

APPLICATION # A-2021-0139
WARD #2

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **SANJEEV DAWAR AND PUNEET DAWAR**, under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 120, Plan 43M-1127 municipally known as **9 ZACHARY DRIVE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a rear yard setback of 4.49m (14.73 ft.) to an existing sunroom addition whereas the by-law requires a minimum rear yard setback of 7.5m (24.60 ft.);
2. To permit a permeable landscape strip of 0.24m (.80 ft.) between the existing driveway and the side lot line whereas the by-law requires a minimum permeable landscape strip of 0.6m (1.97 ft.) along the side lot line.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____	NO _____	File Number: _____
Application for Consent: _____	NO _____	File Number: _____

The Committee of Adjustment has appointed **TUESDAY, July 13, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

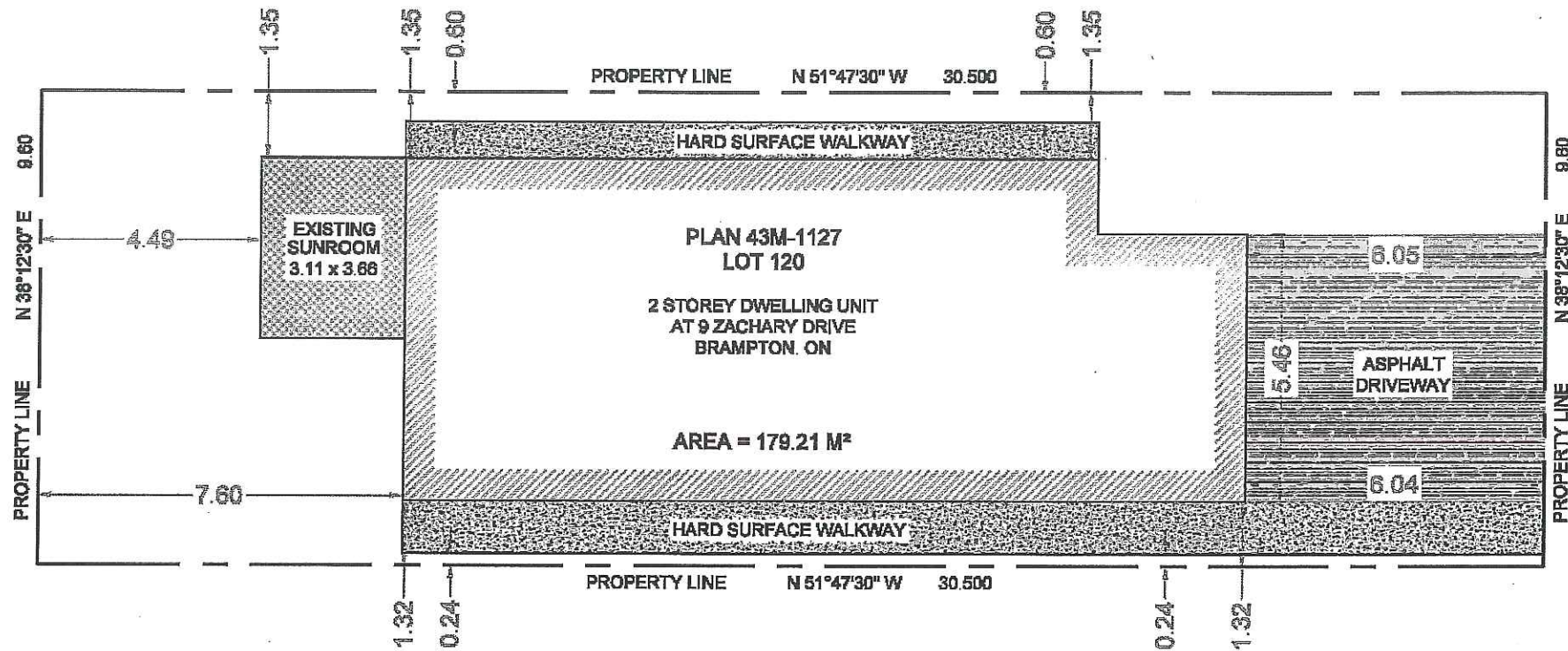
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this **30th Day of June, 2021**.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



SCOPE OF WORK
PROPOSED UNHEATED SUNROOM



0	ISSUED FOR PERMIT	JUN / 04 / 2021
NO.	DESCRIPTION	DATE

CIVIL ENGINEER:
ARCOM DESIGN INC.
 30 QUAL VALLEY DR.
 BRAMPTON, ON
 647-444-0901
 arcomdesigninc1@gmail.com

