



APPLICATION # A-2021-0167
WARD #3

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **HAKAM SINGH SANDHU AND SURINDERPAL KAUR SANDHU** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lots 32 and 33, Plan D14 municipally known as **11 HILLCREST AVENUE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit interior side yard setbacks of 1.24m (4.07 ft.) and 1.5m (4.92 ft.) whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.);
2. To permit a building height of 9.01m (30 ft.) whereas the by-law permits a maximum building height of 8.5m (27.89 ft.);
3. To permit lot coverage of 38.8% whereas the by-law permits a maximum lot coverage of 30%.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision:	<u>NO</u>	File Number:	<u></u>
Application for Consent:	<u>NO</u>	File Number:	<u></u>

The Committee of Adjustment has appointed **TUESDAY, August 24, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

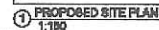
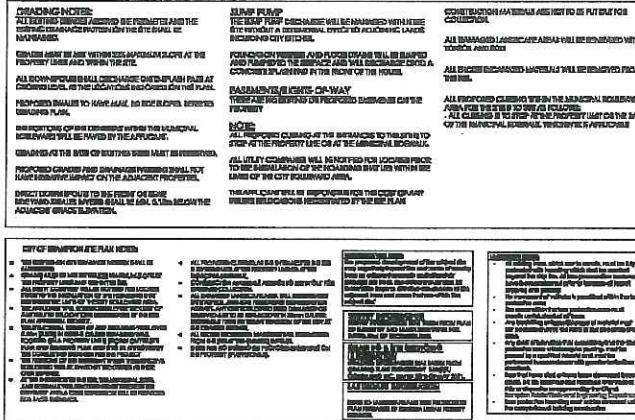
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

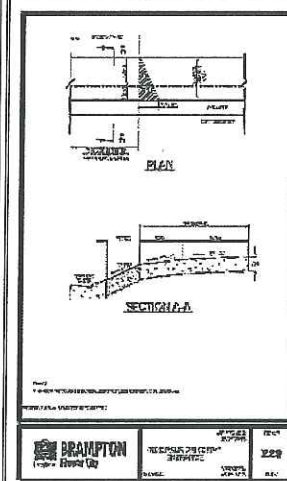
DATED at Brampton Ontario, this **12th Day of August, 2021.**

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



 BRAMPTON Fire City	RECEIVED TELETYPE UNIT 11/11/81 11:11 AM 11/11/81 11:11 AM	251 100
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11 HILL CREST AVE

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures
How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, August 20, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, August 21, 2021**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, August 21, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City



brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: **A-2021-0167**

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. **Name of Owner(s)** Hakam Singh Sandhu and Surinderpal Kaur Sandhu
Address 16 Brigend Cres, Brampton ON L6P 1K6

Phone # 647-740-4332 **Fax #** _____
Email sparkimpex@gmail.com

2. **Name of Agent** Amitpal Bansal
Address 106 Fruitvale Circle, Brampton ON L7A 5C1

Phone # 647-468-2940 **Fax #** _____
Email abansal@tkqeast.ca

3. **Nature and extent of relief applied for (variances requested):**
1) Side yard setback - proposed 1.24m whereas 1.8m is permitted
2) Maximum Lot Coverage - Proposed 38.8% whereas permitted is 30%
3) Max. building height - Proposed 9.01m whereas permitted is 8.5m

4. **Why is it not possible to comply with the provisions of the by-law?**
Multi-generational family would like to build their forever home and require additional ground floor area to accommodate the desired spaces on the second floor which result in the need for a variance for the lot coverage. We understand that there has been a house on the same street within close proximity that was approved for 41.9% (A19-010). All other variance we feel are minor in nature.

5. **Legal Description of the subject land:**
Lot Number LOT 32 AND 33, REGISTERED PLAN D-14
Plan Number/Concession Number _____
Municipal Address 11 HILLCRES AVENUE

6. **Dimension of subject land (in metric units)**
Frontage 18.29
Depth 30.48
Area 557.5 sq.m

7. **Access to the subject land is by:**
Provincial Highway ☐
Municipal Road Maintained All Year ☒
Private Right-of-Way ☐
Seasonal Road ☐
Other Public Road ☐
Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

- 1) 1 storey single family dwelling - 126 m², approx. 5m height
2) Frame Garage - 30.6 m² approx 3m height

PROPOSED BUILDINGS/STRUCTURES on the subject land:

New 2 storey single family dwelling - 375.7 GFAM², 9m height, 15.54m x 14.33m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	2.04m
Rear yard setback	37.33m
Side yard setback	2.46m
Side yard setback	7.61m

