



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **VIPAN GOYAL AND SHEENA GOYAL** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 457, Plan 43M-1192 municipally known as **62 WHITE TAIL CRESCENT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit an existing door on the side wall of the dwelling (proposed to access a second unit) located within 1.05m (3.44 ft.) of the side lot line whereas the by-law requires a minimum unencumbered side yard width of 1.2m (3.94 ft.) to be provided as a path of travel from the front yard to the entrance for a second unit;
2. To permit 0.15m (0.49m) of permeable landscaping along the side lot line whereas the by-law requires a minimum permeable landscape strip of 0.6m (1.97 ft.) between the driveway and the side lot line.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision:	<u>NO</u>	File Number:	<u></u>
Application for Consent:	<u>NO</u>	File Number:	<u></u>

The Committee of Adjustment has appointed **TUESDAY, June 1, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

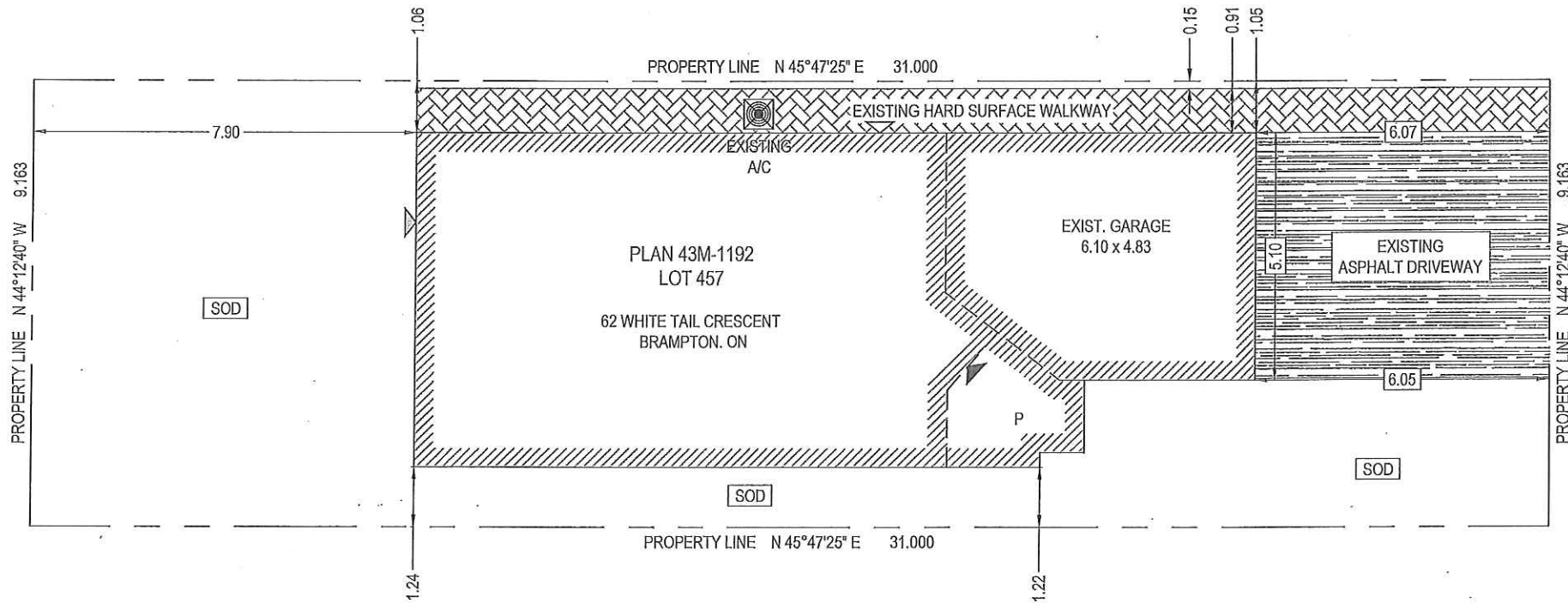
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 20th day of May, 2021.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall
2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



SCOPE OF WORK

- PROPOSED BASEMENT APARTMENT
- PROPOSED BELOW GRADE ENTRANCE FROM REAR YARD
- ONE NEW WINDOW

- ▶ EXISTING HOUSE ENTRANCE DOOR
- ▶ BASEMENT APARTMENT ENTRANCE DOOR
- ▶ SECONDARY / OTHER DOOR

GROSS FLOOR AREA	
PRIMARY RESIDENCE	
GROUND FLOOR	67.17 m ²
SECOND FLOOR	95.32 m ²
LOFT FLOOR	16.54 m ²
TOTAL	179.03 m ²
BASEMENT	
BASEMENT APARTMENT	50.08 m ²
PART OF PRIMARY RESIDENCE	17.65 m ²
TOTAL	67.73 m ²

		
0	ISSUED FOR PERMIT	MAR / 12 / 2021
NO	DESCRIPTION	DATE
CONSULTANT:		
 GREEN TARGET ENGINEERING GREEN TARGET ENGINEERING INC. UNIT 1606, 21 OVERLEA BOULEVARD TORONTO, ON, M4H 1P2 TEL: 647-853-7887 sikandar@greentarget.ca		
SEAL:		
		
PROJECT:		
PROPOSED BASEMENT APARTMENT AT 62 WHITE TAIL CRESCENT BRAMPTON, ON		
TITLE:		
SITE PLAN		
CHECKED: SS	DRAWING:	
DRAWN: AB/ MN	<div style="font-size: 2em; font-weight: bold;">A1</div>	
SCALE: 1:125		
DATE: MAR / 04 / 2021		

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures
How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, May 27, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, May 28, 2021**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, May 28, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

May 19, 2021

To: Committee of Adjustment

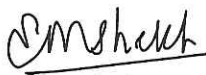
**RE: APPLICATION FOR MINOR VARIANCE
VIPAN GOYAL AND SHEENA GOYAL
LOT 457, PLAN 43M-1192
A-2021-0101 – 62 WHITE TAIL CRESCENT**

Please **amend** application **A-2021-0101** to reflect the following:

