

APPLICATION # A-2021-0029
WARD #10

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made **PARAMJIT SINGH NIRWAN AND PARAMJEET KAUR NIRWAN** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 23, Plan M-322 municipally known as **9 RAE AVENUE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a detached garage in addition to an attached garage whereas the by-law does not permit a detached garage where there is an attached garage already on the lot;
2. To permit a detached garage having a gross floor area of 222.96 sq. m (2400 sq. ft.) whereas the by-law permits a maximum gross floor area of 48 sq. m (516.67 sq. ft.);
3. To permit a detached garage with a building height of 6.88m (22.57 ft.) whereas the by-law permits a maximum building height of 4.5m (14.76 ft.);
4. To permit a garage door height of 4.27m (14 ft.) whereas the by-law permits a maximum garage door height of 2.4m (7.87 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, August 3, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this **22nd Day of July, 2021.**

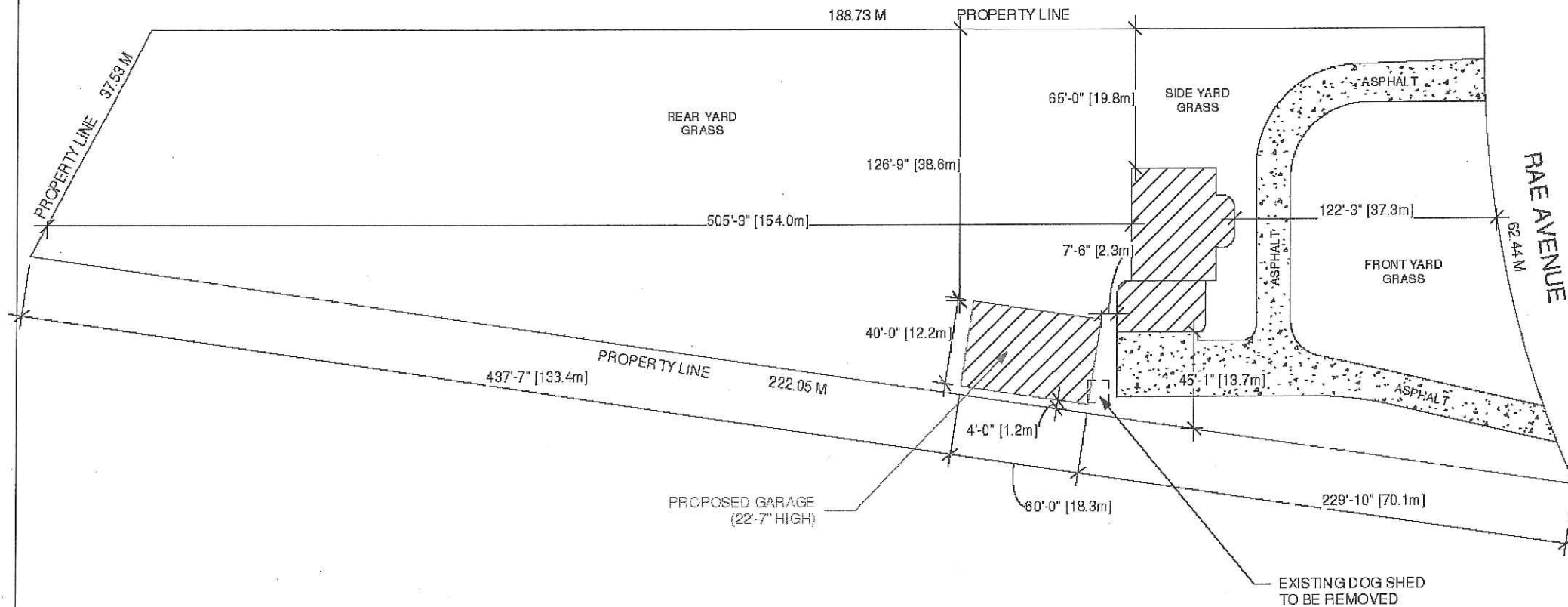
Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

LOT 23
9 RAE AVE
MINOR VARIANCE

- TO PERMIT A DETACHED GARAGE WHERE AN ATTACHED PRIVATE GARAGE IS ALREADY ON THE LOT
- TO PERMIT A DETACH GARAGE HAVING A GFA OF 222.96 SM, WHEREAS THE BY-LAW PERMITS A MAXIMUM GFA OF 48 SM;
- TO PERMIT A GARAGE WITH A BUILDING HEIGHT OF 6.88M, WHEREAS THE BY-LAW PERMITS A MAXIMUM BUILDING HEIGHT OF 4.5M;
- TO PERMIT A VEHICLE GARAGE DOOR HEIGHT OF 4.27M, WHEREAS THE BY-LAW PERMITS A MAXIMUM 2.4M.

