

APPLICATION # A-2021-0147
WARD #3

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **RUTH ELEANOR WEST** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 10, Plan BR-27, Part 2, Plan 43R-2195 municipally known as **141 ELIZABETH STREET SOUTH**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit lot coverage of 34.46% whereas the by-law permits a maximum lot coverage of 30%;
2. To permit an existing accessory structure (shed) in the rear yard having setback of 0.32m (1.05 ft.) to the rear lot line and 0.38m (1.25 ft.) to the interior side lot line whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) to the nearest lot line.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision:	<u>NO</u>	File Number:	<u></u>
Application for Consent:	<u>NO</u>	File Number:	<u></u>

The Committee of Adjustment has appointed **TUESDAY, August 3, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

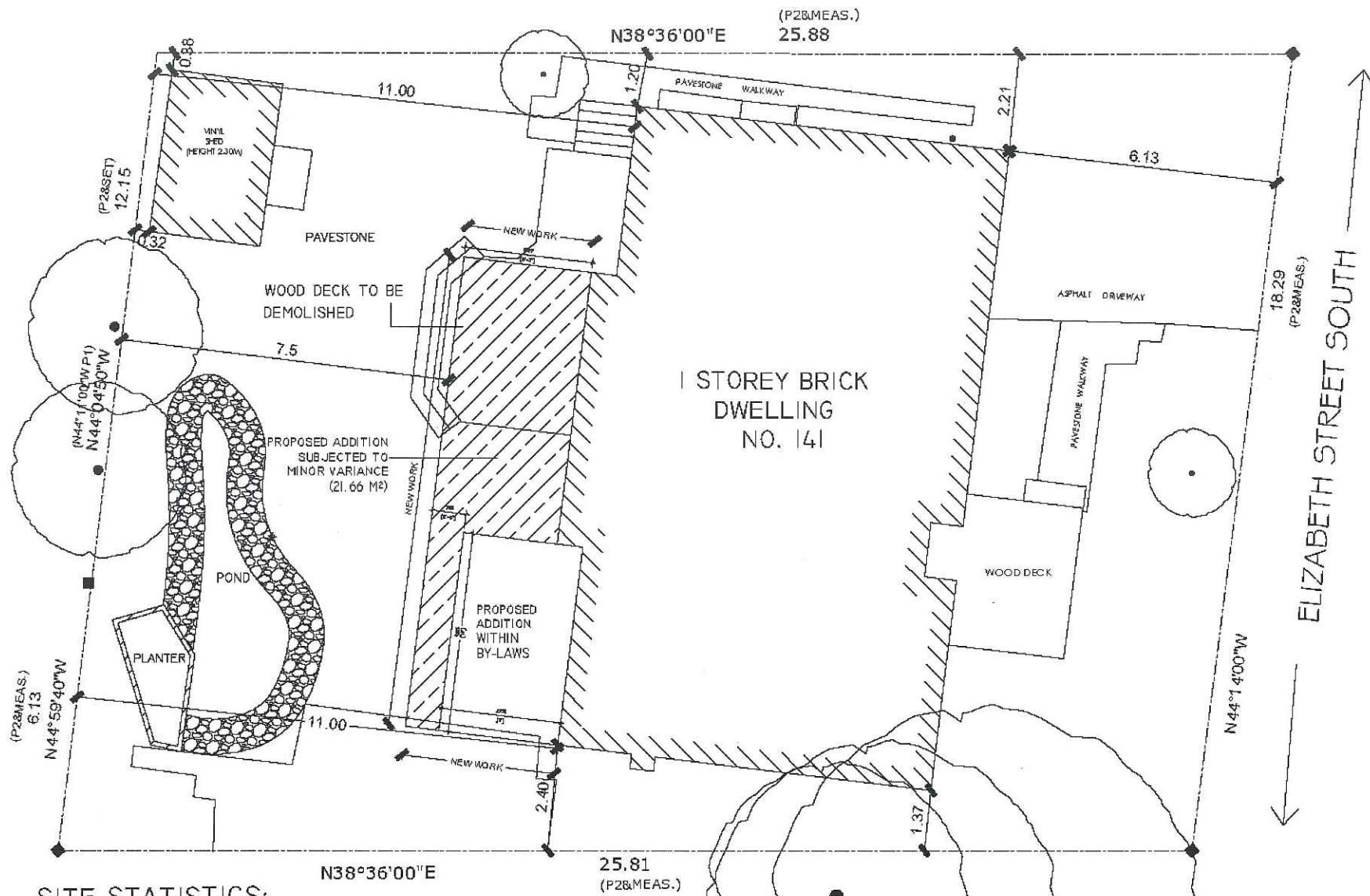
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this **22nd Day of July, 2021.**