PROJECT:
PROPOSED SUNROOM
AT 9 ZACHARY DRIVE
BRAMPTON, ON

TITLE	
SITE PLAN	
CHECKED: SM	DRAWING:
DRAWN: MN	A1
SCALE: 1:100	
DATE: MAY / 05 / 2020	

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures
How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, July 8, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, July 9, 2021**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, July 9, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



DEANLEE MANAGEMENT INC.
Development, Planning and Land Use Consultants

June 28, 2021

Ms. Jeanie Myers
Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, ON L6Y 4R2

RE: Application for Minor Variance - REVISED
9 Zachary Drive, Brampton, ON L7A 1H4
Lot 120, 43M - 1127

A-2021-0139

Please find enclosed our revised site plan drawings as requested by the Todd Payne. Through his site visit, it was discovered that the required 0.6m permeable landscape strip required adjacent to the side property line has been reduced to 0.24m. And the existing addition was measured with a projection of 3.11m into the rear yard. With the house having a setback of 7.6m, the resulting rear yard setback for the addition is 4.49m.

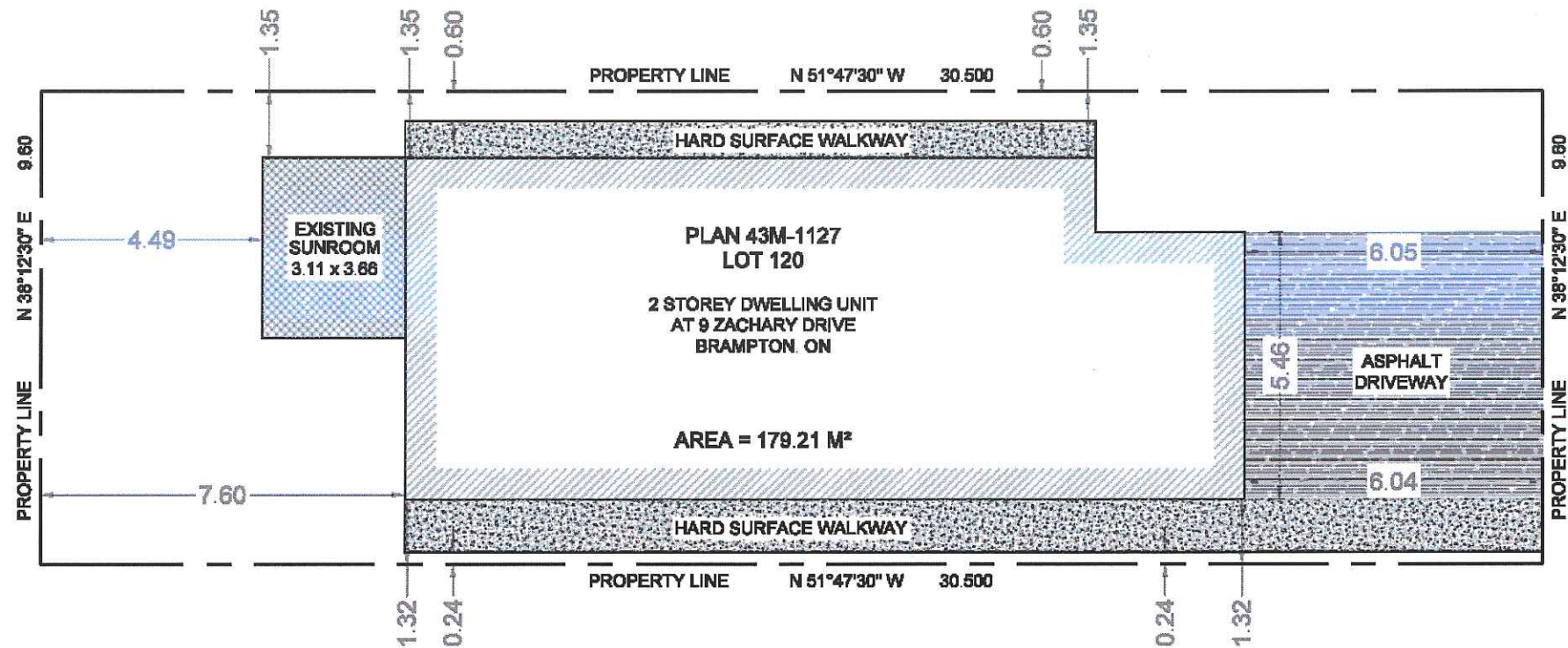
Therefore we are requesting committee to authorize a minor variance to allow a sunroom addition having a rear yard setback of 4.49 metres, whereas the by-law requires a rear yard setback of 7.5 metres. And we also are providing a permeable landscape strip of 0.24 m whereas 0.6 m is required.