SITE PLAN



01 ISSUED FOR MINOR VARIANCE		FEB 02/21
ADDRESS: 9 RAE AVE, BRAMPTON, ON		
DRAWN BY: NK	CHECKED BY: TR	
PROJECT NUMBER:		
NOBLE PRIME SOLUTIONS LTD 2131 WILLIAMS PARKWAY, BRAMPTON ON UNIT 19 (437) 888 1800		
DATE: FEB 02/21	DRAWING: A-1	
SCALE: 1" = 50'-0"		

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures
How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, July 29, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, July 29, 2021**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, July 29, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

June 24, 2021

To: Committee of Adjustment

RE: APPLICATION FOR MINOR VARIANCE

A-2021-0029

PLAN M322 LOT 23

9 RAE AVE

Please amend the application to reflect the following:

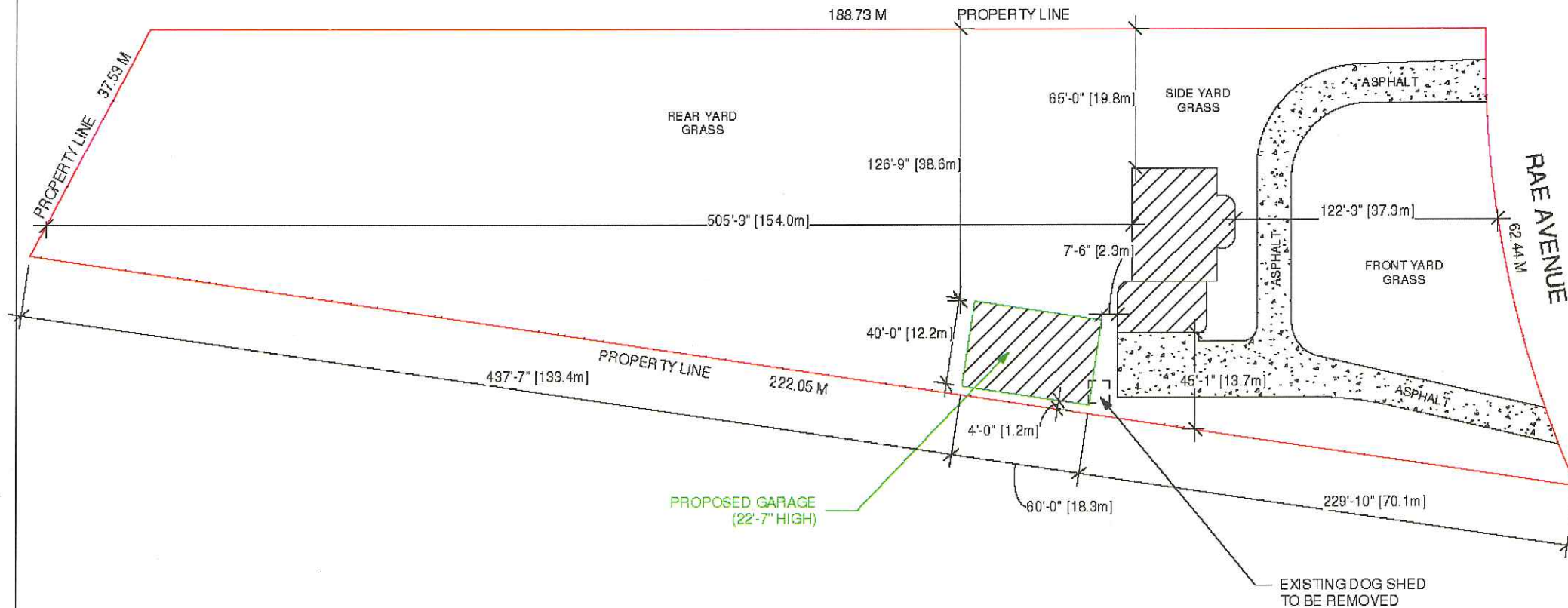
1. To permit a detached garage where an attached private garage is already on the lot.
2. To permit a detached garage having a gross floor area of 222.96 square meters, whereas the by-law permits a maximum gross floor area of 48 square meters.
3. To permit a garage with a building height of 6.88 m, whereas the by-law permits a maximum building height of 4.5 m.
4. To permit a vehicle garage door height of 4.27 m, whereas the by-law permits a maximum of 2.4 m.

