heritage resources;
 - Design guidelines that harmonize mass, setback, setting, and materials;
 - Limiting height and density;
 - Compatible infill and additions;
 - Refer to Appendix 2 for additional mitigation strategies.

- 3.5.3 Identify any site planning and landscaping measures that may ensure significant heritage resources are protected and/or enhanced by the development or redevelopment.
- 3.5.4 If relocation, removal, demolition or other significant alteration to a heritage resource is proposed by the landowner and is supported by the heritage consultant, provide clear rationale and justification for such recommendations.
- 3.5.5 If retention is recommended, outline short-term site maintenance, conservation, and critical building stabilization measures.
- 3.5.6 Provide recommendations for follow-up site-specific heritage strategies or plans such as a Conservation Plan, Adaptive Reuse Plan, and/or Structural/Engineering Assessment.
- 3.5.7 If a heritage property of cultural heritage value or interest cannot be retained in its original location, consider providing a recommendation for relocation by the owner to a suitable location in reasonable proximity to its original siting.
- 3.5.8 If no mitigation option allows for the retention of the building in its original location or in a suitable location within reasonable proximity to its original siting, consider providing a recommendation for relocation to a more distant location.
- 3.5.9 Provide recommendations for advertising the sale of the heritage resource. For example, this could include listing the property on the Architectural Conservancy of Ontario (ACO) website in order to allow interested parties to propose the relocation of the heritage resource. Acceptable timelines and any other requirements will be determined in consultation with City staff. The link to the ACO's Historic Architectural Linking Program is provided below:
http://www.arconserv.ca/buildings_at_risk/for_sale.cfm
- 3.5.10 If a property cannot be retained or relocated, alternatives will be considered for salvage and mitigation. Only when other options can be demonstrated not to be viable will options such as ruinification or symbolic conservation be considered. Detailed documentation and commemoration (e.g. a heritage interpretative plaque) may also be required. Salvage of material must also occur, and a heritage consultant may need to provide a list of features of value to be salvaged. Materials may be required to be offered to heritage-related projects prior to exploring other salvage options.
- Ruinification allows for only the exterior of a structure to be maintained on a site. Symbolic conservation refers to the recovery of unique heritage resources and incorporating those components into new development, or using a symbolic design method to depict a theme or remembrance of the past.
- 3.5.11 If the subject property abuts to one or more listed or designated heritage properties, identify development impacts and provide recommended mitigation strategies to ensure the heritage resources on the adjacent properties are not negatively impacted. Mitigation strategies include, but are not limited to:

- o vegetation screening;
- o fencing;
- o buffers;
- o site lines
- o an architectural design concept for the massing and façade treatment of proposed buildings to ensure compatibility with the adjoining property and the like.

3.5.12 An implementation schedule and reporting/monitoring system for implementation of the recommended conservation or mitigation strategies may be required.

3.6 Recommendations

3.6.1 Provide clear recommendations for the most appropriate course of action for the subject property and any heritage resources within it.

3.6.2 Clearly state whether the subject property is worthy of heritage designation under the *Ontario Heritage Act*.

3.6.3 The following questions must be answered in the final recommendation of the report:

- o Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, *Ontario Heritage Act*?
- o Why or why not does the subject property meet the criteria for heritage designation?
- o Regardless of the failure to meet criteria for heritage designation, can the structure or landscape be feasibly integrated into the alteration/development?

3.6.4 Failure to provide a clear recommendation as per the significance and direction of the identified cultural heritage resource will result in the rejection of the Heritage Impact Assessment.

3.7 Executive Summary

3.7.1 Provide an executive summary of the assessment findings at the beginning of the report.

3.7.2 Outline and summarize all recommendations including mitigation strategies, need for the preparation of follow-up plans such as conservation and adaptive reuse plans and other requirements as warranted. Please rank mitigation options from most preferred to least.

4. **Standards and Practices**

4.1 Heritage Impact Assessments must be impartial and objective, thorough and complete, and sound in methodology and application of Ontario heritage evaluation criteria, and consistent with recognized professional standards and best practices in the field of heritage consulting.