PROPOSED

Front yard setback	7.27 to main house
Rear yard setback	3.38 m
Side yard setback	1.24 m
Side yard setback	1.50m

10. Date of Acquisition of subject land: March 23, 2021
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: approx 1960's
15. Length of time the existing uses of the subject property have been continued: approx. 61 years
16. (a) What water supply is existing/proposed?
Municipal ☒
Well ☐ Other (specify) _____
- (b) What sewage disposal is/will be provided?
Municipal ☒
Septic ☐ Other (specify) _____
- (c) What storm drainage system is existing/proposed?
Sewers ☒
Ditches ☐
Swales ☐ Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE City _____ OF Brampton _____

THIS July _____ DAY OF _____, 2021

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

Hakam Singh Saveth and
We, Gurinderpal Paul Sandhu OF THE City OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF Brampton

IN THE Region OF

Peel THIS 9th DAY OF
July 2021

H. Sandhu
Signature of Applicant or Authorized Agent

Submit by Email

RAMINDERPAL SINGH SIDHU
Barrister, Solicitor & Notary Public
60 COTTRELL BLVD., UNIT 8

BRAMPTON, ON L6S 0E1 FOR OFFICE USE ONLY
P: (905) 796-1010 F: (905) 795-9577

Present Zoning By-law Classification:

R1B (Mature)

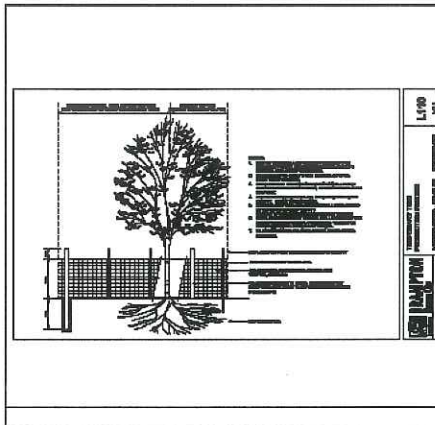
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

