

Public Notice

Committee of Adjustment

APPLICATION # A-2021-0142 WARD #1

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **PRITPAL MUNDAY AND SARBJIT MUNDAY** under Section 45 of the <u>Planning Act</u>, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 15, Plan BR-8 municipally known as **5 ISABELLA STREET**, Brampton;

AND WHEREAS the applicants are requesting the following variances:

- To permit an interior side yard setback of 1.3m (4.27 ft.) to the second storey of a new two-storey dwelling whereas the by-law requires a minimum interior side yard setback of 1.8m (5.90 ft.) to the second storey;
- 2. To permit a building height of 8.8m (28.87 ft.) whereas the by-law permits a maximum building height of 8.5m (27.89 ft.).

OTHER PLANNING APPLICATIONS:

| Plan of Subdivision: | NO | File Number: |
|--------------------------|----|--------------|
| Application for Consent: | NO | File Number: |

The land which is subject of this application is the subject of an application under the Planning Act for:

The Committee of Adjustment has appointed TUESDAY, August 3, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS. If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 22nd Day of July, 2021.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer Committee of Adjustment, City Clerk's Office, Brampton City Hall, 2 Wellington Street West, Brampton, Ontario L617 4R2

Phone: (905)874-2117 Fax: (905)874-2119 jeanie.myers@brampton.ca GRADING NOTES:
ALL DESING STADES AND THE PERMANERAND THE
ERRING STRAINAGE FATTERS ON THE STEEN MALIE

GRADES MUST BE MET WITHIN STEE MADDRUM SLOPE AT THE PROPERT LINES AND WITHIN THE SITE.

ALL DOWNEROUS SHALL ESCHARGE ONTO SPLASH FALS AT GROUND LEVEL AT THE FOCATIONS INDICATED ON THE FLAN. PROPOSED INVALES TO HAVE MAKE INDIESE SKOPES, REPORTO GRADING PLAN.

THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOILDEVARD WILL BE PAVED BY THE APPLICANE.

GRADING AT THE BASE OF BOSTING THEIR MILET BE PRESERVED. PROPOSED GRADES AND DRAINAGE PATTERNS SKALL KOT HAVE NEGATIVE LAPACT ON THE ADJACENT PROPERTIES.

DRECT DOWN SPOURS TO THE FRONT OR REAR SDE YARD ENALES INVENTS, SHALL REALIN, Q.T.S. BELCAN THE ADJACONE GRADE REVATION,

1:200 PROPOSED SITE PLAN

SUMP PUMP
THE BARK PORP DECHANGE WILL BE MANAGED WITHIN THE
THE BARK PORP DECHANGE WILL BE MANAGED WITHIN THE
RECITION OF DECHANGE WILL BE MANAGED WITHIN THE
RECITIONS CITY DECHAS.

FOLKDATION WITE THE AND ROOM DRAINS WILL BE BLAFFED
AND PUMPED FOTHER WITE AND WILL DISCHARGE ONTO A
CONCRETE FRASH PAD IN THE ROOM OF THE HOUSE.

EASEMENTS/RIGHTS OF WAY
THERE ARENO EDITING OR PROPOSED EASEMENTS ON THE

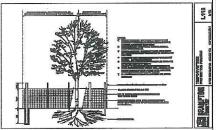
ALL PROPOSED CLEENS AT THE ENTRANCES TO THE SIZE IS TO STOP AT THE PROPERTY LINE OR AT THE HUNCHAL MICHAEL ALL UTLITY COMPANE! WILL IE NOTEED FOR LOCATE! FROM TO THE INSTALLATION OF THE HOALDING THAT US WITHIN THE LIMITS OF THE CITY BOLLEVARD AVEA.

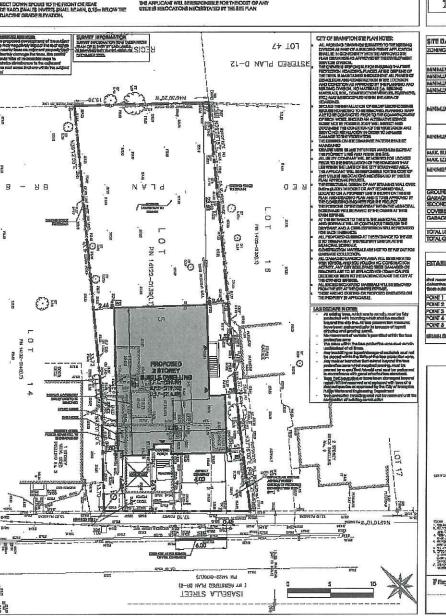
THE APPLICANT WILL REPRESENTABLE FOR THE COST OF ANY LITTLING REJOCATIONS INSCRIBING THE THE BITE FLAN

CONSTRUCTION MATERIALS ARE NOT TO BE FAIT OUT FOR

ALL BACIES EDCAVALED MATERIALS WILL DE REMOVED FROM

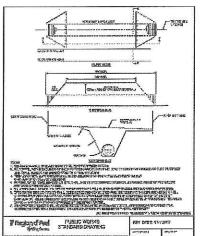
ALL PROPOSED CURRING WITHIN THE MUNICIPAL DOLLEYARD AREA FOR THE STEELS BIT ALS ROLLEYAR ALL CURRING BIT OF THE PROPERTY LAINT OF THE HACK OF THE MUNICIPAL STEELS AFFUCABLE