4.2 Heritage Impact Assessments must be completed to the satisfaction of the City. HIAs that are not completed to the satisfaction of the City may be subject to revision and

resubmission, critique by peer review or a similar process to determine if the report meets recognized standards and practices.

5. Acceptance of Heritage Impact Assessments

- 5.1 The Heritage Impact Assessment will undergo a compliance review by City heritage staff to determine whether all requirements have been met, and to review the option(s) outlined in the report. Staff comments will be provided to the applicant and heritage consultant.
- 5.2 A Heritage Impact Assessment will be considered a 'draft' until such time that City heritage staff deem the report complete. Staff will notify the applicant and heritage consultant when the report is considered complete.
- 5.3 An accepted Heritage Impact Assessment is required for the final processing of a development application. The recommendations within the final approved version of the Heritage Impact Assessment may be incorporated into legal agreements between the City and the proponents at the discretion of the municipality. Until the HIA is deemed complete, schedules associated with planning and building applications related to heritage properties cannot commence.

6. Other Requirements

- 6.1 Provide a bibliography listing **all** sources used in preparing the HIA.
- 6.2 Provide proper referencing within the HIA, including images, maps, etc.
- 6.3 Provide five copies of the final HIA, and one digital copy (PDF or Word)
- 6.4 Provide a digital copy of all images taken or obtained for the HIA on Compact Disk.
- 6.5 Measured drawings of the heritage resource(s) may be required in support of a conservation plan or as a record prior to demolition.
- 6.6 A site visit of the subject property by City heritage staff and/or members of the Brampton Heritage Board may be required prior to the HIA being deemed complete.

7. Qualified Parties for Preparing Heritage Impact Assessments

- 7.1 All heritage impact assessments, conservation plans, adaptive reuse plans, security plans and/or related studies must be prepared by qualified professionals with applied and demonstrated knowledge of accepted standards of heritage conservation, historical research, identification, evaluation of cultural heritage value or interest, mitigation, and the like.
- 7.2 All heritage consultants submitting heritage impact assessments must be members in good standing of the Canadian Association of Heritage Professionals (CAHP).

7

7.3 Under provincial law only licensed, professional archaeologists may carry out archaeological assessments using specific provincial standards and guidelines.

8. Scope of a Conservation Plan

8.1 If a property is to be retained, a follow-up Conservation and Adaptive Reuse Plan may be recommended. Conservation and Adaptive Reuse Plans will provide:

- Preliminary recommendations for adaptive reuse;
- Critical short-term maintenance required to stabilize the heritage and building fabric and prevent deterioration;
- Measures to ensure interim protection of heritage resources during phases of construction or related development;
- Security requirements;
- Restoration and replication measures required to return the property to a higher level of cultural heritage value or interest integrity, as required;
- Appropriate conservation principles and practices, and qualifications of contractors and trades people that should be applied;
- Longer term maintenance and conservation work intended to preserve existing heritage fabric and attributes;
- 'As found' drawings, plans, specifications sufficient to describe all works outlined in the Conservation Plan;
- An implementation strategy outlining consecutive phases or milestones;
- Cost estimates for the various components of the plan to be used to determine sufficient monetary amounts for letters of credits or other financial securities as may be required to secure all work included in the Conservation Plan; and
- Compliance with recognized Standards and Guidelines for the Conservation of Historic Places in Canada, the Appleton Charter for the Protection and Enhancement of the Built Environment and other recognized heritage protocols and standards.