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



SITE STATISTICS:

	EXISTING	ALLOWED	PROPOSED ADDITION AS PER ZONING BY LAWS	PROPOSED ADDITION MINOR VARIANCE REQUIRED
LOT AREA	468.66 SQM	--	--	--
DWELLING AREA	128.18 SQM	140.6 SQM	139.84 SQM	161.50 SQM
MAXIMUM COVERAGE	27.35%	30.00%	29.84%	34.46%
MINIMUM REAR YARD SETBACK	7.5 M	7.5 M	8.76 M	7.5 M
MINIMUM SIDE YARD SETBACK	1.2 M	1.2 M	2.40 M	2.40 M

SITE PLAN

SCALE - 1:100

ARE DIMS ARE IN MM UNLESS NOTED OTHERWISE

GENERAL NOTE:
The contractor shall check and verify all dimensions and report all errors and omissions to the consultant. All drawings, specifications and related documents are the copyright property of DESIGN FINE LTD. and may not be reproduced without their permission. Do not scale drawings. This drawing shall not be used for construction purposes unless issued for construction and signed by DESIGN FINE LTD.

DATE	NO	DESCRIPTION	BY

PROJECT:
141 ELIZABETH ST.,
BARMPTON, ON

CLIENT:

deSign
Fine Ltd.

CONSULTING ENGINEERS

96 KENNEDY ROAD SOUTH
BARMPTON, ON L0M 1E7
Ph: 905-452-6200 Fax: 905-452-6285
www.designfine.com

DRAWING TITLE: DETAIL - A		
DESIGN: SBS	SCALE: AS NOTED	DRAWING NO: S1M
DRAWN: LST	DATE: JUNE 2021	
CHECKED: SBS	PROJECT NO: D PL-2021097	

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures
How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, July 29, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, July 29, 2021**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, July 29, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

July 21, 2021

To: Committee of Adjustment

**RE: APPLICATION FOR MINOR VARIANCE
RRUTH ELEANOR WEST
PT. LOT 10, PLAN BR-27
A-2021-00147– 141 ELIZABETH STREET S
WARD 3**

Please **amend** application **A-2021-0147** to reflect the following:

1. To permit lot coverage of 34.46% whereas the by-law permits a maximum lot coverage of 30%;
2. To permit an existing accessory structure (shed) in the rear yard having setback of 0.32m (1.05 ft.) to the rear lot line and 0.38m (1.25 ft.) to the interior side lot line whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) to the nearest lot line.



Applicant/Authorized Agent



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2021-0147

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** RUTH ELEANOR WEST
Address 141 ELIZABETH ST SOUTH, BRAMPTON L6Y 1R8

Phone # 905-493-2984 **Fax #** _____
Email _____

2. **Name of Agent** AGYEI PEPRAH-ASIASE
Address 25 FREDRICK ST, BRAMPTON L6Y 1G5

Phone # 416-939-1550 **Fax #** _____
Email agyeipeprah@hotmail.com

3. **Nature and extent of relief applied for (variances requested):**
TO PERMIT A LOT COVERAGE OF 34.46%

4. **Why is it not possible to comply with the provisions of the by-law?**
MAXIMUM COVERAGE AREA IS 30%. WE ARE PROPOSING AN ADDITION OF 34.46%.

