

HERITAGE IMPACT ASSESSMENT



CASSIN FARMHOUSE

18 Grafton Crescent
CITY OF BRAMPTON

03 MAY 2021

MEGAN HOBSON CAHP
M.A. DIPL. HERITAGE CONSERVATION
BUILT HERITAGE CONSULTANT

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EXECUTIVE SUMMARY

Megan Hobson consulting was retained by the owners of 18 Grafton Crescent in the City of Brampton to complete a *Heritage Impact Assessment* (HIA) for a proposed 1-storey addition to an existing 1.5-storey dwelling. This HIA meets requirements of the City of Brampton and is required because 18 Grafton Crescent is Designated under Part IV of the *Ontario Heritage Act* and contains the Cassin Farmhouse, built c. 1889 for Edwin Cassin.

The proposed alterations have been evaluated and found to be compatible with the *Standards and Guidelines* outlined by Parks Canada and the *Eight Guiding Principles* outlined by the Ministry of Heritage, Sport Tourism & Cultural Industries.

Positive impacts of the proposed addition have been identified as:

1. the proposal includes preservation of the heritage building
2. the proposed alterations will support ongoing residential use

Adverse impacts of the proposed addition have been identified as:

1. minor physical impacts to the rear wall of the heritage building as a result of demolition of an existing addition in this location and construction of a new addition in the same location

It is therefore recommended that the heritage permit application be approved subject to the following conditions:

1. that a *Building Protection Plan* (BPP) be provided to the satisfaction of heritage planning staff, prior to issue of a demolition permit for the existing (non-historic) addition
2. that a *Conservation Plan* (CP) be provided to the satisfaction of heritage planning staff, prior to the issue of any building permits for the new addition

The BPP and CP should include detailed architectural drawings and technical information required to ensure that the heritage building is protected prior and during construction of the proposed addition. A more detailed examination of the condition and assembly of the rear wall and foundation can be carried out at this time.

It is further recommended that the City of Brampton update the *Designation By-law* to remove the porch from the list of heritage attributes because that feature has been removed.

1.0 METHODOLOGY

Preparation of this report included a review of relevant heritage policies and applicable legislation, a review of existing historical information about the subject property and its cultural context, and consultation with Pascal Doucet, heritage planner at the City of Brampton. Photos and information about the current condition of the subject dwelling were provided by SIMPL Design.

The subject dwelling was formerly known as 10852 The Gore Road because it originally belonged to a larger property that fronted on The Gore Road. It is important to note that elevations that currently faces Grafton Crescent are the side and rear elevations of the heritage building. Throughout this report, the historic orientation will be referenced with an understanding that the proposed addition will be oriented towards Grafton Crescent but will be attached to the rear elevation of the heritage building.

2.0 LOCATION

The subject property is located in the north east corner of Brampton. Grafton Crescent, a residential road between The Gore Road and Cassin Park, terminates at the subject property. Grafton Crescent is a residential cul-de-sac that contains large single-detached homes on large lots.



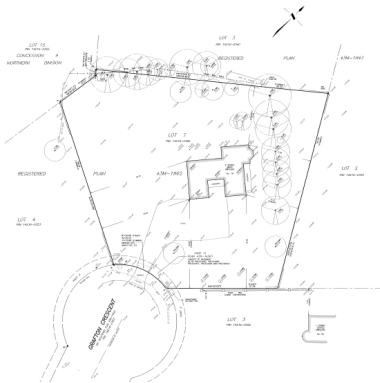
AERIAL VIEW – 18 Grafton Crescent

Land use to the east of The Gore Road remains primarily agricultural. Land use to the north of Countryside Drive is primarily suburban residential with some encroachment south of Countryside Drive. Lands directly to the west of the subject property are a natural area that contains a meandering stream. Cassin Park is located within this natural area and located just south-west of the subject property.

3.0 SITE DESCRIPTION

The subject property is a large, irregularly shaped - roughly square – lot with frontage on Grafton Crescent. The subject dwelling is the only structure on the property and is located off centre and is skewed to the road. There is a row of mature Norway Spruce on the east side of the subject dwelling and trees along the rear property line.

The subject dwelling is a 1.5 storey brick dwelling with an L-shaped plan with a 1-storey frame addition attached to the west side that contains an entryway and garage that faces Grafton Crescent.



SITE SURVEY & STREETVIEW – 18 Grafton Crescent

4.0 HERITAGE STATUS

In 2012 the subject property was Designated under Part IV of the *Ontario Heritage Act* according to City of Brampton *By-law 162-2012*. The Designation report prepared by Heritage Brampton includes a Council approved *Statement of Cultural Value* (SCHV) and a list of Heritage Attributes. The Designation By-law is included in the appendix of this report.

5.0 HISTORICAL BACKGROUND

Historically the subject property is located on Lot 15, Concession IX in Toronto Gore Township and is associated with a 100-acre farm belonging to the Robinson family. It is believed that the subject dwelling was built in 1889 for William Robinson and may have replaced an earlier dwelling that appears on the 1877 County Atlas.

The Robinsons retained ownership of the 100-acre farmstead until 1933 when it was sold to the Cassin family. The 100-acre parcel remained intact under the Cassins ownership until 1978 when the farm was subdivided and the 50 acres that comprised the west half of Lot 15 were sold to Dino Ricci. In 1987, the 50 acres that comprised the east half, including the farmhouse, were sold to a numbered company. The current owners purchased the property in 2019.

In the later 20th century, agricultural activities in the Township declined and residential subdivisions were built on former farmlands. These changes resulted in the subject dwelling being severed from connections with The Gore Road. Today the house sits on a residential lot

(Lot 7 on Brampton Plan 43M-1862) and has a municipal address of 18 Grafton Crescent. The side elevation has been modified so that there is a front door and garage facing Grafton Crescent. An earlier rear addition in this location was removed when this addition was built. The wooden porch on the main elevation that is listed as a heritage attribute in the Designation By-law has been removed.



Earlier brick garage and porch



Existing frame garage and entryway

6.0 HERITAGE VALUE

The Designation applies to exterior elements of the subject dwelling that date from c. 1889 and mature trees around the house, specifically the Norway Spruce that may be part of the original layout of the grounds.

Statement of Significance

A Council-approved *Statement of Significance* is included in the Appendix of this report. A summary of identified heritage values is outlined below.

Architectural Value

The subject dwelling is a representative example of an 'Ontario Cottage', a popular vernacular design for rural residences in Ontario in the late 19th century. It is notable for its High Victorian Gothic features including its cross-gable roof with a center gable, dichromatic brickwork, ornamental woodwork and decorative iron railings.

Historical Value

The subject dwelling is primarily associated with the Robinson family, early settlers of Toronto Gore Township.

Contextual Value

The subject dwelling is contextually associated with the agricultural and settlement history of the Toronto Gore.

Heritage Attributes

The *Statement of Significance* indicates that heritage attributes of the subject property include the following:

- painted quoins and voussoirs
- dichromatic brickwork
- decorative bargeboard
- broad porch with intricate woodwork and columns *Note: the porch has been removed
- cross gable roof with bargeboard at front façade
- prominent bay windows below balconette with unique iron cresting
- mature trees surrounding the house

7.0 PROPOSED ALTERATION



PROPOSED ALTERATION SITE PLAN & STREETSCAPE DRAWING – the heritage building (outlined in red) will be preserved, an existing 1-storey addition will be demolished, and a larger 1-storey addition will be constructed in the same location.

The proposed alteration includes demolition of the existing attached entryway and garage and construction of a new one-storey addition in the same location. A 1-storey link will connect the new addition to the existing dwelling. The link structure will be attached to the rear wall of the heritage building and will have a basement level. The addition will be built on a concrete slab foundation and will not have a basement level.

The addition is designed in a contemporary style with a flat roof and large areas of glazing. Piers between the glazing and the end walls are constructed of brick that matches the heritage building. These vertical element breaks up the massing of the addition and reference the materials of the heritage building. There is a wooden screen across the front of the addition that provides privacy from the street. This design element screens the modern addition from the street so that the heritage building remains the most dominant feature.

The proposed addition will add approximately 2,700 square feet of ground floor living space and contains new living and dining areas, three bedrooms, two bathrooms, one powder room and a laundry. The addition includes an integrated garage with two parking bays that is approximately 1,500 square feet in size. The plans indicate that the existing configuration of

rooms in the heritage building will remain. The heritage building contains a kitchen, dining room, living room and den on the ground floor and three bedrooms and two bathrooms on the 2nd floor.

New landscaping is proposed that includes paving of the existing driveway, new walkways to the existing deck and front door of the heritage building, and amenity spaces behind the addition where a spa pool will be located. New trees will be planted along the front property line for privacy and specimen trees will be planted in the rear yard for horticultural interest. The plan indicates that existing mature trees will be preserved, including the row of Norway Spruce on the east side of the house that is identified as a heritage attribute. Mature trees along the rear property are also being maintained. There will be two tree removals in near the front of the property. Neither of these trees are considered to be heritage attributes.



SITE SURVEY & PROPOSED LANDSCAPE PLAN – existing mature trees to be retained with the exception of two deciduous trees near the front of the property

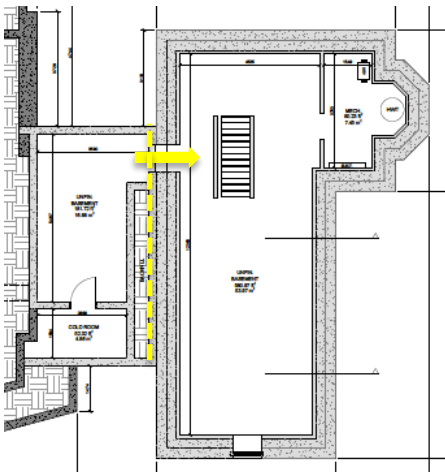
8.0 HERITAGE IMPACT ASSESSMENT

The design approach is to maintain a low profile so that the new addition is subordinate to the heritage building. The link structure provides a visual separation between the heritage building and the new addition and reduces impacts on the heritage building because it will be attached to the rear wall, below the roof line and second floor windows of the heritage building. The new link structure will be supported on its own foundation and will not place additional structural loads on the existing foundation or rear wall of the heritage building.

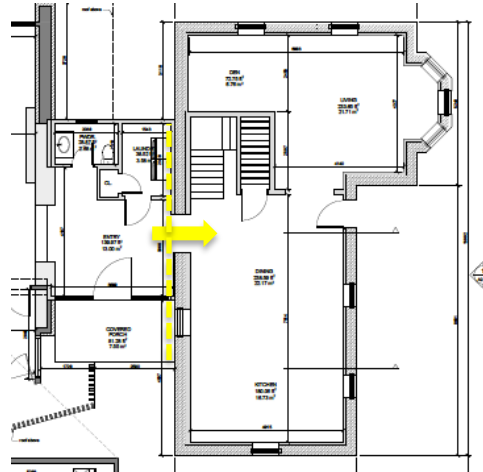


REAR ELEVATION OF THE HERITAGE BUILDING – direct impacts are limited to the rear wall of the heritage building

A new doorway will be cut through the foundation of the heritage building to connect the basement areas. An existing opening on the ground floor will be utilized to connect the new entryway and the existing kitchen in the heritage building.