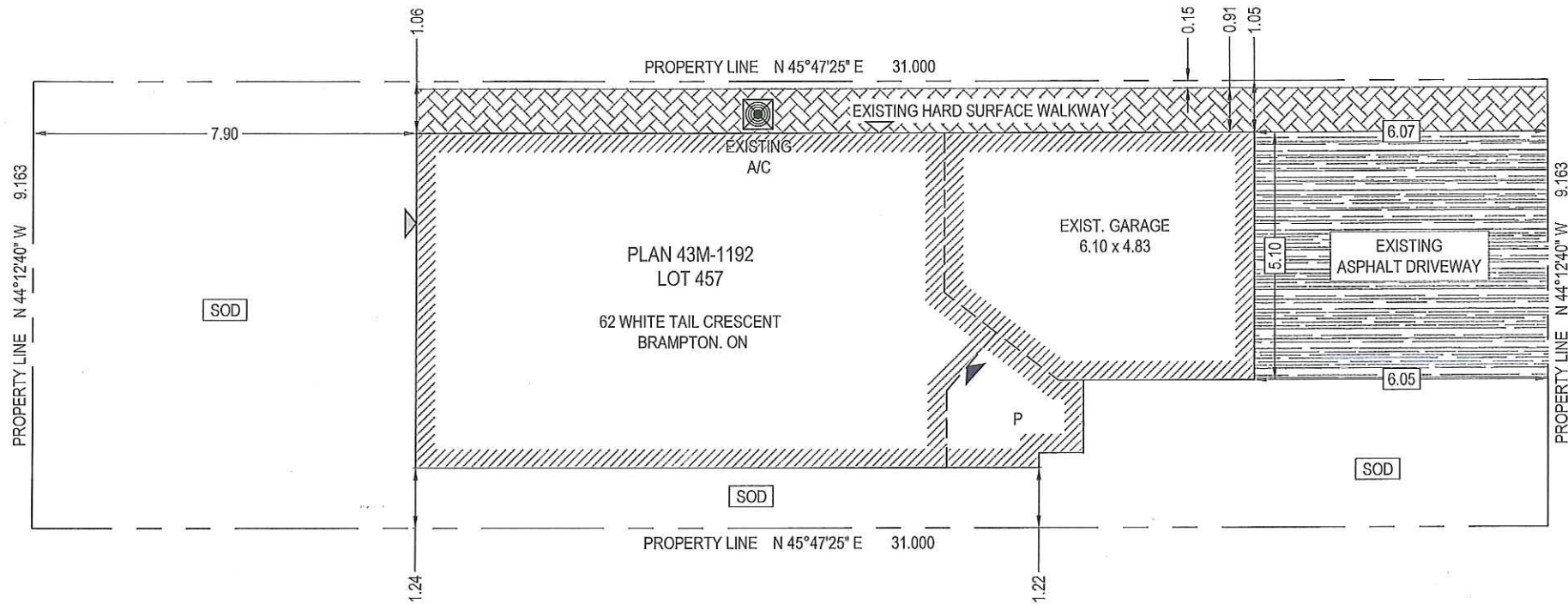
1. To permit an existing door on the side wall of the dwelling (proposed to access a second unit) located within 1.05m (3.44 ft.) of the side lot line whereas the by-law requires a minimum unencumbered side yard width of 1.2m (3.94 ft.) to be provided as a path of travel from the front yard to the entrance for a second unit;
2. To permit 0.15m (0.49m) of permeable landscaping along the side lot line whereas the by-law requires a minimum permeable landscape strip of 0.6m (1.97 ft.) between the driveway and the side lot line.

Green Target Engineering Inc.

Sikandar Shaikh



Applicant/Authorized Agent



SCOPE OF WORK

- PROPOSED BASEMENT APARTMENT
- PROPOSED BELOW GRADE ENTRANCE FROM REAR YARD
- ONE NEW WINDOW

- ▶ EXISTING HOUSE ENTRANCE DOOR
- ▶ BASEMENT APARTMENT ENTRANCE DOOR
- ▶ SECONDARY / OTHER DOOR

GROSS FLOOR AREA	
PRIMARY RESIDENCE	
GROUND FLOOR	67.17 m ²
SECOND FLOOR	95.32 m ²
LOFT FLOOR	16.54 m ²
TOTAL	179.03 m ²
BASEMENT	
BASEMENT APARTMENT	50.08 m ²
PART OF PRIMARY RESIDENCE	17.65 m ²
TOTAL	67.73 m ²

WHITE TAIL CRESCENT



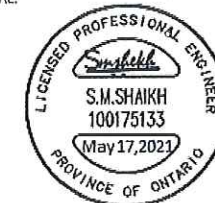
0	ISSUED FOR PERMIT	MAR / 12 / 2021
NO	DESCRIPTION	DATE

CONSULTANT:



GREEN TARGET ENGINEERING INC.
UNIT 1606, 21 OVERLEA BOULEVARD
TORONTO, ON. M4H 1P2
TEL: 647-853-7867
sikandar@greentarget.ca

SEAL:



PROJECT:

PROPOSED
BASEMENT APARTMENT
AT 62 WHITE TAIL CRESCENT
BRAMPTON, ON

TITLE:

SITE PLAN

CHECKED: SS	DRAWING:
DRAWN: AB/ MN	A1
SCALE: 1:125	
DATE: MAR / 04 / 2021	

FILE NUMBER: A-2021-0101

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Vipan Goyal ; Sheena Goyal
Address 62 White Tail Crescent, Brampton, ON L6Y 5C1

Phone # 416-278-7556 **Fax #** _____
Email goyalvipan@rogers.com

2. **Name of Agent** Green Target Engineering Inc
Address 1606- 21 Overlea Blvd, Toronto, ON M4H 1P2

Phone # 647-853-7867 **Fax #** _____
Email sikandar@greentarget.ca

3. **Nature and extent of relief applied for (variances requested):**

This is a Single Family Detached house. Client is applying for 2nd unit in the basement. The above-grade side entrance door is existing (built by the builder, original to the building) with a side clearance of 1.05 metres. The owner of the house intent to use this as a primary entrance to the proposed 2nd unit. However, as per City reviewer comment, if you wish to use this entrance as a primary entrance to the second unit you will have to meet the requirements of 1.2 metres clear path of travel. Since it is not meeting the requirement, we are applying for the relief and approval based on existing conditions.

4. **Why is it not possible to comply with the provisions of the by-law?**

The above-grade side entrance door is existing (built by the builder, original to the building).

5. **Legal Description of the subject land:**
Lot Number 457
Plan Number/Concession Number 43M-1192
Municipal Address 62 White Tail Crescent, Brampton, ON L6Y 5C1

6. **Dimension of subject land (in metric units)**
Frontage 9.163
Depth 31
Area 284.043

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Single Dwelling Unit-Detached- Two Storey +Basement. Gross floor area(Main & 2nd floor) = 179.03 sq.m.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Two Unit Dwelling

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.07 m

Rear yard setback 7.90 m

Side yard setback 1.05 /1.06 m

Side yard setback 1.22 /1.24 m

PROPOSED

Front yard setback Same as existing as mentioned above

Rear yard setback Same as existing as mentioned above

Side yard setback Same as existing as mentioned above

Side yard setback Same as existing as mentioned above

10. Date of Acquisition of subject land: 1998
11. Existing uses of subject property: Residential- Single Dwelling Unit
12. Proposed uses of subject property: Residential- Two Unit Dwelling
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 1998
15. Length of time the existing uses of the subject property have been continued: Since 1998
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

C. Sheth

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton

THIS 27 DAY OF April, 2021

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Sikandar Shaikh, OF THE City OF Toronto
IN THE Province OF Ontario SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 27th DAY OF

April, 2021

April Dela Cerna
A Commissioner etc.

ad.
C. Sheth
April Dela Cerna, Signature of Applicant or Authorized Agent
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires May 8, 2021.

