

Draft Zoning By-law Amendment



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number _____ - 2021

To amend Comprehensive Zoning By-law 270-2004, as amended

The Council of the Corporation of the City of Brampton, in accordance with the provisions of the *Planning Act, R.S.O. 1990, c.P. 13*, hereby ENACTS as follows:

1. By-law 270-2004, as amended, is hereby further amended:
- (1) By changing Schedule A thereto, the zoning designation of the lands as shown outlined on Schedule A to this by-law:

FROM:	TO:
AGRICULTURAL ZONE A (A)	RESIDENTIAL SINGLE DETACHED E-12.2-3663 (R1E-12.2-3663)
	RESIDENTIAL SINGLE DETACHED E-13.72-3664 (R1E-13.72-3664)
	RESIDENTIAL SINGLE DETACHED E-15.24-3665 (R1E-15.24-3665)
	RESIDENTIAL SINGLE DETACHED E-11.6-2974 (R1E-11.6-2974)
	RESIDENTIAL SINGLE DETACHED F-11.6-2975 (R1F-11.6-2975)
	RESIDENTIAL SINGLE DETACHED E-13.7-2976 (R1E-13.7-2976)
	FLOODPLAIN (F)

- (2) By adding the following Sections:
- “3663 The lands designated R1E-12.2-3663 on Schedule A to this bylaw:
- 3663.1 Shall only be used for the purposes permitted in the R1E-x zone.
- 3663.2 Shall be subject to the following requirements and restrictions:
- a) Maximum Building Height: 11.6 metres
- b) Minimum Exterior Lot Width: 15.20 metres

- c) A balcony or porch with or without a cold cellar, may project into the minimum front yard or exterior side yard by a maximum of 1.8 metres provided the balcony or porch, with or without cold cellar is located no closer than 1.2 metres from a daylighting triangle, and eaves and cornices may project an additional 0.6 metres into the minimum front or exterior side yard;
- d) A bay windows, bow windows, box-out windows, and boxed-bay windows, with or without foundations, are permitted and shall be deemed window bays for the purposes of Section 6.13 Permitted Yard Encroachments;
- e) Temporary sales office shall be permitted until August 31, 2026;
- f) A parking lot for a temporary sales office shall be permitted until August 31, 2026;
- g) Notwithstanding any other provision to the contrary, dwelling units used as model home for display purposes, which may or may not include a sales office within said units, shall be permitted;
- h) A parking lot for dwelling units used a model home for display purposes, with or without a sales office within said dwelling units, shall be permitted;
- i) On lots equal to or greater than 12.20 metres in width, the maximum cumulative garage door width shall not exceed 60% of the dwelling width.

3663.3 Shall also be subject to the requirements and restrictions relating to the R1E-x zone, and all the general provisions of this by-law, which are not in conflict with those set out in Section 3663.2.”

(3) By adding the following Sections:

“3664 The lands designated R1E-13.72-3664 on Schedule A to this bylaw:

3664.1 shall only be used for the purposes permitted in the R1E-x zone.

3664.2 shall be subject to the following requirements and restrictions:

- a) Maximum Building Height: 11.6 metres
- b) A balcony or porch with or without a cold cellar, may project into the minimum front yard or exterior side yard by a maximum of 1.8 metres provided the balcony or porch, with or without cold cellar is located no closer than 1.2 metres from a daylighting triangle and eaves and cornices may project an additional 0.6 metres into the minimum front or exterior side yard;
- c) Bay windows, bow windows, box-out windows, and boxed-bay windows, with or without foundations, are permitted and shall be deemed window bays for the purposes of Section 6.13 Permitted Yard Encroachments;

- d) Temporary sales office shall be permitted until August 31, 2026;
- e) A parking lot for a temporary sales office shall be permitted until August 31, 2026;
- f) Notwithstanding any other provision to the contrary, dwelling units used as model home for display purposes, which may or may not include a sales office within said units, shall be permitted;
- g) A parking lot for dwelling units used a model home for display purposes, with or without a sales office within said dwelling units, shall be permitted;
- h) On lots equal to or greater than 13.72 metres in width, the maximum cumulative garage door width shall not exceed 60% of the dwelling width.”

3664.3 Shall also be subject to the requirements and restrictions relating to the R1E-x zone, and all the general provisions of this by-law, which are not in conflict with those set out in Section 3664.2.”

(4) By adding thereto, the following sections:

“3665 The lands designated R1E-15.24-3665 on Schedule A to this bylaw:

3665.1 shall only be used for the purposes permitted in the R1E-x zone.