LEFT: BASEMENT FLOOR PLAN - a new doorway through the foundation of the heritage building will be made to connect the basement under the new link structure with the existing basement



RIGHT: FIRST FLOOR PLAN – an existing masonry opening will be utilized to connect the new entryway to the kitchen in the heritage building

The location, height, form and materials of the proposed addition are considered to be appropriate for the following reasons:

- the addition will be attached to the rear elevation of the heritage building, in the same location as an existing non-historic addition, so that physical impacts on heritage attributes will be minimized
- the height of the new addition is limited to 1-storey and is lower than the 1.5 storey heritage building, so the addition will be subordinate to the heritage building
- the link structure between the heritage building and the addition avoids impacts to the existing roof and second floor windows of the heritage building and provides a separation that allows the heritage building to remain distinct and legible
- the horizontal form and flat roof of the new addition will be distinct from the traditional hip & gable roof form of the heritage building, so that the heritage building will remain distinct and legible
- the material choices for the new addition includes use of brick that references the materials of the heritage building without imitating the distinctive dichromatic brickwork

The following tables provide an evaluation of the compatibility of the proposed alterations with respect to the *Standards and Guidelines* outlined by Parks Canada and the *Eight Guiding Principles* outlined by the Ontario Heritage Trust (OHT) and the Ministry of Heritage, Sport Tourism & Cultural Industries (MHSTC).

Table 1.0: Evaluation according to the *Standards & Guidelines for Historic Places in Canada*

<i>CONSERVATION STANDARDS & GUIDELINES</i>	EVALUATION
<u><i>Standard 1:</i></u> <i>Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements</i>	Compatible - character-defining elements will be preserved and the alterations will support ongoing residential use of the heritage building.
<u><i>Standard 2:</i></u> <i>Conserve changes to an historic place that, over time, have become character-defining elements in their own right.</i>	Compatible - the existing entryway and garage to be demolished are modern additions that are not character-defining elements.
<u><i>Standard 3:</i></u> <i>Conserve heritage value by adopting an approach calling for minimal intervention.</i>	Compatible – design measures have been implemented so that the alteration requires minimal intervention to original fabric because the new addition will be located where there is an existing addition and because the new roofline will be lower than the roofline of the heritage

	building. Impacts are limited to minor impacts to the rear masonry wall and foundation of the heritage building.
<i><u>Standard 4:</u> Recognize each historic place as a physical record of its time, place and use.</i>	Not applicable - no new elements will be added to the heritage building.
<i><u>Standard 5:</u> Find a use for an historic place that requires minimal or no change to its character-defining elements.</i>	Not applicable - no change in use is proposed.
<i><u>Standard 6:</u> Protect and, if necessary, stabilize an historic place until any subsequent intervention is undertaken.</i>	Mitigation required - the building appears to be structurally sound and was recently occupied. Mitigation in the form of protection measures for the heritage building during site work and new construction should be undertaken.
<i><u>Standard 7:</u> Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention</i>	Mitigation required – the condition of the rear wall and foundation should be confirmed. Detailed drawings and specifications should be provided for all interventions associated with the rear wall and foundation of the heritage building including new masonry openings and new structures abutting or attached to the rear wall, to ensure that the methods and materials are compatible with the heritage building.
<i><u>Standard 8:</u> Maintain character-defining elements on an ongoing basis.</i>	Compatible - residential occupancy will ensure that heritage elements are well maintained on an ongoing basis.
<i><u>Standard 9:</u> Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.</i>	Not applicable - no interventions to heritage attributes are proposed.

Table 2.0: Evaluation according to the *Eight Guiding Principles*

CONSERVATION PRINCIPLE	EVALUATION
<i><u>Principle 1:</u> Respect for documentary evidence</i>	Not applicable - this pertains to restoration of missing elements. This approach could be used in the future to restore the missing porch, based on historic photos.
<i><u>Principle 2:</u> Respect of the original location</i>	Not applicable - the heritage building is not being relocated.
<i><u>Principle 3:</u> Respect of historic materials</i>	Compatible - original materials will be preserved and the new addition includes reference to the original materials in an appropriate manner

<u>Principle 4: Respect for original fabric</u>	Compatible – original fabric will be preserved, and the addition requires minimal intervention to original fabric
<u>Principle 5: Respect for the building's history</u>	Compatible – the heritage building will be preserved and will remain visually dominant for the street
<u>Principle 6: Reversibility</u>	Mitigation required – there will be no impact to the primary facades of the heritage buildings so the potential for reversibility is high. Mitigation in the form of construction details and materials related to the interface between the new link structure and the rear wall and foundation of the heritage building should be provided that allow for reversibility.
<u>Principle 7: Legibility</u>	Compatible – the form and outline of the heritage building will be maintained, and the new addition will be visually distinct and subordinate to the heritage building.
<u>Principle 8: Maintenance</u>	Compatible – the heritage building will be maintained as part of the renovated residence.

9.0 CONCLUSIONS & RECOMMENDATIONS

The proposed alterations will support the preservation of the Cassin Farmhouse and its ongoing use as a single-family home. Design measures have been successfully employed with regard to the placement, height and massing of the proposed addition so that direct impacts on the heritage building are avoided or minimized. The contemporary design will be clearly legible as a modern addition so that the heritage house will remain distinct and legible. The use of brick in a contemporary manner, and the addition of a wood screen across the front of the proposed addition, introduce traditional materials that respond to the materiality of the heritage building. The proposed alterations will conserve and enhance the existing heritage building; therefore, it is recommended that this application be approved. The minor impacts that have been identified can be successfully mitigated through a Building Protection Plan and a Conservation Plan for the rear wall and foundation of the heritage building.

10.0 QUALIFICATIONS OF THE AUTHOR

Megan Hobson is a professional member of the *Canadian Association of Heritage Professionals*. Formal education includes a Master of Arts in Architectural History from the University of Toronto and a diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian and Conservation Specialist at Taylor Hazell Architects in Toronto, and 8 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching art history at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society for the Study of Architecture in Canada* and the *Canadian Historical Review*.

11.0 SOURCES

Ministry of Tourism, Culture & Sport (MTCS), *Eight Guiding Principles in the Conservation of Built Heritage Properties*

Parks Canada, *Standards & Guidelines for the Conservation of Historic Places in Canada* (2010)

City of Brampton *Designation By-law 162-2012*: "To designate the property at 18 Grafton Crescent (formerly 10852 The Gore Road) as being of cultural heritage value or interest."

Heritage Brampton, *Designation Report; Cassin Farmhouse, 18 Grafton Crescent (formerly 10852 The Gore Road)*. (December 2011)

Kavanagh, A., et al. *Yesterday Today* (1982)

APPENDIX A: SITE PHOTOS



VIEW FROM GRAFTON CRESCENT [Google]



EXISTING REAR ADDITION – a modern entryway and garage oriented towards Grafton Crescent are attached to the rear elevation of the heritage building – this addition will be removed and the new addition will be attached in the same location



REAR ELEVATION – existing entryway and garage attached to the rear elevation of the heritage building



REAR ELEVATION – existing addition attached to the rear elevation of the heritage building



FRONT ELEVATION – the wooden porch listed as a heritage attribute in the Designation was removed by the previous owner



FRONT & SIDE ELEVATIONS – heritage attributes include dichromatic brickwork, painted brick moulds, cross gable roof with a center gable and decorative bargeboards, bay window with decorative iron railings



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 162-2012

To designate the property at 18 Grafton Crescent (formerly 10852 The Gore Road) as being of cultural heritage value or interest.

WHEREAS Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, Chapter O. 18 (as amended) authorizes the Council of a municipality to enact by-laws to designate real property, including all the buildings and structures thereon, to be of cultural heritage value or interest;

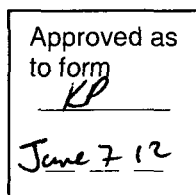
WHEREAS the Brampton Heritage Board supports the designation of the properties described herein;

WHEREAS a Notice of Intention to Designate has been published and served in accordance with the Act, and there has been no Notice of Objection served on the Clerk;

NOW THEREFORE the Council of the Corporation of the City of Brampton HEREBY ENACTS as follows:

1. The property at 18 Grafton Crescent (formerly 10852 the Gore Road), more particularly described in Schedule "A", is hereby designated as being of cultural heritage value or interest pursuant to Part IV of the *Ontario Heritage Act*.
2. City Council shall cause a copy of this by-law to be registered against the property described in Schedule "A" to this by-law in the proper Land Registry Office.
3. The City Clerk shall cause a copy of this by-law to be served upon the owners of the property at 18 Grafton Crescent (formerly 10852 the Gore Road) and upon the Ontario Heritage Trust, and cause notice of this by-law to be published on the City's website in accordance with Council's Procedure By-law.
4. The short statement of the reason for the designation of the property, including a description of the heritage attributes are set out in Schedule "B" to this by-law.

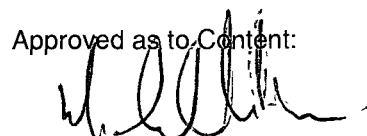
READ A FIRST, SECOND AND THIRD TIME AND PASSED IN OPEN COUNCIL THIS 20th DAY OF June, 2012.




SUSAN FENNELL – MAYOR


PETER FAY – CLERK

Approved as to Content:



Michael Won, Director, Development Engineering

SCHEDULE "B" TO BY-LAW 162-2012

SHORT STATEMENT OF THE REASON FOR THE DESIGNATION OF 18 GRAFTON CRESCENT (FORMERLY 10852 THE GORE ROAD):

The property at 18 Grafton Crescent (formerly 10852 The Gore Road) is worthy of designation under Part IV of the *Ontario Heritage Act* for its cultural heritage value. The property meets the criteria for designation prescribed by the Province of Ontario under the three categories of design or physical value, historical value, and contextual value.

The cultural heritage value of the Cassin Farmhouse on 18 Grafton Crescent is related to its design or physical value. The house is indicative of the High Victorian Gothic architectural style as it was interpreted in rural Central Ontario. The Cassin Farmhouse contains several elements of the High Victorian Gothic style, including a red brick body, buff brick trim, steep centre gable, and bargeboard.

The property also has historical or associative value as it is directly related to Brampton's early settlers, particularly the Robinson and Cassin families. The house is said to have been built on the 100 acre farm by a William Robinson in 1889. William Robinson may be a descendent of Abel Robinson I, who moved to Canada from York, England in 1837. Robinson died in 1851 and was buried in the Ebenezer Cemetery. His son, Abel Robinson II, served as a Pathmaster for the Toronto Gore in 1865 and 1868, a fence viewer in 1867 and 1869, and was also an auditor for the township in 1871. Abel Robinson II and wife Mary had five children – John, Anne, James, Abel and William. The Historical Atlas of Peel County (1877) shows a dwelling in the location of the subject structure owned by William Robinson. William Robinson is also listed as a carpenter in Lynch's Directory of the County of Peel for 1873-1874. In 1933, the house was sold to a member of the Cassin family who owned the property until 1978.

The Cassin Farmhouse also holds contextual value, as it is directly associated with the long agricultural history of Brampton and the former Toronto Gore, as well as the building boom of the late 1800s. Early examples of farmhouses in the Toronto Gore were of log construction, with a few examples of brick, frame, and stone construction. A Census Return (1861) reveals an increase in the number of brick farmhouses. The change to more substantial and permanent residences marks a movement towards prosperous farmsteads created by an economic boom at that time. The masonry farmhouse alludes to the agricultural character of that once dominated the area.

DESCRIPTION OF THE HERITAGE ATTRIBUTES OF THE PROPERTY:

Unless otherwise indicated, the reason for designation apply generally to all exterior elevations, facades, foundation, roof and roof trim, all doors, windows, other structural openings and associated trim, all architectural detailing, construction materials of wood, stone, brick, plaster parging, metal and glazing and related building techniques, fencing, all trees, shrubs, hedgerows, other vegetation and the grounds and vistas generally.