The subject property is zoned R1D, residential. The property is an interior parcel with a lot area of approximately 292.80m² +/- and a frontage of 9.60 m. The property currently houses a two storey detached dwelling of approximately 179.21 m². The proposed sunroom is approximately 10.6 m². The sunroom encroaches into the rear yard setback by 3.11 metres. The sunroom addition does not create massing or impede any other residents views. The driveway also has a reduced permeable landscape strip that abuts a grass buffer from the neighbours driveway. It has no negative impacts to either party. In our opinion the minor variance meets the 4 tests of the Planning Act. The proposal does maintain the general intent and purpose of the official plan. The proposal does maintain the general intent and purpose of the zoning bylaw with a slight variance to the rear yard setback. From a land use perspective the surrounding neighbourhood has similar built forms. The adjacent neighbours on both sides of the dwelling are in support of the application. Therefore the proposed sunroom extension is desirable for the development and is minor in nature.

Yours truly,

DEANLEE MANAGEMENT INC.

16 Lloyd Cook Dr W, Minesing, ON L9X 0H6
Cell: (416) 414-7286 mstarr@deanlee.ca www.deanlee.ca



SCOPE OF WORK
PROPOSED UNHEATED SUNROOM



0	ISSUED FOR PERMIT	JUN / 04 / 2021
NO.	DESCRIPTION	DATE

CIVIL ENGINEER:
ARCOM DESIGN INC.
 30 QUAL VALLEY DR.
 BRAMPTON, ON
 647-444-0601
 arcomdesigninc1@gmail.com

PROJECT:
**PROPOSED SUNROOM
 AT 9 ZACHARY DRIVE
 BRAMPTON, ON**

TITLE: SITE PLAN	
CHECKED: SM	DRAWING:
DRAWN: MN	A1
SCALE: 1:100	
DATE: MAY / 05 / 2020	



DEANLEE MANAGEMENT INC.
Development, Planning and Land Use Consultants

June 4, 2021

A-2021-0139.

Ms. Jeanie Myers
Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, ON L6Y 4R2

RE: Application for Minor Variance
9 Zachary Drive, Brampton, ON L7A 1H4
Lot 120, 43M - 1127

Please find enclosed our completed application, survey, building permit drawings, and zoning review, Rose Bruno in support of a minor variance application. We are requesting committee to authorize a minor variance to allow a sunroom addition having a rear yard setback of 4.7 metres, whereas the by-law requires a rear yard setback of 7.5 metres.

The subject property is zoned R1D, residential. The property is an interior parcel with a lot area of approximately 292.80m² +/- and a frontage of 9.60 m. The property currently houses a two storey detached dwelling of approximately 179.21 m². The proposed sunroom is approximately 10.6 m². The sunroom encroaches into the rear yard setback by 2.8 metres. The sunroom addition does not create massing or impede any other residents views. In our opinion the minor variance meets the 4 tests of the Planning Act. The proposal does maintain the general intent and purpose of the official plan. The proposal does maintain the general intent and purpose of the zoning bylaw with a slight variance to the rear yard setback. From a land use perspective the surrounding neighbourhood has similar built forms. The adjacent neighbours on both sides of the dwelling are in support of the application. Therefore the proposed sunroom extension is desirable for the development and is minor in nature.

Yours truly,

DEANLEE MANAGEMENT INC.

16 Lloyd Cook Dr W, Minesing, ON L9X 0H6
Cell: (416) 414-7286 mstarr@deanlee.ca www.deanlee.ca

Flower City



brampton.ca

FILE NUMBER: A-2021-0139

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) Sanjeev Dawar & Puneet Dawar
Address 9 Zachary Drive, Brampton
L7A 1H4
Phone # _____ Fax # _____
Email sanjeev.dawar21@yahoo.com
2. Name of Agent Deannee Management Inc.
Address 16 Lloyd Cook Dr W
Mississauga, ON L4X 0T6
Phone # 416 414 7286 Fax # _____
Email m.starr@deannee.ca
3. Nature and extent of relief applied for (variances requested):
Minor variance to allow a sunroom
addition of approx 10.6 m², having
a rear yard setback of 4.7 metres
4. Why is it not possible to comply with the provisions of the by-law?
Bylaw for R1D rear yard requires
a rear yard setback of 7.5 metres
There is a difference of 2.8 metres
as per Building permit drawing
5. Legal Description of the subject land:
Lot Number 120
Plan Number/Concession Number 43M-1127
Municipal Address 9 Zachary Drive
6. Dimension of subject land (in metric units)
Frontage 9.60 m
Depth 30.50 m
Area 292.80 m² +/-
7. Access to the subject land is by:
Provincial Highway ☐
Municipal Road Maintained All Year ☒
Private Right-of-Way ☐
Seasonal Road ☐
Other Public Road ☐
Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

