

APPLICATION # A-2021-0142
WARD #1

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **PRITPAL MUNDAY AND SARBJIT MUNDAY** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 15, Plan BR-8 municipally known as **5 ISABELLA STREET**, Brampton;

AND WHEREAS the applicants are requesting the following variances:

1. To permit an interior side yard setback of 1.3m (4.27 ft.) to the second storey of a new two-storey dwelling whereas the by-law requires a minimum interior side yard setback of 1.8m (5.90 ft.) to the second storey;
2. To permit a building height of 8.8m (28.87 ft.) whereas the by-law permits a maximum building height of 8.5m (27.89 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____	NO	File Number: _____
Application for Consent: _____	NO	File Number: _____

The Committee of Adjustment has appointed **TUESDAY, August 3, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this **22nd Day of July, 2021.**

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures
How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, July 29, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, July 29, 2021**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, July 29, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

July 21, 2021

To: Committee of Adjustment

**RE: APPLICATION FOR MINOR VARIANCE
PRITPAL AND SARBJIT MUNDAY
LOT 15, PLAN BR-8
A-2021-00142– 5 ISABELLA STREET
WARD 4**

Please **amend** application **A-2021-0142** to reflect the following:

1. To permit an interior side yard setback of 1.3m (4.27 ft.) to the second storey of a new two-storey dwelling whereas the by-law requires a minimum interior side yard setback of 1.8m (5.90 ft.) to the second storey;
2. To permit a building height of 8.8m (28.87 ft.) whereas the by-law permits a maximum building height of 8.5m (27.89 ft.).



Applicant/Authorized Agent

Flower City



brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2021-0142

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION**Minor Variance or Special Permission**

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Pritpal Munday & Sarbjit Munday
Address 5 Isabella St, Brampton ON L6X 1P4

Phone # 647-403-9321 **Fax #** _____
Email paulmobilewelding@gmail.com

2. **Name of Agent** Amritpal Bansal
Address 106 Fruitvale Circle, Brampton ON L7A 5C1

Phone # 647-489-2940 **Fax #** _____
Email abansal@tkgeast.ca

3. **Nature and extent of relief applied for (variances requested):**

- 1) Side yard setback - provided 1.33m on one side at the property line pinch point whereas 1.8m is required.
2) Garage Height - provided 2.0m whereas 1.8m is permitted. To keep construction simplified the garage ceiling is aligned with the 2nd floor
3) Max Height of house - Proposed height of 8.8m whereas 8.5m is permitted.

4. **Why is it not possible to comply with the provisions of the by-law?**

The proposed development considers the historical comments received from the site plan application SPA-2021-0038 and create a design suitable to the area. Side yard relief is requested to accomplish a build of a sufficient 2 car garage. Please note the 1.33m side yard relief requested is at a pinch point as the property lines are angled.

5. **Legal Description of the subject land:**

Lot Number Lot 15, registered plan BR-8
Plan Number/Concession Number _____
Municipal Address 5 ISABELLA STREET

6. **Dimension of subject land (in metric units)**

Frontage 17.10 m
Depth 47.43 m
Area 758.5 sq.m

7. **Access to the subject land is by:**
Provincial Highway ☐
Municipal Road Maintained All Year ☒
Private Right-of-Way ☐

Seasonal Road ☐
Other Public Road ☐
Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

- 1) 2 storey single family dwelling - 91.4 m² (to be demolished and re-constructed)

2) Wood Shed - 9.1 m² (to be removed)

3) Fiber Shed 1 - 7.6m² (to be removed)

4) Fiber Shed 2 - 10.5m² (to be removed)

5) Fiber Shed 3 - 4.5m² (to be removed)

PROPOSED BUILDINGS/STRUCTURES on the subject land:

New 2 storey single family dwelling - 343.45m²

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback2.04m

Rear yard setback37.33m

Side yard setback2.46m

Side yard setback7.61m

PROPOSED

Front yard setback6.43m

Rear yard setback23.60m

Side yard setback1.33m

Side yard setback1.80m

10. Date of Acquisition of subject land:

Nov 9,th 2020
11. Existing uses of subject property:

Residential
12. Proposed uses of subject property:

Residential
13. Existing uses of abutting properties:

Residential
14. Date of construction of all buildings & structures on subject land:

+/- 1960
15. Length of time the existing uses of the subject property have been continued:

61 years

(to be removed)
16. (a) What water supply is existing/proposed?

Municipal☒

Well☐

Other (specify)
- (b) What sewage disposal is/will be provided?

Municipal☒

Septic☐

Other (specify)
- (c) What storm drainage system is existing/proposed?

Sewers☒

Ditches☐

Swales☐

Other (specify)

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE City _____ OF Brampton _____

THIS June _____ DAY OF 5, 20²¹.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Prithpal Munday, OF THE City OF Brampton
IN THE Province OF Ontario SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Province OF
Ontario THIS 8th DAY OF
June, 20²¹.

DocuSigned by:

Manjot Dhillon

A Commissioner etc.

