

APPLICATION # A-2021-0144
WARD #5

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **MICHAEL MURDOCK** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 160, Plan 43M-1076 municipally known as **32 BANNER ROAD** Brampton;

AND WHEREAS the applicants are requesting the following variances:

1. To permit an interior side yard setback of 1.25m (4.10 ft.) to the proposed second storey addition above the exiting garage whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.) to the second storey;
2. To permit an interior side yard setback of 0.0m to the existing one storey addition in the rear yard whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.);
3. To permit a rear yard setback of 6.46m (21.20 ft.) to the existing one storey addition in the rear yard whereas the by-law requires a minimum rear yard setback of 7.5m (24.60 ft.) or 25% of the lot depth, whichever is greater;
4. To permit lot coverage of 36.35% whereas the by-law permits a maximum lot coverage of 30%.
5. To permit an existing accessory structure (shed) having a setback of 0.30m (0.98 ft.) to the rear and interior side lot lines whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) to the nearest lot line.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____	NO	File Number: _____
Application for Consent: _____	NO	File Number: _____

The Committee of Adjustment has appointed **TUESDAY, August 3, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this **22nd Day of July, 2021.**

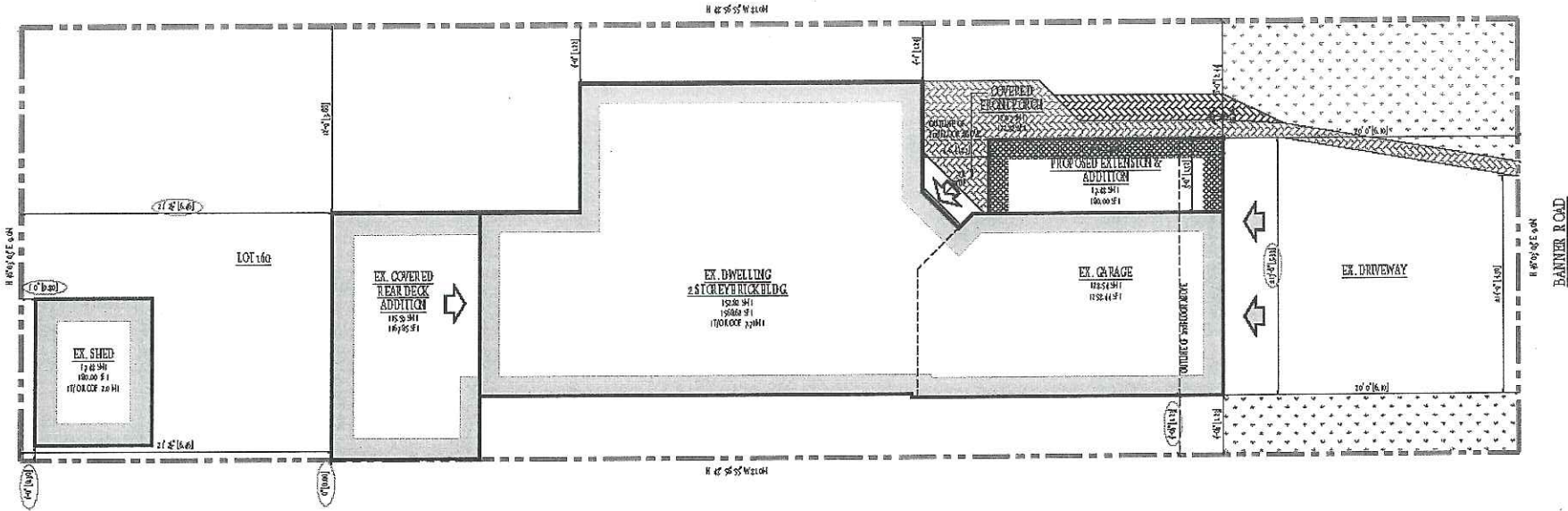
Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

LEGEND	
	EXISTING SETBACK/DIMENSIONS
	PROPOSED SETBACK/DIMENSIONS
	EXISTING BUILDING
	PROPOSED BUILDING
	SOD
	PAVERS
	DRIVEWAY
	OVERHEAD DOOR ENTRANCE
	DOOR ENTRANCE

SURVEYOR'S REAL PROPERTY REPORT –
 PART 1, PLAN OF
 LOT 160
 REGISTERED PLAN 43M-1076
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEE

SITE INFORMATION TAKEN FROM
 PLAN OF SURVEY PREPARED BY:
 J.D. BARNES
 ONTARIO LAND SURVEYORS
 JANUARY 17, 1995



PROPOSED 1 STOREY ADDITION	
Project:	Project #:
32 BANNER RD, BRAMPTON, ON, L6X 4K8	21018

No.	Description	Date	By
4.	REVISED AS PER CITY COMMENTS (07)	JULY 20, 2021	RP
3.	REVISED AS PER CITY COMMENTS (06)	JULY 16, 2021	RP
2.	REVISED AS PER CITY COMMENTS (05)	JULY 12, 2021	RP
1.	ISSUED FOR CoFA (04)	JUNE 8, 2021	SK



SITEPLAN
 SCALE 1:100

1
 A1



2781 HIGHWAY 7, SUITE 201 VAUGHAN, ON., L4K 1W1 416.272.2024
 2010jgorgo@gmail.com & jgorgo@frasca-design-and-planning.com

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures
How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, July 29, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, July 29, 2021**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, July 29, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

July 21, 2021

To: Committee of Adjustment

RE: APPLICATION FOR MINOR VARIANCE
MICHAEL MURDOCK
LOT 160, PLAN 43M-1076
A-2021-0144- 32 BANNER ROAD
WARD 4

Please **amend** application **A-2021-0144** to reflect the following:

1. To permit an interior side yard setback of 1.25m (4.10 ft.) to the proposed second storey addition above the exiting garage whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.) to the second storey;
2. To permit an interior side yard setback of 0.0m to the existing one storey addition in the rear yard whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.);
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5. To permit an existing accessory structure (shed) having a setback of 0.30m (0.98 ft.) to the rear and interior side lot lines whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) to the nearest lot line.



