



**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **NICOLE JOLY** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Block 315, Plan 43M-2060, Parts 11 and 12, Plan 43R-39487 municipally known as **19 ENCLAVE TRAIL**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a proposed accessory structure in the exterior side yard whereas the by-law does not permit an accessory structure in the exterior side yard;

**OTHER PLANNING APPLICATIONS:**

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: \_\_\_\_\_  
Application for Consent: NO File Number: \_\_\_\_\_

The Committee of Adjustment has appointed **TUESDAY, June 1, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT.** This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 20th day of May, 2021.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer  
Committee of Adjustment, City Clerk's Office,  
Brampton City Hall  
2 Wellington Street West,  
Brampton, Ontario L6Y 4R2  
Phone: (905)874-2117  
Fax: (905)874-2119  
[jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca)







# BRAMPTON

## Flower City

**Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency**

### **Electronic Hearing Procedures How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

#### **How to Participate in the Hearing:**

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, May 27, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm, Friday, May 28, 2021**.
  - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, May 28, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

May 18, 2021

To: Committee of Adjustment

RE: APPLICATION FOR MINOR VARIANCE  
NICOLE JOLY  
BLOCK 315, PLAN 43M-2360  
PARTS 11 & 12, PLAN 43R-39487  
A-2021-0107 – 19 ENCLAVE TRAIL  
WARD 9

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Please **amend** application **A-2021-0107** to reflect the following:

1. To permit a proposed accessory structure in the exterior side yard whereas the by-law does not permit an accessory structure in the exterior side yard.

*Matthew Fratarcangeli*

Applicant/Authorized Agent

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FILE NUMBER: A-2021-0107

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

**APPLICATION**  
**Minor Variance or Special Permission**  
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** NICOLE JOLY  
**Address** 19 ENCLAVE TRAIL  
BRAMPTON ON  
L6R 0B3  
**Phone #** 416 825 8493 **Fax #** \_\_\_\_\_  
**Email** NICOLE\_JOLYTXCANADA.CA

2. **Name of Agent** MATTHEW FRATARCANGELI  
**Address** 1707-25 CAPREOL COURT  
TORONTO ON  
M5V 3Z7  
**Phone #** 905 699 7371 **Fax #** \_\_\_\_\_  
**Email** MATT@TENHOUSEBW.COM

3. **Nature and extent of relief applied for (variances requested):**  
ACCESSORY STRUCTURE IN EXTERIOR YARD (NOT PERMITTED)  
ACCESSORY STRUCTURE HEIGHT (3 METERS PERMITTED, 3.2 METERS PROPOSED)

4. **Why is it not possible to comply with the provisions of the by-law?**  
THIS IS A CORNER LOT. A NEW POOL IS PROPOSED IN THE REAR YARD. THE REAR YARD IS FAIRLY SMALL AND THERE IS NO LEFT OVER SPACE FOR THE ACCESSORY STRUCTURE HENCE IT IS PROPOSED IN THE EXTERIOR YARD (BESIDE POOL).  
MIN DESIRED CEILING CLEARANCE IS 8' FOR ACCESSORY STRUCTURE. WITH

5. **Legal Description of the subject land:**  
**Lot Number** PART 12 BLOCK 315  
**Plan Number/Concession Number** 43M - 2360 PDS 11912, 43R - 39487  
**Municipal Address** 19 ENCLAVE TRAIL, BRAMPTON ON

6. **Dimension of subject land (in metric units)**  
**Frontage** 5.43 METERS  
**Depth** 27.66 METERS  
**Area** 333.34 SQUARE METERS

7. **Access to the subject land is by:**  
**Provincial Highway** ☐ **Seasonal Road** ☐  
**Municipal Road Maintained All Year** ☒ **Other Public Road** ☐  
**Private Right-of-Way** ☐ **Water** ☐



8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

DWELLING (106.7 SQ.M. AREA, 203.27 SQ.M. GROSS FLOOR AREA, 2 STOREYS, 7.58 METERS WIDE, 15.46 METERS LONG, 9.14 METERS HIGH)

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

NEW ACCESSORY STRUCTURE (14.5 SQ.M. AREA, 1 STOREY, 3.5 METERS WIDE, 4.01 METERS LONG, 3.2 METERS HIGH).

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback	4.5 METERS
Rear yard setback	7.73 METERS
Side yard setback	0 METERS (TOWN HOUSE)
Side yard setback	4.56 METERS

**PROPOSED**

Front yard setback	NO CHANGE
Rear yard setback	1.09 METERS (TO NEW ACCESSORY STRUCTURE)
Side yard setback	8.29 METERS (TO NEW ACCESSORY STRUCTURE)
Side yard setback	0.54 METERS (TO NEW ACCESSORY STRUCTURE)

10. Date of Acquisition of subject land: 2020
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 2020
15. Length of time the existing uses of the subject property have been continued: SINCE CONSTRUCTION
16. (a) What water supply is existing/proposed?
- |           |                                     |                       |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Well      | <input type="checkbox"/>            |                       |
- (b) What sewage disposal is/will be provided?
- |           |                                     |                       |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Septic    | <input type="checkbox"/>            |                       |
- (c) What storm drainage system is existing/proposed?
- |         |                                     |                       |
|---------|-------------------------------------|-----------------------|
| Sewers  | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Ditches | <input type="checkbox"/>            |                       |
| Swales  | <input type="checkbox"/>            |                       |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☒ \*CITY HAS COMPLETED ZONING REVIEW THROUGH A BUILDING PERMIT APPLICATION

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

\_\_\_\_\_  
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY RESIDENCE OF MATTHEW FRATARCANGELI BRAMPTON  
THIS 22ND DAY OF APRIL, 2021.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, MATTHEW FRATARCANGELI, OF THE CITY OF TORONTO  
PROVINCE OF ONTARIO  
IN THE 22ND DAY OF APRIL 2021 SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton  
IN THE Region OF  
Peel THIS 30<sup>th</sup> DAY OF  
April, 2021

Jeanie Myers  
A Commissioner etc.