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R1D, Mature Neighbourhood

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L Barbuto

Zoning Officer

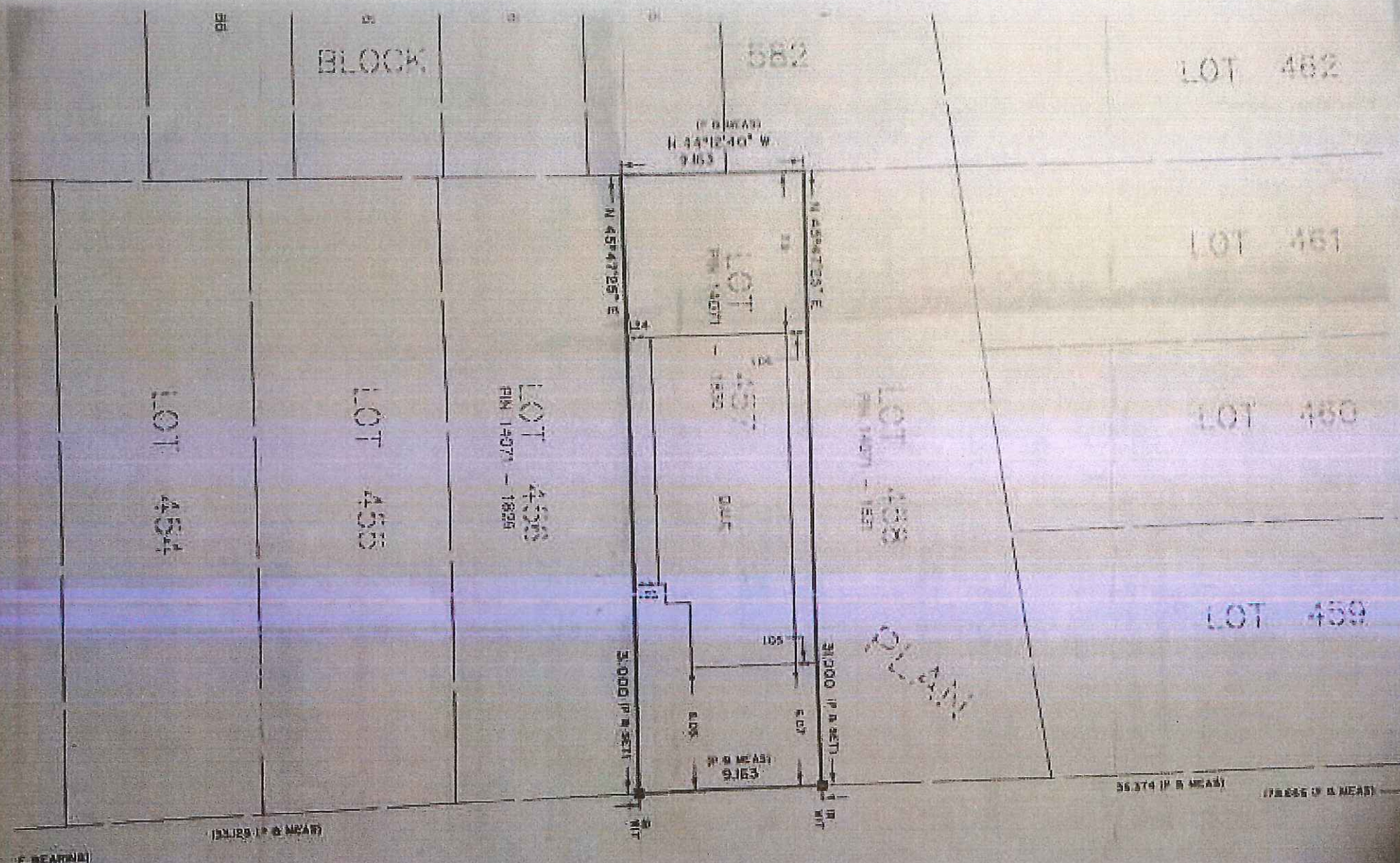
April 27, 2021

Date

DATE RECEIVED

April 27, 2021

April 27, 2021



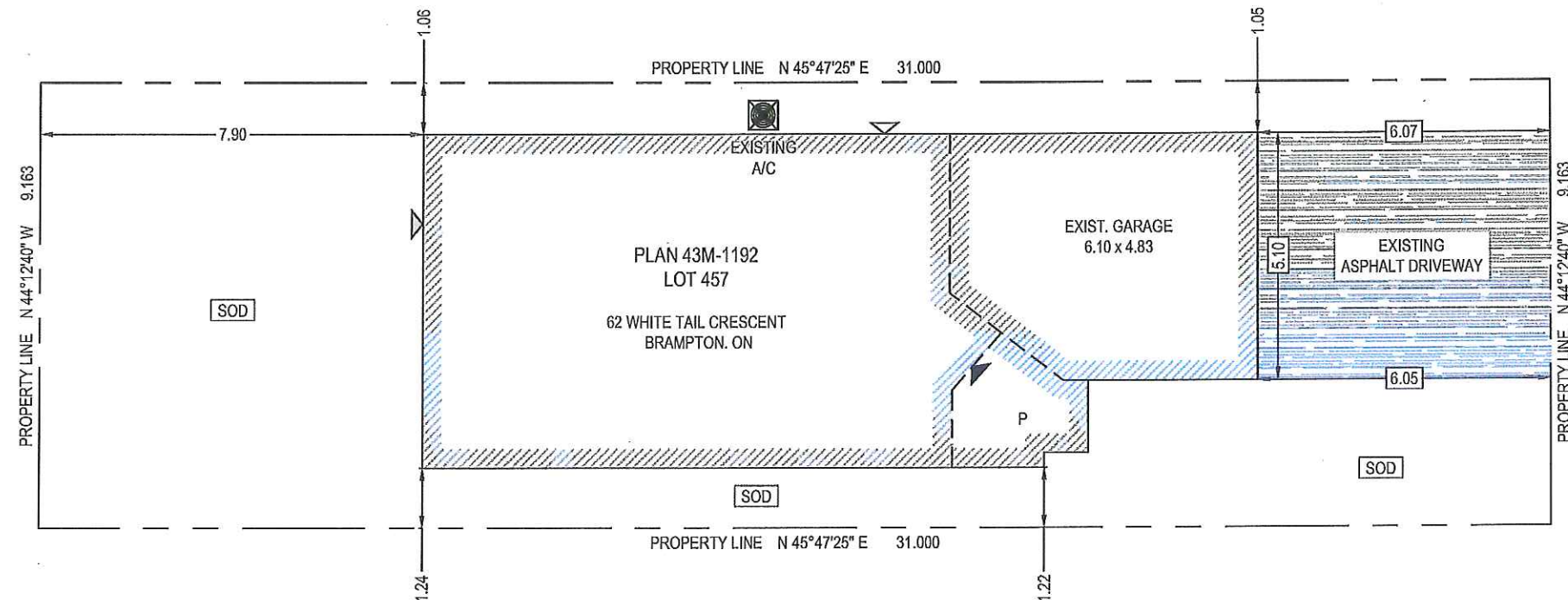
WHITE

TAIL

CRESCENT

(BY REGISTERED PLAN 43M-1192)

FIN 14071 - 2002



WHITE TAIL CRESCENT

SCOPE OF WORK

- PROPOSED BASEMENT APARTMENT
- ONE NEW WINDOW

- ▶ EXISTING HOUSE ENTRANCE DOOR
- ▶ BASEMENT APARTMENT ENTRANCE DOOR
- ▶ SECONDARY / OTHER DOOR

GROSS FLOOR AREA	
PRIMARY RESIDENCE	
GROUND FLOOR	67.17 m ²
SECOND FLOOR	95.32 m ²
LOFT FLOOR	16.54 m ²
TOTAL	179.03 m ²
BASEMENT	
BASEMENT APARTMENT	48.87 m ²
PART OF PRIMARY RESIDENCE	18.86 m ²
TOTAL	67.73 m ²



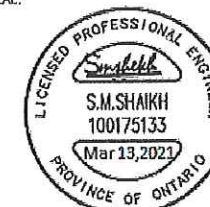
0	ISSUED FOR PERMIT	MAR / 12 / 2021
NO	DESCRIPTION	DATE

CONSULTANT:



GREEN TARGET ENGINEERING INC.
UNIT 1006, 21 OVERLEA BOULEVARD
TORONTO, ON. M4H 1P2
TEL: 647-853-7867
sikandar@greentarget.ca

SEAL:



PROJECT:

PROPOSED
BASEMENT APARTMENT
AT 62 WHITE TAIL CRESCENT
BRAMPTON, ON

TITLE:

SITE PLAN

CHECKED: SS

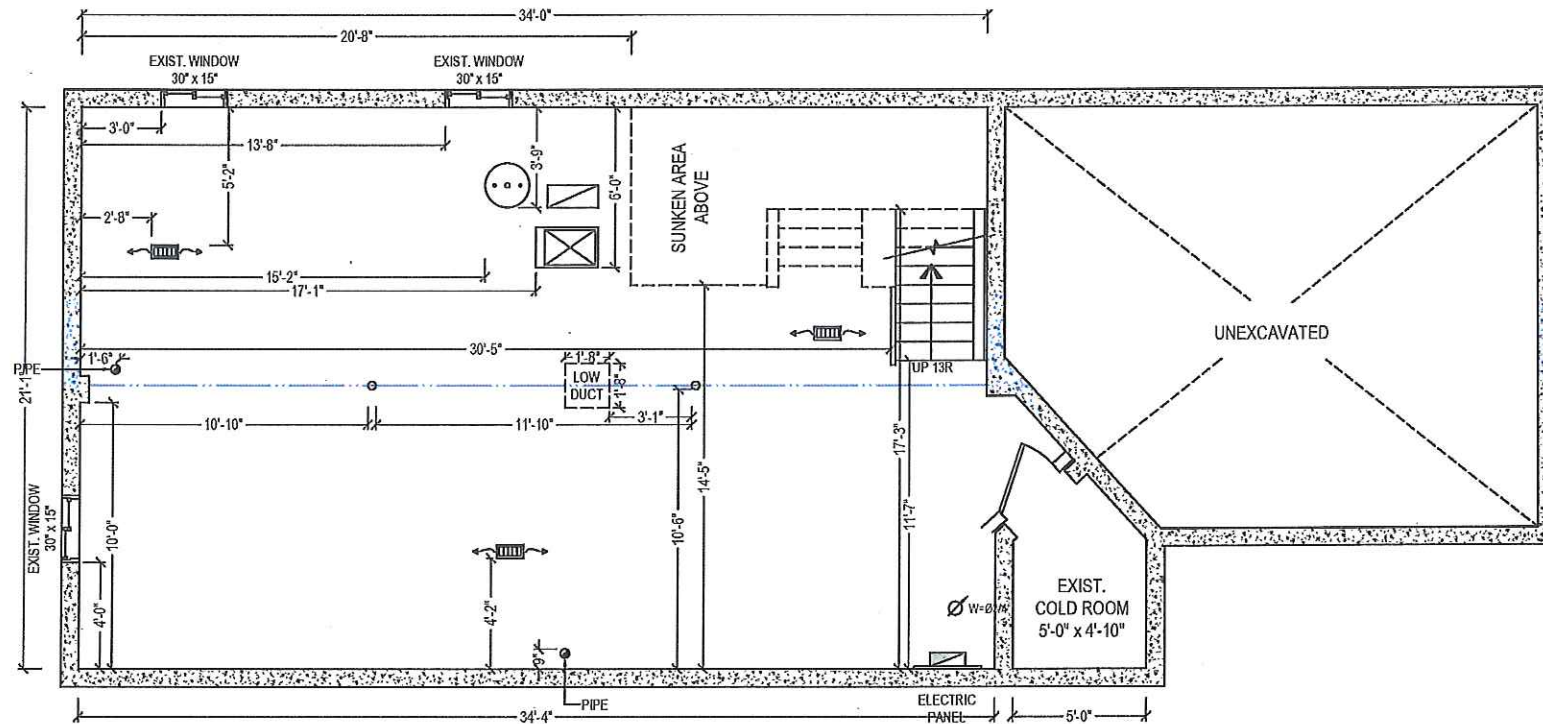
DRAWN: AB/ MN

SCALE: 1:125

DATE: MAR / 04 / 2021

DRAWING:

A1



EXISTING BASEMENT PLAN

TOTAL BASEMENT GFA = 729 ft² / 67.73 m²

CEILING HEIGHT U/S OF JOIST = 7'-7"

CEILING HEIGHT U/S OF DUCT = 6'-10"



0	ISSUED FOR PERMIT	MAR / 12 / 2021
NO	DESCRIPTION	DATE

CONSULTANT:



GREEN TARGET ENGINEERING INC.
UNIT 1606, 21 OVERLEA BOULEVARD
TORONTO, ON. M4H 1P2
TEL: 647-853-7887
sikandar@greentarget.ca

SEAL:



PROJECT:

PROPOSED
BASEMENT APARTMENT
AT 62 WHITE TAIL CRESCENT
BRAMPTON, ON

TITLE:

EXISTING BASEMENT PLAN

CHECKED: SS

DRAWN: AB/ MN

SCALE: 3/16" = 1'-0"

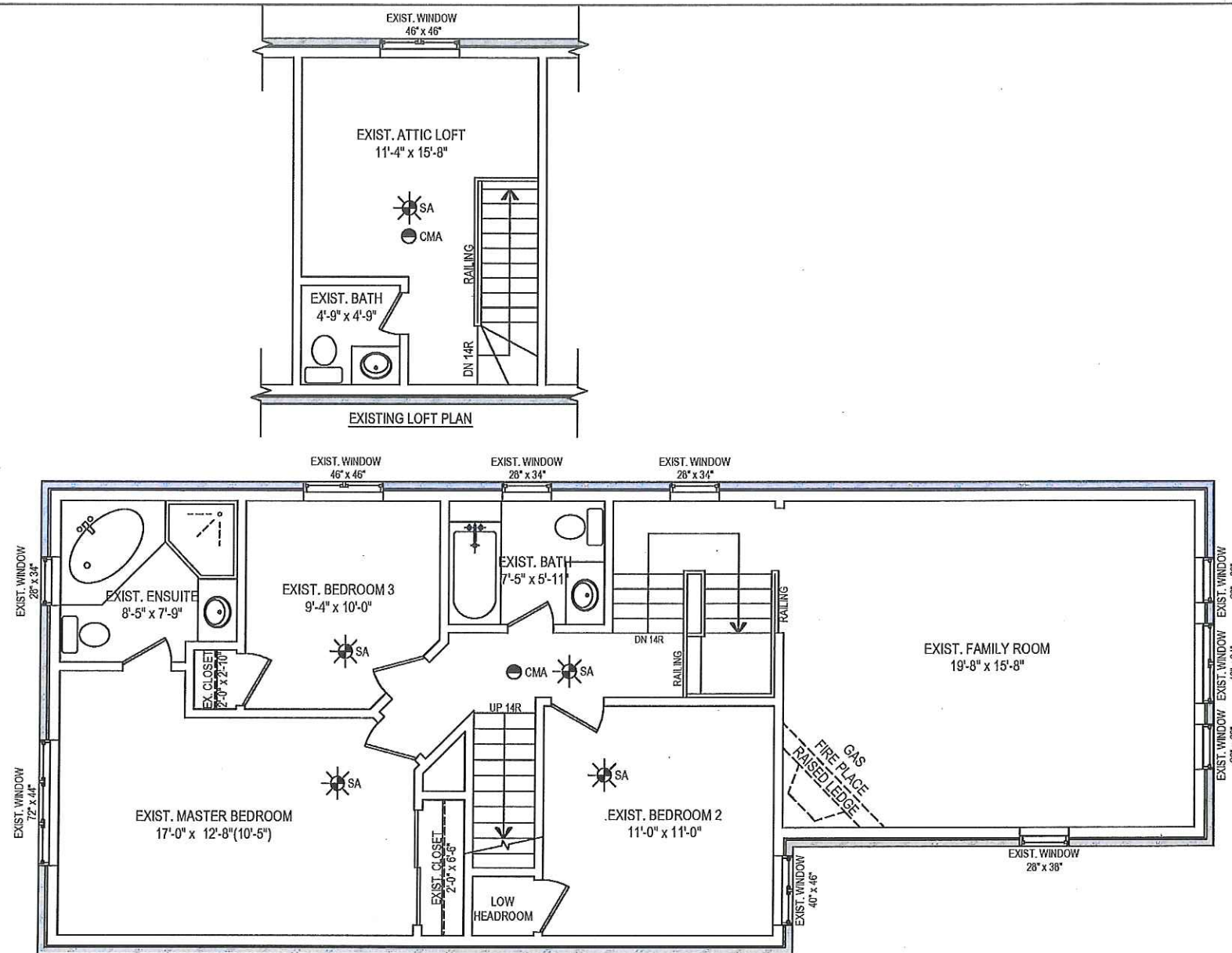
DATE: MAR / 04 / 2021

DRAWING:

A2

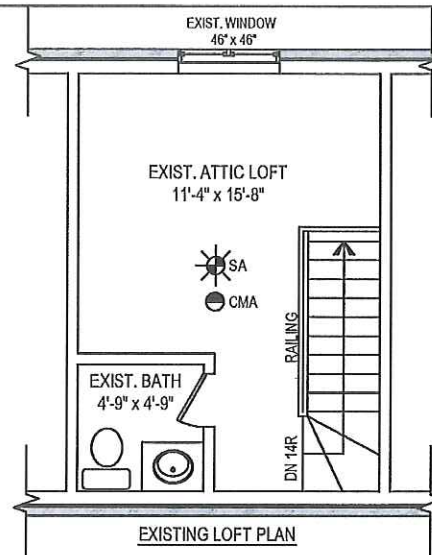
	SPRINKLER	
	SDD SMOKE DETECTOR DUCT TYPE	
	SA SMOKE ALARM	
	CMA CARBON MONOXIDE ALARM	
	EXHAUST FAN	
	EMERGENCY LIGHT	
WB1	2-2"x8"	
WB2	3-2"x8"	
L1	3 1/2" x 3 1/2" x 1/4"	
	SUPPLY AIR REGISTER 10"x4"	
	SUPPLY AIR REGISTER 10"x4" ON WALL	
	RETURN AIR GRILLE 16"x8" AT LOW LEVEL	
0	ISSUED FOR PERMIT	
MAR / 12 / 2021		
NO	DESCRIPTION	
DATE		
CONSULTANT:		
<div style="display: flex; align-items: center;"> <div> <p style="margin: 0;">GREEN TARGET</p> <p style="margin: 0;">ENGINEERING</p> </div> </div> <p style="margin: 5px 0;">GREEN TARGET ENGINEERING INC.</p> <p style="margin: 5px 0;">UNIT 1606, 21 OVERLEA BOULEVARD</p> <p style="margin: 5px 0;">TORONTO, ON, M4H 1P2</p> <p style="margin: 5px 0;">TEL: 647-853-7867</p> <p style="margin: 5px 0;">sikanandar@greentarget.ca</p>		
SEAL:		
PROJECT:		
<p>PROPOSED</p> <p>BASEMENT APARTMENT</p> <p>AT 62 WHITE TAIL CRESCENT</p> <p>BRAMPTON, ON</p>		
TITLE:		
<p>PROPOSED BASEMENT PLAN</p>		
CHECKED: SS	DRAWING:	
DRAWN: AB/ MN	A3	
SCALE: 3/16" = 1'-0"		
DATE: MAR / 04 / 2021		

A4



EXISTING SECOND FLOOR PLAN

SECOND FLOOR GFA = 1026 R² / 95.32 m²
 CEILING HEIGHT = 8'-0"



EXISTING LOFT PLAN



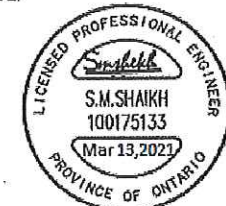
0	ISSUED FOR PERMIT	MAR / 12 / 2021
NO	DESCRIPTION	DATE

CONSULTANT:



GREEN TARGET ENGINEERING INC.
 UNIT 1606, 21 OVERLEA BOULEVARD
 TORONTO, ON. M4H 1P2
 TEL: 647-853-7867
 sikandar@greentarget.ca

SEAL:



PROJECT:

PROPOSED
 BASEMENT APARTMENT
 AT 62 WHITE TAIL CRESCENT
 BRAMPTON, ON

TITLE:

SECOND FLOOR PLAN

CHECKED: SS

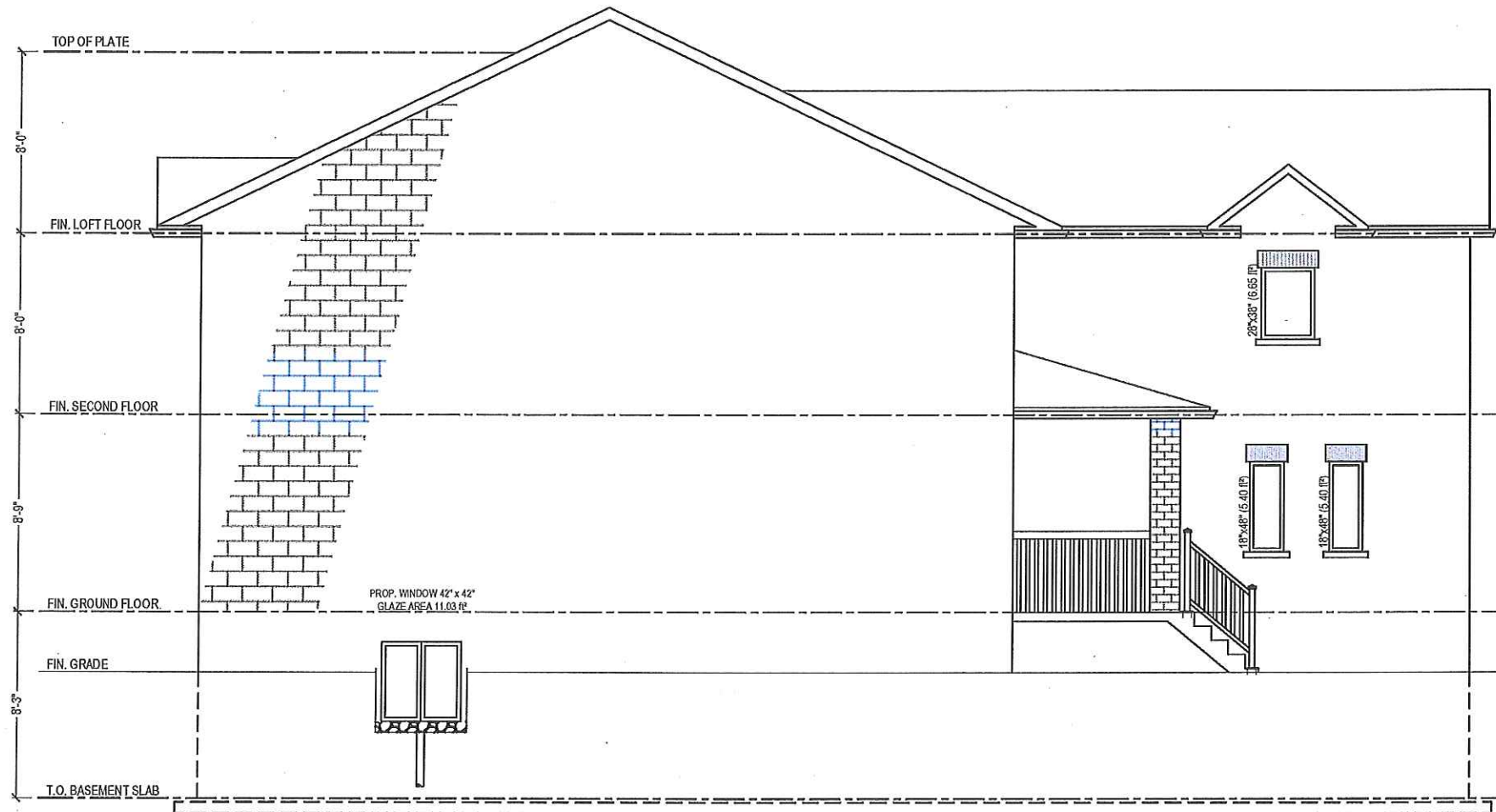
DRAWING:

DRAWN: AB/ MN

SCALE: 3/16" = 1'-0"

DATE: MAR / 04 / 2021

A5



LEFT SIDE ELEVATION

WINDOW WELL - PERFORATED PIPE IN THE GRAVEL BED TO EXTEND 12" FROM FACE OF THE WALL. CONNECT THE PIPE TO THE FOUNDATION DRAINAGE SYSTEM. DAMP PROOF THE FACE OF THE FOUNDATION WALL NEXT TO WINDOW WELL AND TO THE TOP OF THE GRAVEL BED. THE WELL SHALL BE 6" ABOVE SURROUNDING GRADE

GLAZED AREA

WALL AREA	=	881 ft² / 81.85 m²
LIMITING DISTANCE	=	4'-1" / 1.24 m
GLASS AREA ALLOWED (7%)	=	61.67 ft² / 5.73 m²
GLASS AREA PROVIDED (1.25%)	=	11.03 ft² / 1.02 m²

0	ISSUED FOR PERMIT	MAR / 12 / 2021
NO	DESCRIPTION	DATE

CONSULTANT:



GREEN TARGET ENGINEERING INC.
UNIT 1606, 21 OVERLEA BOULEVARD
TORONTO, ON. M4H 1P2
TEL: 647-853-7867
sikandar@greentarget.ca

SEAL:



PROJECT:

PROPOSED
BASEMENT APARTMENT
AT 62 WHITE TAIL CRESCENT
BRAMPTON, ON

TITLE:

LEFT SIDE ELEVATION

CHECKED: SS

DRAWING:

DRAWN: AB/MN

SCALE: 3/16" = 1'-0"

DATE: MAR / 04 / 2021

A6

GENERAL NOTES













1. ALL WORK SHALL CONFORM TO ONTARIO BUILDING CODE (OBC) 2012, O. REG 332/12, AS AMENDED, CITY BY-LAWS AND STANDARDS
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS AND RESOLVE ANY DISCREPANCIES WITH THE ENGINEER PRIOR TO START OF WORK
3. IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKMEN HAVING WORKING KNOWLEDGE OF THE APPLICABLE CODE, STANDARDS, INSURANCES AND REQUIREMENTS OF INDUSTRY ACCEPTED STANDARD, AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS.
4. BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE DRAWINGS, THE OWNER AND/OR BUILDER ACKNOWLEDGES THAT THE GENERAL NOTES HAVE BEEN READ AND UNDERSTOOD
5. THE DRAWINGS PREPARED BY THE DESIGNER IS FOR THE PERMIT IN COMPLIANCE WITH OBC AND CITY BY-LAWS
6. THE DESIGNER IS NOT LIABLE FOR COST INCURRED FOR RE-WORK, ALTERATION, DISCREPANCIES OR ANY KIND OF CONSTRUCTION RELATED WORK
7. ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
8. MINIMUM BEARING OF STEEL LINTELS 150 MM.
9. MINIMUM BEARING OF WOOD BEAM / LINTELS 100 MM
10. MINIMUM BEARING OF WOOD JOISTS 40MM
11. VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
12. PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
13. INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION
14. ANY DISCREPANCIES SHALL BE BROUGHT TO THE NOTICE OF ENGINEER PRIOR TO START OF WORK

CONSTRUCTION NOTES

1. FIRE BLOCK
- FIRE BLOCKS SHALL CONFORM TO ONTARIO BUILDING CODE (OBC) 2012, O. REG 332/12, AS AMENDED, DIVISION B, SUBSECTION 3.1.11.
 - FIRE BLOCKS SHALL BE PROVIDED AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES IN INTERIOR COVED CEILINGS, DROPPED CEILINGS AND SOFFITS IN WHICH THE EXPOSED CONSTRUCTION MATERIALS WITHIN THE SPACE HAVE A FLAME SPREAD RATING MORE THAN 25
2. PENETRATION OF FIRE SEPARATION
- PENETRATIONS OF FIRE SEPARATION SHALL CONFORM TO OBC 2012, O. REG 332/12, AS AMENDED, DIVISION B, SUBSECTION 9.10.9.6.
 - PIPING, TUBING, DUCTS, WIRING, CONDUIT, ELECTRICAL OUTLET BOXES AND OTHER SIMILAR SERVICE EQUIPMENT THAT PENETRATE A REQUIRED FIRE SEPARATION SHALL BE TIGHTLY FITTED OR FIRE STOPPED TO MAINTAIN THE INTEGRITY OF THE SEPARATION
3. INTERIOR FINISH
- INTERIOR FINISH SHALL CONFORM TO OBC 2012, O. REG 332/12, AS AMENDED, DIVISION B, SUBSECTION 3.1.13.
 - EXCEPT FOR BATHROOMS, PUBLIC CORRIDORS AND EXITS, INTERIOR WALL AND CEILING FINISHES SHALL HAVE A MAXIMUM SURFACE FLAME SPREAD RATING OF 150
4. DOORS AND WINDOWS
- DOORS AND WINDOWS SHALL CONFORM TO OBC 2012, O. REG 332/12, AS AMENDED, DIVISION B, SECTION 9.7. & 9.10.13.
 - INTERIOR DOORS: ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 THICK HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN
 - EXTERIOR DOOR: EXTERIOR TYPE STEEL DOOR
 - FIRE RESISTANCE RATED DOOR: ALL DOORS IN FIRE SEPARATION WALL SHALL BE 20 MIN. F.R.R WITH SELF CLOSING DEVICE AND DEADBOLT LOCK. DOOR FRAME INSTALLATION SHALL BE SMOKE TIGHT
5. SPRINKLER
- A SINGLE SPRINKLER LOOP TO BE INSTALLED IN FURNACE ROOM WHEN CONTINUOUS FIRE SEPARATION CANNOT BE ACHIEVED DUE TO OBSTRUCTION
 - ONLY RESIDENTIAL FULL FLOW THROUGH INSTALLATIONS ARE PERMITTED
 - MINIMUM $\varnothing \frac{3}{4}$ " WATER SERVICE REQUIRED
 - NO ISOLATION VALVE PERMITTED ON ANY PORTION OF SPRINKLER SERVICE LINE UPSTREAM OF SPRINKLER HEAD
 - PIPING MATERIAL: COPPER (TYPE L) AND CROSS-LINKED POLYETHYLENE PIPE FITTINGS (PEX) CERTIFIED TO CAN/CSA-B137.5
 - LISTED RESIDENTIAL SPRINKLERS SHALL BE USED