2 storey dwelling UNIT
having a GFA 179.21m²

PROPOSED BUILDINGS/STRUCTURES on the subject land:

proposed sunroom 2.90m x 3.66m
As per enclosed drawings

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.04m
Rear yard setback 7.16m
Side yard setback 1.32m
Side yard setback 1.35m

PROPOSED

Front yard setback 6.04m
Rear yard setback 4.70m (sunroom)
Side yard setback 1.32m
Side yard setback 1.35m

10. Date of Acquisition of subject land: Approx 1994
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 1994 +/-
15. Length of time the existing uses of the subject property have been continued: 25 +/- yrs.

16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

Zoning Review, Rose Bruno (attached)

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE Township of Archipelago

THIS 2 DAY OF June, 2021

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

Tyler COUTHURST OF THE City of Mississauga
IN THE Region of Simcoe SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

Township of Archipelago

IN THE Township OF

Seguin THIS 2 DAY OF

June, 2021

A Commissioner etc.

Deanna Michele Starr, a Commissioner, etc.,
Province of Ontario, for Deanne Management Inc.
and its subsidiaries, associates and affiliates,
Expires November 15, 2021.

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: R1D

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

June 9, 2021
Date

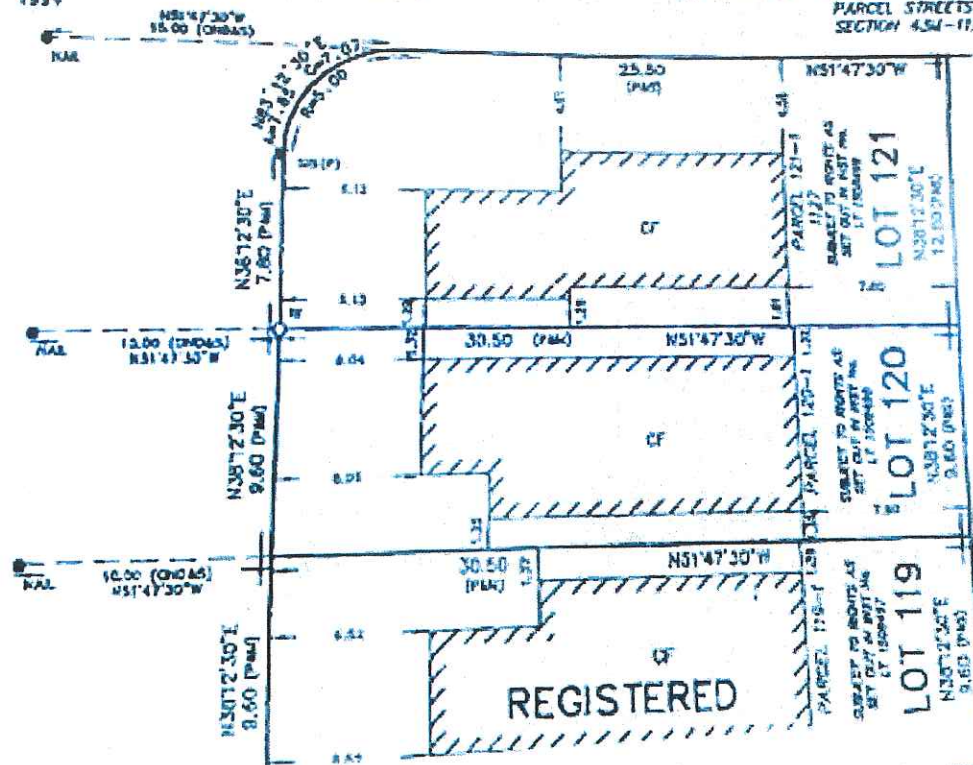
DATE RECEIVED June 9, 2021

PART 1 - PLAN SHOWING
 LOTS 116, 117, 118, 119, 120 AND 121
 REGISTERED PLAN 43M-1127
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL
 SCALE 1:250