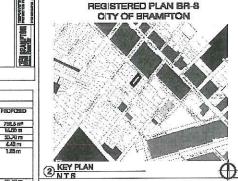


| atest renew the severage firstened authors elevation of the delaurished by haling the softwards makes of the larest o Show culidde wells. | e contacte section of any functing ar abundam, which is of the firthhed ground authors of the mispetial of section of |
|---|---|
| POINT 1 | 21884 |
| POINT 2 | 216.35 |
| POINTS | 216.25 |
| POINT 4 | 216.53 |
| FOINT & | 218.55 |
| MITABL MINIO GRADIA | 218.404 |



CHARLES IN THE TAILS HAVE A





SITE PLAN

SPA-2021-0038

6 ISABELLA STREET

BRAMPTON, ON

PART 1 - PLAN OF LOT 15

REGION OF PEEL

LEGEND DENOTES PROPERTY IDENTIFIER HUNDÉR DENOTES FINISHED BILL DLEWING DENTIES FINSHED FLOOR ELEVATION DENTIES TOP OF FOUNDATION ELEVATION DENTIES BASEMENT SLAS ELEVATION DENTIES ENDIFFSIES OF FOUTING ELEVATION

DENGTES INVENT ELEVATION DENGTES HIGH POINT SLEVATION DENGTES TOP OF DUPS DENOTES POSEK BH BINETIE CORN

FOR DEPOTE WHICH FACEBRY

FOR DEPOTE SHITTED OF RETAINS WILL

FAN DEPOTE SHITTED OF RETAINS WILL

FAN DEPOTE TOP OF RETAINS WILL

FAN DEPOTE THE OF RETAINS WILL

FAN DEPOTE THE OF RETAINS

SHITTED DEPOTE SHITTED DEPOTE SHITTED

BILLIES DEPOTE SHITTED DEPOTE SHITTED

BILLIES DEPOTE SHITTED DEPOTED SHOTTED

BILLIES DEPOTE SHITTED DEPOTED SHOTTED

BILLIES DEPOTE SHOTTED

BI

SIARD CHIEURATES ESTONES (CI.UX)

DEDICATES DECIDUOUS TREE DENOTES CHAR LINC FENCE B.F. DENDIES BOARD FERKE THE DENOTES BONG LITTLY POTE
HIS DENOTES WATER WATER WATER
SHE DENOTES BONG LITTLY POTE
HIS DENOTES BON DENDIES DRAIN WATER LEADER DENDIES DRAIN AREA BENDTES CHAN ALLA

THE CHATES WILKAY CONDETE

BHY DENNIES CUENTAL WEE

ERE BENDTES CONCE TE RETAINING

MAIN DENKTRES WATER KEY
DENKTRES UTILITY POLE WICKO

REGION OF PEEL NOTES:

All materials and construction methods must correspond to the current Feet Public World standards and specifications.

- Watermain and for water service materials 100 mm (4") and larger must be DR 16 P.V.C pipe manufactured to A.W.W.A. spec. CRID-16 spec complete with tracer wire. Size 50 mm (27) and smaler must be Type "K" soft copper pipe per

A.S.T.M. 886-47 Specification.

- Violemoins and / or water services are to have a minimum cover of 1.7 m (56) with a minimum harbonical exacting of 1.2 m (4) from interestives and all other

Change — Provisions for flushing water this prior to testing, etc., must be provided with at lead a 30 mm (27) cuttled in 100 mm (47) and leager than Copper that are so to how a flushing point at this each, the same doe as the line. They must also be haved or piped to allow the water to other and a positing lot or down a other flushing outfail to be 100 mm (27) dimenter infiltram on a hydratil. - All curb stops to be \$5 m (10) off the foce of the building unless of tenking

- Hwdrant and valve set to Region standard 1 - 6 - 1 Dimension A and R. 0.7 m [2] and 0.9 m [8] and to have pumper nozite.

Wigtermains to be installed to grades as shown an approved site plan, Copy of grade sheet must be supplied to inspector price to commencement of work, where requested by inspector.

Watermake must have a minimum vertical clearence of 0.3 m (12) over / 0.5 m (207) under sewes and all other utilities when are sing.

in just years review and at order unline where crossing.

All proposed worker prings must be holded from setting lines in order to a low independent pressure setting and childringing lines setting a prisms.

- All five lapping and operation of Region water valves shall be among defined by the setting and operations and setting and operations and operations and operations and operations and operations and operations are setting as the property of the property Maintenance Division.

Location of all existing utilities in the field to be established by the contractor. The controctor(s) and be solely responsible for locates, exporting, supporting
and protecting of all underground and overhead utilities and shuckurs existing
at the time of construction in the creat of their work whether shown on the plans. or not and for all reads and consequences resulting from damage to some. - The contractor(s) shall be solely responsible to give 72 hours written notice to the utilities prior to creating such utilities, for the purpose of inspection by the concerned utility. This inspection will be for this duration of the construction, with the contractor responsible for all pasts orbino from such lappection.

All proposed water piping must be lacked through a temporary connection that shall include an appropriate cross-connection control device, consistent with the degree of hoxard, for bacidiow prevention of the active distribution system, conforming to Region of Peel standards 1-7-7 or 1-7-8.