T. Hynes
Zoning Officer

July 23, 2021
Date

DATE RECEIVED
Date Application Deemed
Complete by the Municipality

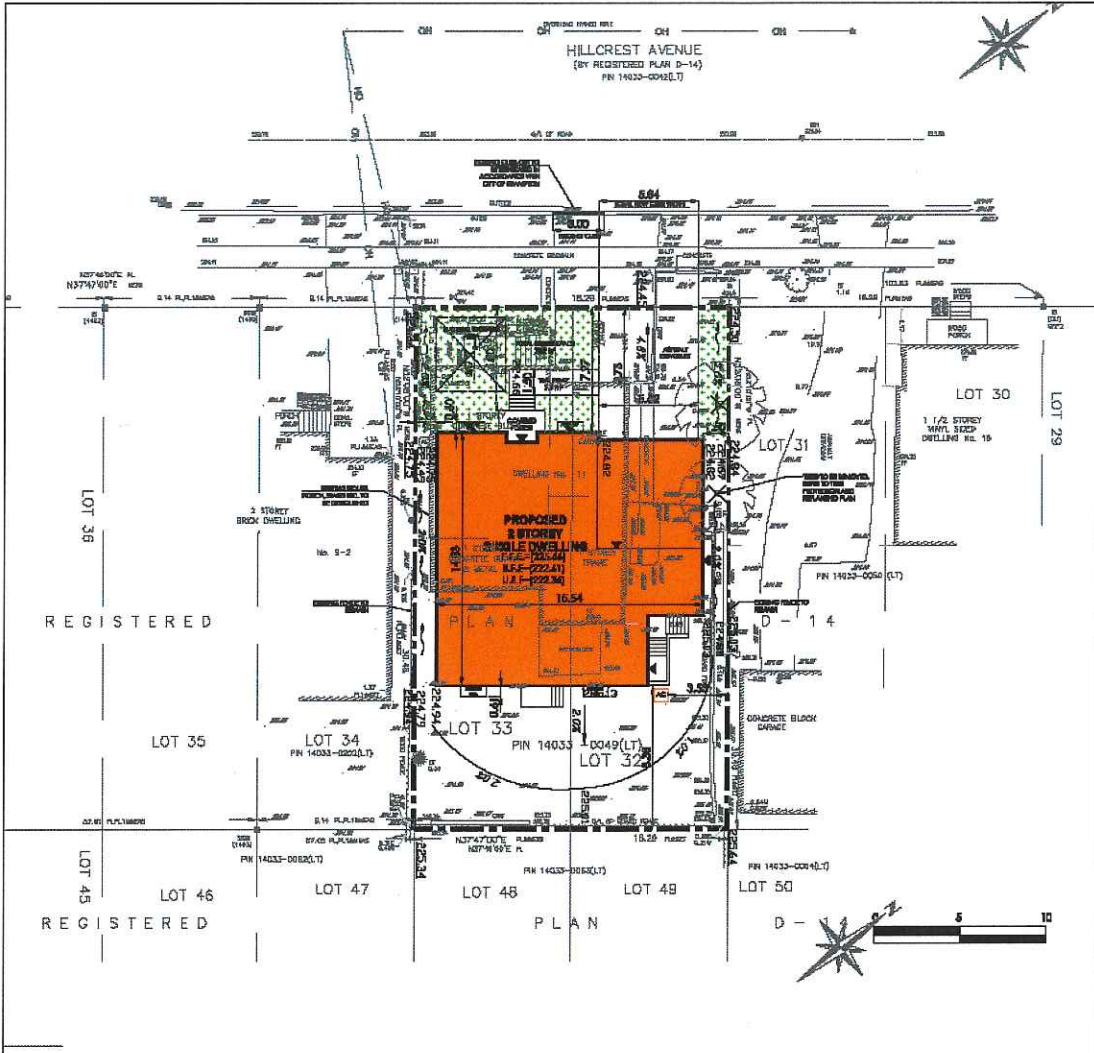
July 23, 2021
July 27, 2021



GRADING NOTES:
ALL EXISTING GRADES AND ELEVATIONS ARE TO BE MAINTAINED UNLESS OTHERWISE NOTED ON THE SITE PLAN.
THE PROPOSED GRADE SHALL BE MAINTAINED AT THE EXISTING GRADE UNLESS OTHERWISE NOTED ON THE SITE PLAN.
THE PROPOSED GRADE SHALL BE MAINTAINED AT THE EXISTING GRADE UNLESS OTHERWISE NOTED ON THE SITE PLAN.

SEWER PUMP:
THE SEWER PUMP SHALL BE MAINTAINED AT THE EXISTING GRADE UNLESS OTHERWISE NOTED ON THE SITE PLAN.

CONSTRUCTION MATERIALS:
ALL CONSTRUCTION MATERIALS SHALL BE MAINTAINED AT THE EXISTING GRADE UNLESS OTHERWISE NOTED ON THE SITE PLAN.



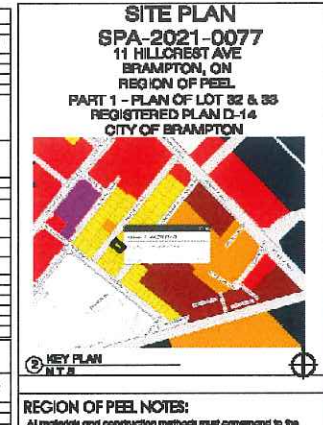
1. PROPOSED SITE PLAN

SITE DATA - CITY OF BRAMPTON ZONING BY-LAW

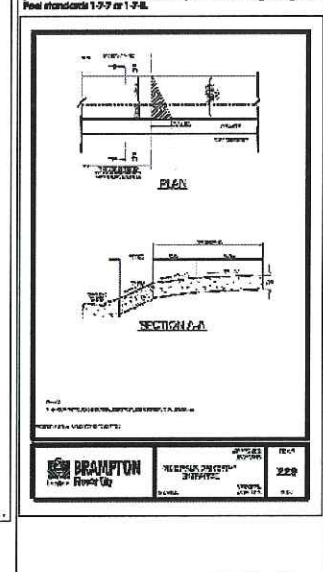
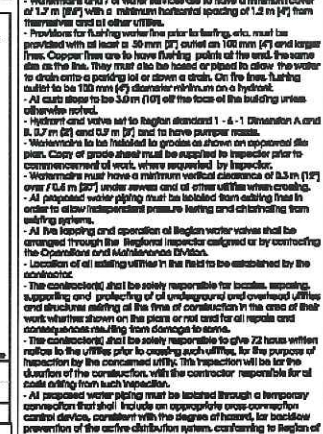
PARAMETER	PERMITTED	NATURE	PROPOSED
MINIMUM LOT AREA	4000 m ²	RESIDENTIAL	10000 m ²
MINIMUM LOT WIDTH	12.00 m	RESIDENTIAL	12.00 m
MINIMUM LOT DEPTH	10.00 m	RESIDENTIAL	10.00 m
MINIMUM FRONT YARD SETBACK	3.00 m	RESIDENTIAL	3.00 m
MINIMUM SIDE YARD SETBACK	1.00 m	RESIDENTIAL	1.00 m
MINIMUM REAR YARD SETBACK	1.00 m	RESIDENTIAL	1.00 m
MAXIMUM BUILDING HEIGHT	10.00 m	RESIDENTIAL	10.00 m
MAXIMUM GARAGE OVERHANG	1.00 m	RESIDENTIAL	1.00 m
MAXIMUM GARAGE DEPTH	10.00 m	RESIDENTIAL	10.00 m
MAXIMUM GARAGE HEIGHT	3.00 m	RESIDENTIAL	3.00 m