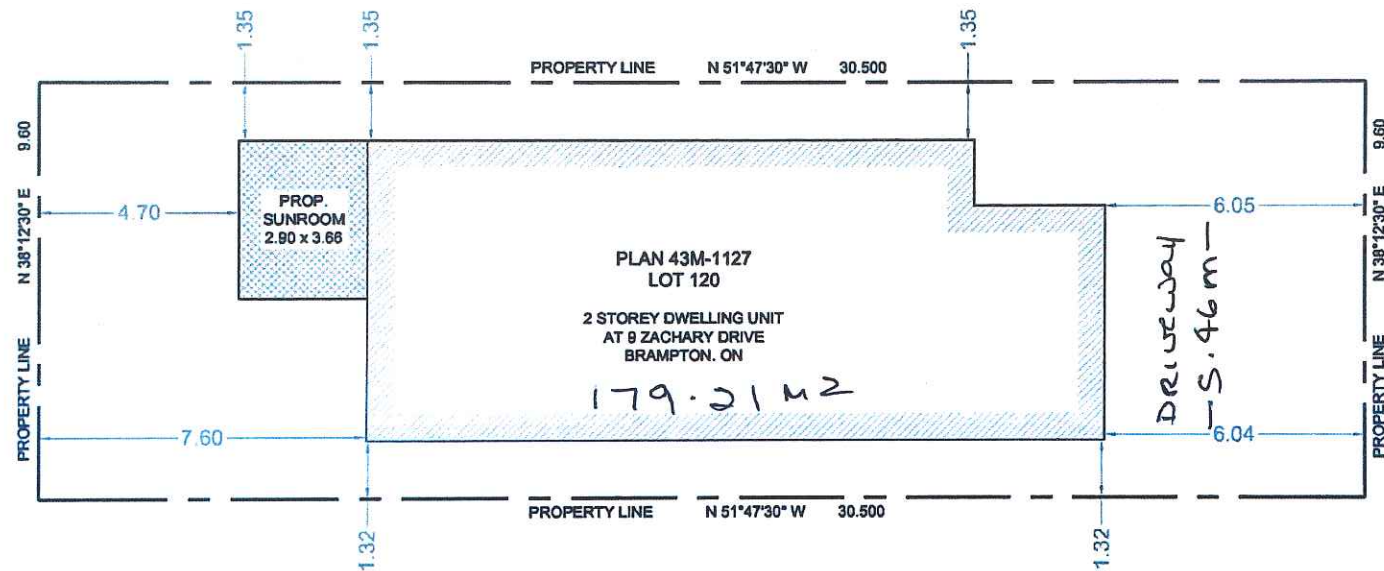
OPHIR N. DZALDOV SURVEYORS LTD.
 © COPYRIGHT 1994

ZACHARY DRIVE
 (DEDICATED BY REGISTERED PLAN 43M-1127)
 PARCEL STREETS-1
 SECTION 43M-1127

ZACHARY DRIVE
 REGISTERED PLAN 43M-1127
 (1 STREET-1)
 IN 43M-1127



PLAN



SCOPE OF WORK

PROPOSED UNHEATED SUNROOM



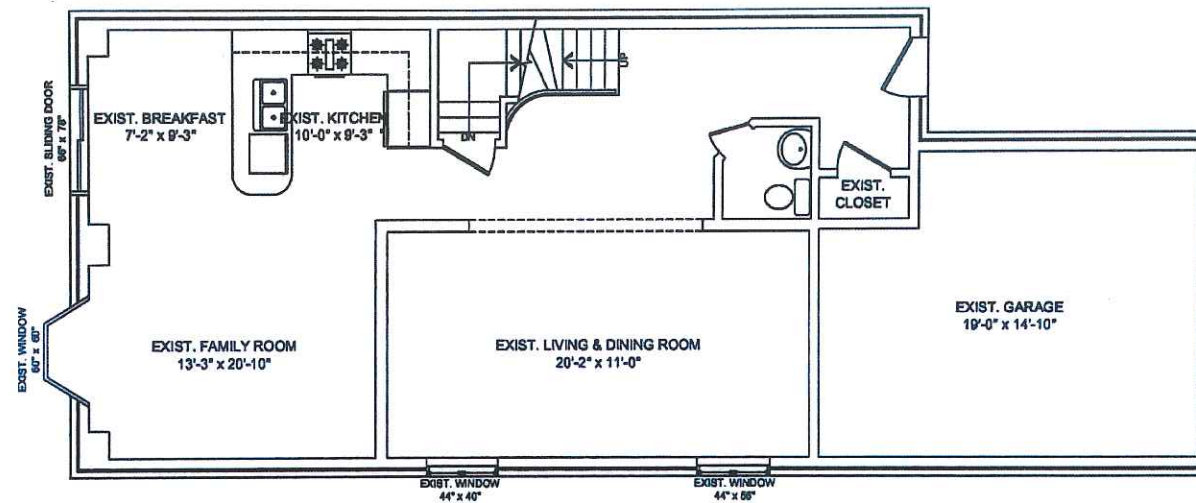
0	ISSUED FOR PERMIT	JUN / 04 / 2021
NO.	DESCRIPTION	DATE