Applicant/Authorized Agent

FILE NUMBER: A-2021-0144

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** MICHAEL MURDOCK
Address 32 BANNER RD. BRAMPTON, ON.. L6X 4K8

Phone # 647 402 9917 **Fax #** _____
Email mikethehandyman@hotmail.ca

2. **Name of Agent** GIORGIO FRASCA
Address 2781 HIGHWAY 7, UNIT 201, VAUGHAN, L4K 1W1, ON

Phone # 416 272 2024 **Fax #** _____
Email 2010giorgio@gmail.com

3. **Nature and extent of relief applied for (variances requested):**

1. Minimum interior side yard width for second floor to be at existing ground level setback of 1.25M instead of 1.8M for second floor.

2. Lot coverage to be 34.69 %; permitted maximum lot coverage is 30%
Above variance are with respect to Matured Neighborhoods Zoning Parameters and not R1D.

4. **Why is it not possible to comply with the provisions of the by-law?**

Since the proposal is an addition and extension on top of existing garage, the width is limited. Therefore the proposal to achieve adequate width for the proposed master bedroom without over exceeding the lot coverage. Additionally, we believe the zoning by laws have changed over time post construction of this dwelling and we are maintaining the existing setbacks as per zone R1D. And we believe the zoning parameter is too restrictive.

5. **Legal Description of the subject land:**
Lot Number 160
Plan Number/Concession Number 43M-1076
Municipal Address 32 BANNER RD, BRAMPTON, ON., L6X 4K8

6. **Dimension of subject land (in metric units)**
Frontage 9.00 M
Depth 31.00 M
Area 84.94 SQ.M

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Existing 2 Storey Dwelling: Ground Floor Area 52.82 SM and Garage Area 23.54 SM. GFA 134.95 SM. Width 6.93 M. Length 18.44 M. Height 6.79M (Roof Midpoint).

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Addition to existing 2 storey dwelling: Garage Area 7.43 SM. GFA 28.46 SM.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	6.10 M
Rear yard setback	6.46 M
Side yard setback	1.24 M
Side yard setback	1.23 M

PROPOSED

Front yard setback	6.10 M
Rear yard setback	6.46 M
Side yard setback	1.24 M
Side yard setback	1.23 M

10. Date of Acquisition of subject land: May 28, 2016
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: June 28, 1993
15. Length of time the existing uses of the subject property have been continued: 28 years. Ever since construction.
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☐ Other (specify) _____
Ditches ☐
Swales ☒

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

[Signature]

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 14th 30th DAY OF June, 2021.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Giorgio Frasca, OF THE City OF Vaughan
IN THE Region OF York SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF _____
Prel THIS 30th DAY OF June, 2021.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

[Signature]

Signature of Applicant or Authorized Agent

[Signature]
A Commissioner etc.

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

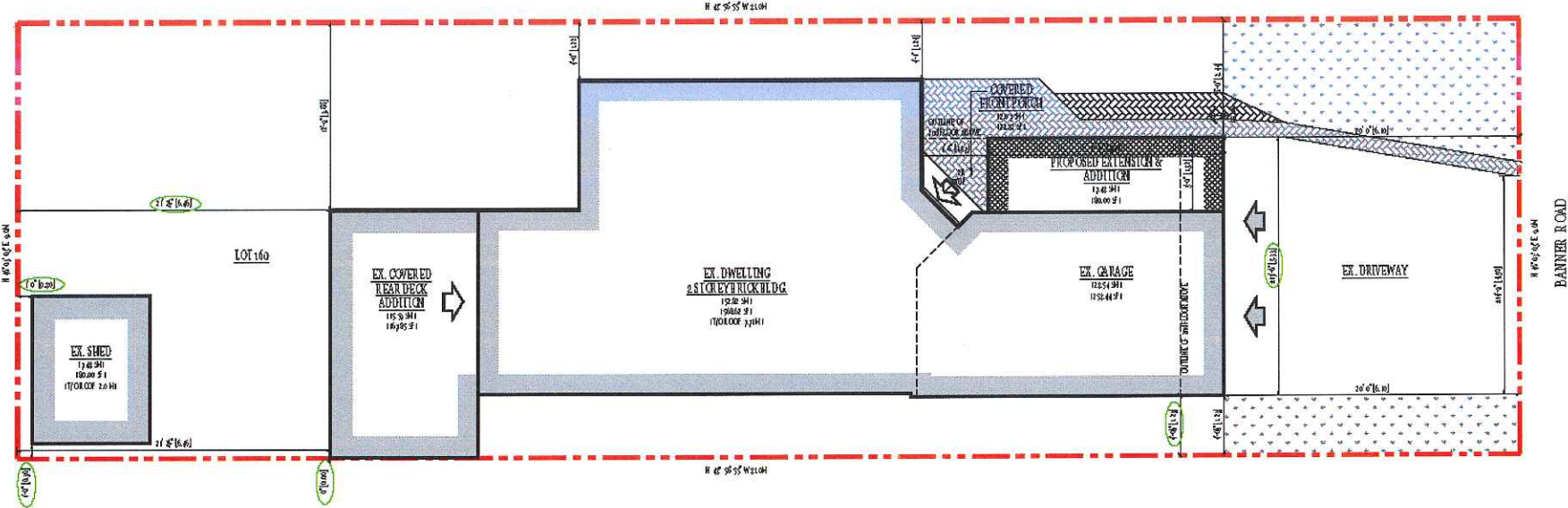
DATE RECEIVED June 30, 2021

Date Application Deemed
Complete by the Municipality _____

LEGEND	
	EXISTING SETBACK/DIMENSIONS
	PROPOSED SETBACK/DIMENSIONS
	EXISTING BUILDING
	PROPOSED BUILDING
	SOD
	PAVERS
	DRIVEWAY
	OVERHEAD DOOR ENTRANCE
	DOOR ENTRANCE