To ensure that the cultural heritage value of this property is conserved, certain heritage attributes that contribute to its value have been identified. They include:

Design / Physical Value:

- Painted quoins and voussoirs
- Dichromatic brickwork
- Decorative bargeboard
- Broad porch with intricate woodwork and columns
- Cross gable roof with bargeboard at front façade
- Prominent bay window below balconette with unique iron cresting
- Mature trees surrounding the house

Historical / Associative Value:

- Associated with the Robinson family, early settlers to Toronto Gore Township

Contextual Value:

- The farmhouse is contextually associated with the agricultural and settlement history of the Toronto Gore

18 Grafton Court - Cassin Farmhouse

PIN: 142160356

Legal Description: Lot 7, Plan 43M-1862; Brampton

Current Owner: Jennifer D'Andrea and Paul Sprovieri

Designation By-law: #162-2012

Designation Date: June 20, 2012



The cultural heritage value of the Cassin Farmhouse is related to its design or physical value as a well-designed example of the High Victorian Gothic architectural style as it was interpreted in rural Central Ontario. The house is distinguished by several architectural features, including a dichromatic brickwork, buff brick trim, steep centre gable, decorative bargeboard, and a prominent bay window with balconette and unique iron cresting.

The property also has historical value as it is associated with early Brampton settlers, particularly the Robinson family. The house is said to have been built on the 100 acre farm by a William Robinson in 1889. Robinson died in 1851 and was buried in the Ebenezer Cemetery. His son, Abel Robinson II, served as a Pathmaster for the Toronto Gore in 1865 and 1868, a fence viewer in 1867 and 1869, and was also an auditor for the township in 1871.

The Cassin Farmhouse also holds contextual value, as it is directly associated with the long agricultural history of Brampton and the former Toronto Gore, as well as the building boom of the late 1800s. Early examples of farmhouses in the Toronto Gore were of log construction, with a few examples of brick, frame, and stone construction. The change to more substantial brick residences, such as the Cassin Farmhouse, marks an agricultural and economic boom at that time.



PLAN OF SURVEY WITH TOPOGRAPHY OF
LOT 7
REGISTERED PLAN 43M-1862
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1 : 200
5 0 5 10 metres

TARASICK McMILLAN KUBICKI LIMITED
ONTARIO LAND SURVEYORS

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REPORT SUMMARY

PROPERTY DESCRIPTION: 18 GRAFTON CRESCENT, BEING LOT 7, REGISTERED PLAN 43M-1862, CITY OF BRAMPTON, REGIONAL MUNICIPALITY OF PEEL, PIN 14216-0356.

SUBJECT TO EASEMENT AS IN PR2124065, PR2124066, PR2124067, PR2124068 AND PR2128447.

COMMENTS: NOTE LOCATION OF FENCES.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

UNDERGROUND SERVICES

THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS PLAN IS ONLY APPROXIMATE AND IS FOR PLANNING AND DESIGN PURPOSES ONLY. THIS INFORMATION MUST NOT BE ASSUMED TO BE COMPLETE OR UP-TO-DATE AND AN ON-SITE LOCATE MUST BE ORDERED PRIOR TO ANY EXCAVATION. TARASICK McMILLAN KUBICKI LIMITED ACCEPTS NO RESPONSIBILITY FOR ANY CLAIMS OR LOSSES DUE TO IMPROPER USE OF THIS INFORMATION.

ELEVATION NOTE

ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM-1928, AND WERE DERIVED FROM CITY OF BRAMPTON BENCHMARK No. 546, HAVING A PUBLISHED ELEVATION OF 208.784 metres.

BEARING NOTE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF LOT 7 AS SHOWN ON REGISTERED PLAN 43M-1862, HAVING A BEARING OF N63°22'40"W.

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT PLANTED
IB	DENOTES	IRON BAR
SIB	DENOTES	STANDARD IRON BAR
CLS	DENOTES	CONCRETE LIGHT STANDARD
WV	DENOTES	WATER VALVE
FHT	DENOTES	FIRE HYDRANT TOP
P1	DENOTES	REGISTERED PLAN 43M-1862
P2	DENOTES	ROUSE SURVEYORS, O.L.S., SEPT 20, 2012
P3	DENOTES	YOUNG & YOUNG SURVEYING, O.L.S. AUGUST 4, 2017

ALL FOUND MONUMENTS WERE SET BY TED VAN LANKEVELD, O.L.S.

0.20mØ DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER

0.20mC DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER

TREE CANOPIES ARE DRAWN TO SCALE.

PREPARED FOR:

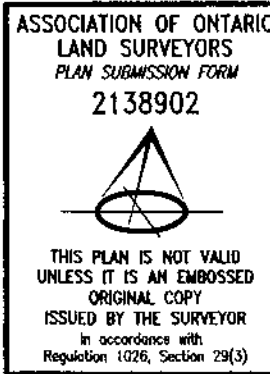
THIS REPORT WAS PREPARED FOR JENNIFER YU AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT :
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON SEPTEMBER 21, 2020.

SEPTEMBER 25, 2020
DATE

BORYS KUBICKI
ONTARIO LAND SURVEYOR

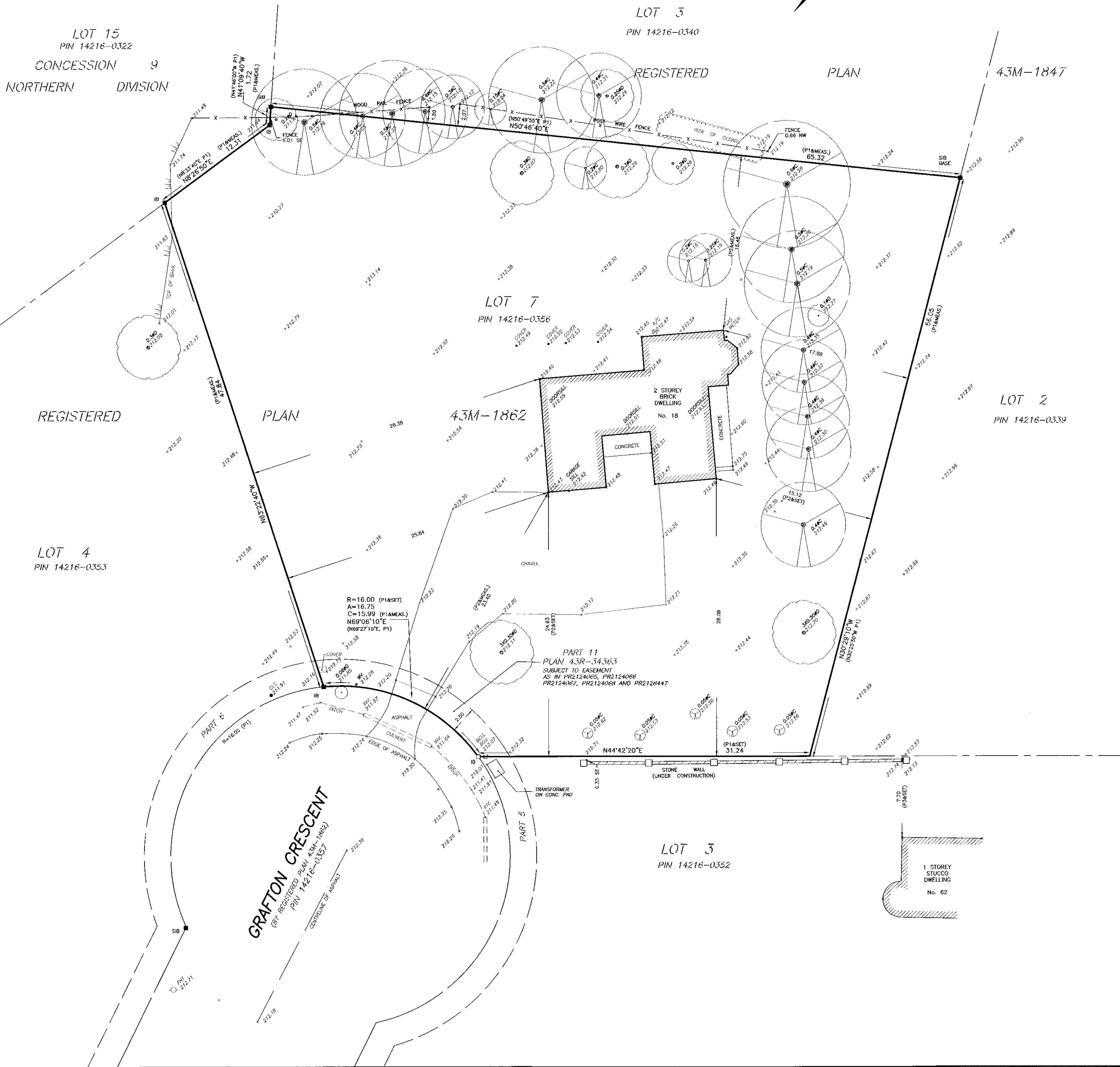


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DRAWN BY: R.E.

FILE No. 8624-SRPR-T



18 Grafton Crescent Brampton, Ontario

Project Description:

- New 1-storey addition
- New covered rear patio
- New partially covered rear deck



Square Footage:

Existing Basement: 1361.93 ft² (126.53 m²)
New Garage: 1497.05 ft² (139.08 m²)
New Main: 2683.90 ft² (249.34 m²)
Existing Main: 1012.43 ft² (94.06 m²)
Existing Second Floor: 981.15 ft² (91.15 m²)
New Overall Coverage: 5100.28 ft² (473.83 m²)
New Covered Porch: 81.27 ft² (7.55 m²)
New Partially Covered Patio: 447.67 ft² (41.59 m²)

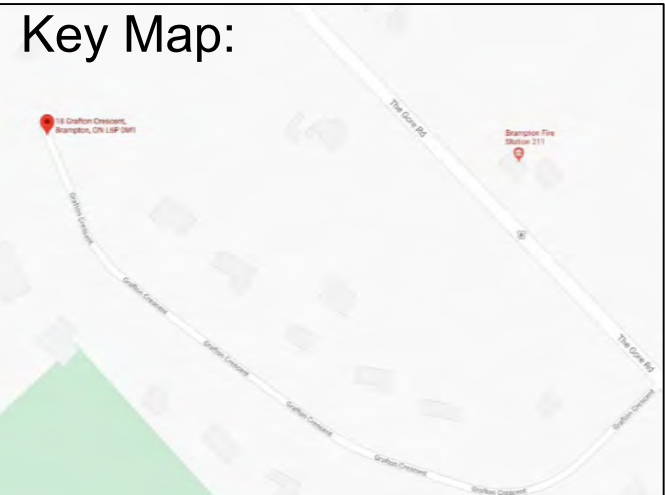
Architectural Design Firm: SMPL Design Studio

Address: 15 Colbourne St,
Hamilton, Ontario

Postal: L8R 2G2

Phone: 905-570-2201

Key Map:



DO NOT SCALE DRAWINGS

Note:

- 1) Contractor to check all dimensions, specifications, set on site and shall be responsible for reporting any discrepancy to the engineer and/or designer.
- 2) These plans are to remain and the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.
- 3) All works to be in accordance with the Ontario Building Code.

smpl DESIGN STUDIO
sustainable.modern.practical.livable
Architectural Design Services

www.smpldesignstudio.com

Drawing Submissions:

Date:	Type:
Oct. 27, 2020	Concept
Dec. 21, 2020	Planning
Jan. 20, 2021	Site Plan
Feb. 05, 2021	Rev. 1
Mar. 26, 2021	Concept

18 Grafton Crescent
Brampton, Ontario

Reviewed By: JL
Drawn By: HD, AA
Plot Date: 2021.03.26

Page
A0.01

Cover Page

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code I am qualified, and the firm is registered, in the appropriate classes/categories.
Individual BCIN: 19618 / Firm BCIN: 31829
Date: 2016