Jeanie Cecilia Myers  
a Commissioner, etc.,  
Province of Ontario  
for the Corporation of the  
City of Brampton  
Expires April 8, 2024.

Matthew Fratarcangeli

\_\_\_\_\_  
Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

R3E-7-2370

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Todd Payne  
Zoning Officer

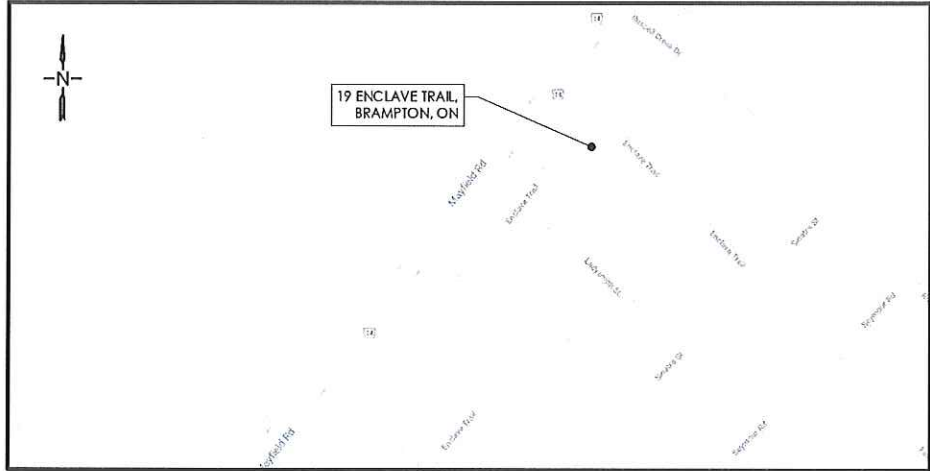
April 30, 2021  
Date

DATE RECEIVED

Date Application Deemed  
Complete by the Municipality

April 30, 2021  
April 30, 2021





1  
SK.1  
AREA MAP  
NTS



2  
SK.1  
19 ENCLAVE TRAIL  
NTS

PROJECT DESCRIPTION:

- THESE DRAWINGS OUTLINE THE RENOVATION OF A REAR YARD WHICH INCLUDES AN ACCESSORY STRUCTURE, BELOW GRADE POOL, OUTDOOR COUNTER, AND FEATURE WALL AT 19 ENCLAVE TRAIL, BRAMPTON, ON.
- THERE ARE NO CHANGES TO THE EXISTING BUILDING OR SITE CONDITIONS UNLESS OTHERWISE NOTED ON THE SITE PLAN.
- EXISTING SITE DRAINAGE PATTERNS TO REMAIN UNCHANGED. MINIMUM 12" AROUND PROPERTY LINE TO REMAIN UNCHANGED, UNLESS OTHERWISE NOTED ON THE SITE PLAN - GRADES TO MATCH.

PROJECT NOTES:

- ALL WORK TO BE IN ACCORDANCE WITH THE CURRENT O.B.C. AND THE ONTARIO CONSTRUCTION SAFETY ACT.
- CONTRACTOR TAKE NECESSARY PRECAUTIONS TO COMPLY WITH LOCAL SAFETY AUTHORITIES HAVING JURISDICTION (I.E. OCCUPATIONAL HEALTH AND SAFETY ACT).
- CHECK ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE OWNER BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE FROM DRAWINGS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY'S ENGINEERING DEPARTMENT.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THERE IS NO INTERRUPTION OF ANY SURFACE OR SUBSURFACE DRAINAGE FLOW THAT WOULD ADVERSELY AFFECT NEIGHBORING PROPERTIES.
- ALL EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE LOCATED AND MARKED. ANY DAMAGED OR DISTURBED UTILITIES SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE GOVERNING BODY AT THE CONTRACTOR'S EXPENSE.
- SAFEGUARD ALL EXISTING STRUCTURES, SERVICES, AND ADJACENT PROPERTY AFFECTED BY THE CONSTRUCTION.
- ALL CONCRETE WORK, INCLUDING FORMING, REINFORCING, PREPARATION, MIXING, PLACING, CURING AND FINISHING SHALL CONFORM TO CSA CAN 3-A23.1-M90 [M94].

- ALL MASONRY WORK TO BE DONE IN ACCORDANCE WITH CAN3-5304-M90.
- IF THERE ARE ANY DEVIATIONS NOTED FROM WHAT IS DEPICTED ON THESE DRAWINGS, THE CONTRACTOR IS TO NOTIFY TENHOUSE BUILDING WORKSHOP AND SEEK INSTRUCTION BEFORE PROCEEDING.
- DEMOLITION SHALL BE PERFORMED IN COMPLIANCE WITH CSA 5350-M1980(R2003) AND MINISTRY OF LABOUR REQUIREMENTS.
- IF REQUIRED, CONTRACTOR IS TO PROVIDE SUPPORTS OR SHORING WHERE NECESSARY, BEFORE ANY CLEANUP, DEMOLITION, OR REPAIR ACTIVITIES.
- ALL DIMENSIONS ARE IN IMPERIAL UNLESS OTHERWISE NOTED.
- ALL DIMENSION LUMBER TO BE SPRUCE, PINE, FIR (SPF) NO. 1 OR NO. 2 GRADE.
- THE CONTRACTOR SHALL SEEK FURTHER DIRECTION, IF REQUIRED, REGARDING DETAILS OR MATERIAL SELECTION. TENHOUSE BUILDING WORKSHOP DOES NOT TAKE RESPONSIBILITY FOR DETAILS NOT INCLUDED IN THESE DRAWINGS.
- ALL SPECIFICATIONS AND MATERIALS PROPOSED BY ENGINEERS SHALL BE USED IN PLACE OF SPECIFICATIONS AND MATERIALS IDENTIFIED IN THE CONSTRUCTION NOTES.
- ALL MANUFACTURED ITEMS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS PRINTED INSTRUCTIONS. SUBMIT ALL INSTALLATION INSTRUCTIONS TO OWNER UPON COMPLETION OF JOB.
- ALL HAZARDOUS MATERIALS TO BE IDENTIFIED BY THE CONTRACTOR AND PROPERLY DISPOSED OF.
- ALL WORK AND TRADES SHALL BE COORDINATED BY THE GENERAL CONTRACTOR TO ENSURE ALL WORK IS COMPLETED TO THE HIGHEST LEVEL OF STANDARD.
- GENERAL CONTRACTOR IS RESPONSIBLE OF OBTAIN ALL NECESSARY AND REQUIRED INSPECTIONS.
- ALL MATERIALS TO BE NEW AND FREE OF DEFECTS.