5. **Legal Description of the subject land:**
Lot Number Part of Lot 10, PLAN BR -27
Plan Number/Concession Number _____
Municipal Address 141 ELIZABETH ST S

6. **Dimension of subject land (in metric units)**
Frontage 18.29 M
Depth 25.88 M
Area 468.66 SQM

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

EXISTING FAMILY DWELLING (1 STOREY) - 128.18 sqm
SHED - 9.41 sqm

PROPOSED BUILDINGS/STRUCTURES on the subject land:

1 STOREY ADDITION AT THE REAR OF EXISTING DWELLING FOR 21.66 sqm, RESULTING IN THE NEED TO MINOR VARIANCE.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	6.13 M
Rear yard setback	7.5 M
Side yard setback	1.2 M
Side yard setback	1.37 M

PROPOSED

Front yard setback	6.13 M
Rear yard setback	7.5 M
Side yard setback	1.2 M
Side yard setback	1.37 M

10. Date of Acquisition of subject land: 1980
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 1980
15. Length of time the existing uses of the subject property have been continued: 41 YEARS
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____



Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY _____ OF BRAMPTON _____

THIS 30 02 DAY OF JUNE July, 2021.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Amyei Legnath-Asiase, OF THE City OF Brampton
IN THE County OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF _____

Peel THIS 2nd DAY OF

July, 2021.



Jeanie Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024. j.m.



Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1B (Mature)

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.