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NOTES

AA	attic access hatch min. 20"x28"
BB	stairs at interior and exterior maximum rise: 7.874" minimum rise: 4.92" minimum run: 8.267" maximum run: 13.976" minimum tread: 9.25" maximum tread: 13.986" maximum nosing: 0.984" minimum width: 33.858" minimum headroom: 76.77"
CC	guardrail interior landings: 35.433" exterior balcony: 42.125" interior stairs: min. 34.055", max. 37.99" exterior stairs: 35.433" max. between pickets: <3.937"
DD	interconnected smoke alarm / carbon monoxide alarm conforming to can/csa-6.19 or UL2034 see CAN/ULC-S531, "Smoke Alarms"
EE	torch-on roofing membrane
II	eavestrough
JJ	grade:min. 2% slope away from building per grading plan
KK	furnace per HVAC design plans
LL	tankless water heater
MM	clothes rod anchored to either end wall of closet + 12" deep shelf installed above rod
NN	42" guardrail
OO	3 way light switch - one at top of stairs, one at bottom
PP	parapet
QQ	exhaust fan capable of 50.0L/s c/w insulated duct to exterior vent or to HRV. See mech.design
RR	heating system shall be capable of min. 22 deg throughout HVAC layout per designer
TT	built in cabinetry
UU	custom shower
VV	electrical as per ESA Ontario
XX	floor drain
YY	backwater valve

Lintel Schedule

L1	(2)ply 2x10
L2	engineered lintel per supplier

Floor Schedule

* provide water resistant floors @ kitchen, bathrooms, mudroom*

F01	fin. floor providing water resistance TBD 4" 15 Mpa concrete slab 2" rigid foam Poly Air/ VB-CAN/CGSB-51.34-M-seal joints w/tremo acoustical sealant 8" coarse granular fill undisturbed soil
F02	fin. floor providing water resistance TBD 3/4" T&G OSB 0-2 subfloor (size) TJI floor joists @ 16" O.C. per supplier 1/2" gypsum
F03	4" 15 Mpa concrete slab 32 Mpa 8" coarse granular fill undistrubed soil slope to door @ 2%

Wall Schedule

W01	parge above grade approved drainage layer dampproofing 10" poured 20 Mpa concrete foundation wall
W02	1/2" Gypsum 2x6 framing @ 16" O.C. 1/2" Gypsum
W03	1/2" gypsum Poly Air/VB-CAN/CGSB-51.34-M-seal joints w/tremo acoustical sealant 2x6 framing @ 16" O.C. R24 batt insulation 5/8" type-x gypsum board
W04	stone veneer per 9.20 O.B.C. and CSA A371 or BMEC 01-04-256 and O.B.C. 9.20. & O.B.C. 9.20. - flashing for weepholes per 9.20.13.6 - flashing joints per 9.20.13.7 - weep holes per 9.20.13.6 - steel lintels per 9.20.5.2 1" airspace wall sheathing membrane - CAN/CGSB-51.32-M (TBD) framing @ 16" O.C. airspace cavity (TBD) framing @ 16" O.C. wall sheathing membrane - CAN/CGSB-51.32-M 1" airspace stone veneer per 9.20 O.B.C. and CSA A371 or BMEC 01-04-256 and O.B.C. 9.20. & O.B.C. 9.20. - flashing for weepholes per 9.20.13.6 - flashing joints per 9.20.13.7 - weep holes per 9.20.13.6 - steel lintels per 9.20.5.2
W05	stone veneer per 9.20 O.B.C. and CSA A371 or BMEC 01-04-256 and O.B.C. 9.20. & O.B.C. 9.20. - flashing for weepholes per 9.20.13.6 - flashing joints per 9.20.13.7 - weep holes per 9.20.13.6 - steel lintels per 9.20.5.2 1" airspace wall sheathing membrane - CAN/CGSB-51.32-M 2x6 framing @ 16" O.C. R24 batt insulation airspace cavity 2x6 framing @ 16" O.C. wall sheathing membrane - CAN/CGSB-51.32-M 1" airspace stone veneer per 9.20 O.B.C. and CSA A371 or BMEC 01-04-256 and O.B.C. 9.20. & O.B.C. 9.20. - flashing for weepholes per 9.20.13.6 - flashing joints per 9.20.13.7 - weep holes per 9.20.13.6 - steel lintels per 9.20.5.2
W06	standing seam metal wall paneling 1x strapping wall sheathing membrane - CAN/CGSB-51.32-M 7/16" OSB 0-2 sheathing 2x6 framing @ 16" O.C. R24 batt insulation Poly Air/VB-CAN/CGSB-51.34-M-seal joints w/ Tremco acoustical sealant 1/2" Gypsum
W07	2x6 framing (full dimension) @ 6" O.C.
W08	2x6 vertical slat siding 1x strapping wall sheathing membrane - CAN/CGSB-51.32-M 7/16" OSB 0-2 sheathing 2x6 framing @ 16" O.C. R24 batt insulation Poly Air/VB-CAN/CGSB-51.34-M-seal joints w/ Tremco acoustical sealant 5/8" type-x gypsum board
W09	stone veneer per 9.20 O.B.C. and CSA A371 or BMEC 01-04-256 and O.B.C. 9.20. & O.B.C. 9.20. - flashing for weepholes per 9.20.13.6 - flashing joints per 9.20.13.7 - weep holes per 9.20.13.6 - steel lintels per 9.20.5.2 1" airspace wall sheathing membrane - CAN/CGSB-51.32-M 7/16" OSB 0-2 sheathing 2x6 framing @ 16" O.C. R24 batt insulation Poly Air/VB-CAN/CGSB-51.34-M-seal joints w/ Tremco acoustical sealant 1/2" Gypsum

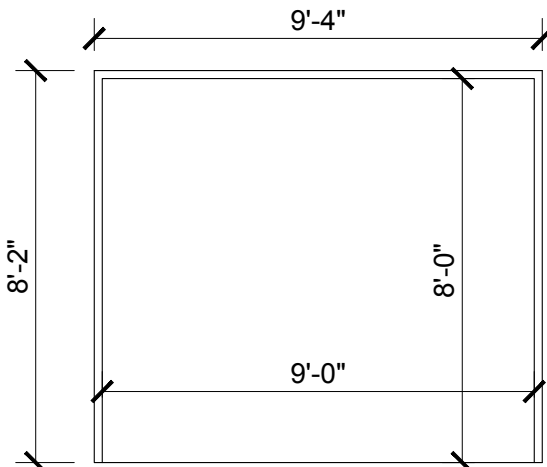
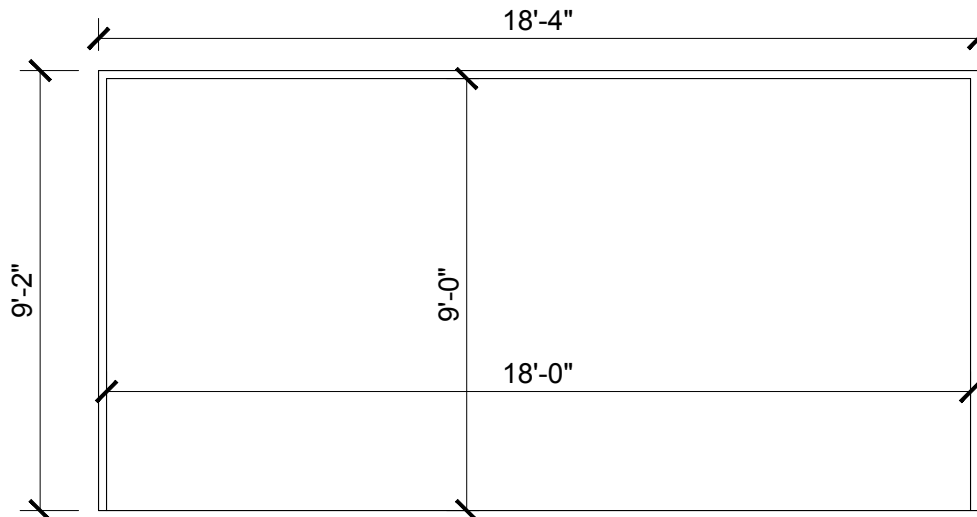
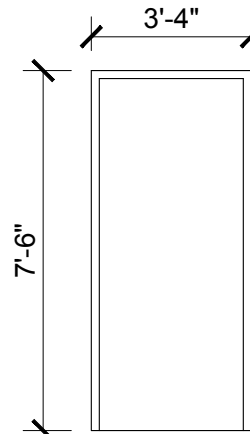
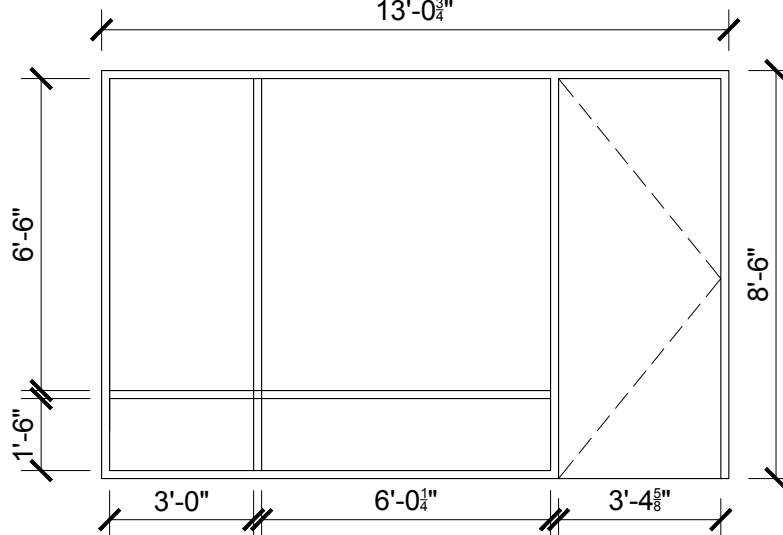
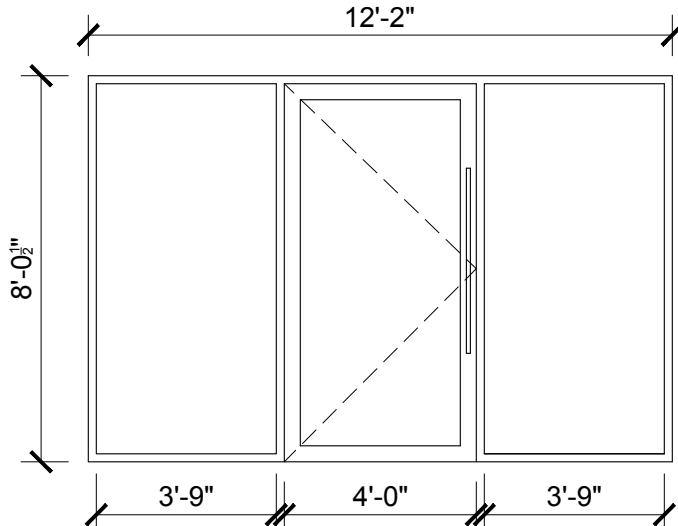
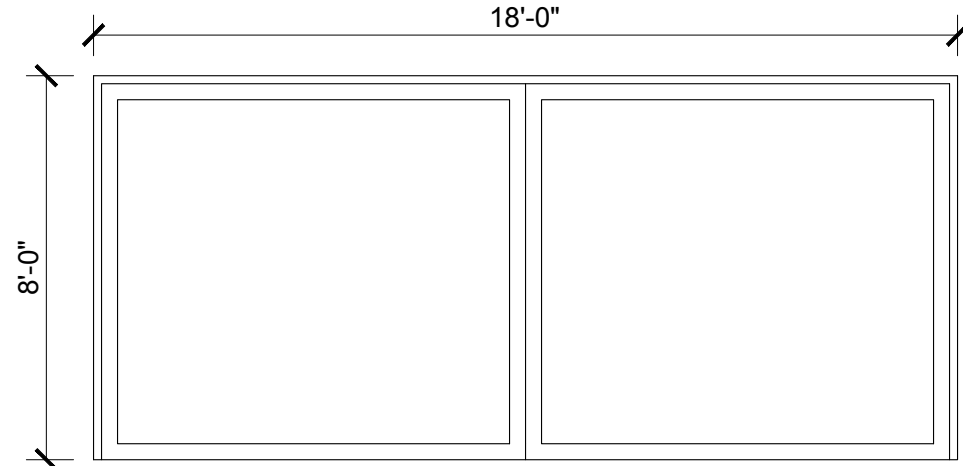
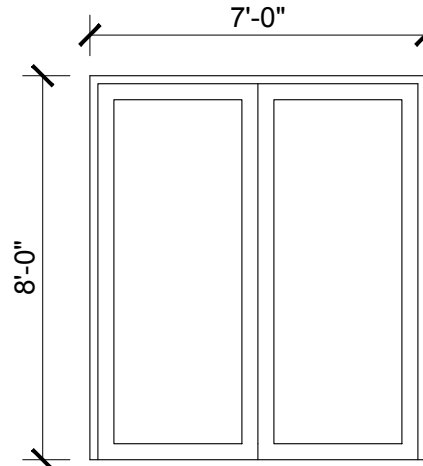
Roof Schedule