ABBREVIATIONS:

AFF	ABOVE FINISHED FLOOR	GWB	GYPSUM WALL BOARD
ALUM	ALUMINUM	HB	HOSE BIB
BBSE	BEAM BY STRUCTURAL ENGINEER	INSUL	INSULATED OR INSULATION
BM	BEAM	INT	INTERIOR
CLG	CEILING	JST	JOIST
CRF	CONVENTIONAL ROOF FRAMING	LVL	LAMINATED VENEER LUMBER
CMU	CONCRETE MASONRY UNIT	LSL	LAMINATED STRAND LUMBER
COL	COLUMN	MAX	MAXIMUM
CONC	CONCRETE	MIN	MINIMUM
CONT	CONTINUOUS	MTL	METAL
CW	COMPLETE WITH	OBC	ONTARIO BUILDING CODE
DEMO	DEMOLISH	OC	ON CENTER
DIM	DIMENSION	OSB	ORIENTED STRAND BOARD
DJ	DOUBLE JOIST	OTA	OPEN TO ABOVE
DN	DOWN	OTB	OPEN TO BELOW
DO	DO OVER	PT	PRESSURE TREATED
DR	DOOR	PID	PAINT OR PAINTED
DROP	DROPPED	REQD	REQUIRED
DS	DOWNSPOUT	RM	ROOM
DWG	DRAWING	RT	ROOF TRUSS
EA	EACH	RWL	RAIN WATER LEADER
EAF	EXTERIOR INSULATED FINISH SYSTEM	SB	SOLID BEARING
ELEV	ELEVATION	SBFA	SOLID BEARING FROM ABOVE
ENC	ENCLOSED	SJ	SINGLE JOIST
ENG	ENGINEER OR ENGINEERED	SPEC	SPECIFIED OR SPECIFICATION
EQ	EQUAL	SPF	SPRUCE, PINE, FIR
EST	ESTIMATED	STL	STEEL
EXT	EXTERIOR	T&G	TONGUE AND GROOVE
FD	FLOOR DRAIN	TJ	TRIPLE JOIST
FG	FIXED GLASS	T/O	TOP OF
FL	FLUSH	TYP	TYPICAL
FLR	FLOOR	UNO	UNLESS NOTED OTHERWISE
GA	GAUGE	U/S	UNDERSIDE
GALV	GALVANIZED	WIC	WALK-IN CLOSET
		WP	WEATHER PROOF



**Tenhouse Building Workshop**  
25 Capreol Court  
Toronto ON M5V 3Z7  
T 905 699 7371

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

**QUALIFICATION INFORMATION**  
MATTHEW FRATARCANGELI BCIN#:44039

*Matthew Fratarcangeli*

**REGISTRATION INFORMATION**  
TENHOUSE BUILDING WORKSHOP  
BCIN#:112916

REV	DATE	REMARK
0	03/25/21	ISSUED FOR REVIEW

PROJECT:  
REAR YARD RENOVATION  
AT 19 ENCLAVE TRAIL,  
BRAMPTON, ON

DRAWN: MDF	APPROVED: MDF
FILE NO: 21-001	DATE: 03/25/21

REVISION: 0 CHECKED BY: MDF

PROJECT OVERVIEW & GENERAL NOTES

SK.1



**TENHOUSE**  
BUILDING WORKSHOP

TenHouse Building Workshop  
25 Capreol Court  
Toronto ON M5V 3Z7  
T 905 699 7371

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**QUALIFICATION INFORMATION**  
MATTHEW FRATARCANGELI BCIN#:44839

*Matthew Fratarcangeli*

**REGISTRATION INFORMATION**  
TENHOUSE BUILDING WORKSHOP  
BCIN#:112916

REV	DATE	REMARK
0	03/25/21	ISSUED FOR REVIEW

PROJECT:

REAR YARD RENOVATION  
AT 19 ENCLAVE TRAIL,  
BRAMPTON, ON

DRAWN:  
MDF

FILE NO:  
21-001

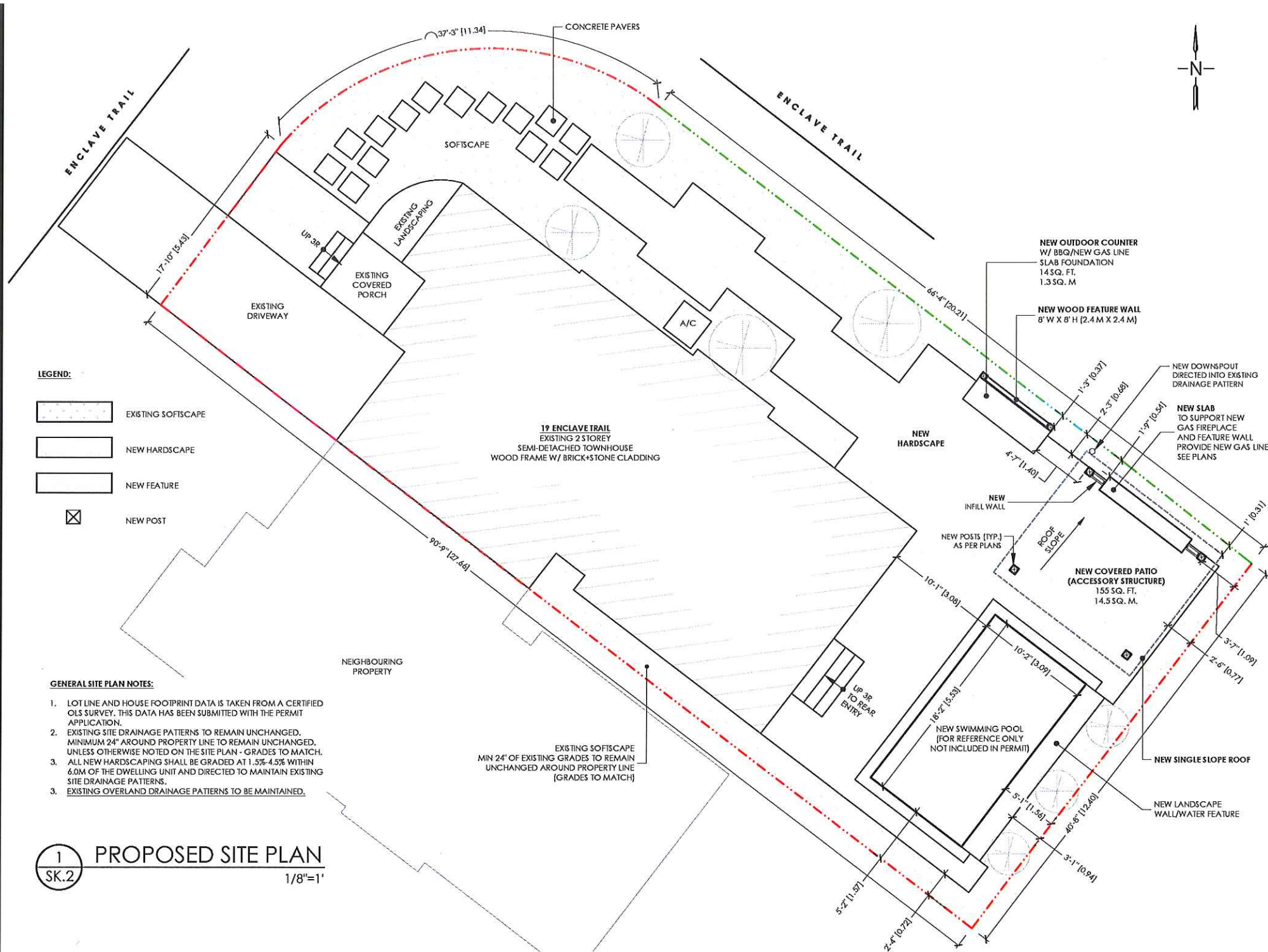
REVISION: 0

APPROVED:  
MDF

DATE:  
03/25/21

CHECKED BY: MDF

PROPOSED SITE PLAN



1 PROPOSED SITE PLAN  
SK.2 1/8"=1'

SK.2



# POST SCHEDULE

P1 - HELICAL PILE TO SUPPORT P3

P2 - HELICAL PILE TO SUPPORT CONCRETE SLAB

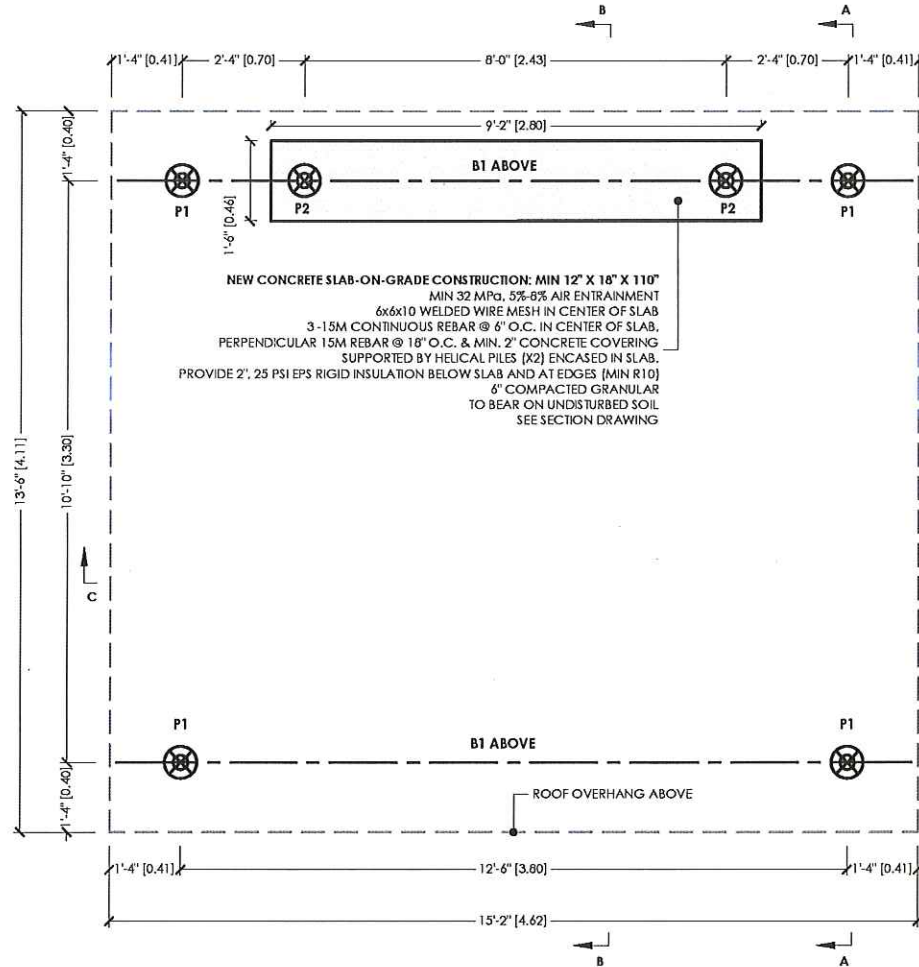
P3 - PRESSURE TREATED 8" X 8" TO SUPPORT ROOF BEAM