SURVEYOR'S REAL PROPERTY REPORT –
 PART 1, PLAN OF
 LOT 160
 REGISTERED PLAN 43M-1076
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL

SITE INFORMATION TAKEN FROM
 PLAN OF SURVEY PREPARED BY:
 J.D. BARNES
 ONTARIO LAND SURVEYORS
 JANUARY 13, 1995



PROPOSED 1 STOREY ADDITION	
Project: 32 BANNER RD, BRAMPTON, ON, L6X 4K8	Project #: 21018

No.	Description	Date	By
4.	REVISED AS PER CITY COMMENTS (07)	JULY 20, 2021	RP
3.	REVISED AS PER CITY COMMENTS (06)	JULY 16, 2021	RP
2.	REVISED AS PER CITY COMMENTS (05)	JULY 12, 2021	RP
1.	ISSUED FOR CofA (04)	JUNE 8, 2021	SK



SITEPLAN

SCALE 1:100

1

A1

FRASCA

Design & Planning

Residential-Retail-Commercial

2781 HIGHWAY 7, SUITE 201 VAUGHAN, ON., L4K 1W1

416.272.2024

2010giorgio@gmail.com & giorgio@frascaengineering.com

SITE DATA			
SINGLE FAMILY DETACHED DWELLING			
	CITY OF BRAMPTON ZONING BY LAW 204-2010		
ZONING	R1D	MATURED NEIGHBOUR- HOODS	
	PERMITTED	PERMITTED	PROPOSED
FRONT SETBACK	6.0 M	N/A	6.10 M
SIDE SETBACK (SOUTH)	1.2 M	1.2 M	0.0 M (EX.)
SECOND FLOOR SIDE SETBACK (SOUTH)	-	1.6 M	1.23 M
SIDE SETBACK (NORTH)	1.2 M	1.2 M	1.24 M (EX.) 2.44 M (PROP.)
REAR SETBACK	7.5 M	7.75 M	6.46 M (EX.)
BUILDING HEIGHT	10.6 M	8.5 M	7.7 M (EX.)
LOT COVERAGE	N/A	30 %	EX. DWELLING 27.37 %; EX. COVERED REAR DECK ADDITION 5.58 %; FRONT ADDITION 2.66 %; COVERED FRONT PORCH 0.74 %; TOTAL : 36.35%
MINIMUM LANDSCAPED OPEN SPACE	40% OF MIN. FRONT YARD (TOTAL FRONT YARD AREA = 54.89 SM)		40.31% (TOTAL LANDSCAPED OPEN AREA = 22.13 SM)
ACCESSORY STRUCTURE SETBACKS	-	0.6 M	0.3 M (EX.)
MAXIMUM DRIVEWAY WIDTH	5.2 M	-	± 5.33 M (EX.)
* LOT COVERAGE INCLUDES - GROUND FLOOR, COVERED REAR DECK GARAGE & FRONT PORCH AND PROPOSED GARAGE EXTENSION			

SITE AREAS		
	EXISTING	PROPOSED
SITE AREA	278.99 SM (3,008.13 SF)	--
BASEMENT FLOOR	53.09 SM (571.56 SF)	--
GROUND FLOOR	52.82 SM (568.62 SF)	--
GARAGE	23.54 SM (253.44 SF)	7.43 SM (80.00 SF)
COVERED REAR DECK ADDITION	15.59 SM (167.85 SF)	--
SECOND FLOOR	53.67 SM (577.70 SF)	28.46 SM (306.43 SF)
COVERED FRONT PORCH	--	2.07 SM (22.32 SF)
GROSS FLOOR AREA	106.49 SM (1,146.32 SF)	28.46 SM (306.43 SF)
*TOTAL GFA	134.95 SM (1,452.75 SF)	
*TOTAL GROSS FLOOR AREA DOES NOT INCLUDE GARAGE, DECK/ PORCH, BASEMENT & ATTIC		