R01	existing roof to remain
R02	two ply torch on roof membrane 1/2" plywood roof sheathing c/w h clips 2x sloped sleepers - min. 2% (size) TJI roof joists @ 16" O.C. per supplier R32 2LB spray foam insulation 1x furring @ 16" o.c. 1/2" gypsum
R03	two ply torch on roof membrane 1/2" plywood roof sheathing c/w h clips 2x sloped sleepers - min. 2% (size) TJI roof joists @ 16" O.C. per supplier 1x furring @ 16" o.c. vented metal soffit @ eaves c/w min. 1:300 venting

Window Schedule

W01	quantity: 002 type: fiberglass color: black ext./ int. operation: casement, fixed location: bedroom 1, bedroom 2 energy: max. U value 1.6	W02	quantity: 001 type: fiberglass color: black ext./ int. operation: fixed location: mudroom energy: max. U value 1.6	W03	reserved	W04	quantity: 002 type: fiberglass color: black ext./ int. operation: fixed location: living, dining energy: max. U value 1.6	W05	quantity: 002 type: fiberglass color: black ext./ int. operation: fixed location: dining energy: max. U value 1.6
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Door Schedule

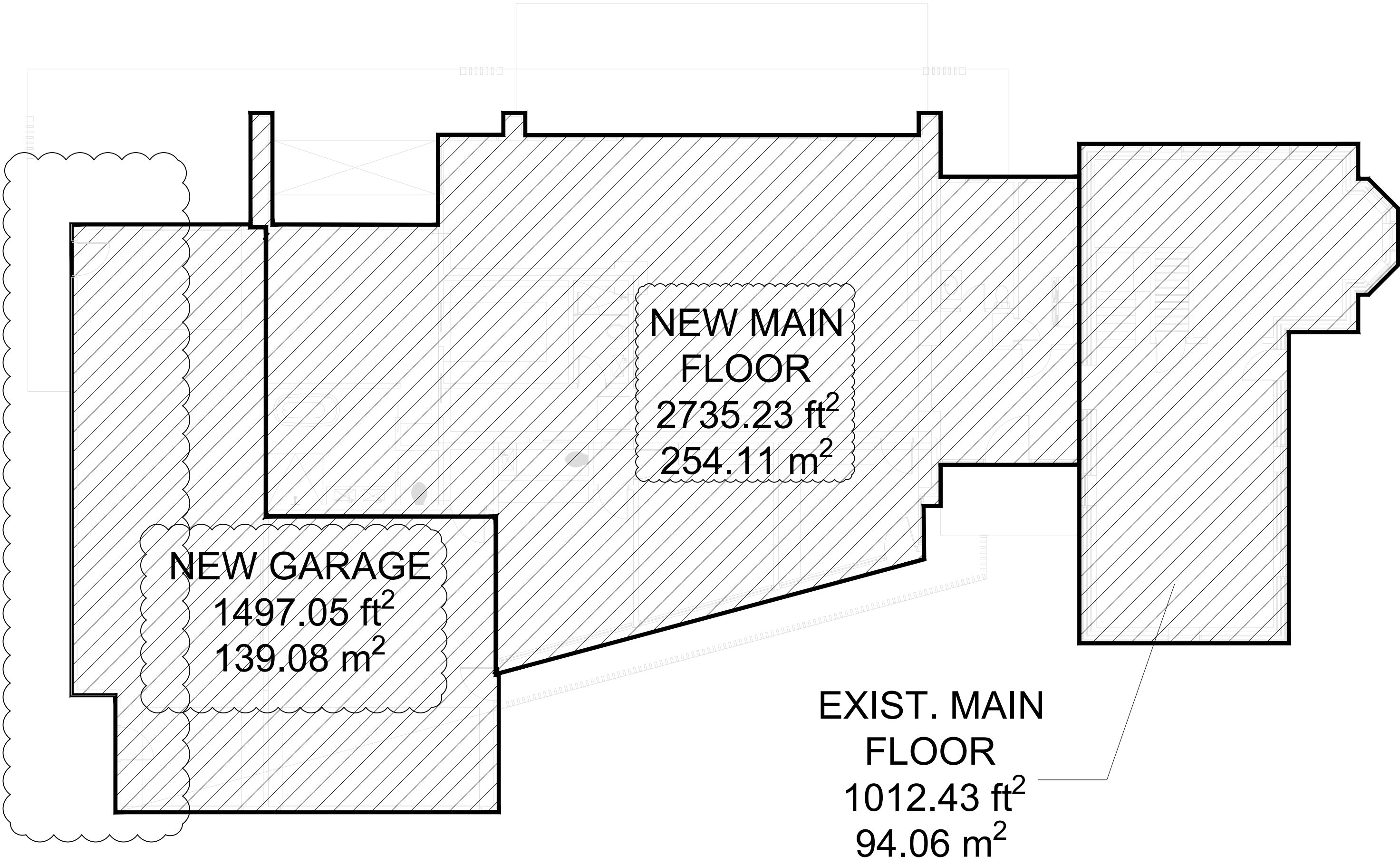
D01	quantity: 002 type: fibreglass color: black ext./ int. operation: roller location: garage RSI 0.7	D02	quantity: 001 type: fibreglass color: black ext./ int. operation: roller location: garage RSI 0.7	D03	quantity: 003 type: fibreglass color: black ext./ int. operation: in-swing location: garage RSI 0.7	D04	quantity: 001 type: aluminum color: black ext./ int. operation: in-swing, fixed location: mudroom RSI 0.7
							
D05	quantity: 001 type: aluminum color: black ext./ int. operation: in-swing, fixed location: entry RSI 0.7	D06	quantity: 001 type: aluminum color: black ext./ int. operation: sliding location: living RSI 0.7	D07			
							

DO NOT SCALE DRAWINGS

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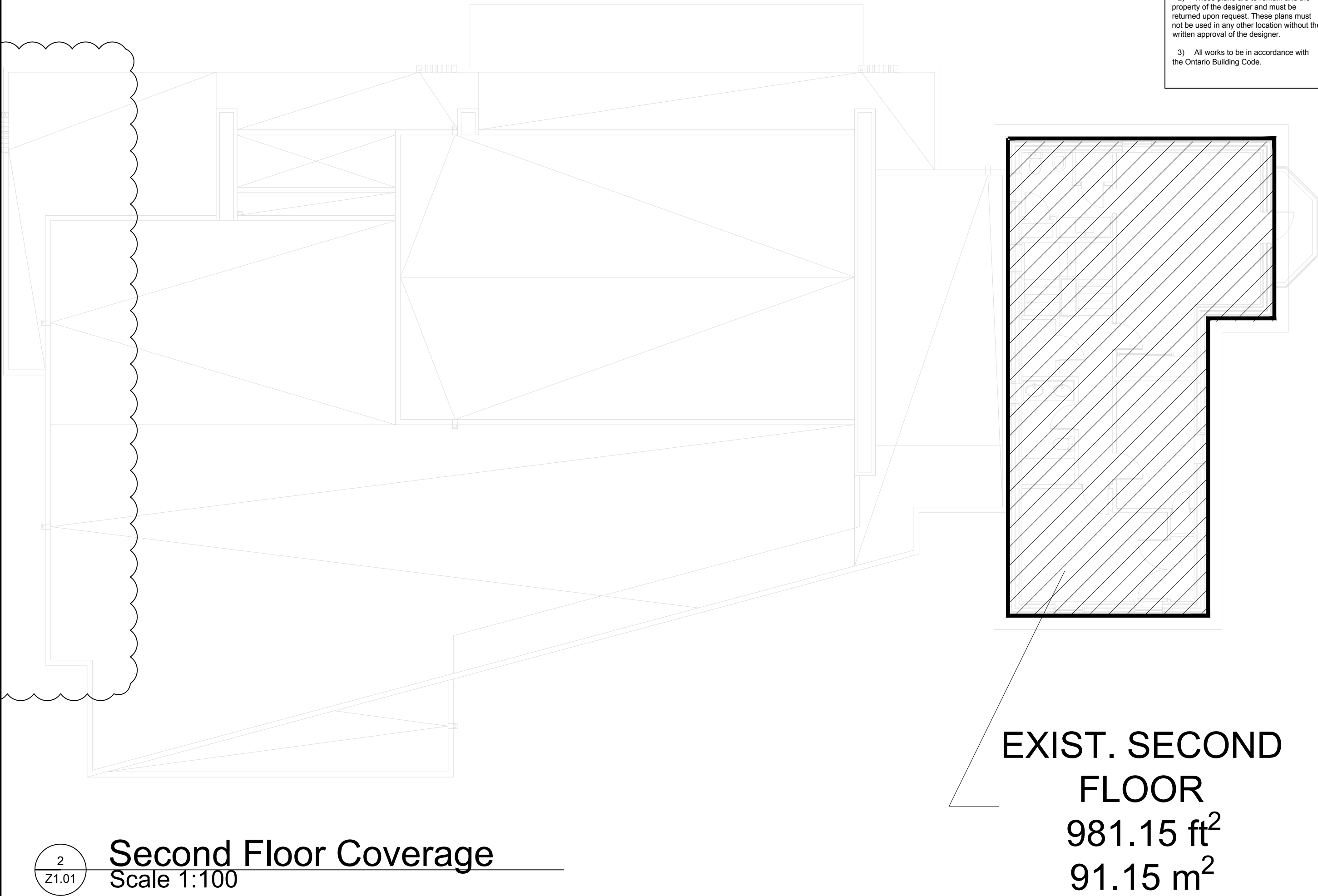
Drawing Submissions:

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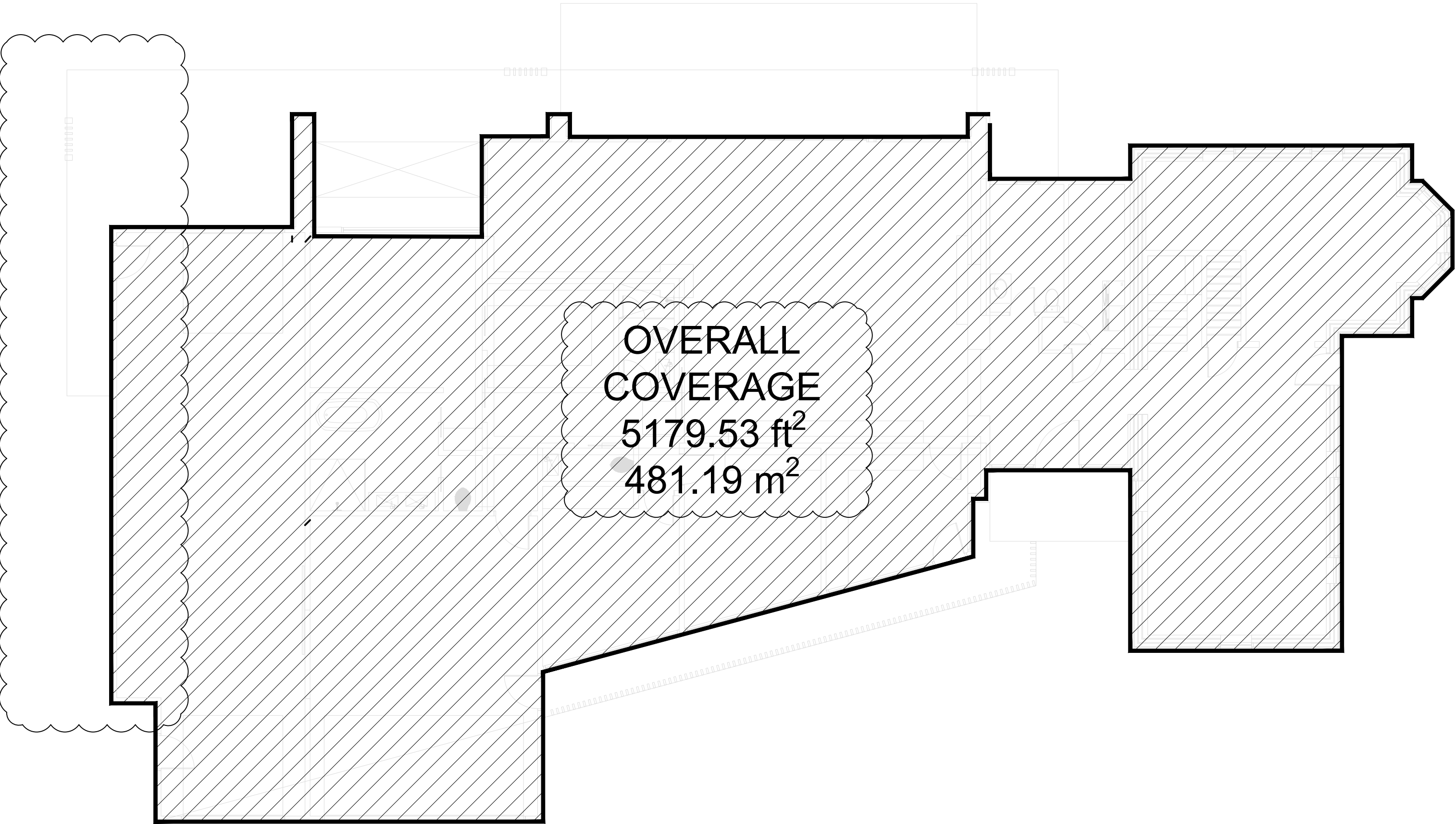
1
Z1.01

Ground Floor Coverage
Scale 1:100



2
Z1.01

Second Floor Coverage
Scale 1:100



3
Z1.01

Overall Coverage
Scale 1:100

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18 Grafton Crescent
Brampton, Ontario

Reviewed By	JT
Drawn By	HD, AA
Plot Date	2021.03.26

LOT STATISTICS

18 Grafton Crescent, Brampton

Zoning Designation : REZ-1873

Lot Area: 3439.65 m²

Lot Frontage: 16.75 m

Lot Coverage

Existing 2-Storey Dwelling C/W 1-Storey Addition = 14.15% (482.37m²)

New Covered Porch (Front) = 0.22% (7.55 m²)

New Partially Covered Patio (Rear) = 1.22% (41.59 m²)

Setbacks

Front Yard (required): 12.00 m

Front Yard (existing): 23.40 m

Front Yard (designed): 12.00 m

Rear Yard (required): 15.00 m

Rear Yard (existing): 15.12 m

Rear yard (designed): 15.12 m

Side Yard (required): 7.50 m

Side Yard (existing): 16.48 m

Side yard (designed): 16.48 m

Height

Max. allowed: 10.60 m

Proposed (Addition): 5.00 m

Parking

Required: 2

Proposed: 2 @ 3m x 6m

EXISTING

NEW

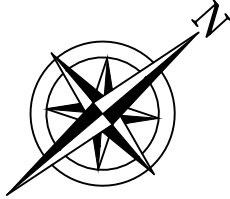
NEW PORCH / DECK

LANDSCAPE

GARAGE

DRIVEWAY

note:
all dimensions shown in millimeters unless
noted otherwise



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18 Grafton Crescent
Brampton, Ontario

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Page
A1.01

Proposed
Site Plan

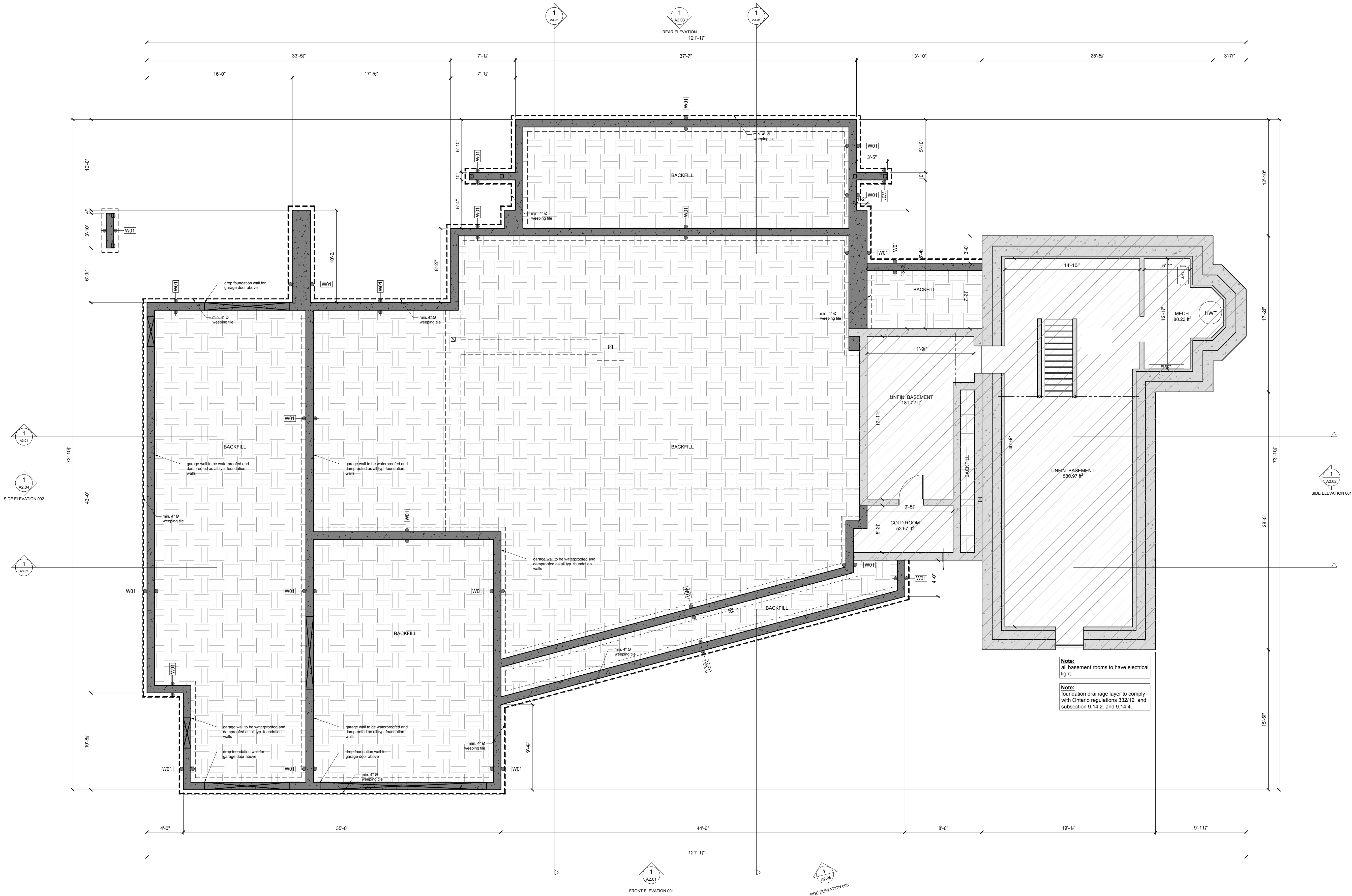
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Brampton, Ontario

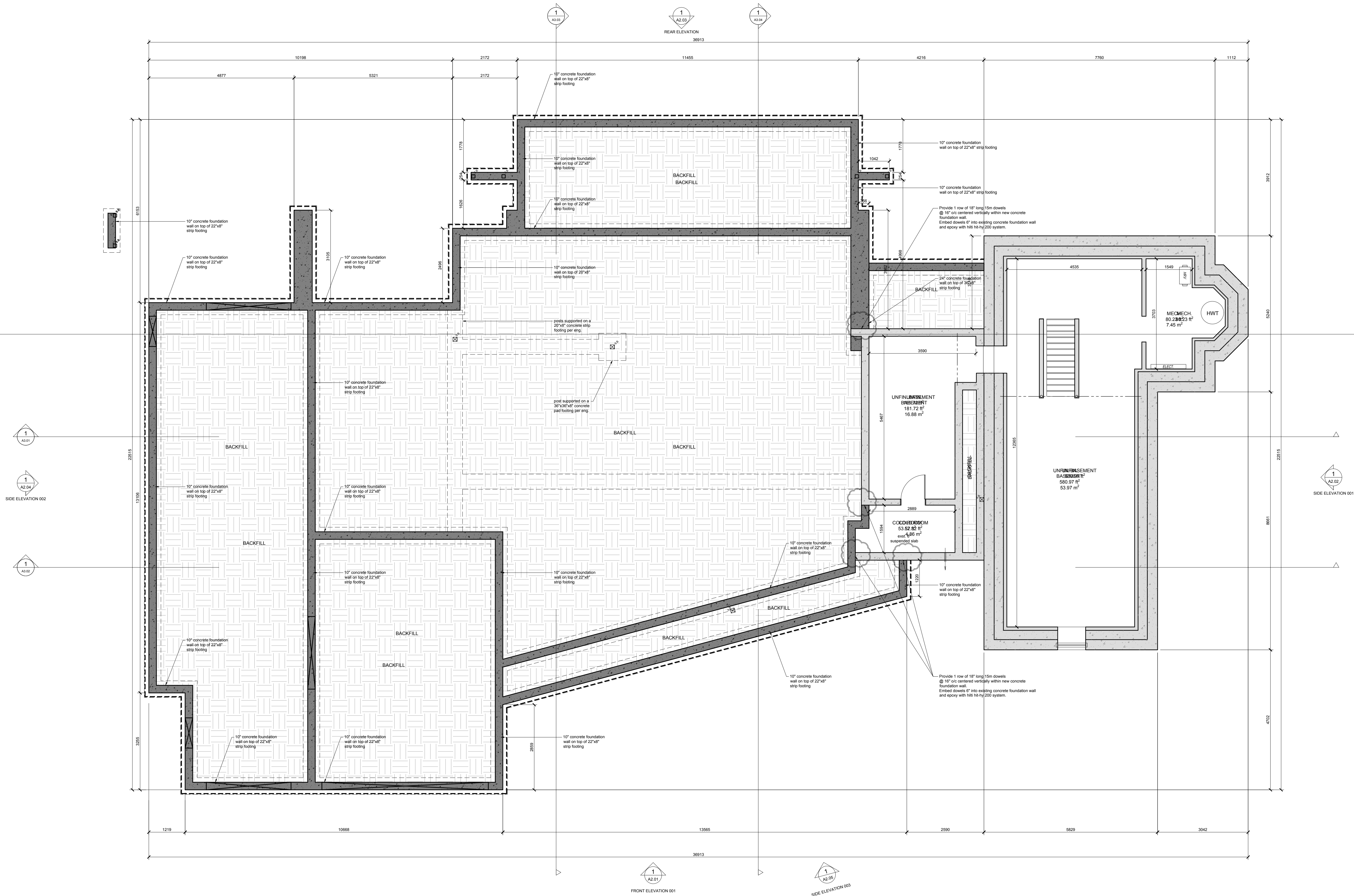
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18 Grafton Crescent
Brampton, Ontario