Appendix 1

**Evaluation of Cultural Heritage Value or Interest
Summary Table**

Criteria for Determine Cultural heritage value or interest	Assessment (Yes/No)	Rationale
1. Design or physical value:		
a) Is a rare, unique, representative or early example of a style, type, expression, material, or construction method		
b) Displays a high degree of craftsmanship or artistic merit		
c) Demonstrates a high degree of technical or scientific achievement		
2. Historical or associative value:		
a) Has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community		
b) Yields, or has potential to yield, information that contributes to an understanding of a community or culture		
c) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community		
3. Contextual value:		
a) Is important in defining, maintaining, or supporting the character of an area		
b) Is physically, functionally, visually, or historically linked to its surroundings		
c) Is a landmark		

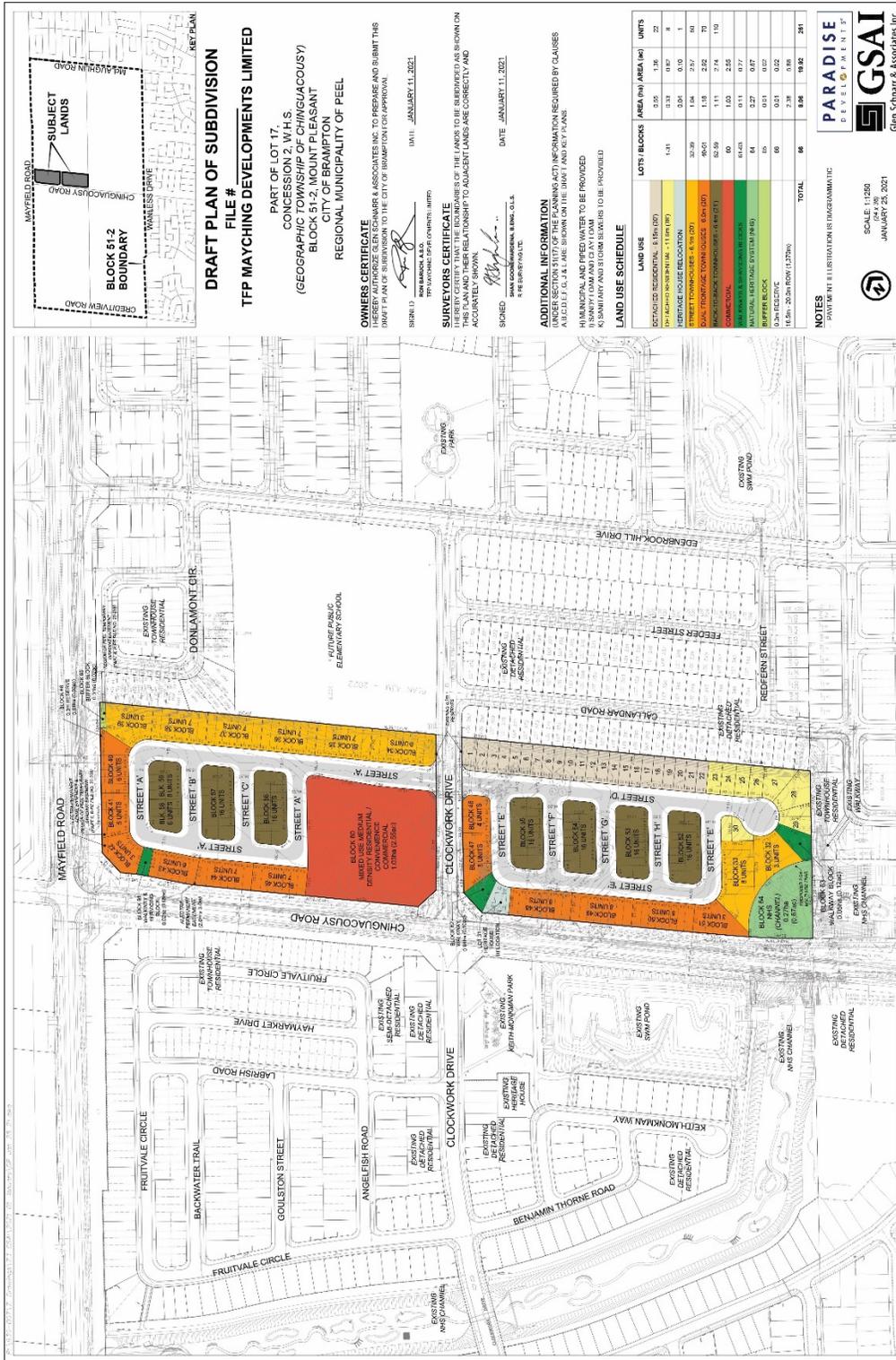
Appendix 2

Additional Mitigation Strategies

If any negative impacts are identified, a mitigation plan must be outlined. A mitigation plan will be tailored to the unique conditions and cultural heritage value or interest of a given property. The following list represents a summary of the more common types of mitigation that may be appropriate:

- Avoidance protocols to isolate development and land alterations to minimize impacts on significant built and natural features and vistas;
- Architectural design guidelines for buildings on adjacent and nearby lots to help integrate and harmonize mass, setback, setting, and materials;
- Limiting height and density of buildings on adjacent and nearby lots;
- Ensuring compatible lotting patterns, situating parks and storm water ponds near a heritage resource;
- Allowing only compatible infill and additions;
- Preparation of conservation plan and adaptive reuse plans as necessary;
- Vegetation buffer zones, tree planting, site plan control, and other planning mechanisms;
- Heritage Designation, Heritage Conservation Easement;
- In certain rare instances, permitting the relocation of built heritage resources within the subject parcel, to nearby lands, or to other parts of the City in order to better accommodate conservation and adaptive reuse. The appropriate context of the resource must be considered in relocation.
- In instances where retention may not be possible, partial salvage, documentation through measured drawings and high-resolution digital photographs, historical plaquing and the like may be appropriate.
- Opportunities to commemorate historical land uses, past owners, landscape and landform features through the naming of streets and other public assets such as parkettes and storm ponds; interpretative plaques may also be required.

APPENDIX D: DRAFT PLAN OF SUBDIVISION, GSAI JANUARY 25TH 2021



APPENDIX E: RESUMES

A. DAVID ECKLER, AREA



FIRM PROFILE | HERITAGE & MUSEUM WORK

AREA is a full service firm, based in Toronto and operating across Canada, which specializes in the restoration and adaptive re-use of historic buildings, urban design for heritage streetscapes and approvals under the Ontario Heritage Act. The firm has a history extending over 30 years of practice, and is managed by 2 principals and 8 technical staff – including intern architects, interior designers and architectural technologists – with experience in the documentation and restoration of historic buildings and sites. Although we are qualified for heritage and museum projects, the members of our firm have also undertaken a wide range of institutional and commercial projects often involving the integration of historic components into new developments.

AREA and its staff are members of various heritage associations and advisory boards across Canada. David Eckler, B.E.S., B.Arch., OAA, MRAIC is an active member in many heritage associations including the Architectural Conservancy of Ontario Advisory Board. He is a former Vice-Chair of Heritage Toronto, which advised Toronto City Council on heritage matters as a LACAC under the Heritage Act. Bernard Rasch, B.Arch., PPOAA, FRAIC, ARIBA has served on a number of heritage committees and boards including the Markham District Historical Society and City of York Historical Committee and the Metro Board of Management for The Guild from 1984 to 1998 where he served in many positions including Chair & Vice-Chair of the Board.

Historical Façade Improvement Guidelines & Heritage Districts

- Stouffville Main Street Revitalization, 1998, DEA was presenter at workshop
- Yonge Street Commercial Façade Improvement Program, 1996, received City approval of grant
- Woodstock Façade Improvement Program, 1995, DEA initiated program for City
- Hazelton-Yorkville Area Heritage Conservation District Study, City-sponsored study
- Fergus Downtown Community Masterplan & Design Guidelines

Historic Museums, Institutional & Cultural Buildings

- Officers' Quarters (1830), Military & Naval Establishment, Discovery Harbour, Penetanguishene
- Spence Half-Way House Restoration (c. 1850), Muskoka Pioneer Village, Huntsville
- Sharon Temple Compound (1821), Sharon, York Region
- Heliconian Hall (first Olivet Sunday Schoolhouse, circa 1876), (Yorkville)
- Cedar Ridge Studio Gallery (1918), 225 Confederation Drive, (Scarborough)
- Aurora Historical Society Museum (1886 school), 22 Church Street, Aurora
- The Niagara Institute (early 20th.c), 9 Weatherstone Crt., Niagara on the Lake
- St. Lawrence Hall (1840) – renovations of town hall to accommodate National Ballet School