3665.2 shall be subject to the following requirements and restrictions:

- a) Maximum Building Height: 11.6 metres
- b) A balcony or porch with or without a cold cellar, may project into the minimum front yard or exterior side yard by a maximum of 1.8 metres provided the balcony or porch, with or without cold cellar is located no closer than 1.2 metres from a daylighting triangle and eaves and cornices may project an additional 0.6 metres into the minimum front or exterior side yard;
- c) Bay windows, bow windows, box-out windows, and boxed-bay windows, with or without foundations, are permitted and shall be deemed window bays for the purposes of Section 6.13 Permitted Yard Encroachments;
- d) Temporary sales office shall be permitted until August 31, 2026;
- e) A parking lot for a temporary sales office shall be permitted until August 31, 2026;
- f) Notwithstanding any other provision to the contrary, dwelling units used as model home for display purposes, which may or may not include a sales office within said units, shall be permitted;
- g) A parking lot for dwelling units used a model home for display purposes, with or without a sales office within said dwelling units, shall be permitted;

h) On lots equal to or greater than 15.24 metres in width, the maximum cumulative garage door width shall not exceed 60% of the dwelling width;

3665.3 Shall also be subject to the requirements and restrictions relating to the R1E-x zone, and all the general provisions of this by-law, which are not in conflict with those set out in Section 3665.2.”

ENACTED and PASSED this [enter date] day of [enter month], 2021.

Approved as to
form.

2021/month/day

[insert name]

Patrick Brown, Mayor

Approved as to
content.

2021/month/day

[insert name]

Peter Fay, City Clerk

EXPLANATORY NOTE

THE PURPOSE OF BY-LAW

- 21

The purpose of By-law -21 is to amend comprehensive Zoning By-law 270-2004, as amended pursuant to an application by Heritage Creditview Inc., (File No.OZS-2019-0003).

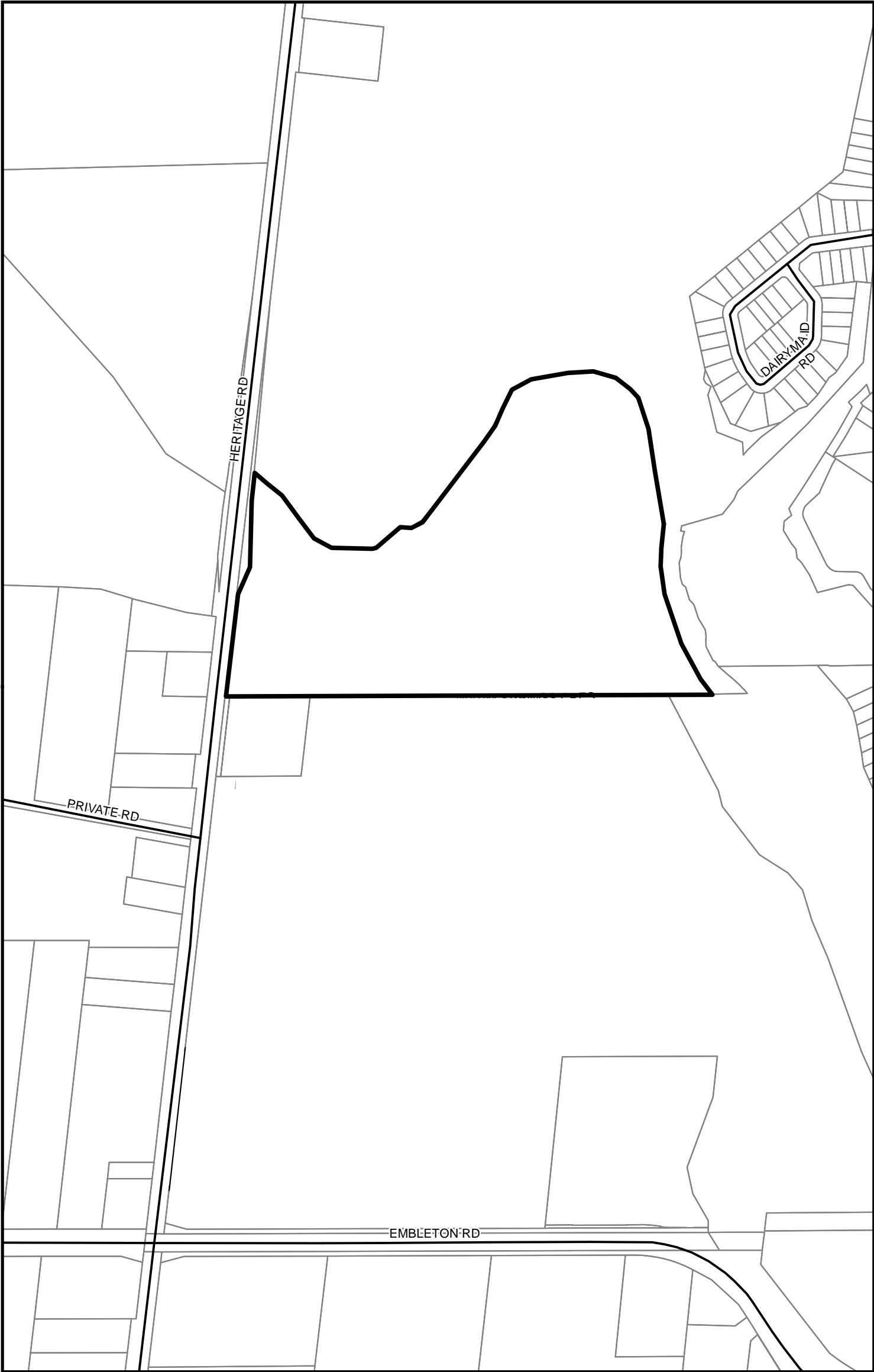
EFFECT OF THE BY-LAW

The effect of By-law -21 is to permit the development of the subject lands for single detached residential purposes.