DocuSigned by:

Prithpal

ARB2FC9DF9CF4D9

Signature of Applicant or Authorized Agent

Submit by Email

Attestation / Witness Only
No Legal Advice Sought or Provided

Manjot Kaur Dhillon, a Commissioner, etc.,

Province of Ontario, for

Harinder Singh Gahir Professional Corporation,

Barister and Solicitor, and Gahir Law Office,

expires November 1, 2021

FOR OFFICE USE ONLY

Present Zoning By-law Classification:

R1B & MN

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

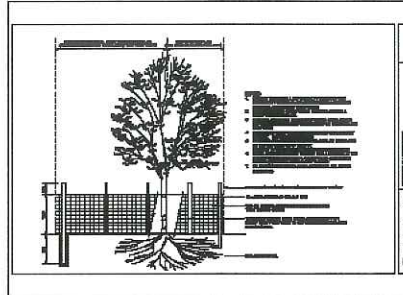
[Signature]
Zoning Officer

June 30 21
Date

DATE RECEIVED

Date Application Deemed

June 28th, 2021

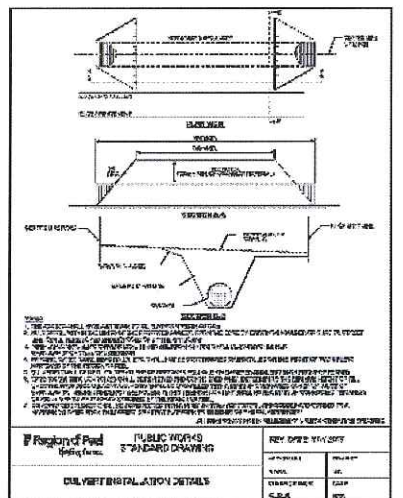


LEGEND

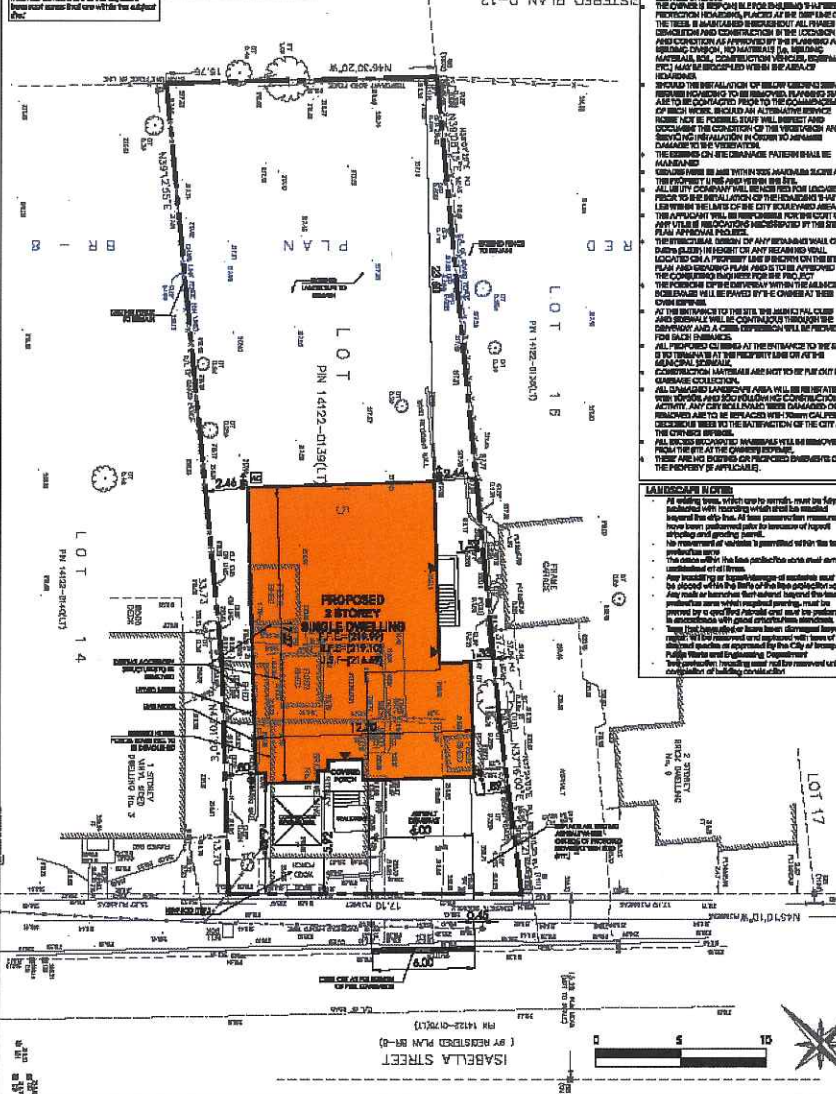
[illegible]

system, conforming to Region of Peel standards 1-7-7 or 1-7-8.