PROJECT MANE **5 ISABELLA ST**

PROJECT ADDRESS 5 ISABELLA ST BRAMPTON, ON

CLIENT

PRITPAL

ARCHITECT KHALSA DESIGN INC.



BRAMPTON, ON TELEPHONE: 647-468-3548

COPYRIGHT NAMES DESIGN (\$200) THESE DRAWNESS ARE NOW AND DO RESAUN THE BOLE PROPERTY OF KHALSA DESIGN USE OF THESE PLANS OR ANY FORM OF REPRODUCTION OF THIS DESIGN IN WHICKE OR IN PART WITHOUT EXPRESS WATTER COASEAT IS PROHISITED AND SHALL RESULT IN THE FULLEAT EXTENT OF PROSECUTION UNDER LAW

REGISTRATION

Poted number 21014 88 Checiest by 1:200 REVISIONS

Description BM SUMMERON SPA RESUMBLE PRIOR &

ARCHITECTURAL SITE PLAN

ASP.

5 ISABELLA ST.



Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than 4:30 pm, Thursday, July 29, 2021.
- Advance registration for applicants, agents and other interested persons is required to
 participate in the electronic hearing using a computer, smartphone or tablet by emailing the
 Secretary—Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by
 4:30 pm Thursday, July 29, 2021.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday**, **July 29**, **2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx or http://video.isilive.ca/brampton/live.html.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

July 21, 2021

To: Committee of Adjustment

RE: APPLICATION FOR MINOR VARIANCE

PRITPAL AND SARBJIT MUNDAY

LOT 15, PLAN BR-8

A-2021-00142- 5 ISABELLA STREET

WARD 4

Please amend application A-2021-0142 to reflect the following:

- 1. To permit an interior side yard setback of 1.3m (4.27 ft.) to the second storey of a new two-storey dwelling whereas the by-law requires a minimum interior side yard setback of 1.8m (5.90 ft.) to the second storey;
- 2. To permit a building height of 8.8m (28.87 ft.) whereas the by-law permits a maximum building height of 8.5m (27.89 ft.).

Applicant/Authorized Agent

Flower City



For Office Use Only (to be inserted by the Secretary-Treasuror after application is deemed complete)

FILE NUMBER: A _ 2021- 0142

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the <u>Planning Act</u>, 1990, for relief as described in this application from By-Law **270-2004**.

| 1. | Name of C | ress 5 Isabella St, Brampton ON L6X 1P4 | | | | |
|-----|----------------|---|--|--|--|--|
| | | | | | | |
| | Phone # | 647-403-9321 | | Fax # | (100 - | |
| | Email | paulmobilewelding@ymail.com | | _ | | |
| 2. | Name of | Agent Amritpal Bansal | | | *************************************** | |
| 2. | Address | 106 Fruitvale Circle, Brampton O | N L7A 5C1 | THE RESERVE OF THE PERSON OF T | | |
| | Addicas | 100114.00 | | | | |
| | Pat | 647-489-2940 | Contract designation of the Contract of the Co | Fax # | III. Salah S | |
| | Phone # | abansal@tkgeast.ca | | _ | | |
| | Email | Boullook | | | | |
| 3. | Nature a | nd extent of relief applied for (va | ariances requeste | d): | oint whereas | |
| • | 1) Side | yard setback - provided 1.33 | 3m on one side a | at the property line pinch p | Offic Whereday | |
| | 1.8m is | required. | · · · · · · · · · · · · · · · · · · · | To keep constri | uction | |
| | l = 1 = 1 | Uninht provided 2 0m W | hereas 1.8m is | permitted. To keep constitu | dotton | |
| | cimplific | ed the garage ceiling is align | ed with the 2nd | floor | | |
| | Simplification | ed the garage ceiling is align Height of house - Proposed | height of 8.8m v | whereas 8.5m is permitted | • | |
| | 3) Wax | Tieight of House | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | - b law2 | | |
| 4. | Why is | it not possible to comply with th | e provisions of th | e by-law : | the site plan | |
| ٠, | The pr | it not possible to comply with the oposed development consider | ers the historica | comments received from | rd relief is | |
| | onnlie | oposed development consideration SPA-2021-0038 and creation SPA-2021-0038 and creation for the state of | eate a design su | itable to the area. Side ya | 1 22m cide | |
| | applica | ation SPA-2021-0038 and created to accomplish a build of | a sufficient 2 ca | r garage. Please note the | 1.33111 Side | |
| | reques | sted to accomplish a build of elief requested is at a pinch p | point as the prop | erty lines are angled. | | |
| | yard re | silei requested is at a pinor p | 50 E 100 E 100 E | | | |
| | | | | | | |
| | | Description of the subject land: | | | | |
| 5. | Legal | mber Lot 15, registered plan BR-8 | | | | |
| .07 | Lot Nu | umber/Concession Number | | | | |
| | Plan N | ipal Address 5ISABELLA STREET | | | | |
| | MUINC | ipai Addioss | | | | |
| | | nsion of subject land (<u>in metric u</u> | inits) | | | |
| 6. | | | | | | |
| | Fronta | 49 | | | | |
| | Depth | 758.5 sq.m | | | | |
| | Area | 100.000 | | | | |
| | | | | | | |
| 7. | Acces | ss to the subject land is by: | | Seasonal Road | H | |
| | Provi | ncial Highway cipal Road Maintained All Year | V | Other Public Road | | |
| | Munic | te Right-of-Way | | Water | | |
| | Pilva | ie Manton 110) | | | | |