CIVIL ENGINEER:
ARCOM DESIGN INC.
30 QUAIL VALLEY DR.
BRAMPTON, ON
947-444-8991
arcomdesign1@gmail.com

PROJECT:
**PROPOSED SUNROOM
AT 9 ZACHARY DRIVE
BRAMPTON, ON**

TITLE:
SITE PLAN

CHECKED: SM	DRAWING:
DRAWN: MN	A1
SCALE: 1:100	
DATE: MAY / 08 / 2020	



EXISTING GROUND FLOOR PLAN



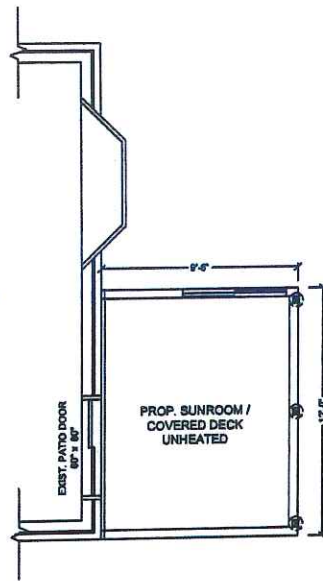
0	ISSUED FOR PERMIT	JUN / 04 / 2021
NO.	DESCRIPTION	DATE

CIVIL ENGINEER
ARCOM DESIGN INC.
 30 QUAIL VALLEY DR.
 BRAMPTON, ON
 947-444-5581
 arcomdesigninc1@gmail.com

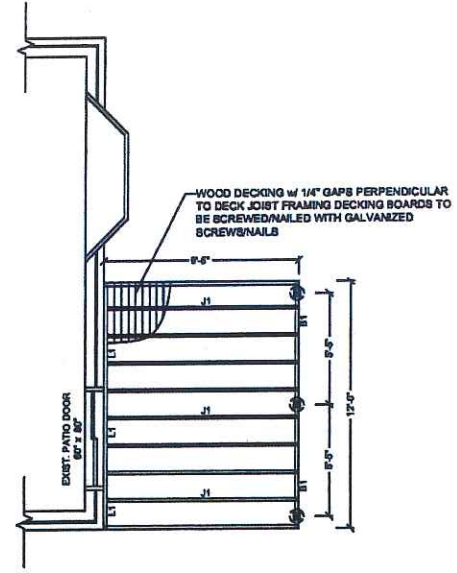
PROJECT
**PROPOSED SUNROOM
 AT 9 ZACHARY DRIVE
 BRAMPTON, ON**

TITLE	
GROUND FLOOR PLAN	
CHECKED: SM	DRAWING: A2
DRAWN: MM	
SCALE: 3/8" = 1'-0"	
DATE: MAY / 05 / 2020	

DECK MATERIAL	
P1	8" DIAMETER CONCRETE PIER MINIMUM 4'-0" BELOW GRADE 4"x4" WOOD POST SECURED TO CONCRETE PIER w/METAL SHOE ANCHORED TO PIER MINIMUM 4" INTO CONCRETE w/ 1/2" DIAMETER ANCHOR BOLT THRU METAL SHOE AND WOOD POST
B1	2"x6" PRESSURE TREATED WOOD BEAM
L1	1-2"x8" LEDGER BOARD ANCHORED TO FOUNDATION WALL WITH 1/2" BOLT @ 16" O.C.
J1	JOIST 2"x6" @ 16" O.C. PRESSURE TREATED WOOD