Historic House Restorations

- Jacob Ross House Restoration (1852), 108 Stayner Ave.
- William Wonch House Restoration (1840), 2777 Woodbine Ave., Markham
- Robert Milroy House Restoration (c. 1833), 7111 Reesor Rd., Markham
- McDougall Farmhouse (1893) Heritage Assessment, James Snow Parkway, Milton, ON
- Devonian House Restoration & Addition (circa 1923), 144 John St. E., Niagara on the Lake
- Savage House & Blacksmith Shop (c.1840), 1480 Derry Rd. E., Mississauga

Converted Historic Residences

- Old Post Inn (c. 1830), 367 Kingston Road East, Ajax
- Valley Halla Villa (Jackson Residence, 1922), Toronto Zoo, Rouge Valley, Scarborough
- Armour Heights Officer's Mess (1913, 'Strathrobyn'), Canadian Forces College, 215 Yonge Blvd.
- Bellevue Daycare Centre (1887), 95 Bellevue Ave.
- Gerrard & Bay Historic Houses (1860-1890), 68-84 Gerrard St. W.
- Toronto French School Restoration (Sifton Estate, 1923), 294 - 318 Lawrence Ave. E.


EDUCATION

University of Waterloo
B.Arch (1985)
B.E.S. (1982)

MEMBERSHIPS

Ontario Association of
Architects
(Former Councillor & Chair
Awards Committee)

Royal Architectural Institute of
Canada

Canadian Standards
Association (CSA)

Architectural Conservancy of
Ontario Advisory Board

Society for the Study of
Architecture in Canada

Heritage Canada Foundation

Ontario Historical Society

CAREER SUMMARY

AREA, Architects Rasch Eckler
Associates Ltd.
President
2001 to Present

David Eckler Architect
1991 – 2001

Page & Steele Architects
1989 – 1991

Arthur Erickson Architects
1986 – 1989

DAVID ECKLER BES, B.Arch., OAA, MRAIC
AREA, Architects Rasch Eckler Associates Ltd.
President & Principal – Senior Heritage Architect

David Eckler is the firm's principal and is responsible for the design, construction drawings, specifications and construction administration of all heritage projects in the office. Mr. Eckler has over 25 years experience in the conservation, restoration and adaptive reuse of heritage structures for government, non-profit agencies and private sector owners and developers. Mr. Eckler directs the Concept Design, Design Development and Contract Documents phases of heritage projects and authors many of the firm's heritage assessment reports.

Mr. Eckler established a specialization in heritage conservation beginning in 1992 with his previous firm *David Eckler Architect (DEA)* and continuing in his current practice, *AREA Architects*. His architectural heritage services include feasibility studies, preservation planning, infill projects within historic districts, adaptive reuse and building restoration. David is an active member in many architectural and heritage associations including the *Architectural Conservancy of Ontario Advisory Board*. He is a past member of the *Canadian Association of Professional Heritage Consultants* and is a former Vice-Chair of *Heritage Toronto*, which advised Toronto City Council on heritage matters under the Heritage Act and as an advisory board for the city's museums.

Mr. Eckler has particular experience in the restoration of heritage properties within public parks and cultural landscapes. An example of a heritage attraction in a park setting is the restoration of the Officers' Quarters within the *Discovery Harbour* museum in Penetanguishene. He has most recently worked on the restoration of the historic site of the *1910 Allan Gardens Conservatory*.