ESTABLISHED DRAINAGE CALCULATION

ITEM	VALUE
POUR 1	20.00
POUR 2	20.00
POUR 3	20.00
POUR 4	20.00
POUR 5	20.00
POUR 6	20.00
POUR 7	20.00
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POUR 98	20.00
POUR 99	20.00
POUR 100	20.00



REGION OF PEEL NOTES:
All materials and construction methods must conform to the current Peel Public Works standards and specifications.
Watermain and / or sewer service materials 150 mm (6") and larger must be DR 15 P.V.C. pipe manufactured to A.M.P.A. spec. C900-15.
Watermain and / or sewer service materials 150 mm (6") and larger must be DR 15 P.V.C. pipe manufactured to A.M.P.A. spec. C900-15.
Watermain and / or sewer service materials 150 mm (6") and larger must be DR 15 P.V.C. pipe manufactured to A.M.P.A. spec. C900-15.



PROJECT NAME
11 HILLCREST AVE
BRAMPTON ON

PROJECT ADDRESS
11 HILLCREST AVE
BRAMPTON ON

CLIENT
HAKAM SINGH

ARCHITECT
KHALSA DESIGN INC.

BRAMPTON, ON
TELEPHONE 947-88-8888

CONSULTANTS:

REGISTRATION

No.	Description	Date
1	REGISTERED FOR DESIGN SERVICES	2024

PROPOSED SITE PLAN

ASP-1
11 HILLCREST AVE

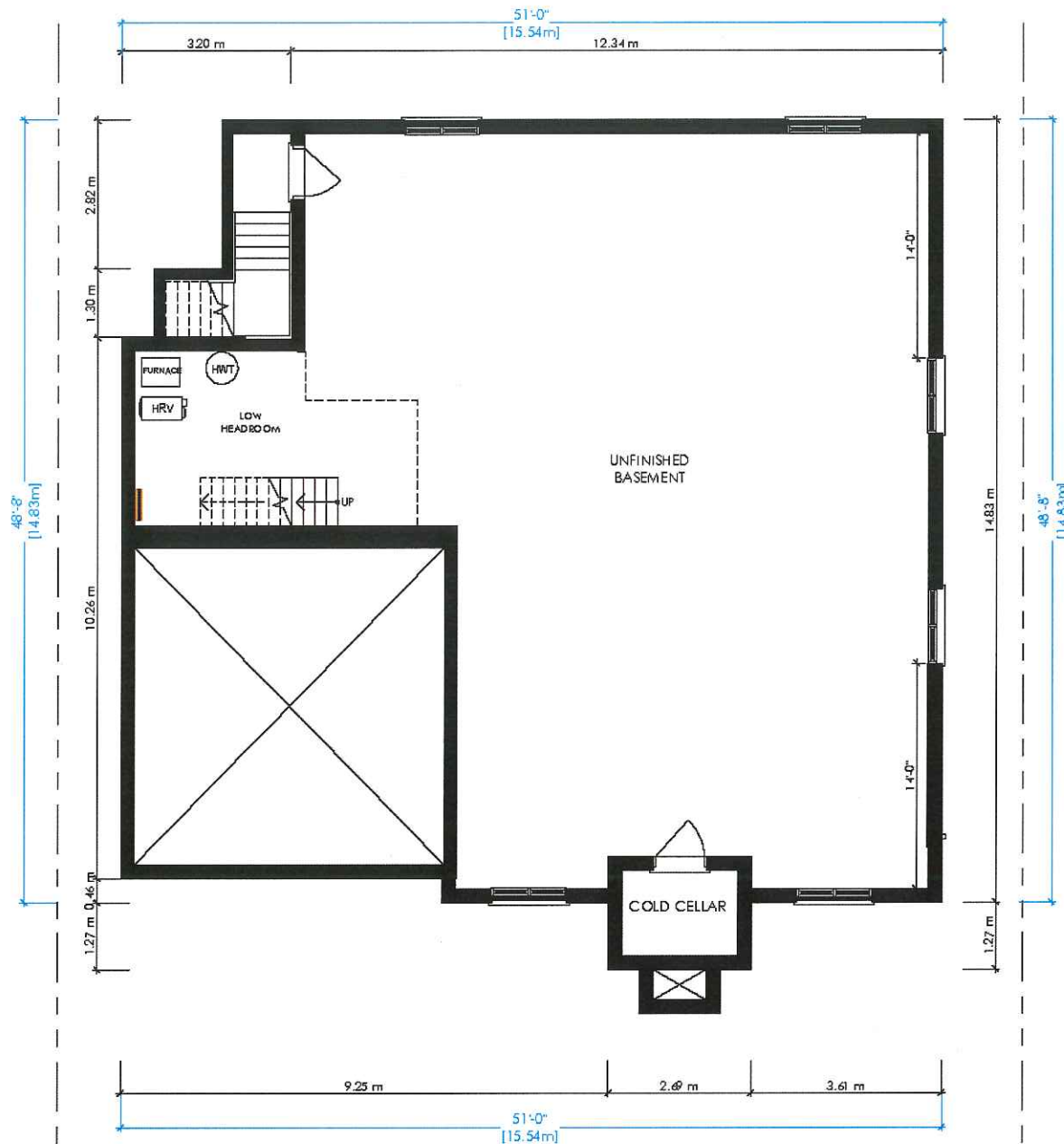


KHALSA DESIGN INC.
www.kgsdesign.com
ahamrai@kgsdesign.com
647.495.2940

11 HILLCREST BRAMPTON ON- HAKAM SINGH
BRAMPTON, ON
BRAMPTON, ONTARIO

21034
4044 SF INCLUDING OPEN SPACE

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0m 1m 2m 5m	
BALDER	SCALE
	1/8" = 1'-0"
	DATE
	07/02/2021
	DRAWN BY
	KD

SPA-2021-0077

DRAWING TITLE
BASEMENT PLAN

SHEET NO.
A-1



KHALSA DESIGN INC.
www.khalsadesign.com
abernia@khalsadesign.com
847.465.2940

11 HILLCREST BRAMPTON ON- HAKAM SINGH

BRAMPTON, ONTARIO

4044 SF INCLUDING OPEN SPACE

21034

BUILDER

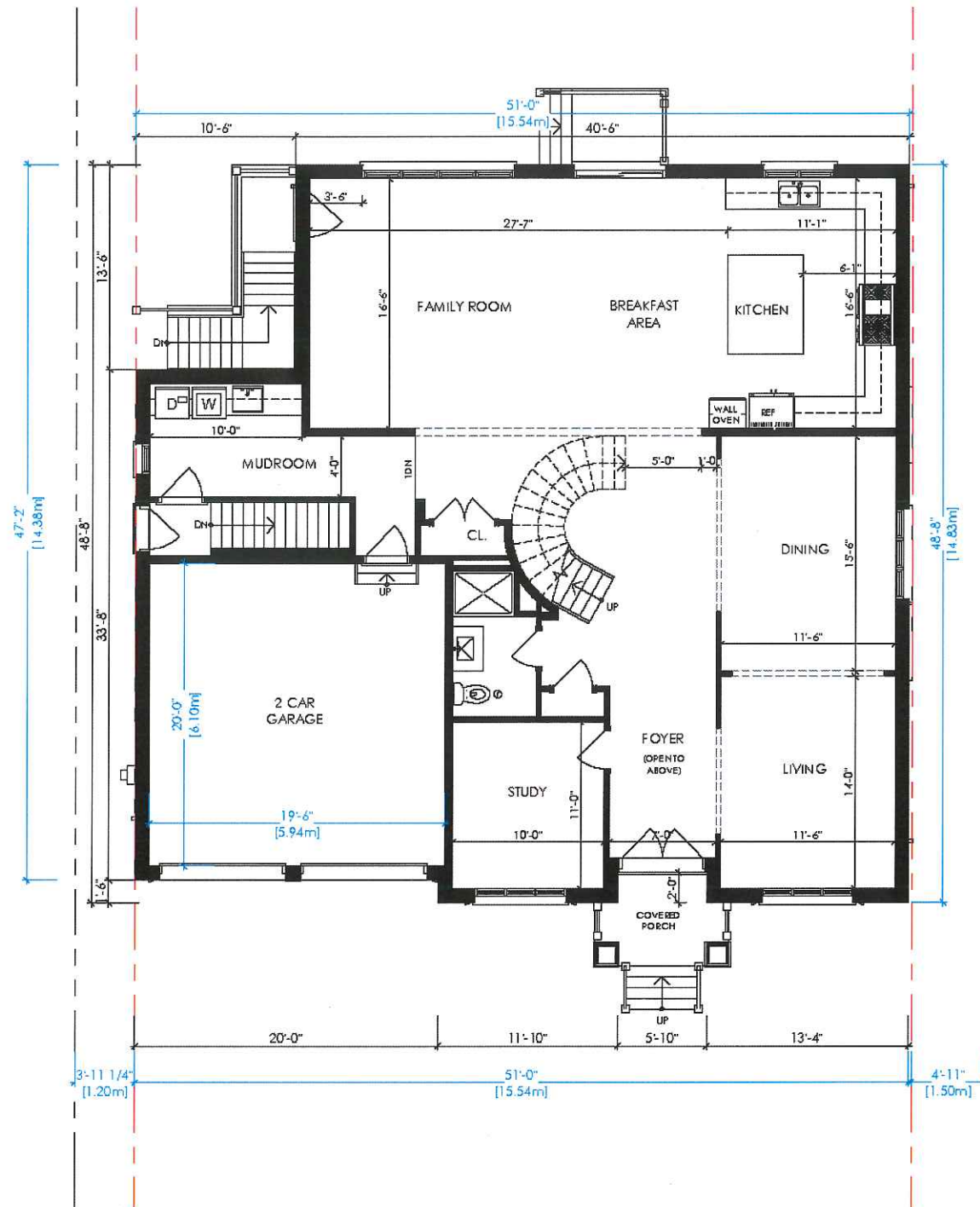
SCALE
1/8" = 1'-0"
DATE
07/02/2021
DRAWN BY
KD