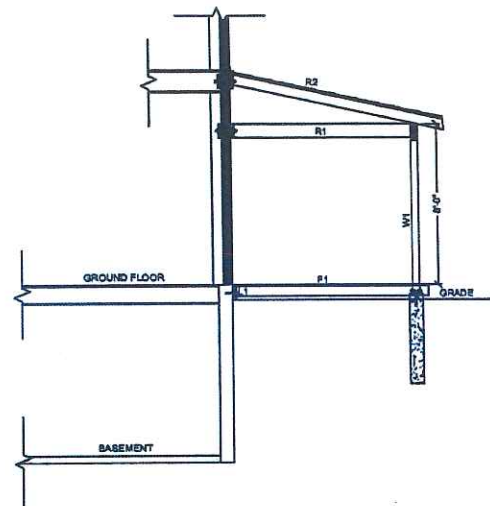
PLAN



DECK PLAN



0	ISSUED FOR PERMIT	APR / 29 / 2021
NO.	DESCRIPTION	DATE
CIVIL ENGINEER: ARCOM DESIGN INC. 30 QUAIL VALLEY DR. BRAMPTON, ON N4Y 4A4-8881 arcomdesigninc1@gmail.com		
PROJECT: PROPOSED SUNROOM AT 9 ZACHARY DRIVE BRAMPTON, ON		
TITLE: DECK PLAN		
CHECKED: BM	DRAWING: A2	
DRAWN: MN		
SCALE: 3/16" = 1'-0"		
DATE: MAY / 08 / 2020		



DECK SIDE VIEW

DECK MATERIAL	
W1	WALL 2"x6" WOOD STUDS @16", 3/4" PLYWOOD OUTSIDE AND 1/2" GYPSUM BOARD INSIDE AND R20 INSULATION IN BETWEEN
R1	2"x6" @16" O.C. PRESSURE TREATED WOOD
R2	3/4" PLYWOOD AND SINGLES. SLOPE 1:4
F1	FLOOR 2"x6" @16" O.C. 3/4" PLYWOOD, 4.5 mm VINYL FLOOR
L1	1-2"x8" LEDGER BOARD ANCHORED TO FOUNDATION WALL WITH 1/2" BOLT @16" O.C.



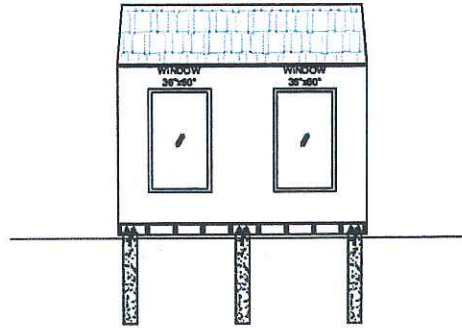
NO.	ISSUED FOR PERMIT	APR / 28 / 2021
NO.	DESCRIPTION	DATE

CIVIL ENGINEER:
ARCOM DESIGN INC.
 30 OLIVIA VALLEY DR.
 BRAMPTON, ON
 947-444-0991
 arcomdesigninc1@gmail.com

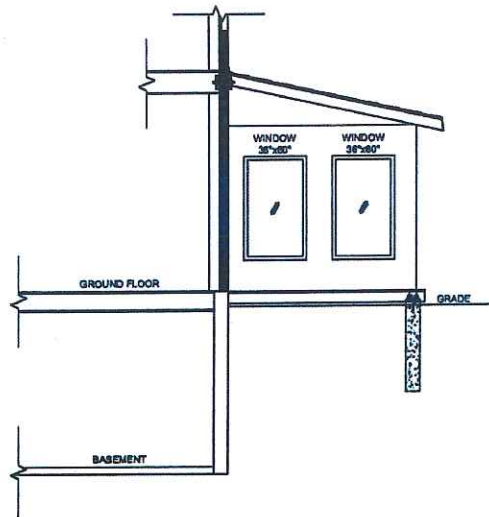
PROJECT:
**PROPOSED SUNROOM
 AT 9 ZACHARY DRIVE
 BRAMPTON, ON**

TITLE:
DECK SIDE VIEW

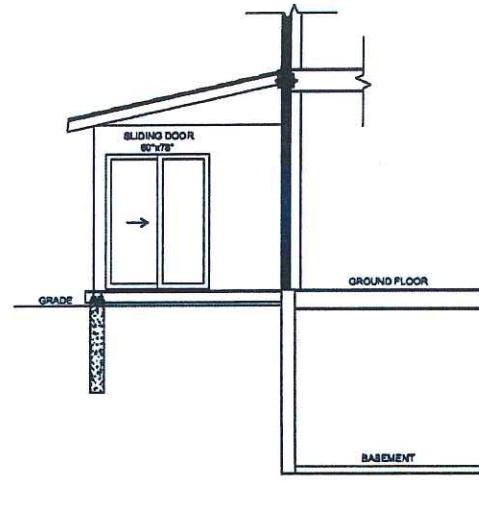
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DRAWN: MN	
SCALE: 3/16" = 1'-0"	A3
DATE: MAY / 08 / 2020	