Ravkreat Sandhu
Applicant/Authorized Agent

June 24, 2021

LOT 23
9 RAE AVE
MINOR VARIANCE

- TO PERMIT A DETACHED GARAGE WHERE AN ATTACHED PRIVATE GARAGE IS ALREADY ON THE LOT
- TO PERMIT A DETACH GARAGE HAVING A GFA OF 222.96 SM, WHEREAS THE BY-LAW PERMITS A MAXIMUM GFA OF 48 SM;
- TO PERMIT A GARAGE WITH A BUILDING HEIGHT OF 6.88M, WHEREAS THE BY-LAW PERMITS A MAXIMUM BUILDING HEIGHT OF 4.5M;
- TO PERMIT A VEHICLE GARAGE DOOR HEIGHT OF 4.27M, WHEREAS THE BY-LAW PERMITS A MAXIMUM 2.4M.



SITE PLAN

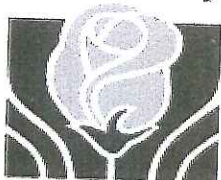
01	ISSUED FOR MINOR VARIANCE	FEB 02/21
----	---------------------------	-----------

ADDRESS:
9 RAE AVE,
BRAMPTON, ON

DRAWN BY: NK	CHECKED BY: TR
PROJECT NUMBER:	

NOBLE PRIME SOLUTIONS LTD
2131 WILLIAMS PARKWAY,
BRAMPTON ON
UNIT 19
(437) 888 1800

DATE: FEB 02/21	DWG No:
SCALE: 1" = 50'-0"	A-1

FILE NUMBER: A-2021-0029

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** PARAMJIT SINGH NIRWAN, PARAMJEET KAUR NIRWAN

Address 9 RAE AVE, BRAMPTON, ON, L6P0E7

Phone # 416-836-7512

Email INFO@NOBLETLD.CA

Fax # _____

2. **Name of Agent** NOBLE PRIME SOLUTIONS LTD

Address UNIT 19, 2131 WILLIAMS PARKWAY, BRAMPTON, ON L6S 5Z4

Phone # 437-888-1800

Email INFO@NOBLELTD.CA

Fax # _____

3. **Nature and extent of relief applied for (variances requested):**

To permit an accessory structure with a gross floor area of 83.6 sq.m (900sqf)

4. **Why is it not possible to comply with the provisions of the by-law?**
the by-law only permits a 23sq.m. for an individual accessory structure.

5. **Legal Description of the subject land:**

Lot Number 23

Plan Number/Concession Number M322

Municipal Address 9 RAE AVE, BRAMPTON, ON, L6P0E7

6. **Dimension of subject land (in metric units)**

Frontage 62.44 M

Depth 154.04 M

Area 9792.4 SQM

7. **Access to the subject land is by:**

Provincial Highway

Municipal Road Maintained All Year

Private Right-of-Way

☐
☒
☐

Seasonal Road

Other Public Road

Water

☐
☐
☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)
TWO STOREY DETACHED DWELLING AREA = 445.2 SQM

PROPOSED BUILDINGS/STRUCTURES on the subject land:
ACCESSORY STRUCTURE 30' X 30'

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING (2-STOREY HOUSE)

Front yard setback	37.3 M
Rear yard setback	154.04 M
Side yard setback	13.7 M
Side yard setback	19.8 M

PROPOSED

	(2-STOREY HOUSE)	(ACCESSORY STRUCTURE)
Front yard setback	NO CHANGE	110.9 M
Rear yard setback	NO CHANGE	69.3 M
Side yard setback	NO CHANGE	4.2 M
Side yard setback	NO CHANGE	34.3 M

10. Date of Acquisition of subject land: MAY, 2012
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: JUNE 1991
15. Length of time the existing uses of the subject property have been continued: 30
16. (a) What water supply is existing/proposed?
Municipal ☒
Well ☐ Other (specify) _____
- (b) What sewage disposal is/will be provided?
Municipal ☒
Septic ☐ Other (specify) _____
- (c) What storm drainage system is existing/proposed?
Sewers ☒
Ditches ☐
Swales ☐ Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details:

File # _____

Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 9 DAY OF FEB, 20 21.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, RAUKIPAT SANDHU OF THE CITY OF BRAMPTON
IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 9th DAY OF

February, 20 21

Jeanie Myers
A Commissioner etc.

Jeanie Cecilia Myers,
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires April 8, 2021.