PROPOSED
1 STOREY ADDITION

Project: 32 BANNER RD,
BRAMPTON, ON,
L6X 4K8

Project #: 21018

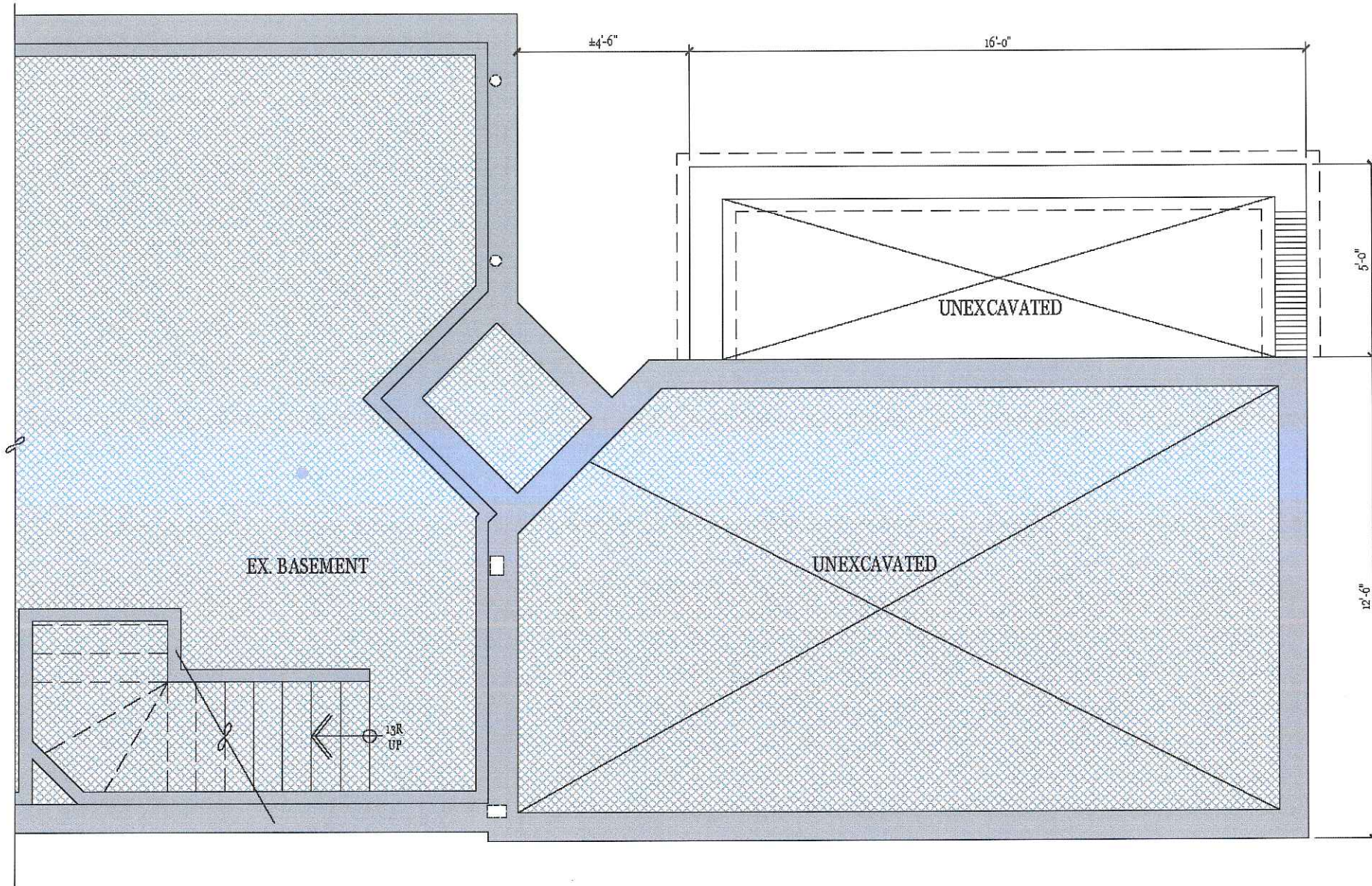
4.	REVISED AS PER CITY COMMENTS (07)	JULY 20, 2021	RP
3.	REVISED AS PER CITY COMMENTS (06)	JULY 16, 2021	RP
2.	REVISED AS PER CITY COMMENTS (05)	JULY 12, 2021	RP
1.	ISSUED FOR CoA (04)	JUNE 8, 2021	SK
No.	Description	Date	By

CONSTRUCTION NOTE
SCALE

1
A2



2781 HIGHWAY 7, SUITE 201 VAUGHAN, ON., L4K 1W1 416.278.2024
2010gjorgio@gmail.com & gjorgio@frascadesignandplanning.com



LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING TO REMAIN
	PROPOSED WALLS
	EXISTING TO BE DEMOLISHED/ REMOVED

PROPOSED
1 STOREY ADDITION

Project: 32 BANNER RD,
BRAMPTON, ON.,
L6X 4K8

Project #: 21018

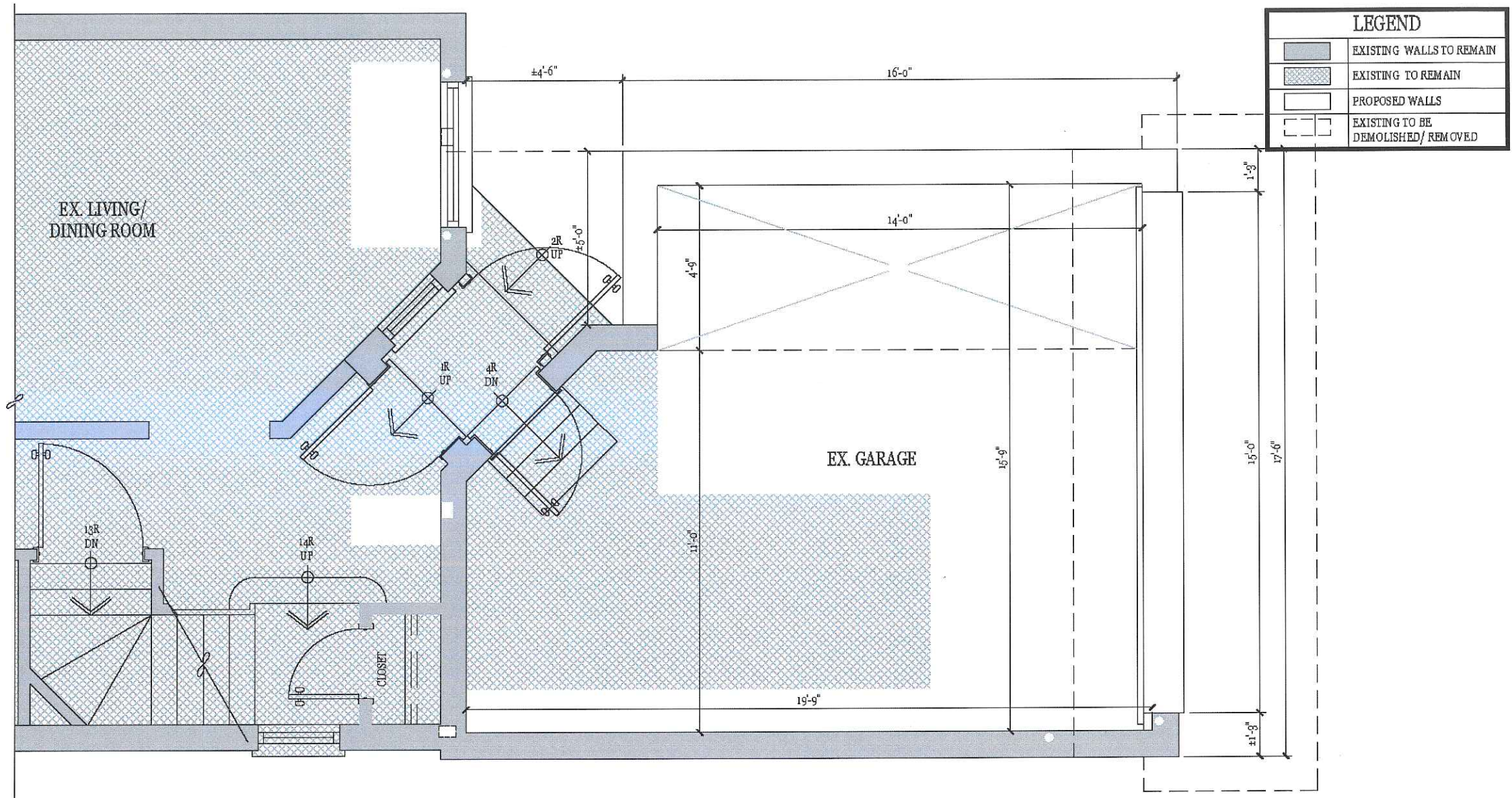
No.	Description	Date	By
1.	ISSUED FOR CoA (04)	JUNE 8, 2021	SK