	PERMITTED	MATURE NEIGHBORHOOD	PROPOSED
MINIMUM LOT AREA	460.0 m ²		798.6 m ²
MINIMUM LOT WIDTH	18.00 m		16.00 m
MINIMUM LOT DEPTH	30.00 m		33.90 m
MINIMUM FRONT YARD DEPTH	6.00 m		6.25 m
MINIMUM INTERIOR SIDE YARD WIDTH	1.0m for the top 10' driveway or deck Phased plan (A) must be shown minimum driveway or porch threshold	1.0m for the sidewalk for the first driveway plus 0.6m setback for each additional driveway if you are in a walk or 1.0m or less	1.4m
MINIMUM REAR YARD DEPTH	7.5 m	10% of depth of lot or minimum rear yard setback by the same of the lot, whichever is greater	23.40 m
MAX. BUILDING HEIGHT	10.6 m	8.90 m	
MAX. LOT COVERAGE	N/A	20%	54.48%
MINIMUM LANDSCAPE OPEN SPACE	60% of front yard		
GROUND FLOOR EXCLUDING GARAGE			168.3 m ²
SECOND FLOOR COVERED PORCH GARAGE			189.2 m ²
			41.1 m ²
			45.8 m ²
TOTAL GROSS FLOOR AREA			200.9 m ²
TOTAL GROSS FLOOR AREA			540.46 m ²

[illegible]

CITY OF BRAWLINGTON SITE PLAN NOTES:
ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF A BUILDING PERMIT APPLICATION SHALL BE IN CONFORMITY WITH THE APPROVED SITE PLAN DRAWING AS APPROVED BY THE DISTRICT PUBLIC WORKS DIVISION.



① **PROPOSED SITE PLAN**
1:200

BBITRAI

TELEPHONE: 01/495-2941

COPYRIGHT KHALDA DESIGN © 2020
THESE DRAWINGS ARE NOW AND DO REMAIN
SOLE PROPERTY OF KHALDA DESIGN USE OF
THESE PLANS OR ANY FORM OF REPRODUCTION
OF THIS DESIGN IN WHOLE OR IN PART WITHOUT
EXPRESS WRITTEN CONSENT IS PROHIBITED.
SHALL RESULT IN THE FULLEST EXTENT OF

1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	2101	2102	2103	2104	2105	2106	2107	2108	2109	2110	2111	2112	2113	2114	2115	2116	2117	2118	2119	2120	2121	2122	2123	2124	2125	2126	2127	2128	2129	2130	2131	2132	2133	2134	2135	2136	2137	2138	2139	2140	2141	2142	2143	2144	2145	2146	2147	2148	2149	2150	2151	2152	2153	2154	2155	2156	2157	2158	2159	2160	2161	2162	2163	2164	2165	2166	2167	2168	2169	2170	2171	2172	2173	2174	2175	2176	2177	2178	2179	2180	2181	2182	2183	2184	2185	2186	2187	2188	2189	2190	2191	2192	2193	2194	2195	2196	2197	2198	2199	2200	2201	2202	2203	2204	2205	2206	2207	2208	2209	2210	2211	2212	2213	2214	2215	2216	2217	2218	2219	2220	2221	2222	2223	2224	2225	2226	2227	2228	2229	2230	2231	2232	2233	2234	2235	2236	2237	2238	2239	2240	2241	2242	2243	2244	2245	2246	2247	2248	2249	2250	2251	2252	2253	2254	2255	2256	2257	2258	2259	2260	2261	2262	2263	2264	2265	2266	2267	2268	2269	2270	2271	2272	2273	2274	2275	2276	2277	2278	2279	2280	2281	2282	2283	2284	2285	2286	2287	2288	2289	2290	2291	2292	2293	2294	2295	2296	2297	2298	2299	2300	2301	2302	2303	2304	2305	2306	2307	2308	2309	2310	2311	2312	2313	2314	2315	2316	2317	2318	2319	2320	2321	2322	2323	2324	2325	2326	2327	2328	2329	2330	2331	2332	2333	2334	2335	2336	2337	2338	2339	2340	2341	2342	2343	2344	2345	2346	2347	2348	2349	2350	2351	2352	2353	2354	2355	2356	2357	2358	2359	2360	2361	2362	2363	2364	2365	2366	2367	2368	2369	2370	2371	2372	2373	2374	2375	2376	2377	2378	2379	2380	2381	2382	2383	2384	2385	2386	2387	2388	2389	2390	2391	2392	2393	2394	2395	2396	2397	2398	2399	2400	2401	2402	2403	2404	2405</
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ASP-1

5 | SABELLA ST.