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

RE2

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

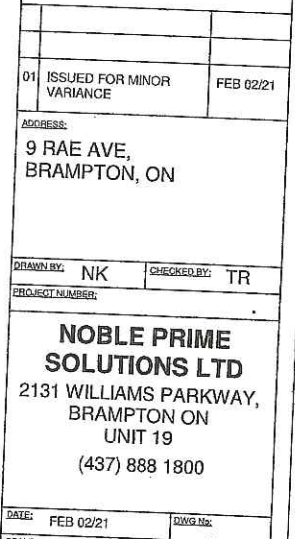
[Signature]
Zoning Officer

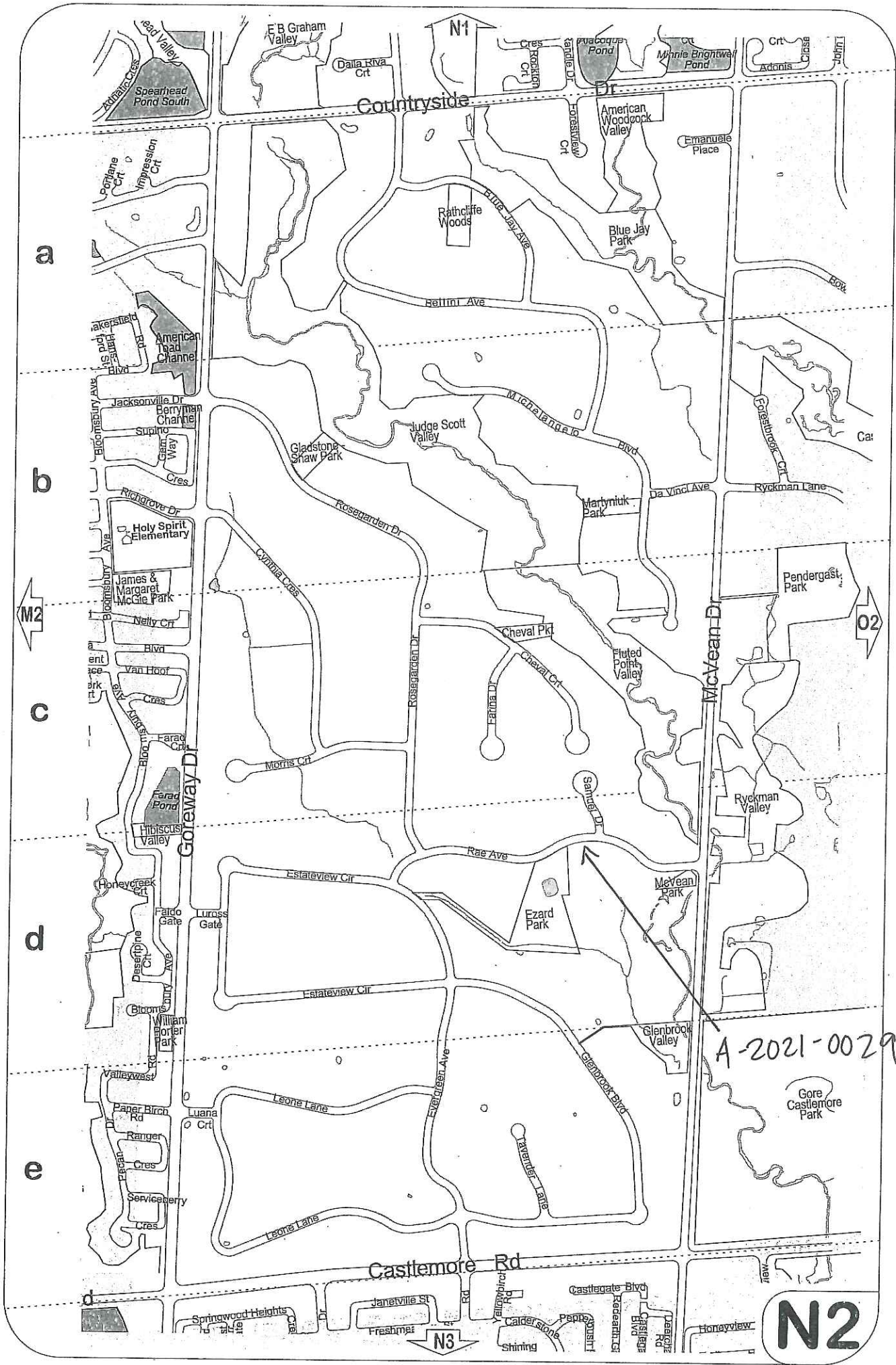
Feb 12, 2020

Date

DATE RECEIVED February 9, 2021

SITE PLAN





A-2021-0029

N2