Zoning Officer

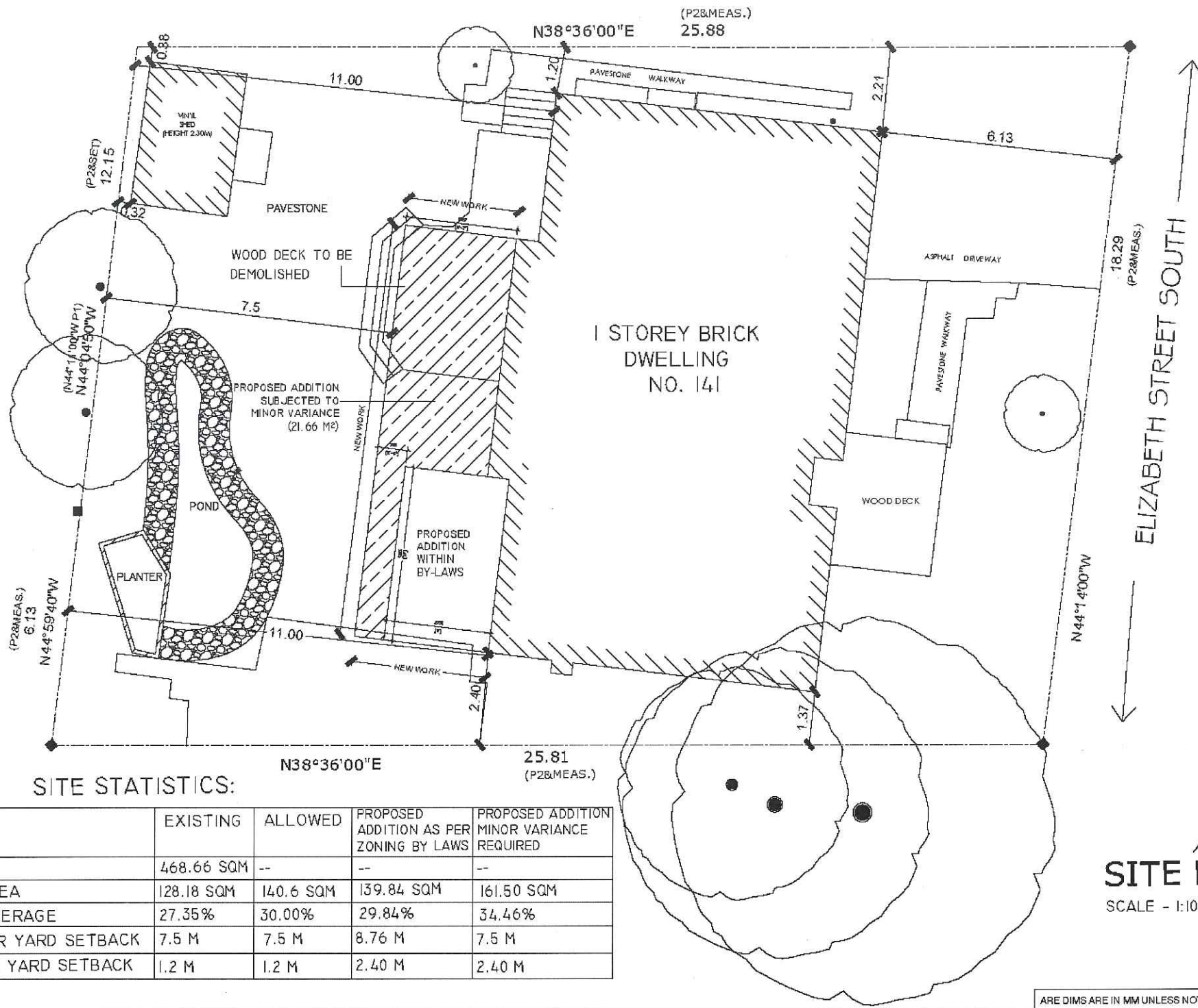
July 7, 2021

Date

DATE RECEIVED

Date Application Deemed
Complete by the Municipality

July 2, 2021
July 7, 2021



SITE STATISTICS:

	EXISTING	ALLOWED	PROPOSED ADDITION AS PER ZONING BY LAWS	PROPOSED ADDITION MINOR VARIANCE REQUIRED
LOT AREA	468.66 SQM	--	--	--
DWELLING AREA	128.18 SQM	140.6 SQM	139.84 SQM	161.50 SQM
MAXIMUM COVERAGE	27.35%	30.00%	29.84%	34.46%
MINIMUM REAR YARD SETBACK	7.5 M	7.5 M	8.76 M	7.5 M
MINIMUM SIDE YARD SETBACK	1.2 M	1.2 M	2.40 M	2.40 M

SITE PLAN
SCALE - 1:100

ARE DIMS ARE IN MM UNLESS NOTED OTHERWISE

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DATE NO DESCRIPTION BY

REVISIONS:

PROJECT:

141 ELIZABETH ST.,

BARMPTON, ON

CLIENT:

deSign
Fine Ltd.

CONSULTING ENGINEERS

95 KENNEDY ROAD, SOUTH
BARMPTON, ON L6M 4E7
Ph: 905-452-6200 Fax: 905-452-6283
www.thedesignfine.com

DRAWING TITLE:

DETAIL - A

DESIGN:
BBS

SCALE:
AS NOTED

DRAWING NO:

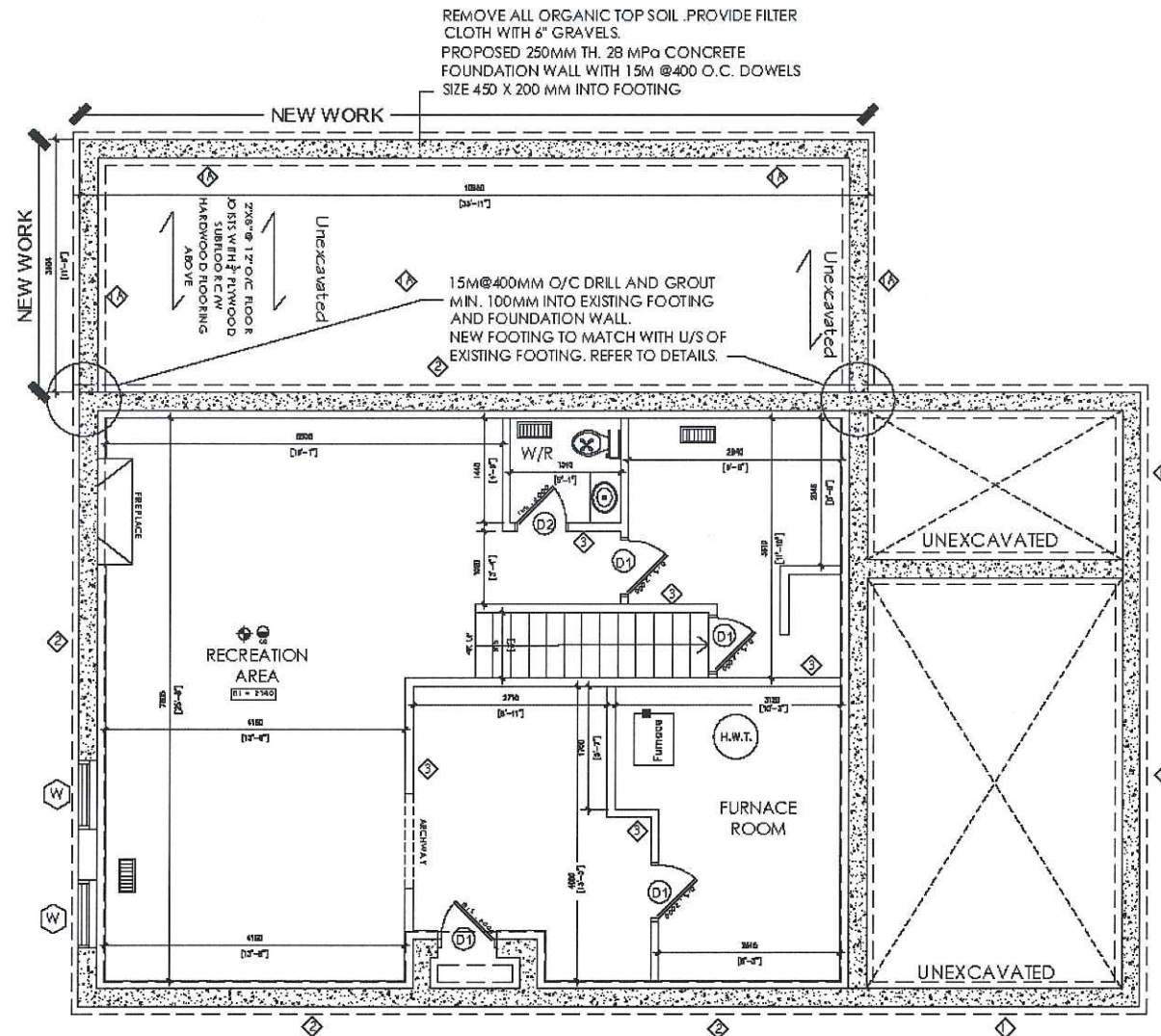
DRAWN:
LFT

DATE:
JUN 8, 2021

CHECKED:
BBS

PROJECT NO:
DFL-2021-067

S1M



WALL SCHEDULE

- EXISTING INTERIOR 3/8 X 89 @ 406 O/C 12.7 MM GYPSUM WALL BOARDS ON BOTH THE SIDES
- EXISTING FOUNDATION WALL
- PROPOSED FOUNDATION WALL
- EXISTING 3/8 X 140 WOOD FRAMING @ 406 O.C. RSI 2.11 INSULATION W/VAPOUR BARRIER UP TO THE FULL BASEMENT HEIGHT

WINDOW SCHEDULE

(EXISTING TO REMAIN)
W 800 X 340 WINDOW

DOOR SCHEDULE

(EXISTING TO REMAIN)
D 1 815 X 2000 DOOR
D 2 765 X 2000 DOOR

LEGEND:

- WIRED INTERCONNECTED SMOKE ALARM WITH VISUAL SIGNALING COMPONENT (STROBE)
- PROVIDE DUCT TYPE SMOKE DETECTOR WHICH UPON ACTIVATION WILL TURN OFF FUEL SUPPLY AND ELECTRICAL TO THE HEATING SYSTEM
- CLG. MTD. EXHAUST FAN POWERED BY ELECT. LIGHT SWITCH CONTD. TO O/S DAMPERED VENT
- HEATING OUTLET
- ELECTRIC OUTLET
- CARBON MONOXIDE DETECTOR

PROPOSED BASEMENT FLOOR PLAN

Scale = 1:75

ELIZABETH STREET

ARE DIMS ARE IN MM UNLESS NOTED OTHERWISE

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REVISIONS:

PROJECT:

141 ELIZABETH ST.,
BARMPTON, ON

CLIENT:

deSign
Fine Ltd.