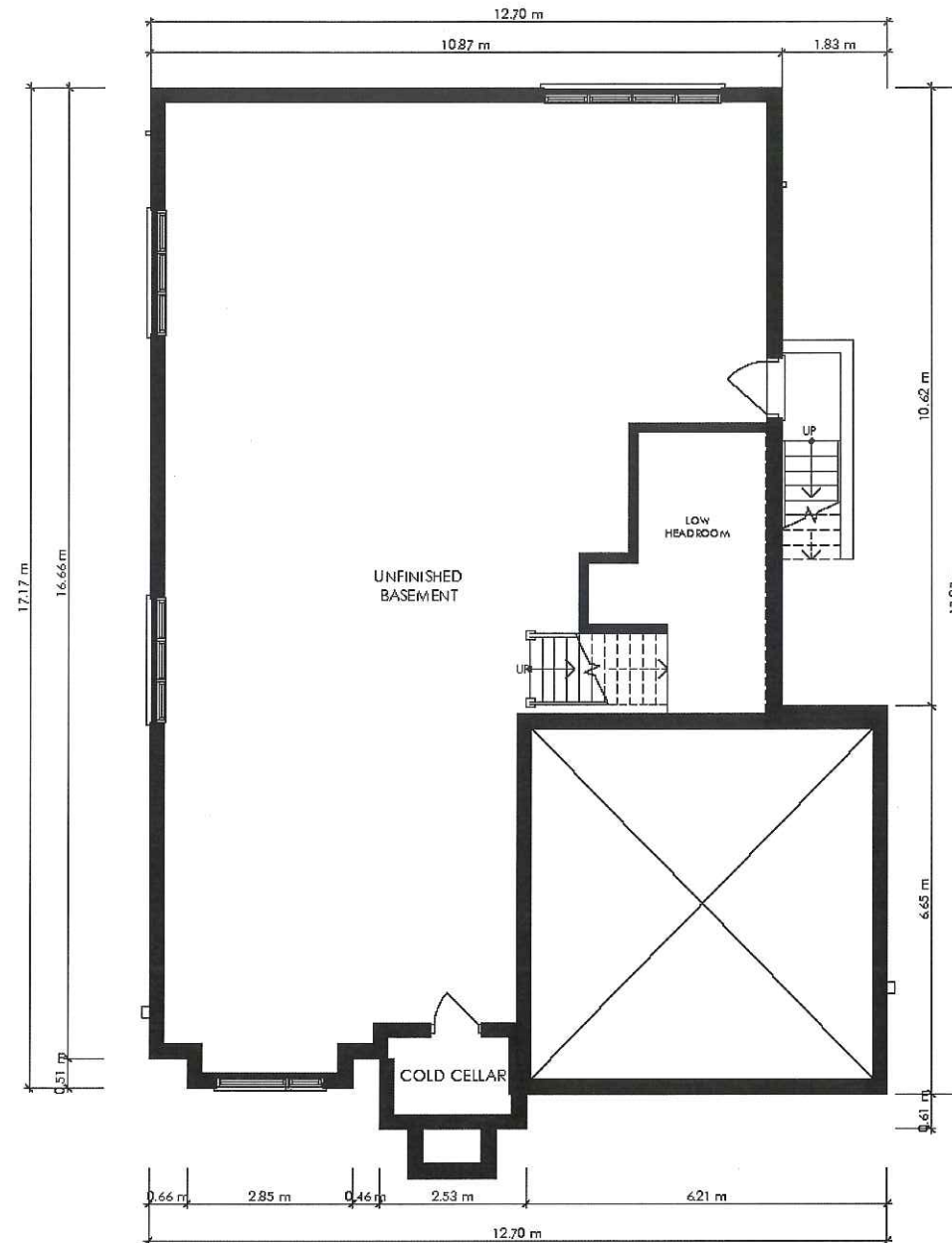
KHALSA DESIGN INC.
www.khalsadesign.com
khalasal@khalsadesign.com
905.498.2940

5 ISABELLA STREET - PRITPAL

BRAMPTON, ONTARIO

21014
3697 SF

all drawings, specifications, related documents and designs are the property of Khalsa Design Inc. (KDI). Reproduction of this property in whole or in part is strictly prohibited without KDI's written permission.



BUILDER

SCALE
1/8" = 1'-0"
DATE
06/02/2021
DRAWN BY
KDI

DRAWING TITLE

BASEMENT PLAN

SPA-2021-0038

SHEET NO.