# BEAM SCHEDULE

B1 - ROOF BEAM

4-PLY 2" X 12"

FLUSH AT TOP WITH ROOF JOISTS - PROVIDE JOIST HANGERS FOR ROOF JOISTS

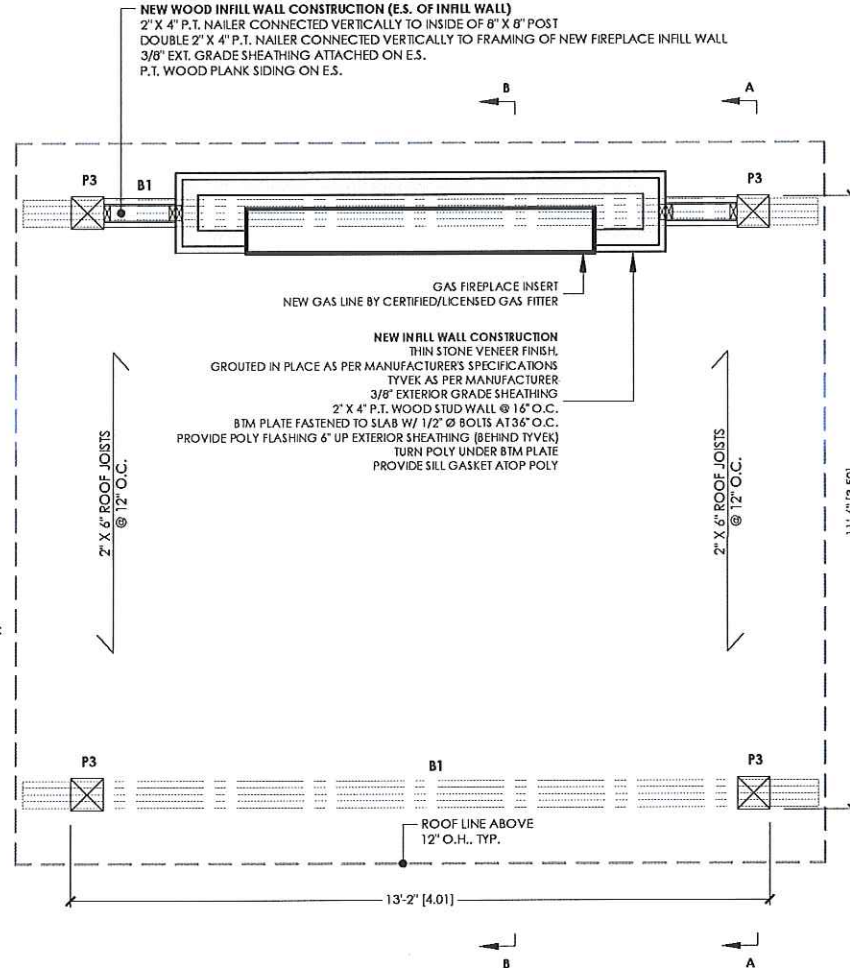


1 FOUNDATION PLAN  
SK.3 3/8" = 1'

## NOTE:

ALL STRUCTURAL FRAMING MEMBERS TO BE PROTECTED FROM WEATHER WITH AN APPROVED METHOD OR BE GRADED FOR WEATHER EXPOSURE.

ALL STRUCTURAL FRAMING TO BE MIN 6" ABOVE GRADE. IF STRUCTURAL MEMBER IS AT GRADE, EXCAVATE 6" DEEP BELOW MEMBER AND FILL WITH GRANULAR. ENSURE 6" CLEARANCE FROM GRADE ALL AROUND STRUCTURAL MEMBERS.



2 FRAMING PLAN  
SK.3 3/8" = 1'



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN. AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

**QUALIFICATION INFORMATION**  
 MATTHEW FRATARCANGELI BCIN#:44839

**REGISTRATION INFORMATION**  
 TENHOUSE BUILDING WORKSHOP  
 BCIN#:112916

**REV DATE REMARK**  
 0 03/25/21 ISSUED FOR REVIEW

PROJECT:  
REAR YARD RENOVATION  
AT 19 ENCLAVE TRAIL,  
BRAMPTON, ON

**DRAWN:** MDF  
**FILE NO:** 21-001  
**REVISION:** 0

**APPROVED:** MDF  
**DATE:** 03/25/21  
**CHECKED BY:** MDF

ACCESSORY STRUCTURE PLANS

**SK.3**

PEAK 10'-5" [3.18]

EAVES 8'-9" [2.66]

SLAB / HARDSCAPING 0'-7" [0.18]

GRADE 0'-0"

9'-3" [2.82]  
9'-10" [3.00]

1 FRONT (SOUTH)  
SK.4  
3/8" = 1'

2 SIDE (WEST)  
SK.4  
3/8" = 1'

PEAK 10'-5" [3.18]

EAVES 8'-9" [2.66]

SLAB / HARDSCAPING 0'-7" [0.18]