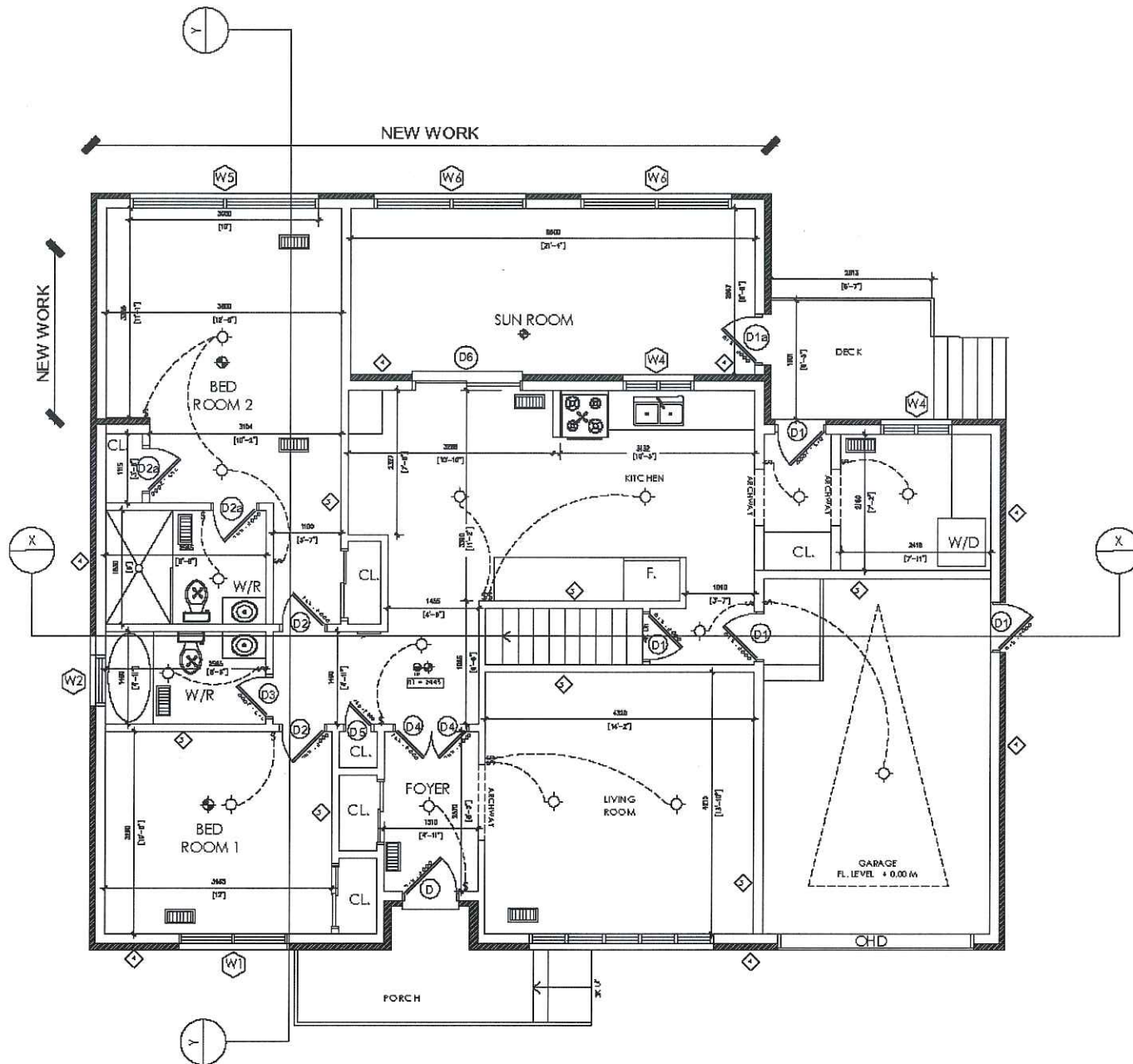
CONSULTING ENGINEERS

95 KENNEDY ROAD SOUTH
BARMPTON, ON L6M 4E7
Ph: 905-432-6200 Fax: 905-432-6283
www.thedesignfine.com

DRAWING TITLE:

PROPOSED BASEMENT PLAN

DESIGN: BBB	SCALE: AS NOTED	DRAWING NO:
DRAWN: LFT	DATE: JUNE 2021	A1M
CHECKED: BBB	PROJECT NO: DFL-2021-067	



WALL SCHEDULE

- EXISTING EXTERIOR BRICK MOISTURE BARRIER
13 MM SHEATHING R20 INSULATION 38 X 140 @406
O/C VAPOR BARRIER 12.7 MM GYPSUM WALL BOARD
- EXISTING INTERIOR 38 X 89 @406 O/C 12.7 MM
GYPSUM WALL BOARDS ON BOTH THE SIDES
- HEATING OUTLET
- WIRED INTERCONNECTED SMOKE ALARM
WITH VISUAL SIGNALING COMPONENT (STROBE)
- PROVIDE DUCT TYPE SMOKE DETECTOR WHICH
UPON ACTIVATION WILL TURN OFF FUEL SUPPLY
AND ELECTRICAL TO THE HEATING SYSTEM
- CARBON MONO-OXIDE DETECTOR
- CLG. MTD. EXHAUST FAN POWERED BY ELECT.
LIGHT SWITCH CONTD. TO O/S DAMPERED VENT