RELEVANT EXPERIENCE: Toronto location unless indicated**Heritage Adaptive Re-use**

- **Goldring Student Centre (Wymilwood, 1954)** – 150 Charles St. W., Toronto
- **Warwick Office Building (1905)** – 401-409 King St. W.
- **Church of Christ, Scientist (1928)**, Condominium Redevelopment, 70 High Park
- **Eglinton Hunt Club (1929)** – Condominiums, 1355 Kingston Rd.
- **Hutton House (1853)** – Community Centre, Ardmore Park, St. Marys
- **Bellevue Daycare Centre (1887)** – 95 Bellevue Avenue

Restoration of Institutional Historic Buildings

- **Allan Gardens Conservatory Complex (1910)** – 160 Gerrard St. E.
- **Aurora Historical Society Museum (Church Street School, 1886)**
- **Toronto French School (Sifton Estate, 1924)** – 306 Lawrence Ave E
- **Armour Heights Officers' Mess ('Strathrobyn' 1913)** – 215 Yonge Blvd.
- **Medical Arts Building Restoration [circa 1929]**
- **Officers' Barracks (1830)** – Discovery Harbour, Penetanguishene
- **Heliconian Hall (first Olivet Church, 1876)** – 35 Hazelton Ave.

Heritage Planning, Parks & Streetscape Design

- **Cookstown Heritage Conservation District** – Innisfil, ON.
- **Old Pickering Village Planning & Heritage Study, Ajax**
- **Yorkville-Hazelton Avenue Heritage Conservation District**
- **Limehouse Kilns Heritage Masterplan, Halton Hills**
- **Confederation Commemorative Park, Charlottetown, PEI**
- **Gerrard & Bay Historic Houses (1860-1890)**

B. Robert J. Burns, Heritage Resources Consulting

Summary

Dr. Burns has over 35 years of experience in historical research and analysis. As a Parks Canada Project Historian, he prepared a narrative and structural history of Inverarden, a Cornwall, Ontario domestic property built in 1816, and a structural and social history of Fort Wellington National Historic Site at Prescott, Ontario. As a member (history) of the Federal Heritage Buildings Review Office (FHBRO) from 1990 to 1995 he participated in the review of some 500 federal properties including CFB Esquimalt and the Kingston Penitentiary. As a consultant since 1995, he has prepared FHBRO cultural heritage assessment reports on numerous federal properties including CFB Goose Bay and its buildings, hangars, munitions bunkers and former nuclear weapons storage facilities. His examination of the temporary storage of nuclear weapons at Goose Bay during the Korean War crisis led to the publication of "Bombs in the Bush," *The Beaver*, Jan. 2005.

Heritage Assessments prepared for FHBRO

- CFB Goose Bay, Heritage Assessment of 124 buildings, 2000. Building functional types included barracks, hangars, storage bunkers for conventional and nuclear weapons, guard towers, warehouses, and offices.
- CFB Goose Bay, Heritage Assessment of 16 buildings, 2001. Building functional types consisted of hangars for medium and heavy bombers.
- CFB Gagetown, Heritage Assessment of 77 buildings, 2002. Building Functional types included office/admin buildings, barracks, drill halls, garages, gate/guard houses, lecture/training buildings, mess halls, quarters, shops and recreational buildings.
- Bedford Institute of Oceanography, Heritage Assessment of the Van Steenburgh and Polaris Buildings, 2003.
- Hudson's Bay Company Post (abandoned), Ukkusiksalik National Park, Nunavut, 2005.
- Nanaimo Foundry, Nanaimo, BC, for FHBRO, 2005.
- Heritage Assessments of 32 lighthouses, lightstations and range light towers in the Great Lakes and Atlantic regions, 2006-2008.

Heritage Assessments and Plaque Texts prepared for the Ontario Heritage Trust

- J. L. Kraft, Fort Erie, Ont., 2003.
- Reid Mill, Streetsville, Ont., 2004.
- George Weston, Toronto, Ont., 2005.
- Pauline McGibbon, Sarnia, Ont., 2006.
- W. P. Bull, Brampton, Ont., 2007.
- Founding of Englehart, Ontario, 2008.
- George Drew, Guelph, Ont., 2008.
- Founding of Latchford, Ont., 2009.