Reviewed By JT
Drawn By HD, AA
Plot Date 2021.03.26

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A1.01b

Main Floor
Framing Plan

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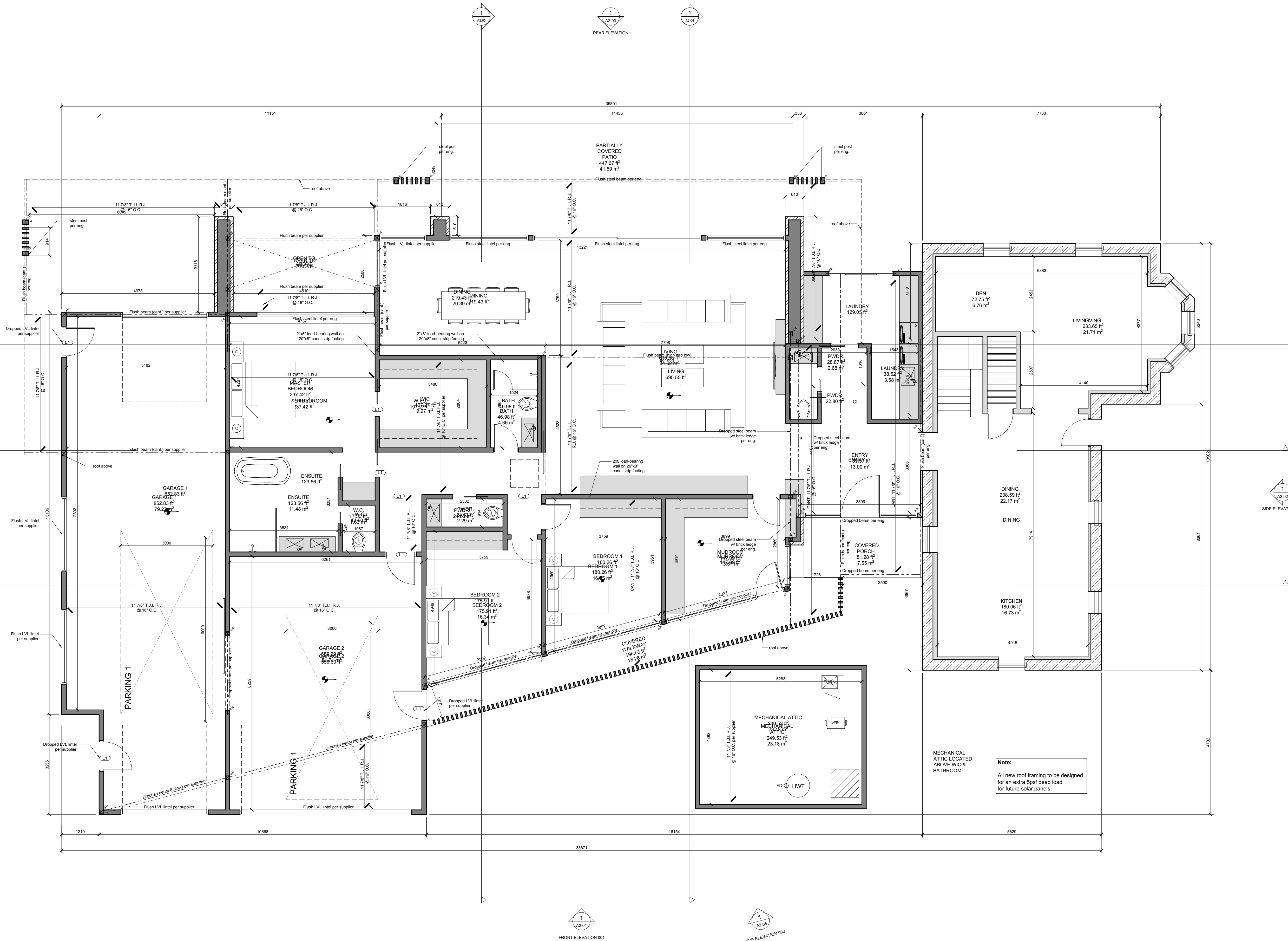
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18 Grafton Crescent
Brampton, Ontario

Reviewed By JT
Drawn By HD, AA
Plot Date 2021.03.26

Page
A1.02b

Roof
Framing Plan

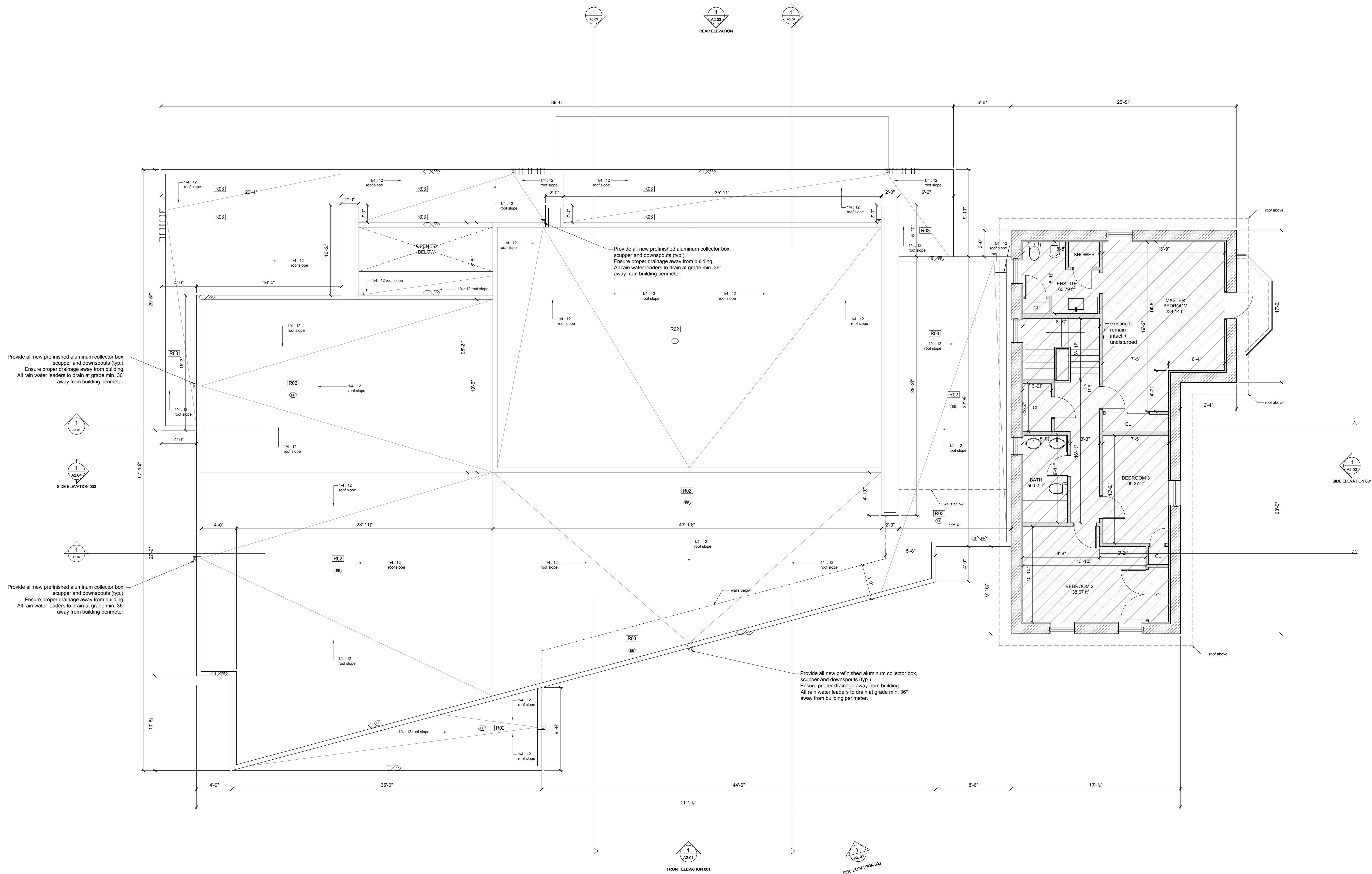


Proposed Roof Framing Plan
Scale 3/16"=1'-0"

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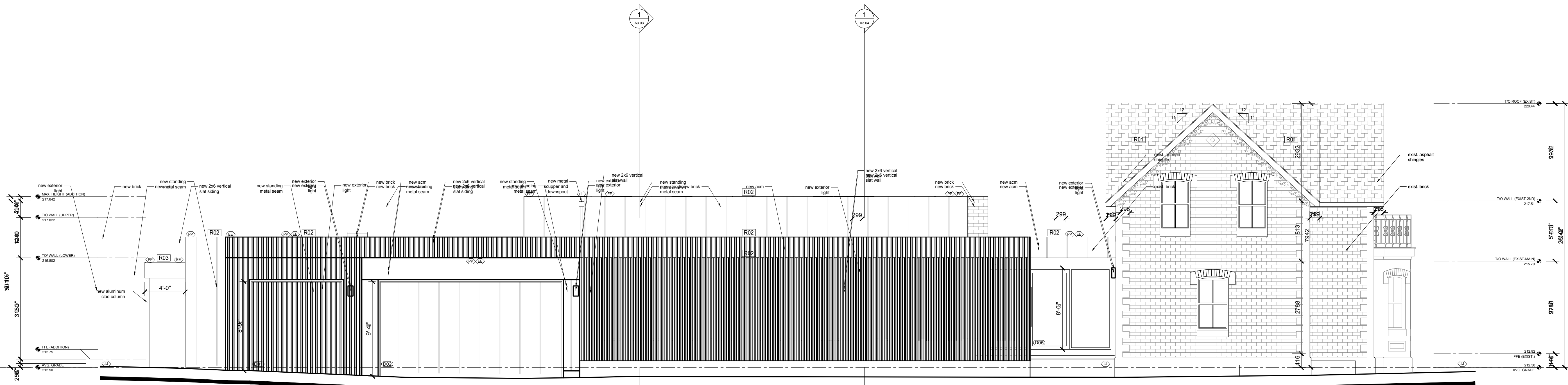
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18 Grafton Crescent
Brampton, Ontario

Reviewed By	JT
Drawn By	HD, AA
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A2.01