A-1



KHALSA DESIGN INC.
www.kdgenet.ca
abansal@kdgenet.ca
647.465.2940

5 ISABELLA STREET - PRITPAL

BRAMPTON, ON
BRAMPTON, ONTARIO

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21014
3697 SF

BUILDER

GROUND FLOOR

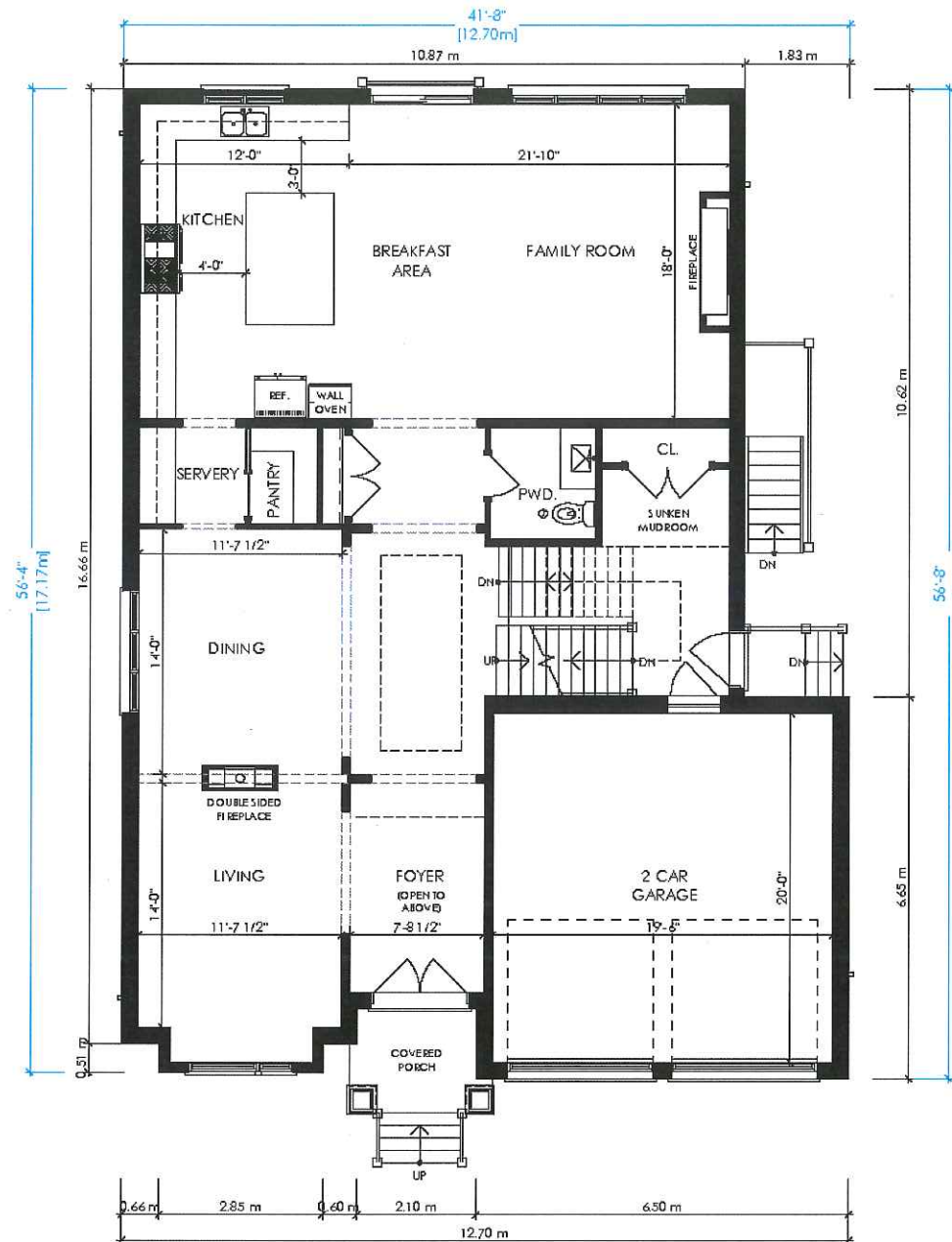
1682 sq ft
GROSS FLOOR AREA 1682 sq ft
DEDUCT OPEN AREAS 0 sq ft
COVERAGE W/O PORCH 2116 sq ft
COVERAGE W/ PORCH 2162 sq ft

DRAWING TITLE

GROUND FLOOR
PLAN

SHEET NO.

A-2





KHALSA DESIGN INC.
www.digraet.ca abansal@digraet.ca 847.466.2840
www.digraet.com

5 ISABELLA STREET - PRITPAL
BRAMPTON, ON
BRAMPTON, ONTARIO

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21014
3697 SF

BALDER

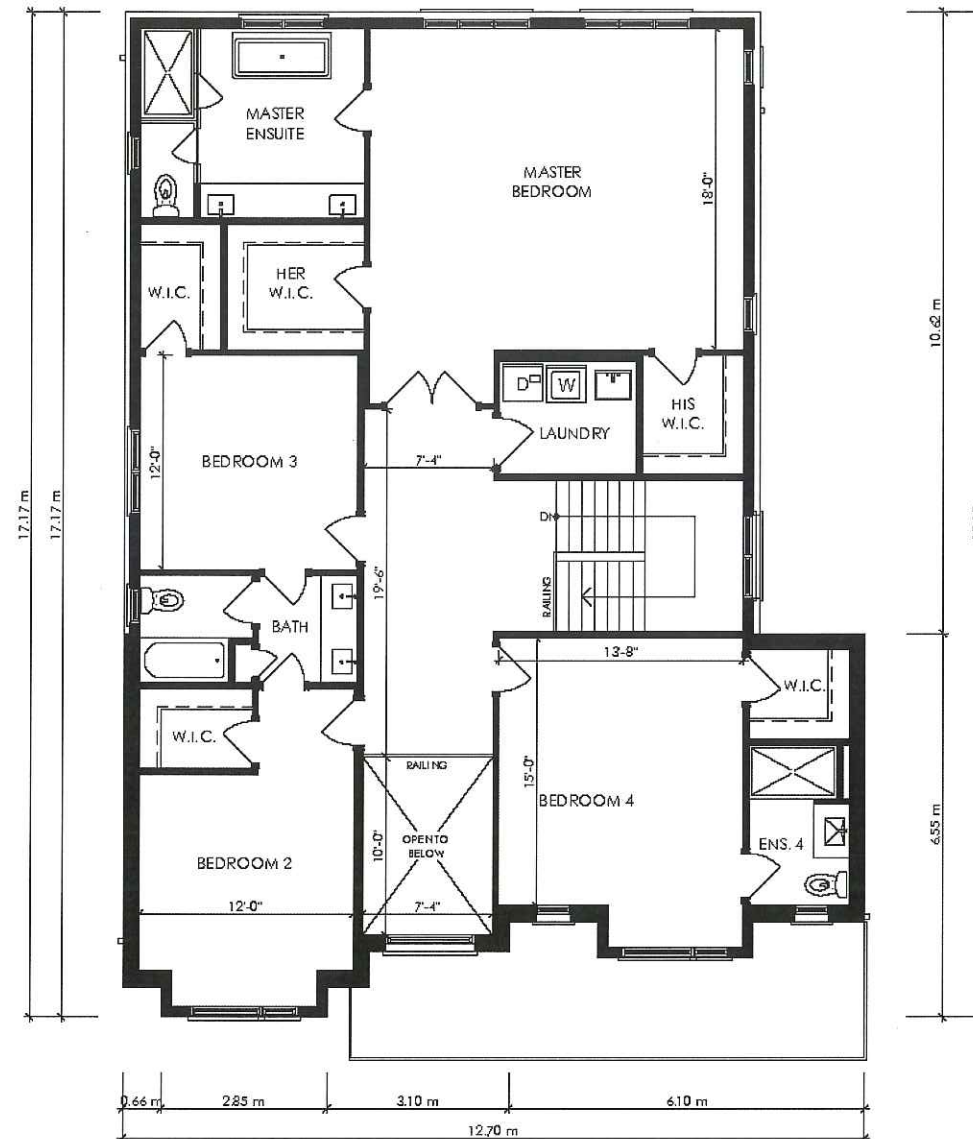
SCALE
1/8" = 1'-0"
DATE
05/06/2021
DRAWN BY
10