Publications and Other Major Projects

- "God's chosen people: the origins of Toronto society, 1793-1818", *Canadian Historical Association: Historical Papers*, 1973, Toronto, 1974. Republished in J. Bumsted (ed.), *Canadian History Before Confederation: Essays and Interpretations*, 2nd ed. (Georgetown, Ont.: Irwin-Dorsey Ltd., 1979).
- "James Grant Chewett", "William Botsford Jarvis", "George Herkimer Markland" and "Thomas Gibbs Ridout" published in the *Dictionary of Canadian Biography*, vol. IX, Toronto, 1976.
- "The post fur trade career of a North West Company partner: a biography of John McDonald of Garth", *Research Bulletin No. 60*, Parks Canada, 1977. Reprinted in *Glengarry Life*, Glengarry Historical Society, 1981.
- "Inverarden: retirement home of North West Company fur trader John McDonald of Garth". *History and Archaeology No. 25*, Parks Canada, 1979. First printed as *Manuscript Report Series*

No. 245, 1978.

- "Fort Wellington: A Narrative and Structural History, 1812-38", *Manuscript Report Series No. 296*, Parks Canada, 1979.
- A review of J.M.S. Careless (ed.), *The Pre-Confederation Premiers: Ontario Government Leaders, 1841-1867* (Toronto: University of Toronto Press, 1980) in *Ontario History*, LXXIII, No.1, March 1981.
- A review of Mary Larratt Smith (ed.), *Young Mr. Smith in Upper Canada* (Toronto: University of Toronto Press, 1980) in *Ontario History*, LXXIV, No. 2, June 1982.
- "William Jarvis", "Robert Isaac Dey Gray" published in the *Dictionary of Canadian Biography*, Vol. V, Toronto, 1983.
- "Bulk packaging in British North America, 1758-1867: a guide to the identification and reproduction of barrels", *Research Bulletin No. 208*, Parks Canada, December 1983.
- "Cornwall, Ontario" in *The Canadian Encyclopedia* (Edmonton: Hurtig Publishers, 1985).
- "Samuel Peters Jarvis [with Douglas Leighton]" and "Samuel Smith Ridout" in the *Dictionary of Canadian Biography*, Vol.VIII, Toronto, 1985.
- "The Burns and Gamble Families of Yonge Street and York Township [with Stanley J. Burns]", *O.G.S. Seminar '85* (Toronto: Ontario Genealogical Society, 1985).
- "Starting From Scratch: the Simcoe Years in Upper Canada", *Horizon Canada*, No. 22, July 1985.
- "Upper Canada In the Making, 1796-1812", *Horizon Canada*, No. 23, August 1985.
- A review of Bruce G. Wilson, *The Enterprises of Robert Hamilton: A Study of Wealth and Influence in Early Upper Canada, 1776-1812* (Ottawa: Carleton University Press, 1983) in the *Canadian Historical Review*, LXVI, No. 3, Sept. 1985.
- Lila Lazare (comp.) with an intro. by Robert J. Burns, "Artifacts, consumer goods and services advertised in Kingston newspapers, 1840-50: a resource tool for material history research", *Manuscript Report Series No. 397*, Parks Canada, 1980.

Publications and Other Major Projects (cont'd)

- "W.A. Munn and the discovery of a Viking occupation site in northern Newfoundland", Historic Sites and Monuments Board agenda paper, 1982.
- Research and writing of "The Loyalists," a booklet to accompany the Loyalist Bicentennial travelling exhibit prepared by Parks Canada, 1983.
- "Paperboard and Paper Packaging in Canada 1880-1930: An Interim Report" *Microfiche Report Series No. 210* (1985).
- "Packaging Food and Other Consumer Goods in Canada, 1867-1927: A guide to Federal Specifications For Bulk and Unit Containers, Their Labels and Contents" *Microfiche Report Series No. 217* (1985).
- "Paperboard Packaged Consumer Goods: Early Patterns of Product Availability" (1986).
- "Thomas Ridout" in the *Dictionary of Canadian Biography*, Vol. VI, Toronto, 1987.
- "Paperboard and Paper Packaging in Canada, 1880-1930", 2 Vols. *Microfiche Report Series No. 393* (1989).
- Curator, along with Marianne McLean and Susan Porteus, of "Rebellions in the Canadas, 1837-1838," an exhibition of documents and images sponsored by the National Archives of Canada, 1987.
- "Marketing Food in a Consumer Society: Early Unit Packaging Technology and Label Design" in *Consuming Passions: Eating and Drinking Traditions in Ontario* (Meaford, Ont.: Oliver Graphics, 1990).
- "Robert Isaac Dey Gray" reprinted in *Provincial Justice: Upper Canadian Legal portraits from the Dictionary of Canadian Biography*, ed. Robert L. Fraser (Toronto: University of Toronto Press, 1992).
- "John Warren Cowan" and "Thomas McCormack" published in the *Dictionary of Canadian Biography*, Vol. XIII, 1994.