DRAWING TITLE

**GROUND FLOOR
PLAN**

SHEET NO.

A-2



GROUND FLOOR

1872 sq ft	
GROSS FLOOR AREA	1872 sq ft
DEDUCT OPEN AREAS	0 sq ft
COVERAGE W/O PORCH	2278 sq ft
COVERAGE W/ PORCH	2327 sq ft

SPA-2021-0077



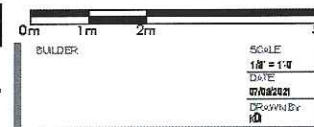
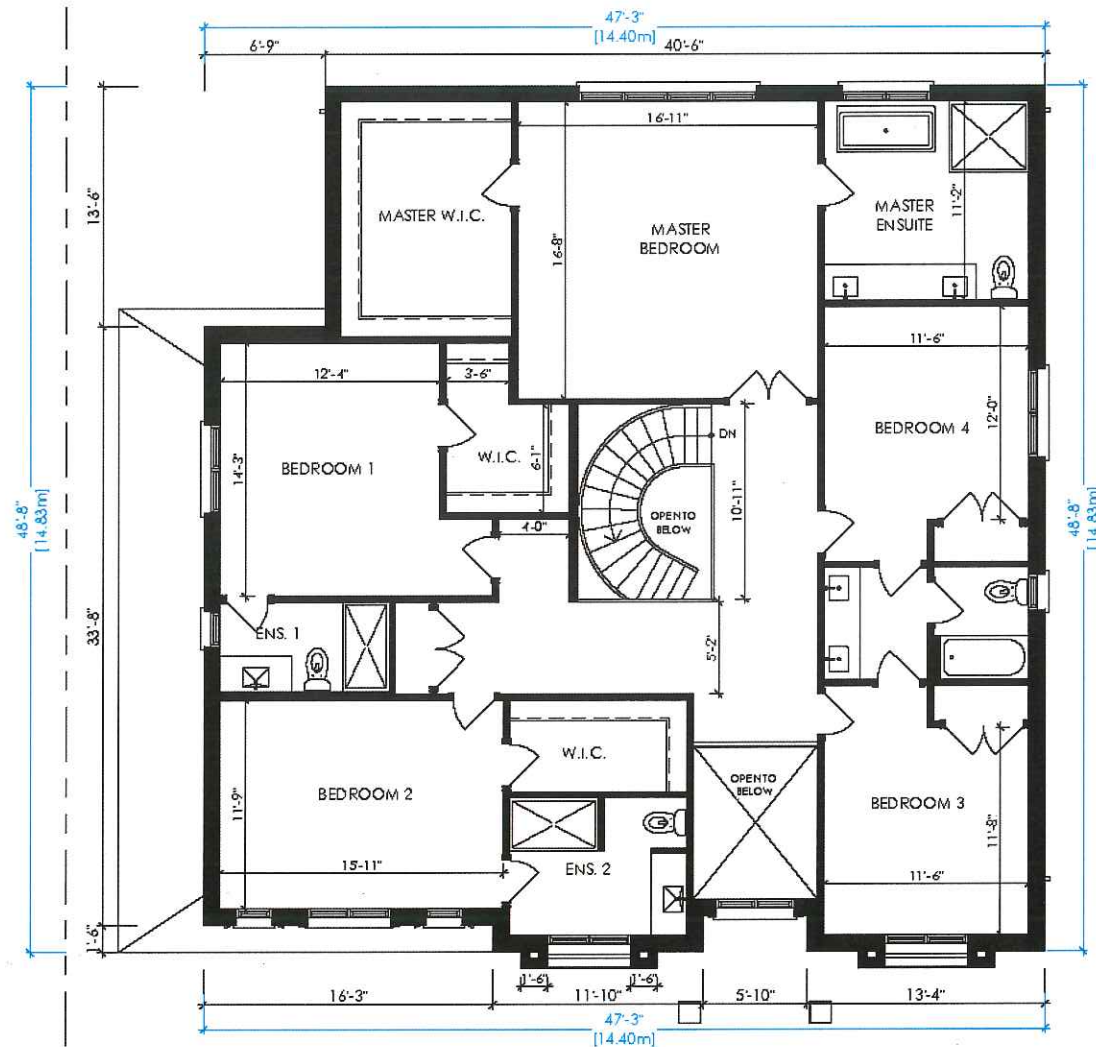
KHALSA DESIGN INC.
www.kdgsent.ca
abansal@kdgsent.com
647.466.2940