Elevations

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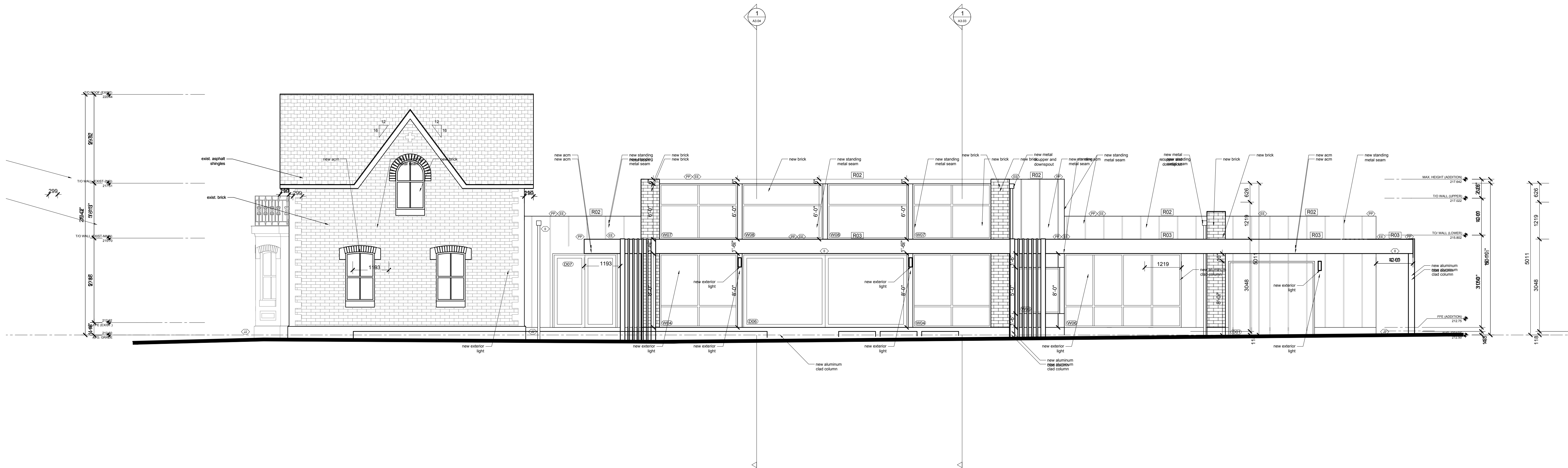
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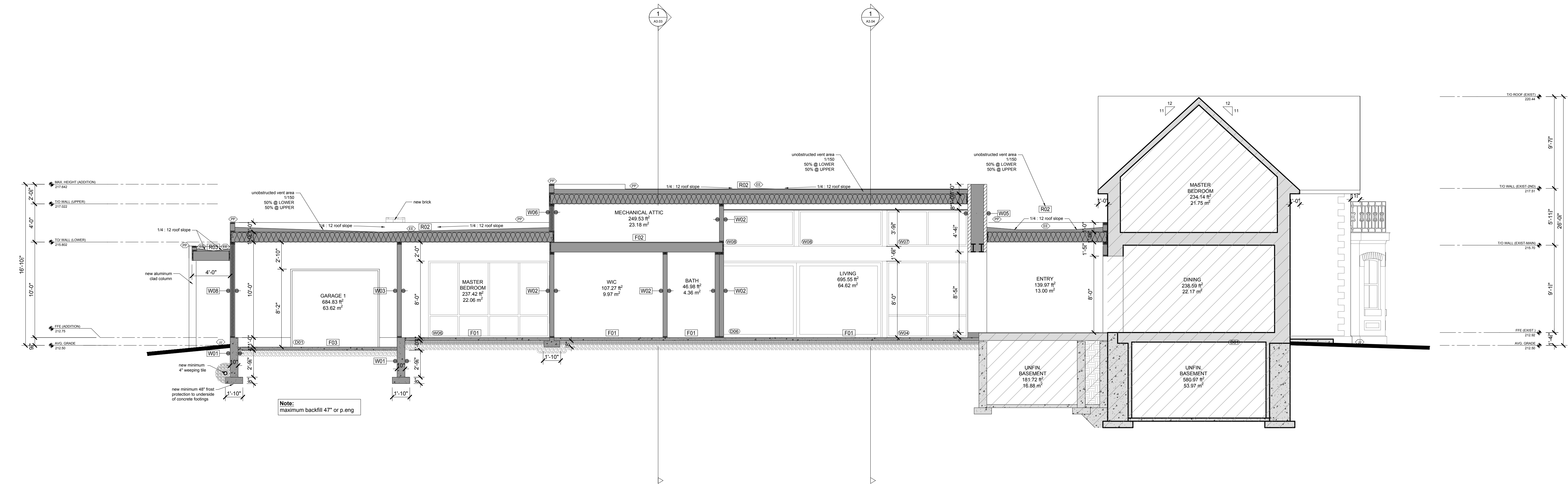
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18 Grafton Crescent
Brampton, Ontario

Reviewed By	JT
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Plot Date	2021.03.26

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A2.03

Elevations



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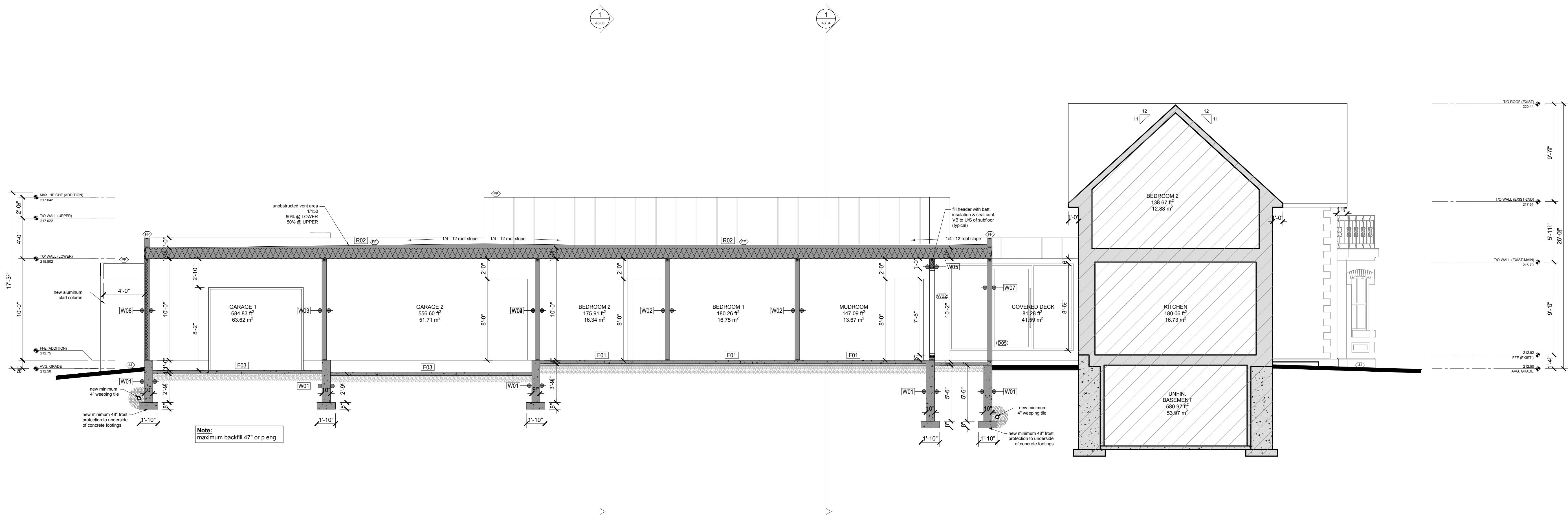
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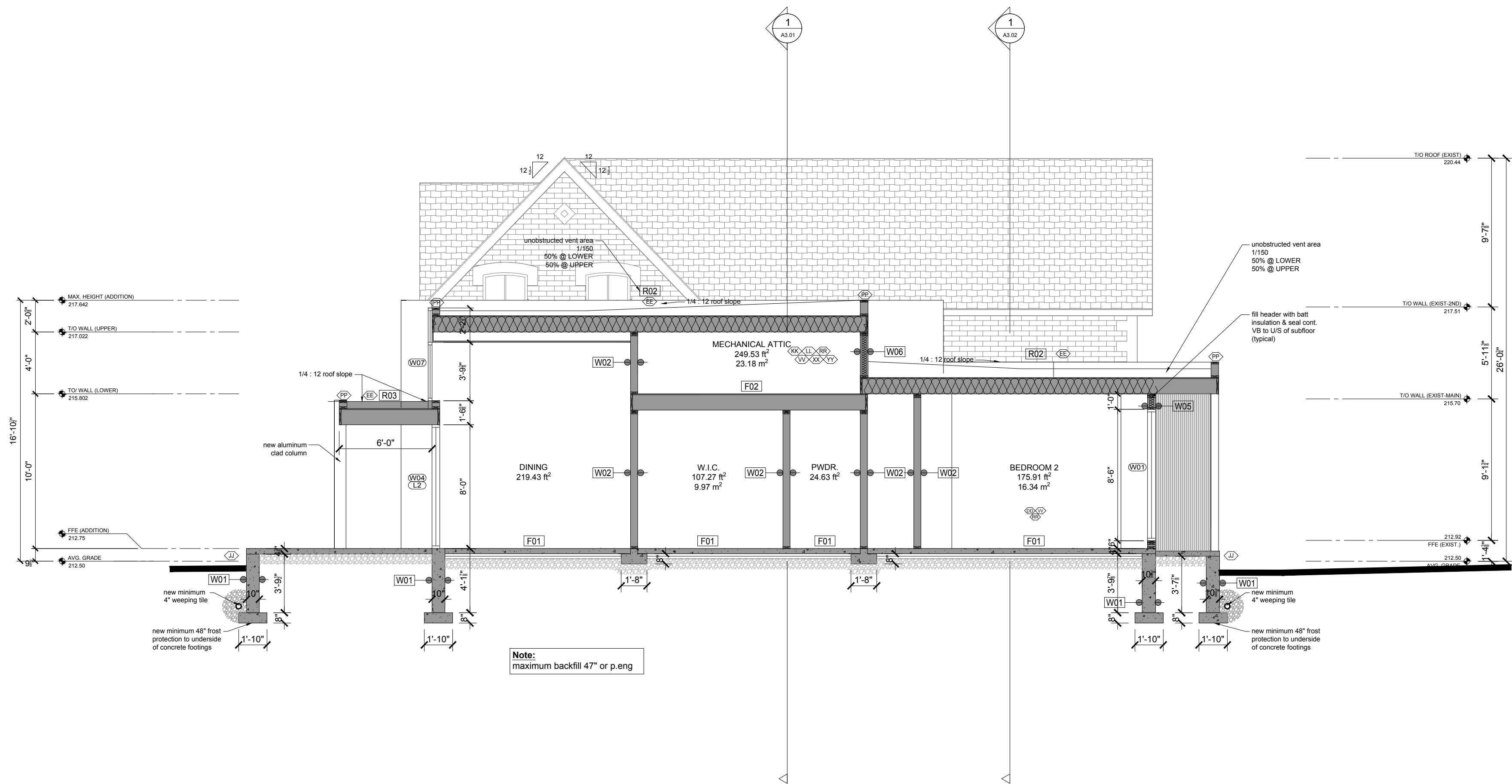
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A3.02

Sections



Notes:
maximum backfill 47" or p. eng

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Brampton, Ontario

Reviewed By JT
Drawn By HD, AA
Plot Date 2021.03.26

Plant Plan Legend

Proposed Betula nigra 'clump'

Existing Malus

Existing Pinus strobus

Proposed Fagus sylvatica 'Dawck'

Relocate Picea Pungens



This is an illustrative landscape design. All proposed structures such as: driveways, walkways, patio, decks, changes in elevation, retaining walls, pools, sheds, or any other attached or free-standing structures are to be approved by the regulatory bodies prior to construction. Ink to Earth assumes no responsibility for the placement of any structure as detailed on this design. It is the responsibility of the homeowner and/or hired contractor to follow specification standards, building codes, obtain all approvals and permits prior to construction. Revisions to this plan can be requested but are subjected to consultation fees.

Page:
1
of
1

S.C.H

Project Manager:

S.C.H

Drawn By:

S.C.H

Reviewed By:

3/32"=1'-0"

Scale:

January 19, 2021

Date:

Project Title:

18 Grafton Cres

Drawing Title:

Landscape Plan

INK TO EARTH

LANDSCAPE DESIGN

EST. 2015