BASEMENT PLAN
SCALE 3/8" = 1'-0"

FRASCA Design & Planning
Residential - Retail - Commercial

2781 HIGHWAY 7, SUITE 201 VAUGHAN, ON., L4K 1W1 416.272.2024
2010.gorgio@gmail.com & gorgio@frascadesignandplanning.com

1
A3



**PROPOSED
1 STOREY ADDITION**

Project:
32 BANNER RD,
BRAMPTON, ON.,
L6X 4K8

Project #:
21018

1.	ISSUED FOR CoA (04)	JUNE 8, 2021	SK
No.	Description	Date	By

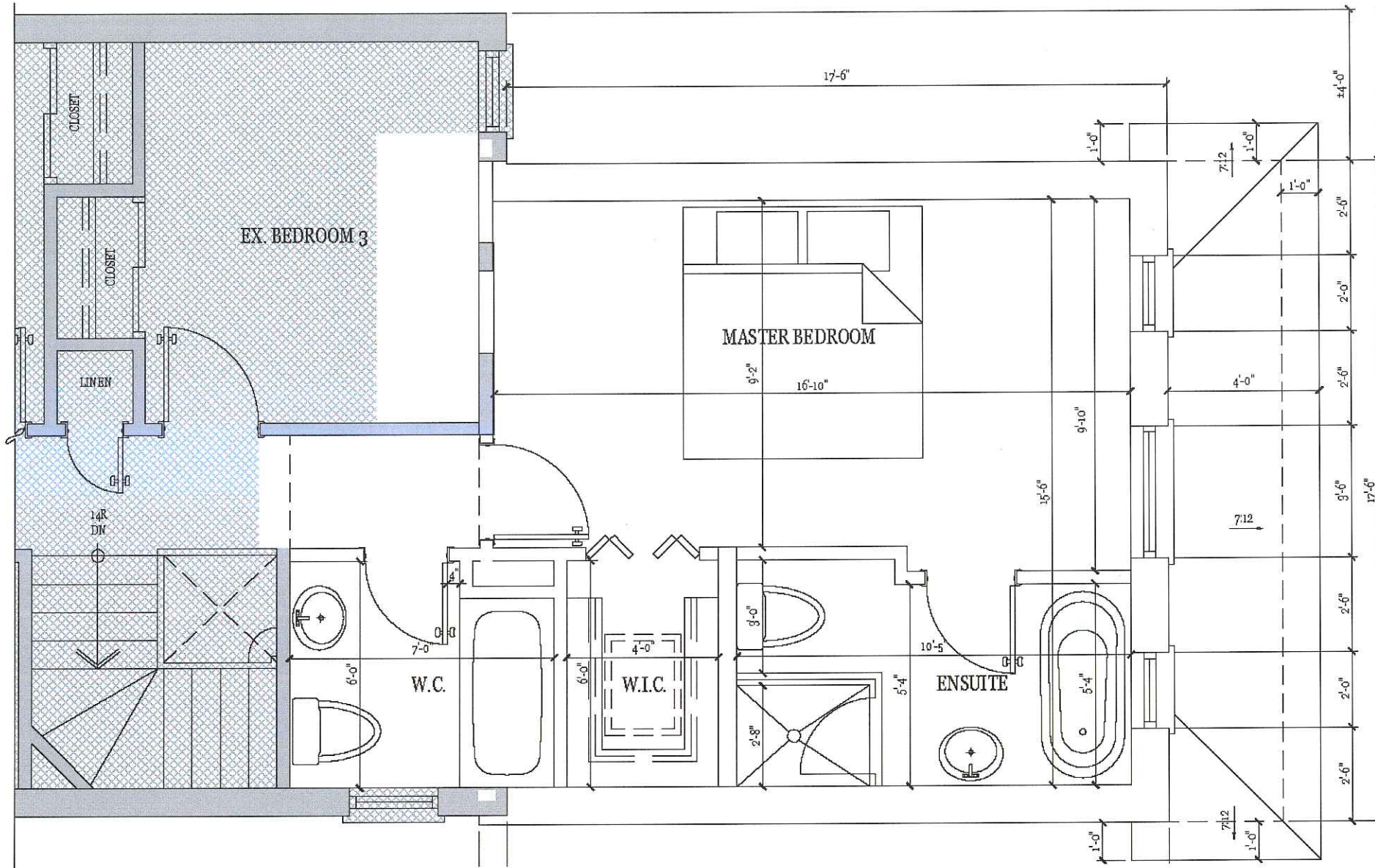


GROUND FLOOR PLAN
SCALE 3/8" = 1'-0"

1
A4



2781 HIGHWAY 7, SUITE 201 VAUGHAN, ON., L4K 1W1 416.272.2024
2010.gjorgic@gmail.com & gjorgic@frasca-design-and-planning.com



LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING TO REMAIN
	PROPOSED WALLS
	EXISTING TO BE DEMOLISHED/ REMOVED

PROPOSED 1 STOREY ADDITION

Project:
32 BANNER RD,
BRAMPTON, ON.,
L6X 4K8

Project #:
21018

No.	Description	Date	By
1.	ISSUED FOR CoA (04)	JUNE 8, 2021	SK







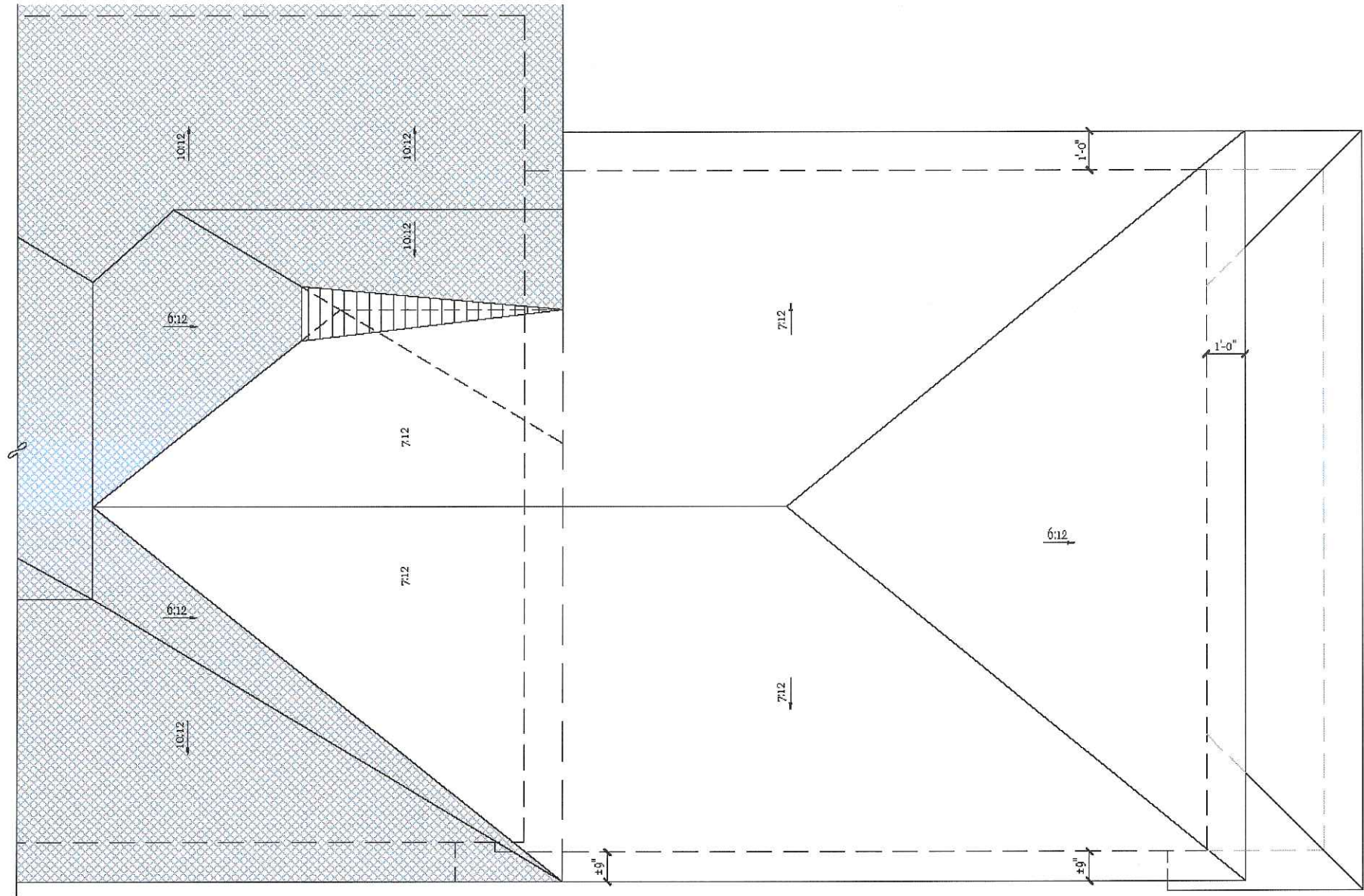
SECOND FLOOR PLAN SCALE 3/8" = 1'-0"