Ditches Swales

Particulars of all buildings and structures on or proposed for the subject 8. land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible) EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.) 1) 2 storey single family dwelling - 91.4 m² (to be demolished and re-constructed) 2) Wood Shed - 9.1 m² (to be removed) 3) Fiber Shed 1 - 7.6m² (to be removed) 4) Fiber Shed 2 - 10.5m² (to be removed) 5) Fiber Shed 3 - 4.5m² (to be removed) PROPOSED BUILDINGS/STRUCTURES on the subject land: New 2 storey single family dwelling - 343.45m² Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units) **EXISTING** Front yard setback 2.04m Rear yard setback 37.33m 2.46m Side yard setback Side yard setback PROPOSED 6.43m Front yard setback 23.60m Rear yard setback Side yard setback 1.33m Side yard setback 1.80m Date of Acquisition of subject land: Nov 9,th 2020 10. Existing uses of subject property: 11. Proposed uses of subject property: 12. Residential Existing uses of abutting properties: 13. +/- 1960 Date of construction of all buildings & structures on subject land: 14. Length of time the existing uses of the subject property have been continued: 61 years 15. (to be removed) What water supply is existing/proposed? 16. (a) Other (specify) Municipal Well (b) What sewage disposal is/will be provided? Other (specify) Municipal Septic (c) What storm drainage system is existing/proposed? Sewers Other (specify)

| Yes |
|---|
| 18. Has a pre-consultation application been filed? Yes No 19. Has the subject property ever been the subject of an application for minor variance? Yes No Unknown 19. Unknown 19. If answer is yes, provide details: |
| 18. Has a pre-consultation application been filed? Yes No 19. Has the subject property ever been the subject of an application for minor variance? Yes No Unknown 19. Unknown 19. If answer is yes, provide details: |
| 19. Has the subject property ever been the subject of an application for minor variance? Yes No Unknown III If answer is yes, provide details: |
| Yes No Unknown III |
| If answer is yes, provide details: |
| |
| File # Decision Relief File # Decision Relief File # Decision Relief |
| File # Decision Relief Relief |
| |
| |
| Signature of Applicant(s) of Authorized Agent |
| |
| DATED AT THE City OF Brampton |
| THIS June DAY OF 5 , 2021 . |
| IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED. |
| |
| IN THE Goving OF Onlaid SOLEMNLY DECLARE THAT: |
| ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER |
| DECLARED BEFORE ME AT THE |
| Colonia Baran Han |
| City OF Mamper |
| IN THE COVINCE OF Cocusigned by: |
| Ortain THIS DAY OF DAY OF |
| Signature of Applicant or Authorized Agent |
| Maryof Dullon Submit by Email |
| A Commissioner etc. Attestation / Witness Only No Legal Advice Sought or Provided |
| Manjot Kaur Dhillon, a Commissioner, etc., Purvinge of Ontario, for FOR OFFICE USE ONLY |
| Harinder Singh Gahir Professional Corporation, Barrister and Solicitor, and Gahir Law Office, expires Notember 11 2017 icial Plan Designation: |
| Present Zoning By-law Classification: R1B & MN |
| the base seviewed with respect to the variances required and the results of the |
| This application has been reviewed with response to the attached checklist. |
| June 30.21 |
| Zoning Officer Date |
| DATE RECEIVED 28, 2021 |

Date Application Deemed



GRADES MUST BE MET WINEN SIZE MAKEMEN SLOPE AT THE

ALL DOWNSPOUTS SHALL ESICHARDS ONTO SPLASH PACE AT GROUND LEVEL AT THE LOCATIONS INDICATED ON THE FLAN. PROPOSED INVALES TO HAVE MAX. IS THE SLOTES, REFER TO

THE POSITIONS OF THE DEMONAY WITHIN THE MENIC PAL BOILEVARD WILL BE PAVED IT THE APPLICANE.

GRADING AT THE BASE OF BOSTING TIESS MALET BE PRESERVED.

1:200

PROPOSED GRADES AND DRAINAGE PATTERNS SHALL NOT HAVE REGISTRE IMPACT ON THE ADVANCE OF THE STATE OF T

DIRECT DOWN SPOURS TO THE FRONT OR READ SIDE YARD (WALES INVERTS BHALL BE MIN, Q,15m BELGW THE ADJACONT GRADE BLEVATION.

SUMP PUMP
THE SUMP PUMP DISCHARGE WILL BE MANAGED WITHIN THE
SITE WITHOUT A DETRIMENTAL EFFECT TO ADJOINING LAYER
RECULDING CUTP DISCHEE

FOUNDATION WESTERS AND RUDGE DRAWS WILL IS SUMFED AND PUMPED TO THE SURFACE AND WILL DISCHARGE CONCRETE EPLASH PAID IN THE PRONT OF THE MOUSE,

EASEMENTS/RIGHTS-OF-WAY THEE ARENO BUTING OR PROPOSED EASEMENTS ON THE

ALL PROPOSED CLIMING ATTHE ENTRANCES TO THE SITE IS TO STOP AT THE PROPERTY LINE OR AT THE MUNICIPAL EXCENDED. ALL UTLITY COMPANIES WILL BE NOTIFIED FOR LOCATES PRIOR TO THE INSTALLATION OF THE HOLDING THAT LIE WITHIN THE UMITS OF THE CITY BOLLEVARD AVEA.