11 HILLCREST BRAMPTON ON- HAKAM SINGH

BRAMPTON, ON
BRAMPTON, ONTARIO

21034
4044 SF INCLUDING OPEN SPACE

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SECOND FLOOR

2091 sq ft
GROSS FLOOR AREA 2172 sq ft
DEDUCT OPEN AREAS 81 sq ft
NET AREA 2091 sq ft

SPA-2021-0077

DRAWING TITLE

**SECOND FLOOR
PLAN**

SHEET NO.

A-3

MATERIAL LEGEND	
Key Value	Keynote Text
EF1	ASPHALT SHINGLES (MYSTIC BLACK)
EF2	STONE VENEER (VIVACE CORTONA OR SIMILAR)
EF3	STUCCO (COLOR LIGHT GREY)
EF4	BLACK FRAMED WINDOWS
EF5	EXTERIOR WALL SCONCE
EF6	PRECAST EXTERIOR TRIM (COLOR TO MATCH STONE)
EF7	ALUMINUM FRIEZE BOARD (COLOR TO MATCH STONE)
EF8	PRECAST CONCRETE SILL
EF9	
EF10	
EF11	

NOTE: DEVELOPMENT TO COMPLY WITH CITY OF BRAMPTON CITY-WIDE DEVELOPMENT DESIGN GUIDELINES - PART 7 ARCHITECTURAL CONTROL GUIDELINES FOR GROUND-RELATED RESIDENTIAL DEVELOPMENT

NOTE: FOUNDATION WALL TO BE EXPOSED MAX. 250 mm ABOVE GRADE

NOTE: PROVIDE MASONRY STONE VENEER AT SIDES OF FRONT MAIN CONCRETE STAIRS



KHALSA DESIGN INC.
 www.sigraest.ca abansan@sigraest.com 647.463.2940
 www.sigraest.com

11 HILLCREST BRAMPTON ON- HAKAM SINGH

BRAMPTON, ON
 BRAMPTON, ONTARIO

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21034
 4044 SF INCLUDING OPEN SPACE