1
A5



2781 HIGHWAY 7, SUITE 201 VAUGHAN, ON., L4K 1W1 416.272.2024
2010gjorgo@gmail.com & gjorgo@frasca3designandplanning.com

LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING TO REMAIN
	PROPOSED WALLS
	EXISTING TO BE DEMOLISHED/ REMOVED



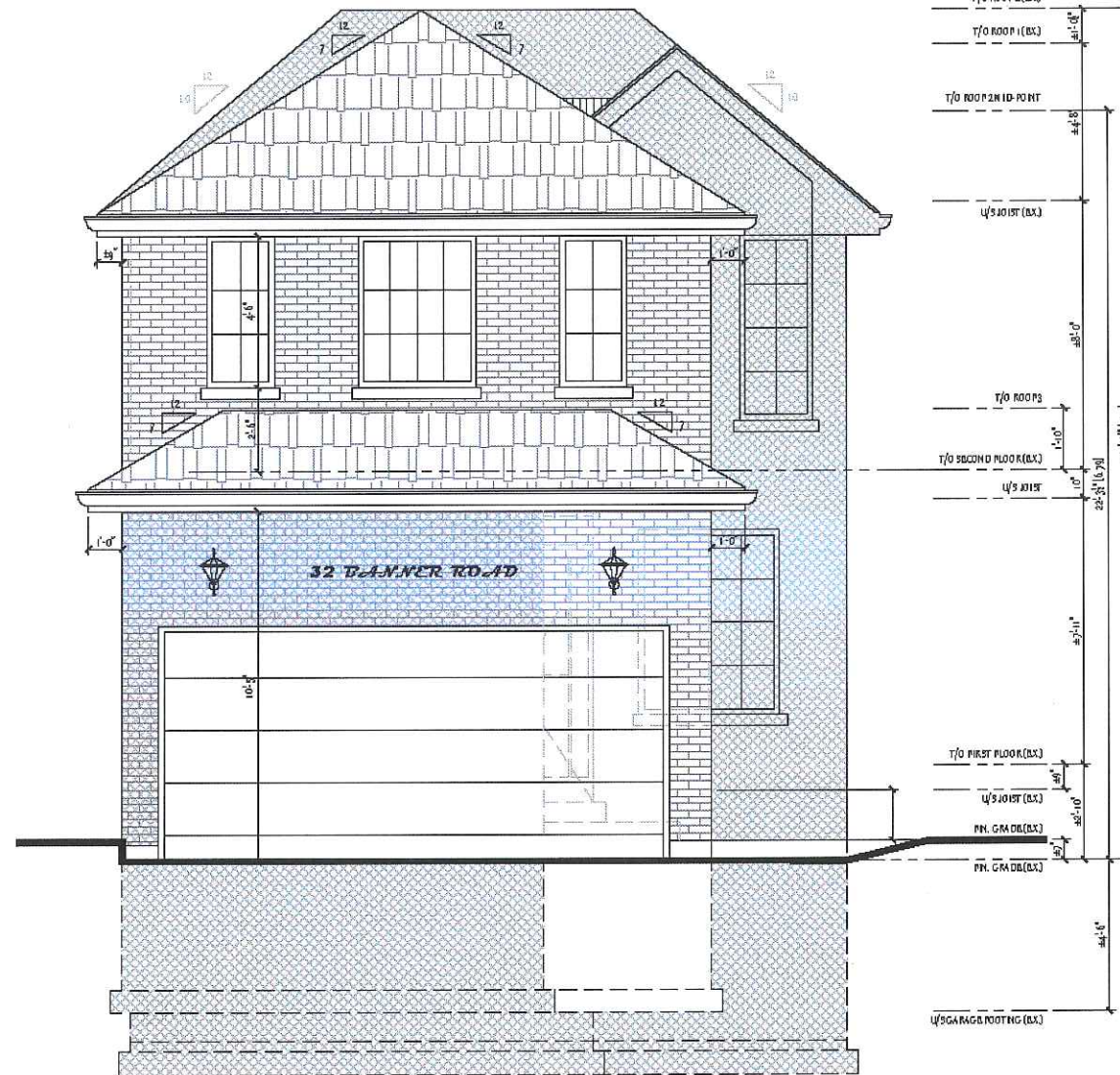
PROPOSED 1 STOREY ADDITION	
Project:	Project #:
32 BANNER RD, BRAMPTON, ON., L6X 4K8	21018

No.	Description	Date	By
1.	ISSUED FOR CofA (04)	JUNE 8, 2021	SK



ROOF PLAN
SCALE 3/8" = 1'-0"





LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING TO REMAIN
	ROOF ASPHALT SINGLES
	BRICK VENEER

PROPOSED 1 STOREY ADDITION

Project: 32 BANNER RD,
BRAMPTON, ON.,
L6X 4K8

Project #: 21018

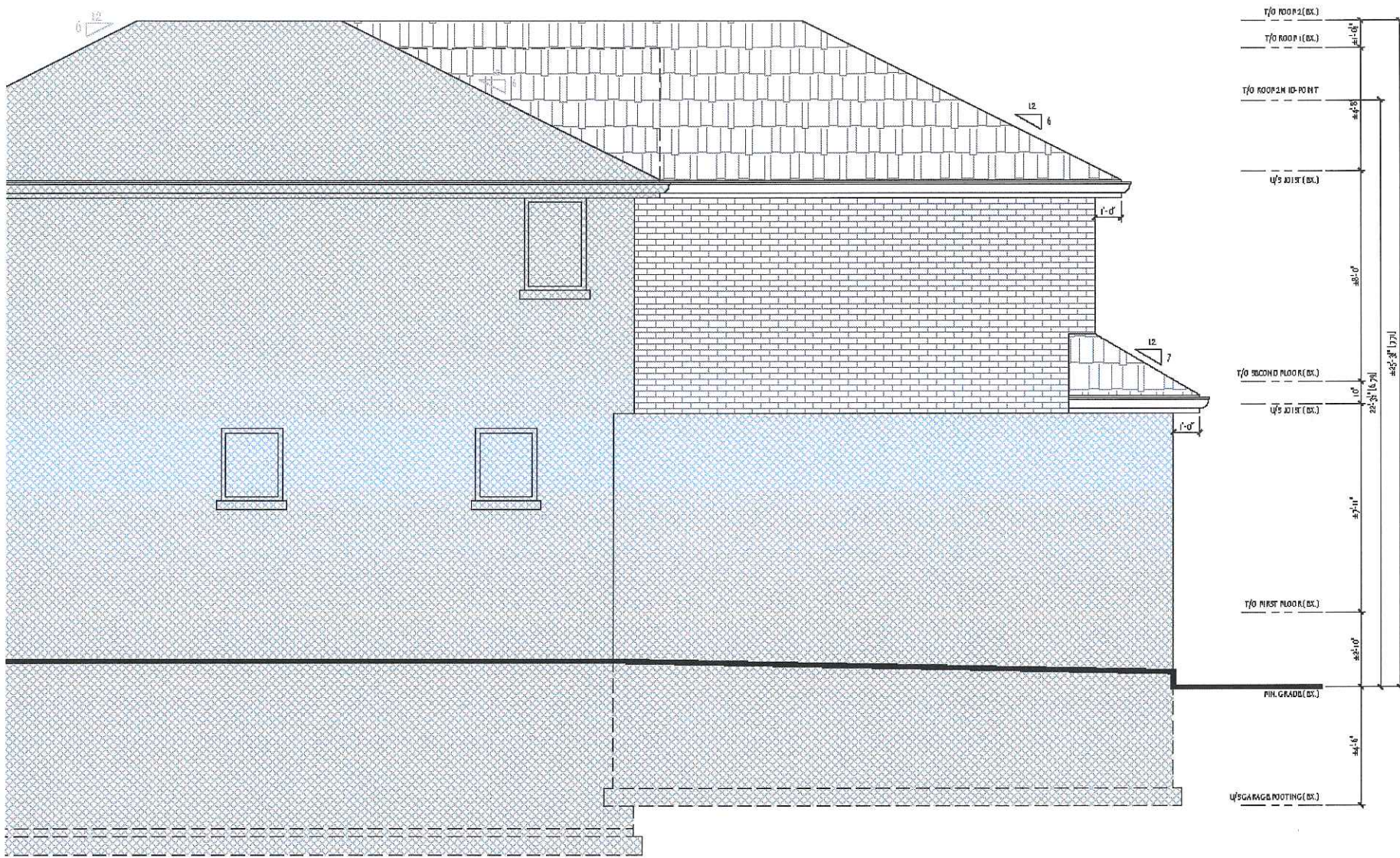
No.	Description	Date	By
1.	ISSUED FOR CoA (04)	JUNE 8, 2021	SK