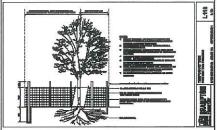
THE APPLICANT WILL SERSEFONDING FOR THE COST OF ANY UTILITIES RELOCATIONS INSCRIBITATED BY THE SITE FLAN

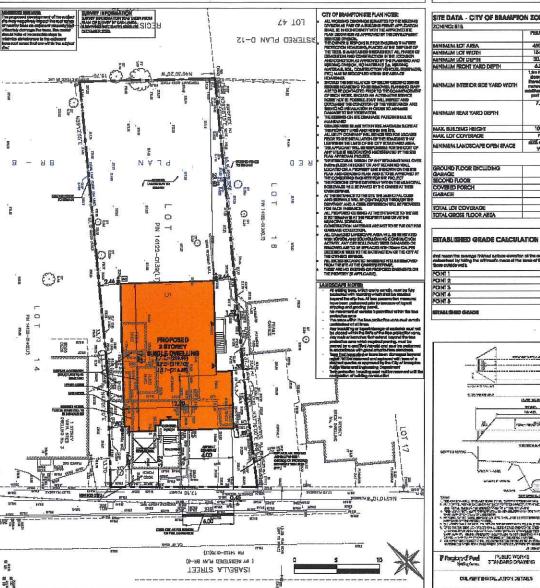
CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR COLLECTION.

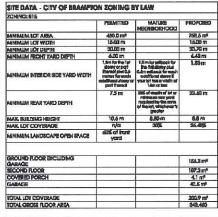
ALL DANAGED LANDSCAPE AREAS WILL BE BENSSATED WITH TO FOOL AND SOO

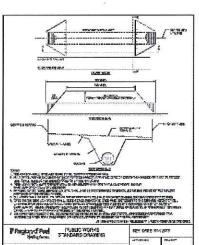
ALL ENCES EXCAVATED MATERIALS WILL BE REMOVED FROM

ALL PROPOSED CURRING WITHIN THE MUNICIPAL SOULEVARD
AREA FOR THE STE IS TO SUIT AS POLICIANS. - ALL CURING S TO STOP AT THE PROPERTY LIMIT OF THE MACK OF THE MINICIPAL SCHWAIK, WHOSEVER & APPLICABLE









COLVEST BISIDE VIDOR DELIVER

SITE PLAN SPA-2021-0038

5 ISABELLA STREET BRAMPTON, ON REGION OF PEEL PART 1 - PLAN OF LOT 15 REGISTERED PLAN BR-8 CITY OF BRAMPTON



LEG

216.35

21B.53 218.95

218.404

| LEGE | END | | | |
|---------|----------|---|-------------|--|
| F.S. | DENOTES | PROPERTY IDENTIFIER HUNDER FINISHED SILL DLEWATION | Page 1 | SERT EUGLISISS PETONSO |
| | | TIMESHED FLOOR ELEVATION TOP OF FOUNDATION ELEVATION | CLF | DENOTES CHAIN LINK FENCE |
| TEE | DENGTER | BASEMENT SLAB ELEVATION | B.F. | BENDTES BOARD FENCE |
| | | LINDOZEDE OF FOOTING ELEVATION | 182 | DENOTES MAINTENANCE HOLE |
| H.P. | DEWOTES | HIGH POINT ELEVATION | na. | DENOTES WOOD LITELITY POLE |
| TOC | DENOTES | TOP OF CLIFE | -33-FM | DENOTES WATER WALVE |
| DH | DENDIER | | ø | DEKOTES DIAMETER |
| Db. | DENDIES | | - | DENOTES DRAIN WATER LEADER |
| BAR. | | WALKDUT BASEMENT BOTTOM OF RETAINING WALL | III pa | DENOTES DRAW AVEA |
| E/W | | TOP OF RETAINING WALL | | DENOTES OVER HEAD THRE |
| | | GALCULATED | Wec | DENOTES WALKWAY CONCRETE |
| STM | | STORE SEWER | DHW | DENOTES CHENEAD WIFE DENOTES CONCRETE RETAINING |
| MAR | | SANITARY BEYER | CAM | BALL |
| THE CO. | | PROPOSED ELEVATION | 40 TH | DENGTES WATER KEY |
| 183.20 | | EXISTING ELEVATION TO REMAIN | DUFN | DENKTIES LITILITY POLE WOOD |
| - | | | He | DENKITER CATCHEASIN |
| (60.00) | DENDITES | STARD CHIEDERTES | | |

REGION OF PEEL NOTES:

All materials and construction methods must correspond to the current Pael

An incirente cas content and prediction and correspond to the current real Public Wests standards and specifications.

- Wolfermoin and for wolfer service markeds 100 mm [47] and larger must be D8 18 P.Y.C pipe manufactured to A.W.W.A. spec. C900-16 spec complete willin facors with. Size 20 mm [27] and smaller must be type 1% cell copper pipe per A.S.T.M. 888-47 Specification.