GRADE 0'-0"

8'-2" [2.48]  
8'-9" [2.66]

3 REAR (NORTH)  
SK.4  
3/8" = 1'

4 SIDE (EAST)  
SK.4  
3/8" = 1'



**TENHOUSE**  
BUILDING WORKSHOP

TenHouse Building Workshop  
25 Capreol Court  
Toronto ON M5V 3Z7  
T 905 699 7371

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

**QUALIFICATION INFORMATION**  
MATTHEW FRATARCANGELI BCIN#:44839

*Matthew Fratarcangeli*

**REGISTRATION INFORMATION**  
TENHOUSE BUILDING WORKSHOP  
BCIN#:112916

REV	DATE	REMARK
0	03/25/21	ISSUED FOR REVIEW

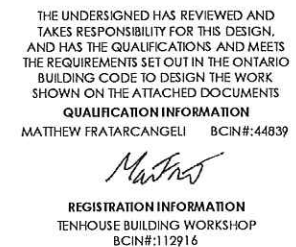
PROJECT:  
REAR YARD RENOVATION  
AT 19 ENCLAVE TRAIL,  
BRAMPTON, ON

DRAWN: MDF	APPROVED: MDF
FILE NO: 21-001	DATE: 03/25/21
REVISION: 0	CHECKED BY: MDF

ACCESSORY STRUCTURE ELEVATIONS

**SK.4**





PROJECT:  
REAR YARD RENOVATION  
AT 19 ENCLAVE TRAIL,  
BRAMPTON, ON

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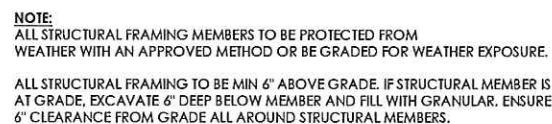
DRAWN: MDF	APPROVED: MDF
FILE NO: 21-001	DATE: 03/25/21

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REVISION: 0	CHECKED BY: MDF
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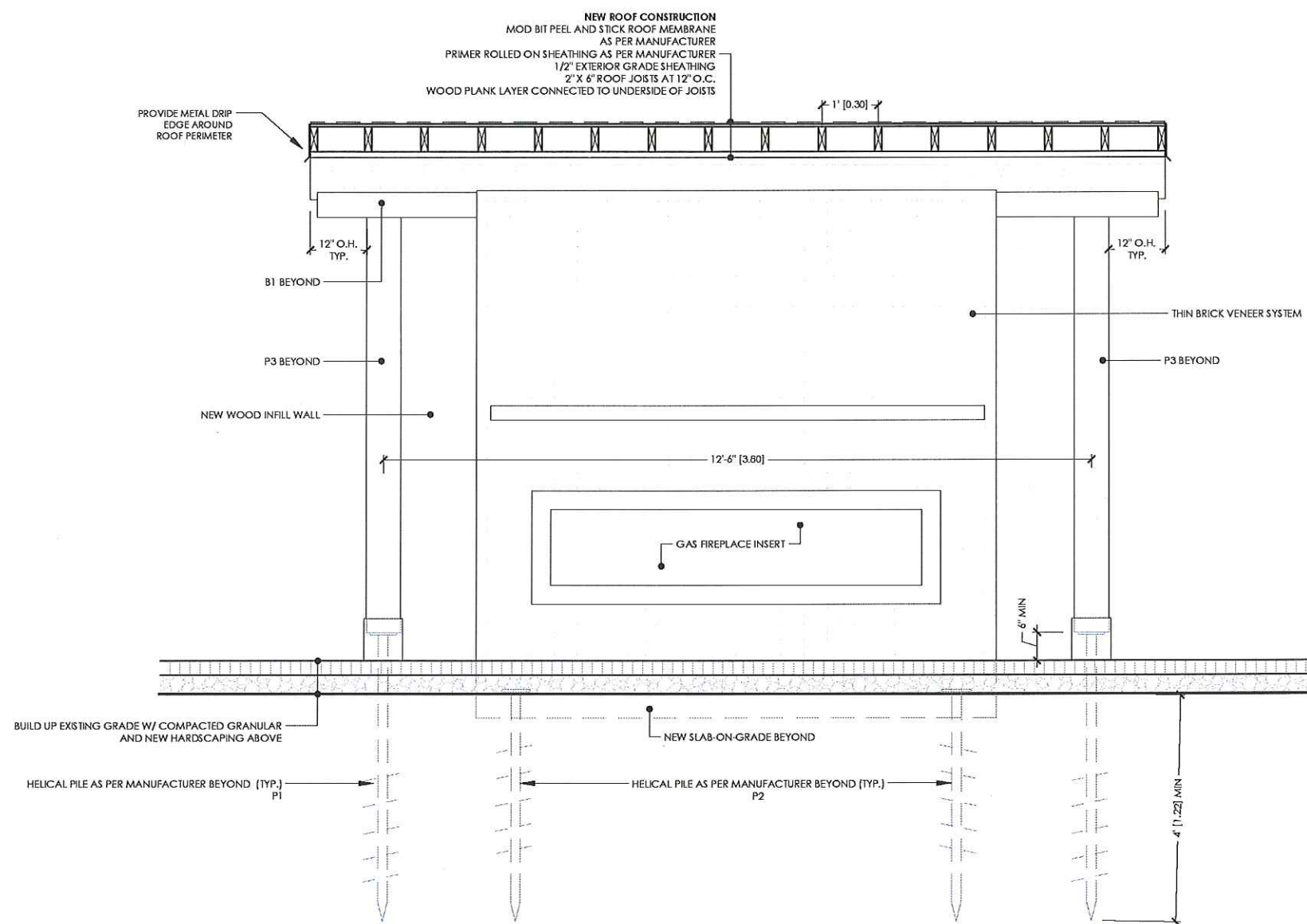
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ACCESSORY STRUCTURE SECTIONS



2 SECTION B  
SK.5  $3/8" = 1$

# SK.5



**NOTE:**  
ALL STRUCTURAL FRAMING MEMBERS TO BE PROTECTED FROM WEATHER WITH AN APPROVED METHOD OR BE GRADED FOR WEATHER EXPOSURE.