REAR ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



NO.	DESCRIPTION	DATE
0	ISSUED FOR PERMIT	APR / 28 / 2021

CIVIL ENGINEER:
ARCOM DESIGN INC.
 30 QUALVALLEY DR.
 BRAMPTON, ON
 947-444-8891
 arcomdesigninc1@gmail.com

PROJECT:
**PROPOSED SUNROOM
 AT 9 ZACHARY DRIVE
 BRAMPTON, ON**

TITLE:
ELEVATION

CHECKED: SM	DRAWING:
DRAWN: MN	A4
SCALE: 3/4" = 1'-0"	
DATE: MAY / 05 / 2020	

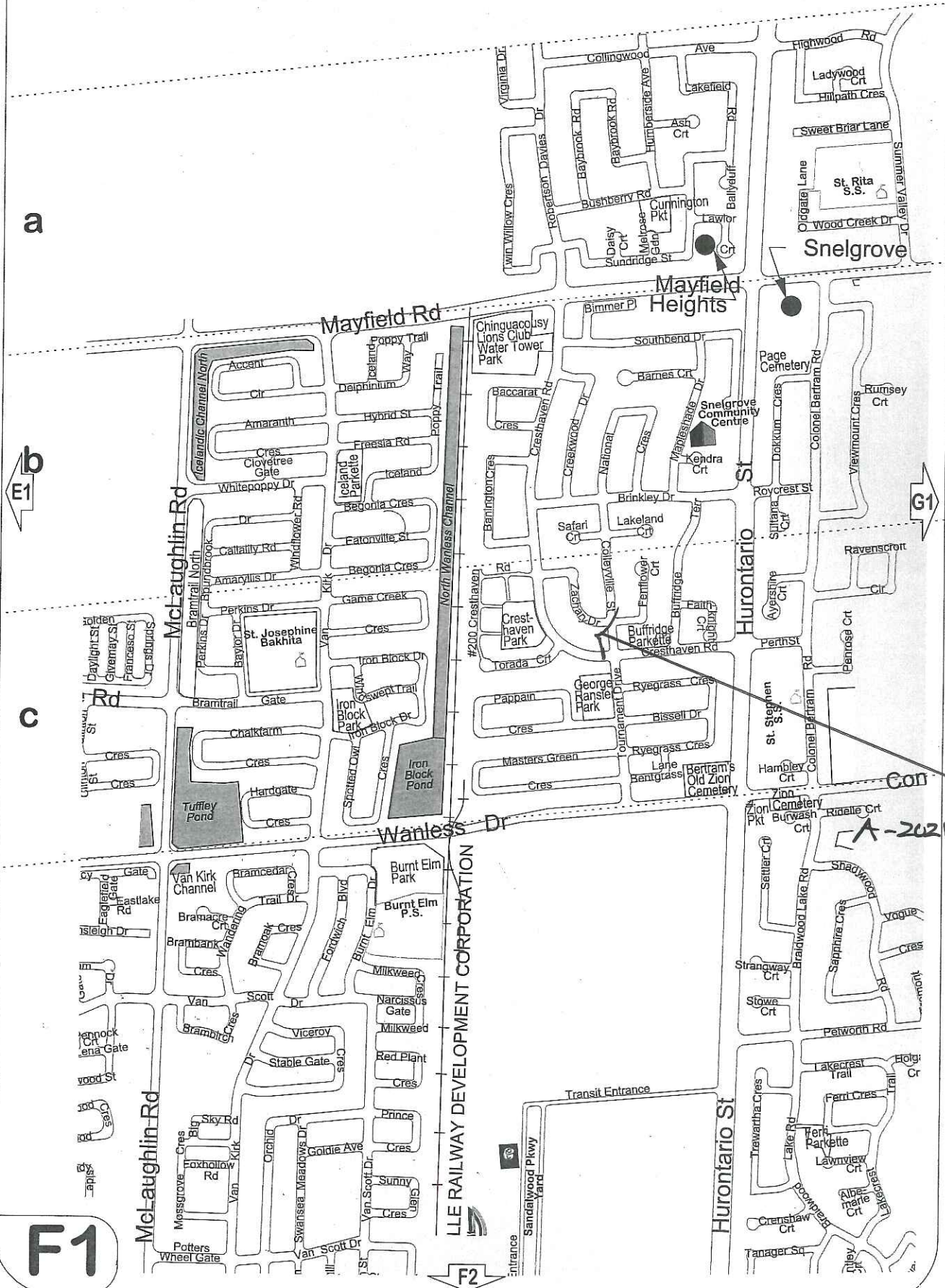
a

b

c

F1

F2



A-2621-0139