- Watermake and / or water services are to have a minimum cover of 1.7 m (86)

with a minimum harbonial specing of 1.2 m (4) from themselves and all other

- Provisors for fushing water the prior to testing, etc, must be provided with at least a 50 mm (2") author on 100 mm (4") and larger lines. Copper lines are to have fushing paints at the end, the same size as the line. They must also be hased a piped to allow the water to drain onto a parting lot or down a drain.

On the lines, flushing outlet to be 100 mm [#] diameter minimum on a hydrant. - All curb stops to be 3.0 m (10) off the tode of the building unless often was

Hydrant and volve set to Region standard 1 - 6 - 1 Dimension A card B. 0.7 in [2] and 0.5 in [5] and to have pumper nosite.

"Writermote to be institled to grade as shown on approved step plan, Copy of grade sheet must be supplied to hapactar prior to commencement of work, where requested by irspector.

where requested by inspector.

**Veclamanian must have a minimum verifical discremase of 0.3 m [127] over / 0.5 m [27] under severe and all offiner utilities when crossing.

**All proposed water piping must be isolated from estiting lines in order to allow independent pressure leafing and challanding from estimating systems.

**All his looping and operation of Region vector volves that be arranged through this Regional impactor maigned or by contracting the Operations and Maintenance Division.

Accretorate under the field to be entablished by the contractor.

The contractor(i) that be salely responsible for locates, exporting, supporting and protecting at all underground and overhead utilities and sinuclures existing at the first of construction in the area of their work whether shown on the plans or not and for all repails and consequences resulting from damage to some.

- The contractorist shall be safely responsible to give 72 hours written notice to the utilities prior to creating such utilities, for the purpose of inspection by the concerned utility. This inspection will be for the duration of the construction, with the contractor responsible for all costs origing from such impection.

 All proposed water piping must be isolated through a temporary connection that shall include an appropriate cross-contrisction control device, consistent with the degree of hazard, for bacidow prevention of the active distribution system, conforming to Region of Peel standards 1-7-7 or 1-7-8. PROJECT NAME

5 ISABELLA ST

PROJECT ADDRESS 5 ISABELLA ST BRAMPTON, ON

CLIENT

PRITPAL

ARCHITECT KHALSA DESIGN INC.



BRAMPTON, ON TELEPHONE: 647-468-2640

COPYRIGHT IN-MARA DESIGN 9-3820
THESE DRAWNINGS ARE NOW AND DO REMAIN THE BOLE PROPERTY OF FO-448 A DESIGN USE OF THEME PLANS DE ANY FORM OF REPRODUCTION OF THIS DESIGN IN WHOLE OR IN PART TYTHOUT EMPRESS WRITTEN CONSENT IS PROHISTED. AND SHALL RESULT IN THE FULLEAT EXTENT OF PROSECUTION UNDER LAW

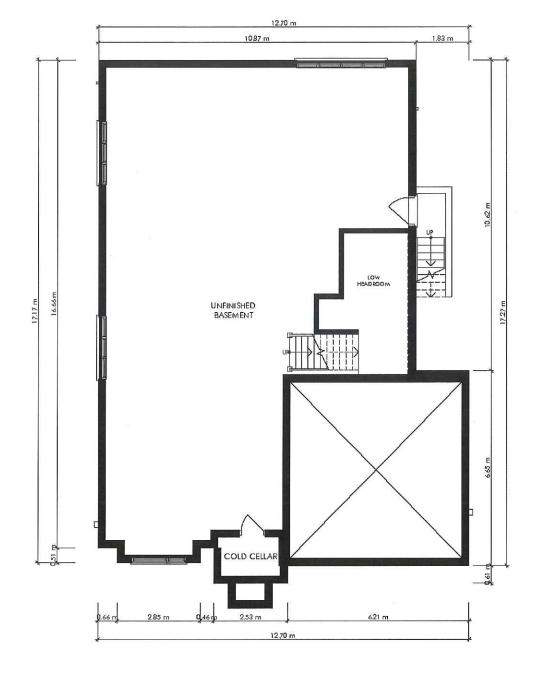
REGISTRATION

| Project rumber | 21014 |
|----------------|------------|
| Cole | 06/16/2021 |
| Dozum by | KID |
| Charitani by | KD |
| Sexie | 1:200 |
| REVISIONS | |
| | |

| | Ma. | Description | Dete |
|-----|-----|--|---------|
| | 1 | MAN BURBLE NAME | |
| | 2 | SPA RESUMM PROM 1 | 95/1821 |
| | | | |
| | | | |
| | | i valanta i valata i | |
| 9 | _ | | - |
| 100 | | | |

ARCHITECTURAL SITE PLAN

5 ISABELLA ST.





KHALSA DESIGN INC.
www.signastoo abanaa@signastoo 647.468.2640

5 ISABELLA STREET - PRITPAL
BRAMPTON, ON
BRAMPTON, ONTARO
All descripts admid tollaria, related description in wind design one lite. wedy right or order of