6. SMOKE DETECTOR DUCT TYPE
- SMOKE DETECTOR DUCT TYPE SHALL CONFORM TO OBC 2012, O. REG 332/12, AS AMENDED, DIVISION B, PART 11, C195
 - DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE RETURN AIR DUCT SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION
7. SMOKE ALARMS
- SMOKE ALARM SHALL CONFORM TO OBC 2012, O. REG 332/12, AS AMENDED, DIVISION B, SUBSECTION 9.10.19. AND PART 11, C152(b)
 - SMOKE ALARMS WITH STROBE SHALL BE INSTALLED ON EVERY FLOOR LEVEL, IN ALL BEDROOM OR SLEEPING AREA, IN HALLWAY SERVING A BEDROOM AND IN COMMON AREAS
 - ALL SMOKE ALARMS IN THE DWELLING UNIT MUST BE HARDWIRED AND INTERCONNECTED
 - SMOKE ALARMS SHALL HAVE BATTERY BACKUP POWER CAPABLE OF LASTING FOR 7 DAYS WHILE IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM SIGNALING
8. CARBON MONOXIDE ALARM
- CARBON MONOXIDE ALARM SHALL CONFORM TO OBC 2012, O. REG 332/12, AS AMENDED, DIVISION B, SUBSECTION 9.33.4. AND PART 11, C197
 - PROVIDE CARBON MONOXIDE ALARM CONFIRMING TO CAN/CSA-6.19 "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES"
 - CARBON MONOXIDE ALARMS SHALL BE HARD-WIRED AND INSTALLED ADJACENT TO EACH SLEEPING AREA
 - CARBON MONOXIDE ALARMS MAY BE BATTERY OPERATED OR PLUGGED INTO ELECTRICAL OUTLET
9. MECHANICAL VENTILATION
- MECHANICAL VENTILATION SHALL CONFORM TO OBC 2012, O. REG 332/12, AS AMENDED, DIVISION B, SUBSECTION 9.32.1.3.(3)
 - 50 CFM EXHAUST FANS IN KITCHEN AND WASHROOM AND SHALL DISCHARGE DIRECTLY OUTSIDE THE BUILDING
 - CLOTHES DRYER EXHAUST SHALL COMPLY WITH OBC, DIVISION B, 6.2.4.11.
 - SEPARATE AIR INTAKES FROM BUILDING ENVELOPE PENETRATIONS THAT ARE POTENTIAL SOURCES OF CONTAMINANTS (GAS VENTS, OIL FILL PIPES ETC.) BY MIN. 900 MM (3'-0")
 - ENSURE ADEQUATE VENTILATION AND COMBUSTION AIR FOR THE OPTIMUM OPERATION OF THE FURNACE AS PER THE MANUFACTURER'S REQUIREMENTS.
 - SUPPLY AIR REGISTER TO BE LOCATED WITHIN 4 FEET OF OUTSIDE WALL. THE RETURN AIR GRILLE SHALL BE INSTALLED NEAR THE FLOOR LEVEL. DOOR TO BE UNDERCUT BY 25mm (1 INCH) TO ANY ROOM WITHOUT RETURN AIR GRILLE
10. EMERGENCY LIGHT
- EMERGENCY LIGHT SHALL CONFORM TO OBC 2012, O. REG 332/12, AS AMENDED, DIVISION B, SUBSECTION 9.9.12.3.
 - WHERE SELF-CONTAINED EMERGENCY LIGHTING UNITS ARE USED, THEY SHALL TO CAS C22.2 No. 141, "EMERGENCY LIGHTING EQUIPMENT"
11. PLUMBING
- ALL PLUMBING SHALL CONFORM TO THE OBC, O. REG. 332/12, AS AMENDED, DIVISION B, PART 7.
 - THE MAXIMUM HOT WATER TEMPERATURE SUPPLIED TO FIXTURES IN RESIDENTIAL OCCUPANCIES SHALL NOT EXCEED 49° C (120° F) AS PER OBC ARTICLE 7.6.5.1. DISHWASHERS AND CLOTHES WASHERS ARE EXEMPT FROM THIS REQUIREMENT
 - ALL THERMOSTATIC MIXING VALVES SHALL CONFORM TO CAN/CSA-B125, "PLUMBING FIXTURES" AND SHALL BE LABELED ACCORDINGLY
 - PRESSURE BALANCED OR THERMOSTATIC-MIXING VALVE REQUIRED ON SHOWER AS PER OBC, DIVISION B, SENTENCE 7.6.5.2(1)
 - WATER AND DRAINAGE PIPING SHALL BE PROTECTED FROM FREEZING AS PER OBC, DIVISION B, 7.3.5.4.
12. DRAINAGE
- DRAINAGE SHALL CONFORM TO OBC O. REG. 332/12, AS AMENDED, DIVISION B, 9.14.
 - MAINTAIN PERIMETER FOUNDATION DRAINAGE - MINIMUM 4 INCH DIAMETER WEEPING TILE, WITH A MINIMUM 6 INCH GRANULAR COVER
 - ANY AREA DRAIN, EXTERIOR OF A BUILDING (IN A CONCRETE DECK OR IN THE LOWEST LANDING OF A STAIRWELL) SHALL BE CONNECTED TO EITHER THE STORM SEWER OR CONNECTED TO A SUMP PIT. IN EITHER SITUATION IT SHALL NOT BE CONNECTED TO THE SANITARY DRAINAGE SYSTEM OR WEEPING TILES

13. ELECTRICAL WORK
- FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY

-  SPRINKLER (SEE CONSTRUCTION NOTES 5)
-  SDD SMOKE DETECTOR DUCT TYPE (SEE CONSTRUCTION NOTES 6)
-  SA SMOKE ALARM (SEE CONSTRUCTION NOTES 7)
-  CMA CARBON MONOXIDE ALARM (SEE CONSTRUCTION NOTES 8)
-  EXHAUST FAN (SEE CONSTRUCTION NOTES 9)
-  EMERGENCY LIGHT (SEE CONSTRUCTION NOTES 10)
-  LIGHT
-  SWITCH
-  3 WAY SWITCH
-  SUPPLY AIR REGISTER 10"x4" (SEE CONSTRUCTION NOTES 9)
-  SUPPLY AIR REGISTER 10"x4" ON WALL (SEE CONSTRUCTION NOTES 9)
-  RETURN AIR GRILLE 16"x8" AT LOW LEVEL (SEE CONSTRUCTION NOTES 9)

DOOR SCHEDULE	
DOOR #	DOOR SIZE
D1	36" x 78"
D2	34" x 78"
D3	32" x 78"
D4	30" x 78"
D5	28" x 78"
D6	26" x 78"
D7	24" x 78"
FDx	20 min. F.R.R

WOOD LINTEL	
WB1	2-2"x8"
WB2	3-2"x8"
WB3	2-2"x10"

STEEL LINTEL	
L1	1L - 3 1/2" x 3 1/2" x 1/4"
L2	2L - 3 1/2" x 3 1/2" x 1/4"
L3	1L - 3 1/2" x 3 1/2" x 5/16"
L4	1L - 5" x 3 1/2" x 5/16"

0	ISSUED FOR PERMIT	MAR / 12 / 2021
NO	DESCRIPTION	DATE

CONSULTANT:



GREEN TARGET ENGINEERING INC.
UNIT 1606, 21 OVERLEA BOULEVARD
TORONTO, ON. M4H 1P2
TEL: 647-853-7867
sikandar@greentarget.ca

SEAL:



PROJECT:

PROPOSED
BASEMENT APARTMENT
AT 62 WHITE TAIL CRESCENT
BRAMPTON, ON

TITLE:

GENERAL NOTES - 1

CHECKED: SS

DRAWING:

DRAWN: AB/MN

SCALE: NTS

DATE: MAR / 04 / 2021

G1

- EXTERIOR FOUNDATION WALL
- MIN. R12 BATT INSULATION
- 6 MIL POLY VAPOUR BARRIER
- 2"x4" OR 2"x6" @ 16" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE
- 1/2" GYPSUM BOARD

W1 TYPICAL EXTERIOR WALL

- 1/2" GYPSUM BOARD
- 2"x4" OR 2"x6" @ 16" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE
- ENTIRE STUD CAVITY FILLED WITH SOUND INSULATION (OPTIONAL)
- 1/2" GYPSUM BOARD

W2 TYPICAL INTERIOR WALL

- 5/8" TYPE 'X' GYPSUM BOARD
- 2"x4" OR 2"x6" @ 16" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE
- 3/4" SOUND INSULATION
- RESILIENT METAL CHANNELS @ 16" OR 24" O/C
- 2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD

W3 WALL ASSEMBLY W4a
FRR - 1 HOUR STC - 51
BUILDING CONDITION A

- 1/2" GYPSUM BOARD
- 2"x4" OR 2"x6" @ 16" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE
- STUD CAVITY FILLED WITH SOUND INSULATION
- 1/2" GYPSUM BOARD

W4 WALL ASSEMBLY W1c
FRR - 30 MIN. STC - N/A (SB-3)
BUILDING CONDITION B

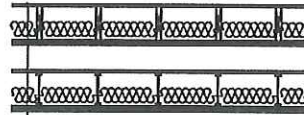
NOTE
- WALL TYPE W5 CAN BE USED
INSTEAD OF W4

- 5/8" TYPE 'X' GYPSUM BOARD
- 2"x4" OR 2"x6" @ 16" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE
- 5/8" TYPE 'X' GYPSUM BOARD

W5 WALL ASSEMBLY W1d
FRR - 1 HOUR STC - N/A (SB-3)
BUILDING CONDITION B

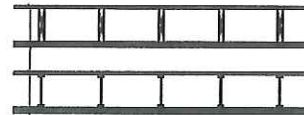
- 1/2" GYPSUM BOARD
- 2"x4" OR 2"x6" @ 16" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE
- ENTIRE STUD CAVITY FILLED WITH SOUND INSULATION (OPTIONAL)
- 1/2" GYPSUM BOARD

W6 EXISTING RATED WALL
FRR - 30 MIN. STC - N/A
BUILDING CONDITION C



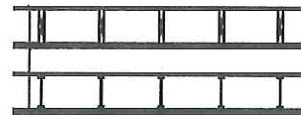
- 5/8" (15.9mm) PLYWOOD, OSB, OR WAFER BOARD SUBFLOOR
- WOOD JOISTS OR WOOD I-JOISTS SPACED NOT MORE THAN 24" (610mm) O/C
- ABSORPTIVE MATERIAL IN CAVITY
- RESILIENT CHANNELS @ 24" (610mm) O/C
- 2 LAYERS 1/2" (12.7mm) TYPE 'X' GYPSUM BOARD

C1 FLOOR ASSEMBLY F9h
FRR - 45 MIN. STC - 53
BUILDING CONDITION A



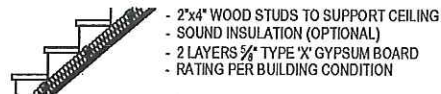
- EXISTING PLYWOOD, OSB, OR WAFER BOARD SUBFLOOR
- WOOD JOISTS OR WOOD I-JOISTS SPACED NOT MORE THAN 24" (610mm) O/C
- NO ABSORPTIVE MATERIAL IN CAVITY (OPTIONAL 6" SOUND INSULATION)
- RESILIENT CHANNELS @ 24" (610mm) O/C
- 5/8" (15.9mm) TYPE 'X' GYPSUM BOARD

C2 FLOOR ASSEMBLY F8b
FRR - 30 MIN. STC - 43
BUILDING CONDITION B



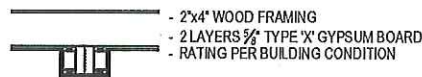
- EXISTING SUBFLOOR
- WOOD JOISTS OR WOOD I-JOISTS SPACED NOT MORE THAN 24" (610mm) O/C
- NO ABSORPTIVE MATERIAL IN CAVITY (OPTIONAL 6" SOUND INSULATION)
- 1/2" (12.7mm) GYPSUM BOARD

C3 FLOOR ASSEMBLY
FRR - 15 MIN. STC - N/A
BUILDING CONDITION C

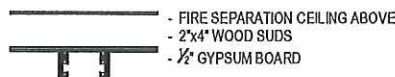


C4 UNDERSIDE OF STAIR
FIRE SEPARATION

NOTE:
- PROVIDE C4 CEILING OVER THE STAIRCASE ON MAIN FLOOR AND VESTIBULE



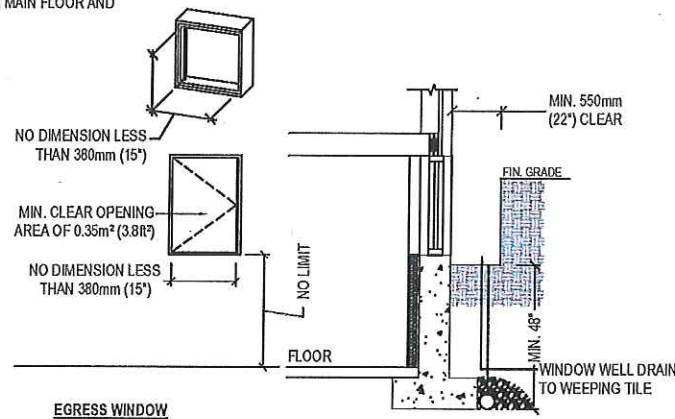
STEEL BEAM
SEPARATION



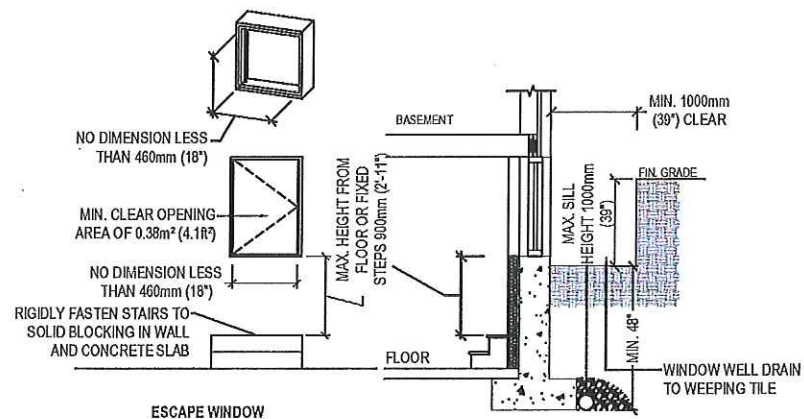
BULKHEAD BELOW
FIRE SEPARATION



STEEL COLUMN
SEPARATION



EGRESS WINDOW



ESCAPE WINDOW

0	ISSUED FOR PERMIT	MAR / 12 / 2021
NO	DESCRIPTION	DATE

CONSULTANT:



GREEN TARGET ENGINEERING INC.
UNIT 1606, 21 OVERLEA BOULEVARD
TORONTO, ON. M4H 1P2
TEL: 647-853-7867
sikandar@greentarget.ca

SEAL:



PROJECT:

PROPOSED
BASEMENT APARTMENT
AT 62 WHITE TAIL CRESCENT
BRAMPTON, ON

TITLE:

GENERAL NOTES - 2

CHECKED: SS

DRAWING:

DRAWN: AB/MN

SCALE: NTS

DATE: MAR / 04 / 2021

G2