- *Guardians of the Wild: A History of the Warden Service of Canada's National Parks* (University of Calgary Press, 2000).
- "Goose Air Base Complex, CFB Goose Bay, Newfoundland," FHBRO 99-134 prepared for the Federal Heritage Buildings Review Office, Sept. 2000.
- "Goose Air Base Complex, Part II; Building Reports, CFB Goose Bay, Newfoundland," FHBRO 99-134 prepared for the Federal Heritage Buildings Review Office, Feb. 2002.
- "77 Buildings, Canadian Forces Base, Gagetown, New Brunswick," FHBRO 01-062 prepared for the Federal Heritage Buildings Review Office, Apr. 2002.
- "'Queer Doings': Attitudes toward homosexuality in nineteenth century Ontario," *The Beaver*, Mar. Apr. 2002.
- "J. L. Kraft," plaque text and background study for the Ontario Heritage Trust, 2003; plaque unveiled at Fort Erie, Ontario, Nov. 2003.
- "The Van Steenburgh and Polaris Buildings, Bedford Institute of Oceanography, Halifax Regional Municipality (Dartmouth), NS," FHBRO 03-081 prepared for the Federal Heritage Buildings Review Office, Dec. 2003.

Publications and Other Major Projects (cont'd)

- "Reid Mill," plaque text and background study for the Ontario Heritage Trust, 2004; plaque unveiled at Streetsville, Ontario, Aug. 2004.
- preparation of a history of the Royal Canadian Mounted Police under contract for the Force, 2004-2007.
- "Bombs in the Bush: The Strategic Air Command in Goose Bay, 1953," *The Beaver*, Dec. 2004/Jan. 2005.
- Wager Inlet HBC Post, Ukkusiksalik NP, Nunavut, FHBRO 04-100 prepared for the Federal Heritage Buildings Review Office, May 2005.
- "George Weston," plaque text and background study for the Ontario Heritage Trust, June 2005.
- "Pauline McGibbon," plaque text and background study for the Ontario Heritage Trust, June 2006.
- "William Perkins Bull," plaque text and background study for the Ontario Heritage Trust, May 2007.
- "The Founding of Englehart," plaque text and background study for the Ontario Heritage Trust, March 2008.
- "George Alexander Drew," plaque text and background study for the Ontario Heritage Trust, Jan. 2009.
- "The Founding of Latchford," plaque text and background study for the Ontario Heritage Trust, March 2009.

Related Professional Associations

- Member of Federal Heritage Building Review Board (retired).
- Former member of the Board of Directors and Chairman of the Publications Committee, Ontario Historical Society. Edited and prepared for publication R. Styran and R. Taylor, *How to prepare your own audio-visual show*, 1983.
- Past president of the Stormont, Dundas and Glengarry Historical Society.
- Past chair of Local Architectural Conservation Advisory Committee, Cornwall, Ont. Edited and prepared for publication *Heritage Cornwall*, 1979.
- member of Canadian Association of Professional Heritage Consultants.
- Member of Elgin County Archives Association.
- Member of the St. Thomas-Elgin Branch of the Architectural Conservancy of Ontario.
- Chair, Heritage Central Elgin.
- President of the Sparta (Ontario) and District Historical Society.
- Chair, Heritage sub-committee, Central Elgin - Growing Together Committee, Municipality of Central Elgin.