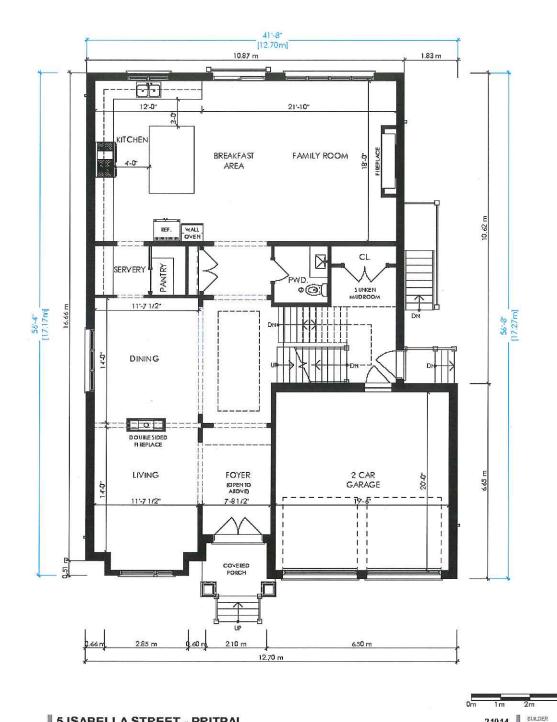
21014 BUILDER

36978F

SPA-2021-0038

BASEMENT PLAN

A-1





KHALSA DESIGN INC.
www.tkgranton abannal@tkgranton 847.463.2940

5 ISABELLA STREET - PRITPAL

BRAMPTON, ON 3697SF BRAMPTON, ONTA RIO

GROUND FLOOR

1682 sq ft

21014

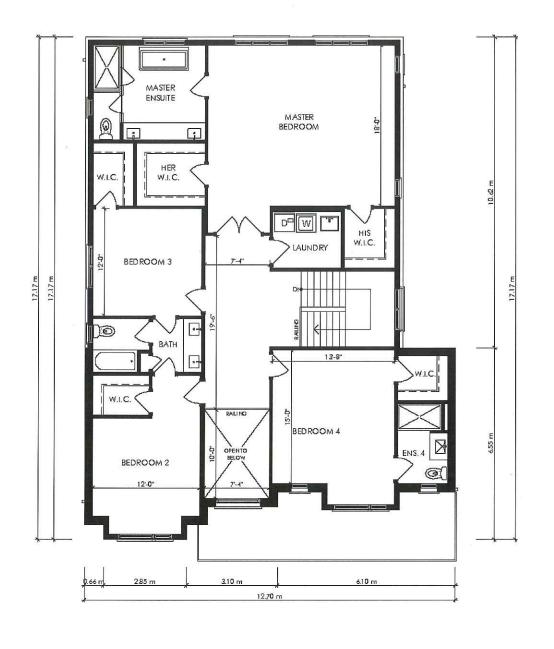
GROSS FLOOR AREA DEDUCT OPEN AREAS 1682 sq ft 0 sq ft COVERAGE W/O PORCH COVERAGE W/ PORCH

2118 sq ft 2162 sq ft SPA-2021-0038

DRAWING TITLE **PLAN**

CHEET HO

GROUND FLOOR





KHALSA DESIGN INC.
www.tkgrantod abanzai@tkgeantod 847.463.2940

5 ISABELLA STREET - PRITPAL BRAMPTON, ON

21014 BUILDER 3697SF

50oLE 1/8" = 1:0" DATE 05/09/2021 DRIVEN BY 10

DRAWING TITLE SECOND FLOOR PLAN

SECOND FLOOR

GROSS FLOOR AREA DEDUCT OPEN AREAS NET AREA

1942 sq ft

2015 sq ft 73 sq ft 1942 sq ft SPA-2021-0038

BRAMPTON, ONTARIO





KHALSA DESIGN INC.
www.tiggaat.com abanical@tiggaat.com 647.468.2940

5 ISABELLA STREET - PRITPAL BRAMPTON, ON

21014 3697SF BRAMPTON, ONTARO

তি নি প্রতিপ্রিক এক-নিক্ষেত্রতে, বিনির্বাধনকাতি কার্নানভাগুল হ'বে ক্রাপুণ্ণাই ক্রেক্সেণ্ড কি শিক্তম Design Inc. (PD). বিভাগনাধান কি ইমন্ত প্রকল্পতার in White in Park is stilled prohibited follows: ইসিম প্রথমিক

BULDER

1/8" = 1:0" DATE 05/09/2021

SPA-2021-0038

MATERIAL LEGEND

Value

EF3

EF5

Keynote Text

VERTICAL PVC SIDING WITH WOOD PRINT - DARK GRAY

BRICK VENEER, JP SERIES - OLD SCHOOL BY BRAMPTON BRICK OR SIMILAR

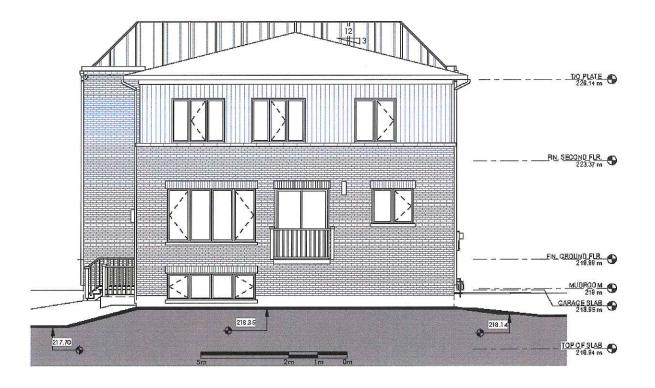
PVC PANEL - BLACK (TO MATCH WINDOW

ASPHALT SHINGLES - CHARCOAL (DARK GRAY)