- AIR RETURN

WINDOW SCHEDULE

(EXISTING TO REMAIN)

- W1 1760(W) X 1470 (H) WINDOW
- W2 820(W) X 510(H) WINDOW
- W3 1760(W) X 1140(H) WINDOW
- W4 1143(W) X 1143(H) WINDOW

WINDOW SCHEDULE

(PROPOSED)

- W5 3050(W) X 1830(H) WINDOW
(10' (W) X 6' (H) WINDOW)
- W6 2423(W) X 1030(H) WINDOW
(8' (W) X 6' (H) WINDOW)

DOOR SCHEDULE

(EXISTING TO REMAIN)

- D 915 X 2000 (36" X 80") EXT. DOOR
- D 1 815 X 2000 (32" X 80") DOOR
- D 2 765 X 2000 (30" X 80") DOOR
- D 3 715 X 2000 (28" X 80") DOOR
- D 4 610 X 2000 (24" X 80") DOOR
- D 5 480 X 2000 (18" X 80") DOOR

DOOR SCHEDULE

(PROPOSED)

- D 1a 815 X 2000 (30" X 80") DOOR
LINTEL: 2'2" X 6" SPF TYP.
- D 2a 765 X 2000 (30" X 80") DOOR
LINTEL: 2'2" X 6" SPF TYP.
- D 8 1143 X 2000 (47" X 80") DOOR
LINTEL: 2'2" X 6" SPF TYP.

PROPOSED MAIN FLOOR PLAN

Scale= 1:75 (AREA 139.84 SQ.M.)