ALL STRUCTURAL FRAMING TO BE MIN 6" ABOVE GRADE. IF STRUCTURAL MEMBER IS AT GRADE, EXCAVATE 6" DEEP BELOW MEMBER AND FILL WITH GRANULAR. ENSURE 6" CLEARANCE FROM GRADE ALL AROUND STRUCTURAL MEMBERS.

1  
SK.6

SECTION C

1/2" = 1'



**TENHOUSE**  
BUILDING WORKSHOP

TenHouse Building Workshop  
25 Capreol Court  
Toronto ON M5V 3Z7  
T 905 699 7371

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN. AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

**QUALIFICATION INFORMATION**  
MATTHEW FRATARCANGELI BCIN#:44639

*Matthew Fratarcangeli*

**REGISTRATION INFORMATION**  
TENHOUSE BUILDING WORKSHOP  
BCIN#:112916

REV	DATE	REMARK
0	03/25/21	ISSUED FOR REVIEW

PROJECT:  
REAR YARD RENOVATION  
AT 19 ENCLAVE TRAIL,  
BRAMPTON, ON

DRAWN: MDF  
FILE NO: 21-001

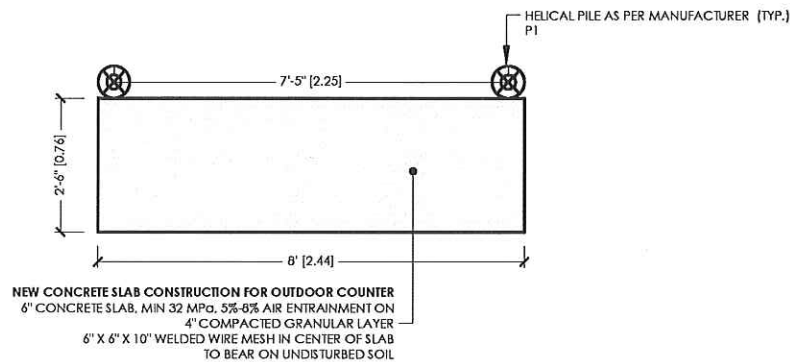
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DATE: 03/25/21