EAST ELEVATION
SCALE 1/4" = 1'-0"

1
A7



2751 HIGHWAY 7, SUITE 201 VAUGHAN, ON., L4K 1W1 416.272.2024
2010gjorgj@gmail.com & gjorgj@frascadesignandplanning.com



LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING TO REMAIN
	ROOF ASPHALT SINGLES
	BRICK VENEER

PROPOSED
1 STOREY ADDITION

Project: 32 BANNER RD,
BRAMPTON, ON,
L6X 4K8

Project #: 21018

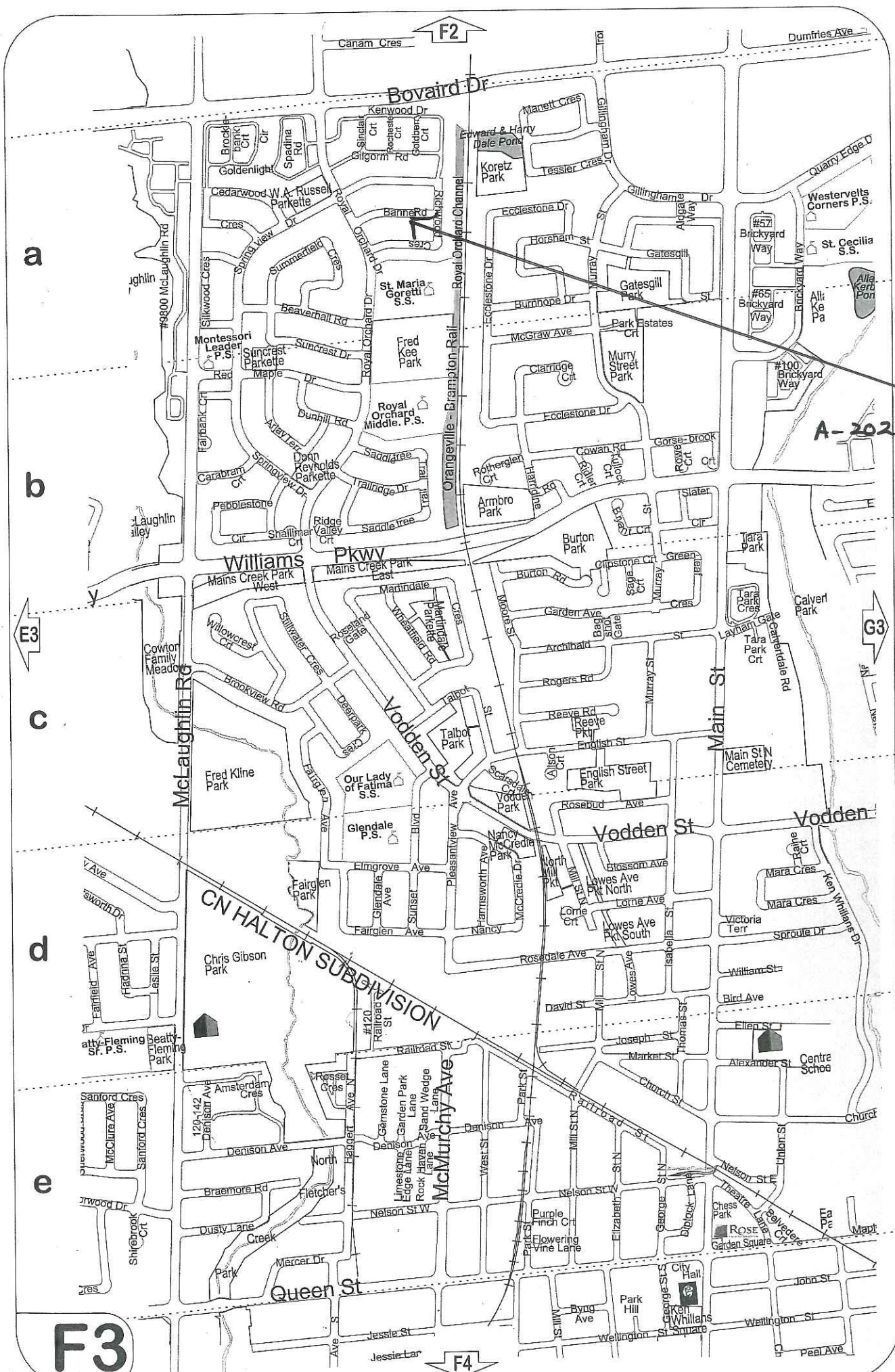
No.	Description	Date	By
1.	ISSUED FOR CoA (04)	JUNE 8, 2021	SK

SOUTH ELEVATION
SCALE 1/4" = 1'-0"

1
A8

FRASCA
Design & Planning
Residential - Retail - Commercial

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2010giorgio@gmail.com & giorgio@frascaesignandplanning.com



A-2021-0144

F3

F4

a

b

c

d

e