DRAWING TITLE

**SECOND FLOOR
PLAN**

SHEET NO.

A-3



SECOND FLOOR

1942 sq ft
GROSS FLOOR AREA 2015 sq ft
DEDUCT OPEN AREAS 73 sq ft
NET AREA 1942 sq ft

SPA-2021-0038

MATERIAL LEGEND	
Key Value	Keynote Text
EF1	BRICK VENEER, JP SERIES - OLD SCHOOL BY BRAMPTON BRICK OR SIMILAR
EF2	VERTICAL PVC SIDING WITH WOOD PRINT - DARK GRAY
EF3	PREFIN ALUMIN. FINISH - BLACK
EF4	VINYL WINDOWS- BLACK FRAMED
EF5	METAL ROOF - BLACK
EF6	PVC PANEL - BLACK (TO MATCH WINDOW FRAMES)
EF7	ASPHALT SHINGLES - CHARCOAL (DARK GRAY)



KHALSA DESIGN INC.
www.khalsadesign.com
info@khalsadesign.com
647.408.2940

5 ISABELLA STREET - PRITPAL

BRAMPTON, ONTARIO

21014
3697 SF

BUILDER

SCALE
1/8" = 1'-0"
DATE
06/09/2021
DRAWN BY
KD

DRAWING TITLE

FRONT ELEVATION

SHEET NO.

A-4

SPA-2021-0038

MATERIAL LEGEND	
Key Value	Keynote Text
EF1	BRICK VENEER, JP SERIES - OLD SCHOOL BY BRAMPTON BRICK OR SIMILAR
EF2	VERTICAL PVC SIDING WITH WOOD PRINT - DARK GRAY
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EF4	VINYL WINDOWS - BLACK FRAMED
EF5	METAL ROOF - BLACK
EF6	PVC PANEL - BLACK (TO MATCH WINDOW FRAMES)
EF7	ASPHALT SHINGLES - CHARCOAL (DARK GRAY)



KHALSA DESIGN INC.
www.kdgsat.ca kdgsat@kdgsat.ca 647.465.2940
www.kdgsat.com

5 ISABELLA STREET - PRITPAL
BRAMPTON, ON
BRAMPTON, ONTARIO

21014
3697 SF

BUILDER: _____
SCALE: 1/8" = 1'-0"
DATE: 06/02/2021
DRAWN BY: KD

DRAWING TITLE: **REAR ELEVATION**
SHEET NO: **A-5**

SPA-2021-0038

MATERIAL LEGEND	
Key Value	Keynote Text
EF1	BRICK VENEER, JP SERIES - OLD SCHOOL BY BRAMPTON BRICK OR SIMILAR
EF2	VERTICAL PVC SIDING WITH WOOD PRINT - DARK GRAY
EF3	PREFIN ALUMIN. FINISH - BLACK
EF4	VINYL WINDOWS - BLACK FRAMED
EF5	METAL ROOF - BLACK
EF6	PVC PANEL - BLACK (TO MATCH WINDOW FRAMES)
EF7	ASPHALT SHINGLES - CHARCOAL (DARK GRAY)

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION			
QUANT.	WIDTH	HEIGHT	WINDOW/DOOR FRAME SIZE (SF)
2	24"	48"	1222 SF
1	58"	60"	2022 SF
1	94"	72"	3778 SF
			7022 SF

SPATIAL CALCULATION			
EXPOSING BUILDING FACE	1336.00	SF	
AREA	124.12	SF	
PORTION WALL AREA	1336.00	SF	
	124.12	SF	
LOADING DISTANCE	1.5 m		
MAX. % OPENINGS	7%		
OPENINGS ALLOWED	93.82 SF		
OPENINGS PROVIDED	92.44 SF		
ADDITIONAL NOTES			
GLAZED AREA CALCULATED BY FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



KHALSA DESIGN INC.
www.khalsadesign.ca
www.khalsadesign.com

5 ISABELLA STREET - PRITPAL

BRAMPTON, ON

BRAMPTON, ONTARIO

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21014
3697 SF

BUILDER

SCALE
1/8" = 1'-0"
DATE
01/09/2021
DRAWN BY
KDI

DRAWING TITLE
LEFT SIDE
ELEVATION

SPA-2021-0038

SHEET NO.