REVISION: 0 CHECKED BY: MDF

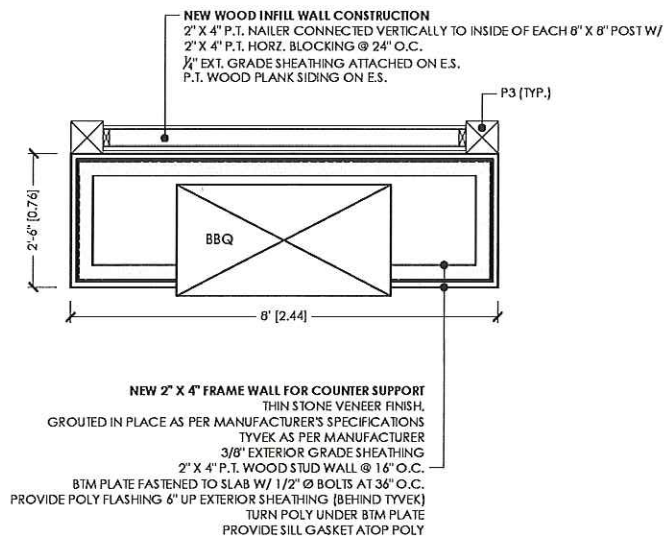
ACCESSORY STRUCTURE SECTION

SK.6

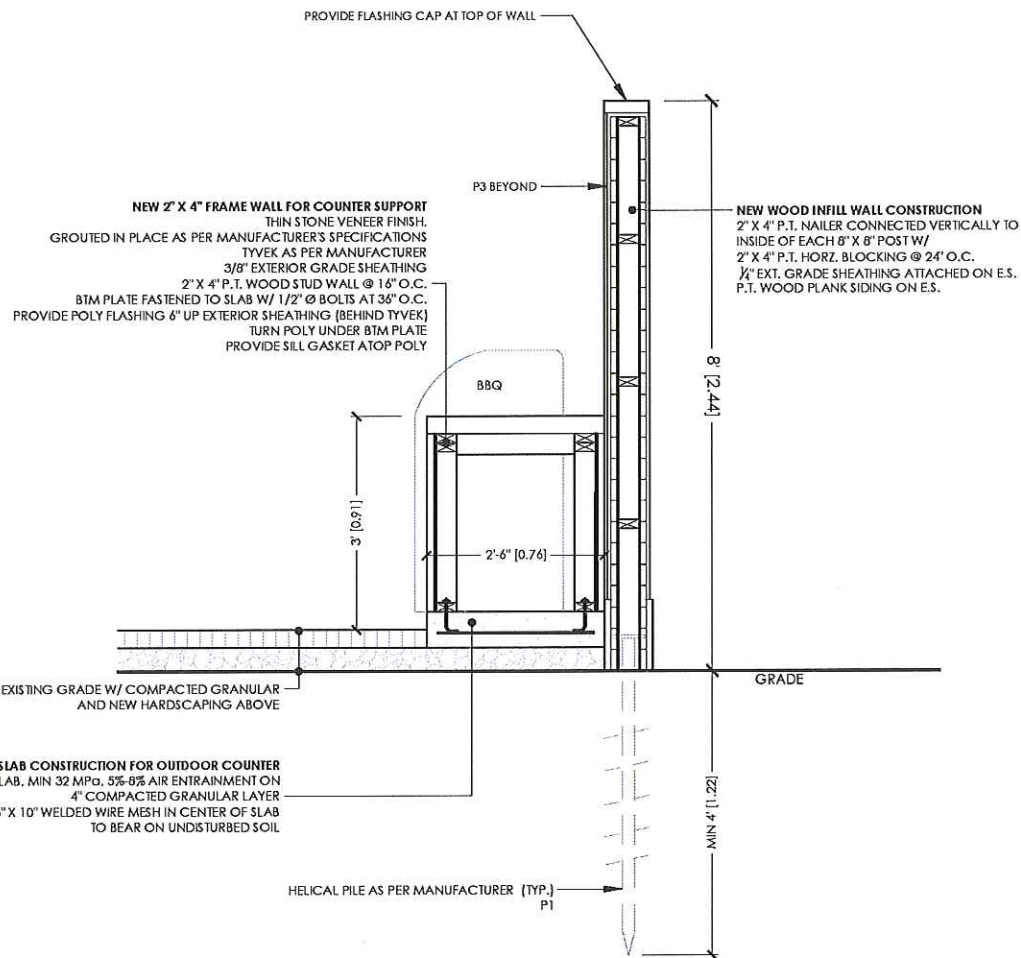




1 COUNTER & FEATURE WALL FOUNDATION PLAN  
SK.7  
3/8" = 1'



2 COUNTER & FEATURE WALL PLAN  
SK.7  
3/8" = 1'



3 COUNTER & FEATURE WALL SECTION  
SK.7  
1/2" = 1'



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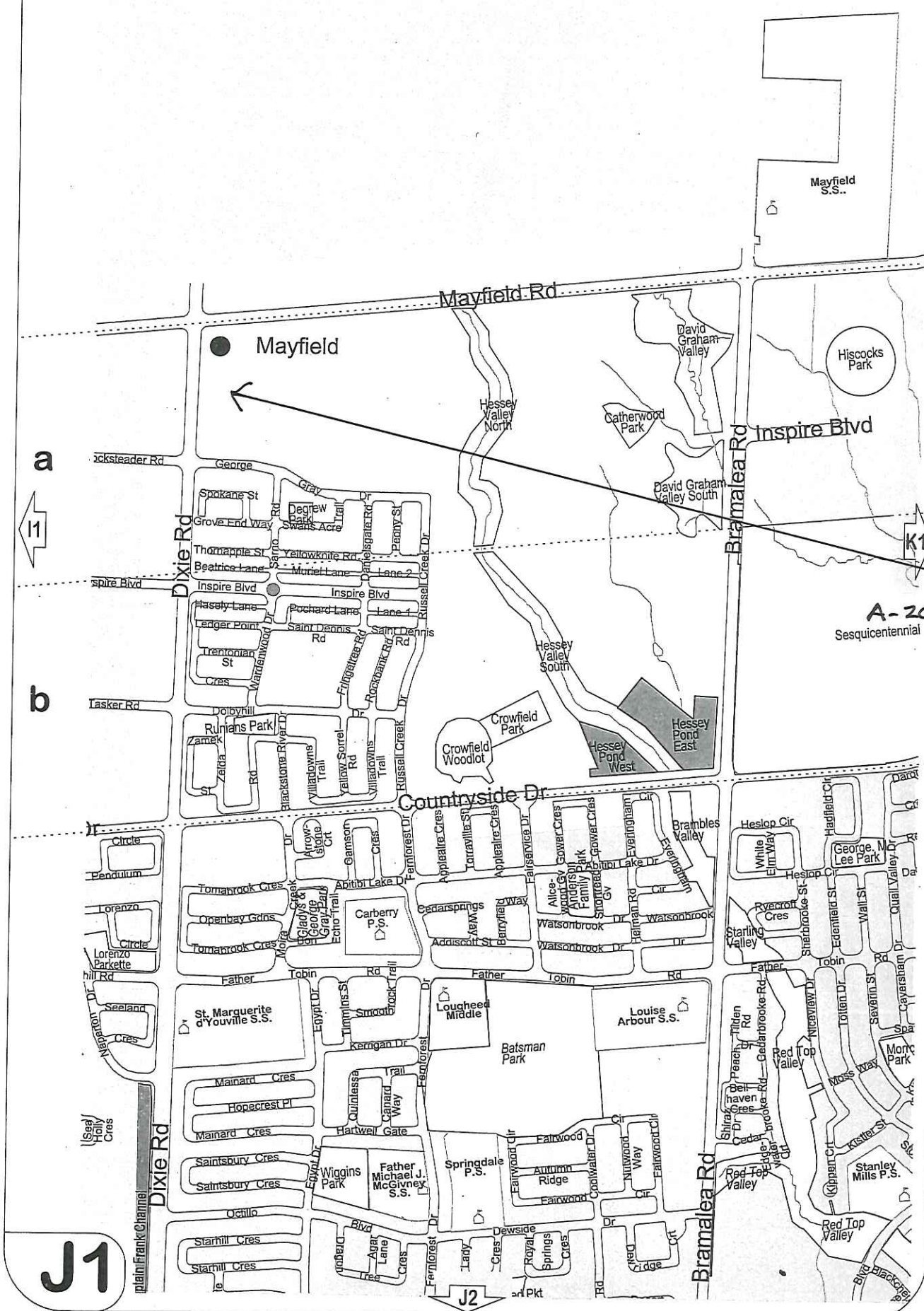
DRAWN: MDF	APPROVED: MDF
FILE NO: 21-001	DATE: 03/25/21
REVISION: 0	CHECKED BY: MDF

FEATURE DETAILS

**SK.7**







a

b

J1

J2

A-2021-0107  
Sesquicentennial