← ELIZABETH STREET →

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DATE	NO	DESCRIPTION	BY

REVISIONS:

PROJECT:

141 ELIZABETH ST.,
BARMPTON, ON

CLIENT:



CONSULTING ENGINEERS

95 KENNEDY ROAD SOUTH
BARMPTON, ON L6M 4E7
PH: 905-432-6200 FAX: 905-432-6285
www.thedesignfine.com

DRAWING TITLE:

PROPOSED MAIN FLOOR PLAN

DESIGN: SES	SCALE: AS NOTED	DRAWING NO:
DRAWN: LST	DATE: JUNE 2021	A2M
CHECKED: SES	PROJECT NO: D.P.-2021-067	

ARE DIMS ARE IN MM UNLESS NOTED OTHERWISE



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[illegible]

REVISIONS:

PROJECT:

141 ELIZABETH ST.,

BARMPTON ,ON

CLIENT:



CONSULTING ENGINEERS

96 KENNEDY ROAD SOUTH
BRAMPTON, ON L6W 8E7
Ph: 905-432-8200 Fax: 905-432-8285
www.thedesignline.com

DRAWING TITLE:

PROPOSED ELEVATION

DESIGN: BBS	SCALE: AS NOTED	DRAWING NO: A4M
DRAWN: LST	DATE: JUNE 2021	
CHECKED: BBS	PROJECT NO DFL-2021-067	

METRIC
DISTANCES SHOWN ON THIS PLAN ARE
IN METRES AND CAN BE CONVERTED
TO FEET BY DIVIDING BY 0.3048

HAROLD STREET

SURVEYOR'S REAL PROPERTY REPORT

PLAN OF SURVEY WITH TOPOGRAPHY OF
PART OF LOT 10
PLAN BR-27
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1 : 125
2.5 0 2.5 5 7.5 metres

TARASICK McMILLAN KUBICKI LIMITED
ONTARIO LAND SURVEYORS

© COPYRIGHT, 2021

REPORT SUMMARY

PROPERTY DESCRIPTION: 141 ELIZABETH STREET SOUTH, BEING PART OF
LOT 10, PLAN BR-27, DESIGNATED AS PART 2, PLAN 43R-2195,
CITY OF BRAMPTON, REGIONAL MUNICIPALITY OF PEEL, PIN 14059-0017.

THERE ARE NO EASEMENTS REGISTERED ON TITLE.

COMMENTS: NOTE LOCATION OF FENCES.

ELEVATION NOTE

ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM-1928.
(1978 SOUTHERN ONTARIO RE-ADJUSTMENT) AND WERE DERIVED FROM
CITY OF BRAMPTON BENCHMARK No. 56, HAVING A PUBLISHED ELEVATION
OF 218.500 metres.

BEARING NOTE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE
SOUTHWESTERLY UNIT OF PART 5, AS SHOWN ON PLAN 43R-2195,
HAVING A BEARING OF 44°14'00"W.

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT PLANTED
IE	DENOTES	IRON BAR
SID	DENOTES	STANDARD IRON BAR
RIB	DENOTES	ROUND IRON BAR
TC	DENOTES	TOP OF CURB
EC	DENOTES	BOTTOM OF CURB
COT	DENOTES	CURB CUT
MB	DENOTES	MANHOLE
CS	DENOTES	CATCH BASIN
WUP	DENOTES	WOOD UTILITY POLE
WV	DENOTES	WATER VALVE
F1	DENOTES	PLAN BR-27
F2	DENOTES	PLAN 43R-2195
F3	DENOTES	DUNCAN ASHWORTH SURVEYING LTD., JUL. 14, 1989

○ C.20A DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER

○ C.20P DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER

TREE CANOPIES ARE DRAWN TO SCALE.

PREPARED FOR:

THIS REPORT WAS PREPARED FOR DESIGN RITE LTD. AND THE
UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEYORS ACT, THE SURVEYORS REG. AND THE
REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON JUNE 8, 2021.

JUNE 15, 2021
DATE

BORIS KUBICKI
ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SURVEYOR FORM
V-13003

THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
It is subject to the
Regulation 1226, Statute 2011

TARASICK McMILLAN KUBICKI LIMITED
ONTARIO LAND SURVEYORS

4181 S. ADEVIEW CRESCENT, UNIT 42, MISSISSAUGA, ONTARIO L5L 5K2
TEL: (905) 569-5849 FAX: (905) 569-3160
E-MAIL: office@tarasickkubicki.com

DRAWN BY: F.D.

PRI F No. 9072-SRP3-T

A-2021-0147

a

b

c

d

e