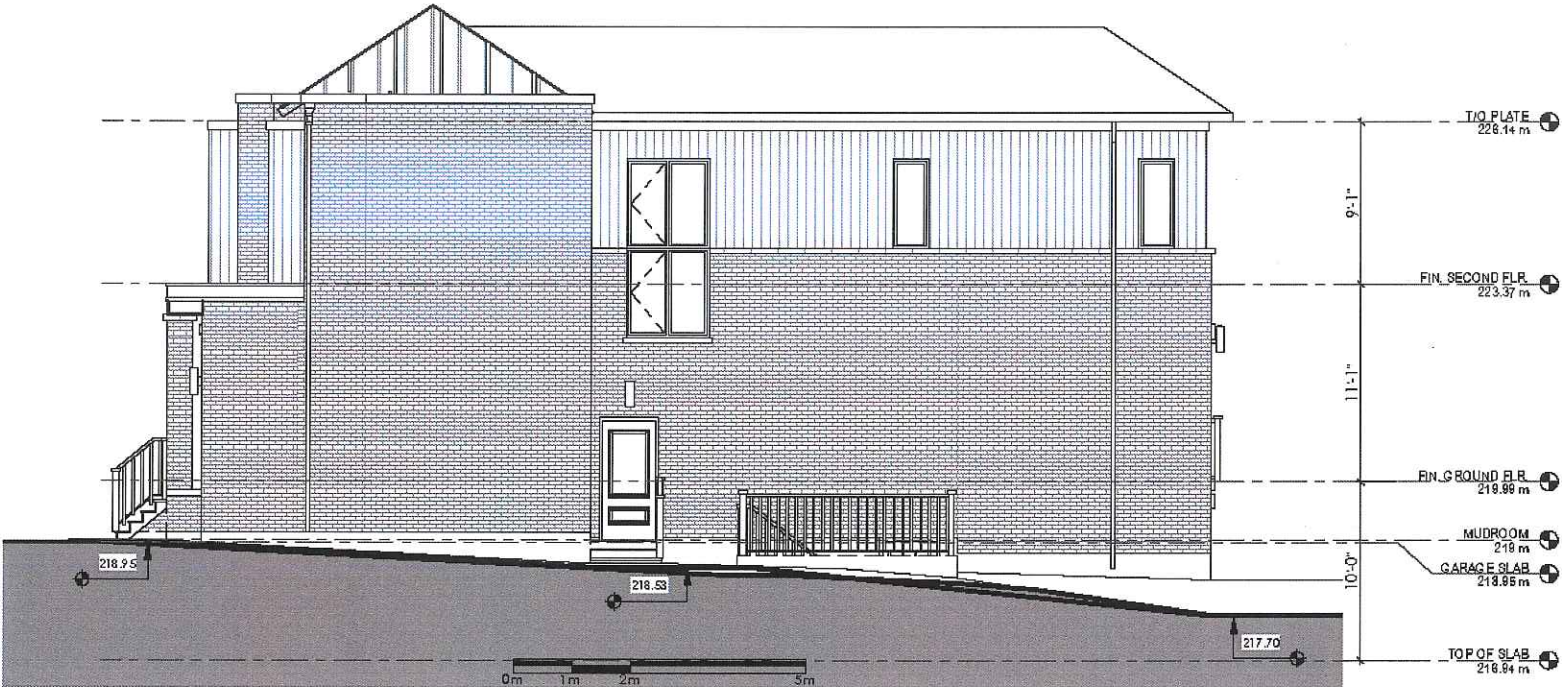
A-6

MATERIAL LEGEND	
Key Value	Keynote Text
EF1	BRICK VENEER, JP SERIES - OLD SCHOOL BY BRAMPTON BRICK OR SIMILAR
EF2	VERTICAL PVC SIDING WITH WOOD PRINT - DARK GRAY
EF3	PREFIN ALUMIN. FINISH - BLACK
EF4	VINYL WINDOWS - BLACK FRAMED
EF5	METAL ROOF - BLACK
EF6	PVC PANEL - BLACK (TO MATCH WINDOW FRAMES)
EF7	ASPHALT SHINGLES - CHARCOAL (DARK GRAY)

WINDOW SUMMARY	
PER O.B.C. TABLE 9.10.15.4	

RIGHT SIDE ELEVATION			
QUANT	WIDTH	HEIGHT	WINDOW DOOR FRAME SIZE (SF)
1			0.00 SF
2	24"	80"	1556 SF
2	66"	80"	4044 SF
			5600 SF