PREFIN ALUMIN, FINISH - BLACK VINYL WINDOWS - BLACK FRAMED

METAL ROOF - BLACK

FRAMES)





KHALSA DESIGN INC.
www.tigarantoa
abanical@tigarantoa
647.488.2840

5 ISABELLA STREET - PRITPAL

21014 3697SF

SCOLE 1/8" = 1'9" DOTE 05/06/2021 DELOYALI BY KO

MATERIAL LEGEND

Keynote Text

BRICK VENEER, JP SERIES - OLD SCHOOL BY BRAMPTON BRICK OR SIMILAR VERTICAL PVC SIDING WITH WOOD PRINT - DARK

PVC PANEL - BLACK (TO MATCH WINDOW

ASPHALT SHINGLES - CHARCOAL (DARK GRAY)

PREFIN ALUMIN, FINISH - BLACK VINYL WINDOWS - BLACK FRAMED METAL ROOF - BLACK

Key Value

EF5

GRAY

FRAMES)

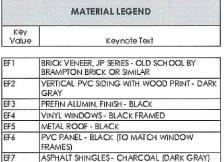
REAR ELEVATION

SPA-2021-0038

BRAMPTON, ON

BRAMPTON, ONTARO

If it willings specifyedisms, reduced elevarious and drough one the enough gift property of Product Design (no. (\$23). Propositions of this property in Whote or in parts is assistly predicted without without a Party tribute.





| EPOSING BUILDING FACE | 1336.00 | SF. | |
|-----------------------|---------|------|--|
| APEA | 124.12 | 234 | |
| PORTION WALL AREA | 1336.00 | 3.5 | |
| LOKIOU NATE WERE | 124.12 | 3.66 | |
| UANTING DISTANCE | 1.5 | | |
| MAX. % OPENINGS | 7 | | |
| OPENINGS ALLOWED | 93.50 | | |
| OPENINGS PROVIDED | | 924 | |

| ADDITIONALNOTES |
|-------------------------------------|
| GLAZED AREA CALCULATED W/ TRAMESIZE |
| WHY IZ STAROUND BY TIRE PERIMETER |





KHALSA DESIGN INC.

5 ISABELLA STREET - PRITPAL

21014 3697 SF

1/8" = 1:0 DATE 06/06/2021

DECEMBER TITLE LEFT SIDE **ELEVATION** SPA-2021-0038

SHEET NO **A-6**

BRAMPTON, ON

E RAMPTON, ONTARIO

| | MATERIAL LEGEND |
|--------------|--|
| Key Value | Keynote Text |
| EF1 | BRICK VENEER, JP SERIES - OLD SCHOOL BY BRAMPTON BRICK OR SIMILAR |
| EF2 | VERTICAL PVC SIDING WITH WOOD PRINT - DARK GRAY |
| EF3 | PREFIN ALUMIN. FINISH - BLACK |
| EF4 | VINYL WINDOWS - BLACK FRAMED |
| EF5 | METAL ROOF - BLACK |
| EF6 | PVC PANEL - BLACK (TO MATCH WINDOW FRAMES) |
| EF7 | ASPHALT SHINGLES - CHARCOAL (DARK GRAY) |



| | RIGH | IT SIE | DE ELEVATION |
|--------|-------|--------|---------------------------------|
| QUANT. | WIDTH | FEGFT | WINDOW/ DOOR FRAME SIZE (SF) |
| 1 | | | 0.00 SF |
| 2 | 24" | 60" | 1556SF |
| 2 | 56" | 80" | 40.44SF |
| | | 1 | 56,00 S F |

| EPOING BUILDING FACE | 1273.00 | - 2 |
|----------------------|---------------|--------|
| AREA | 11827 | 3/ |
| PORTION WALL AREA | 1273.00 | - 2 |
| LOWING WATER WICH | 11827 | 3.0 |
| LIMITING DISTANCE | in Agistan in | 11000 |
| MAX, % OPENINGS | 1 | |
| OBHINGS ALLOWED | 89.11 | |
| OPENINGS PROVIDED | | 65 |
| ADDITIONAL | NOTES | |
| GLAZED AREA CALCULA | TED W/ EP AA | (EXIZE |
| MINUS 2" AROUND BY | | |





KHALSA DESIGN INC.
www.digeast.com abansa@figeast.com 847.4862340

5 ISABELLA STREET - PRITPAL

21014 BLALDER

SCALE 1/8" = 110 DATE 06/06/2021 DE SAME BY 10

RIGHT SIDE **ELEVATION**

SPA-2021-0038

A-7

B RAMPTON, ONTARO
All districts appropriate, ideal disclosions and design are the confrigible products of Nindae Design for JULY.





KHALSA DESIGN INC.

21014 3697SF

DRAWING TITLE DATE 06/09/2021 DROVES BY Author

RENDERING

SPA-2021-0038

A-8