LOCATION OF LANDS AFFECTED

The lands affected by By-law -21 are located on the east side of Heritage Road, north of Embleton Road, referred to as Part of Lot 7, Concession 5, W.H.S. in the City of Brampton.

Any further inquiries or questions should be directed to Nasir Mahmood Planning, Building, and Economic Development Department, 905-874-2094.



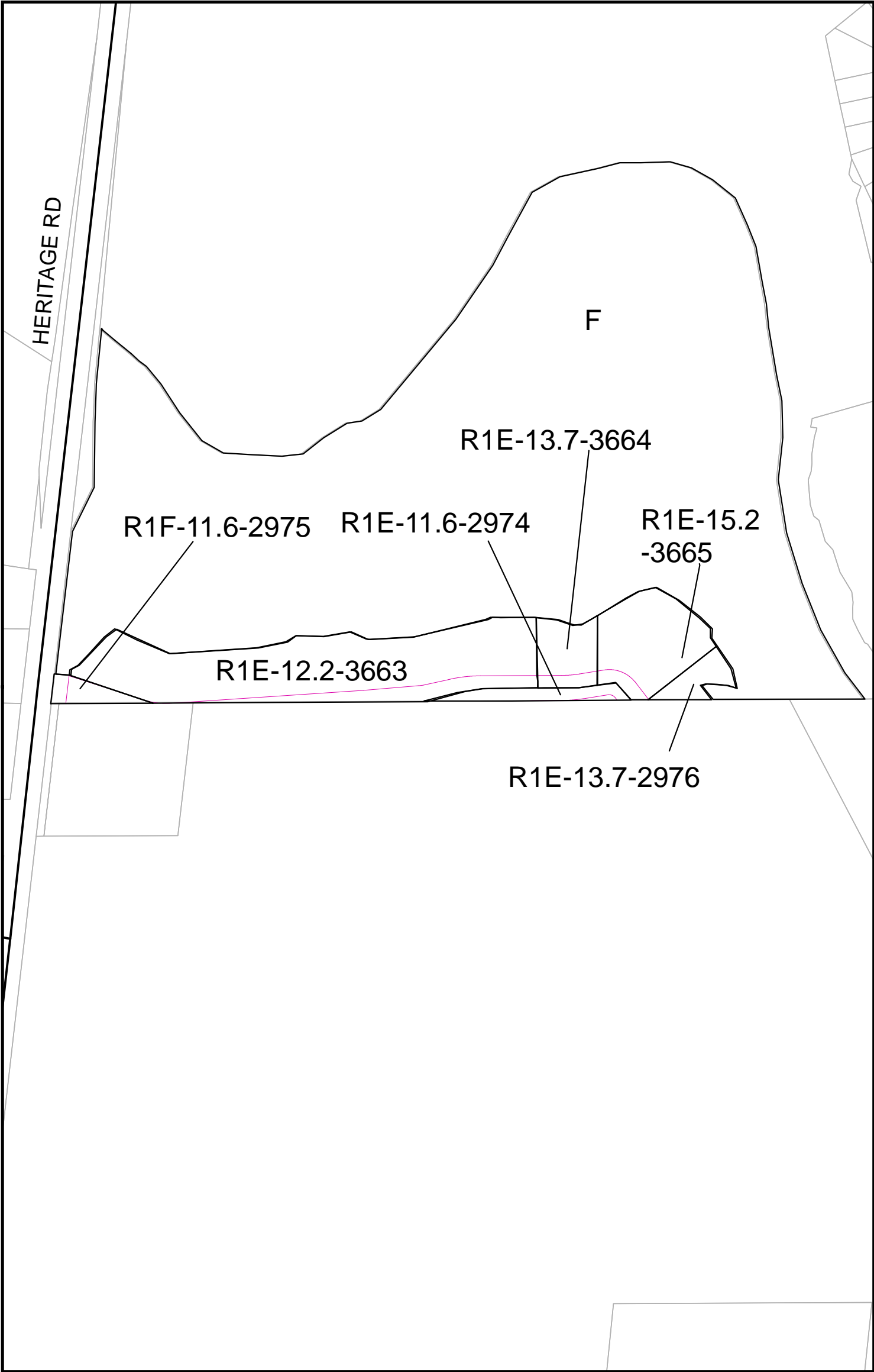
SUBJECT LANDS



BRAMPTON
Flower City
PLANNING, BUILDING AND ECONOMIC DEVELOPMENT



KEY MAP



BRAMPTON
Flower City
PLANNING, BUILDING AND ECONOMIC DEVELOPMENT

File: OZS-2019-0003_ZBLA

Date: 2021/06/28

Drawn by: ckovac



PART LOT 7, CONCESSION 5 W.H.S.

BY-LAW _____

SCHEDULE A