SPATIAL CALCULATION	
EXPOSING BUILDING FACE	1273.00 SF
AREA	11827 SF
PORTION WALL AREA	1273.00 SF
	11827 SF
LIMITING DISTANCE	1.5 m
MAX. % OPENINGS	7 %
OPENINGS ALLOWED	89.11 SF
OPENINGS PROVIDED	68.44 SF
ADDITIONAL NOTES	
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER	



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647.488.2940

5 ISABELLA STREET - PRITPAL
BRAMPTON, ON

21014
3697 SF

BUILDER

SCALE
1/8" = 1'-0"
DATE
01/09/2021
DRAWN BY
10

DRAWING TITLE
RIGHT SIDE ELEVATION

SPA-2021-0038

SHEET NO.

A-7



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5 ISABELLA STREET - PRITPAL

BRAMPTON, ON

BRAMPTON, ONTARIO

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21014
 3697 SF

BUILDER

SCALE

DATE

05/02/2021

DRAWN BY

Author

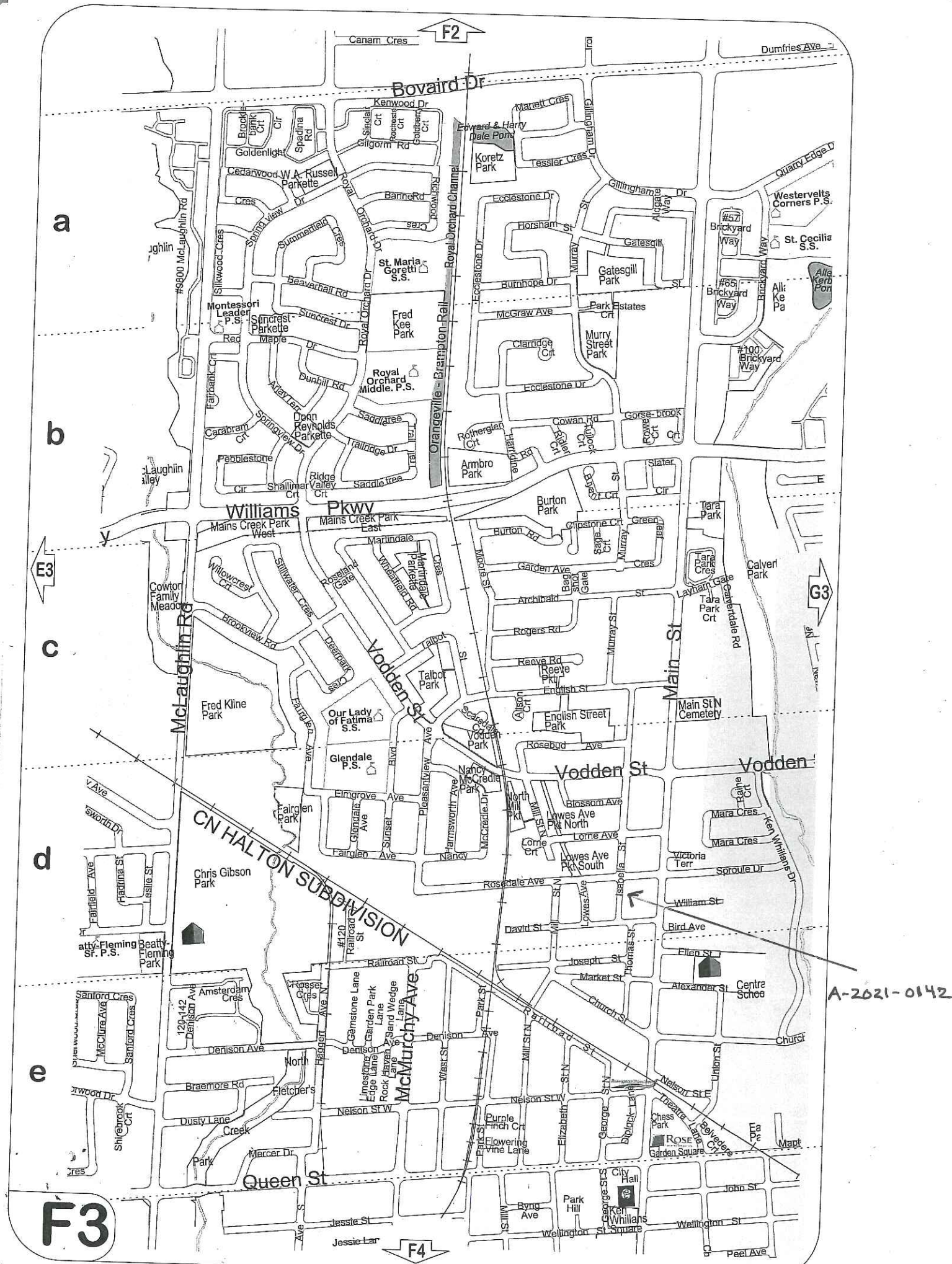
DRAWING TITLE

RENDERING

SPA-2021-0038

SHEET NO.

A-8



a

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c

d

e

F2

F3

F4

A-2021-0142