BUILDER

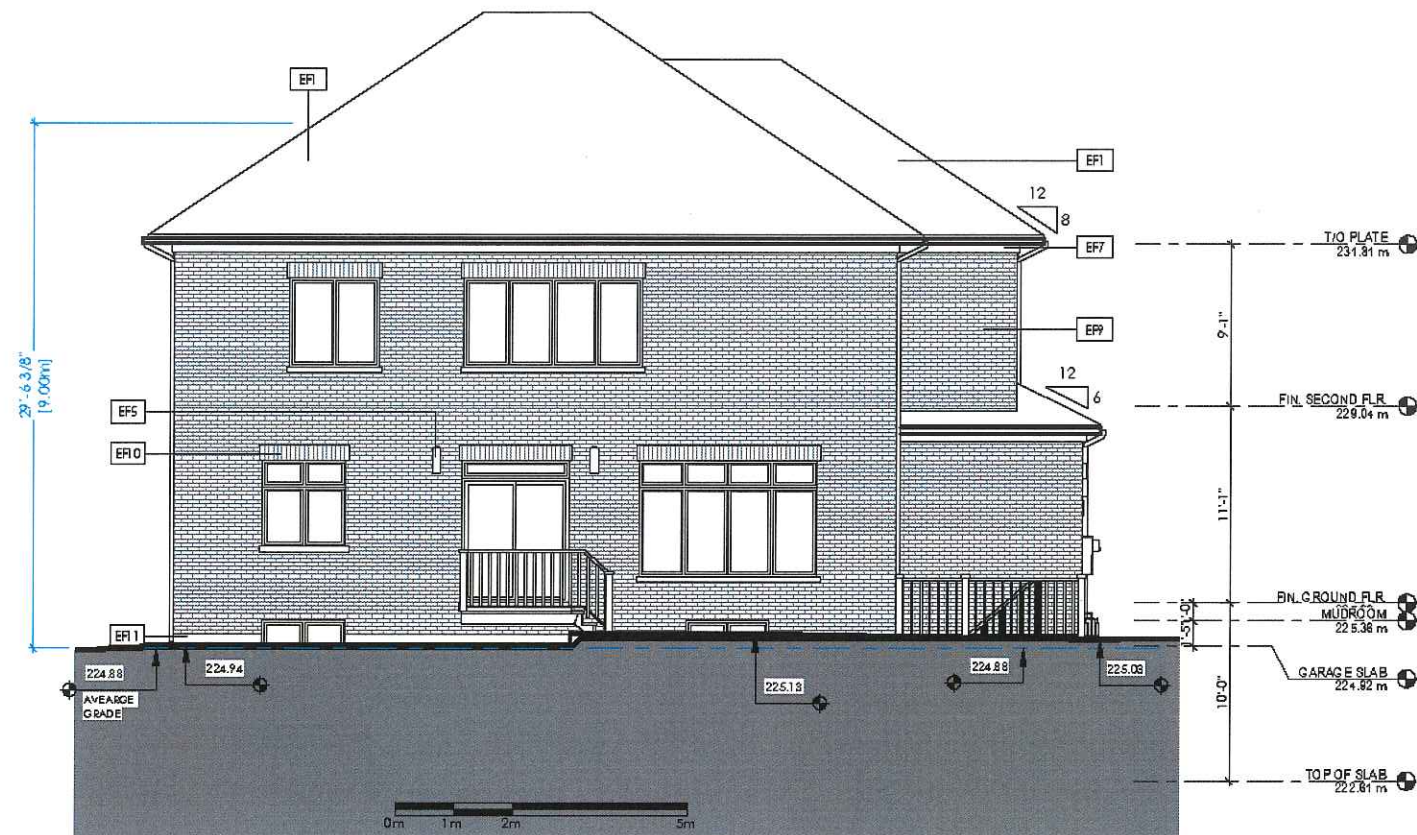
SCALE
 1/8" = 1'-0"
 DATE
 07/04/2021
 DRAWN BY
 KDI

SPA-2021-0077

DRAWING TITLE
FRONT ELEVATION

SHEET NO.
A-4

MATERIAL LEGEND	
Key Value	Keynote Text
EF1	ASPHALT SHINGLES (MYSTIC BLACK)
EF2	STONE VENEER (VIVACE CORTONA OR SIMILAR)
EF3	STUCCO (COLOR LIGHT GREY)
EF4	BLACK FRAMED WINDOWS
EF5	EXTERIOR WALL SCONCE
EF6	PRECAST EXTERIOR TRIM (COLOR TO MATCH STONE)
EF7	ALUMINUM FRIEZE BOARD (COLOR TO MATCH STONE)
EF8	PRECAST CONCRETE SILL
EF9	
EF10	
EF11	



KHALSA DESIGN INC.
 www.digaeast.ca abansai@digaeast.com 847.468.2040
 www.digaeast.com

11 HILLCREST BRAMPTON ON- HAKAM SINGH

BRAMPTON, ONTARIO

21034
 4044 SF INCLUDING OPEN SPACE

BUILDER

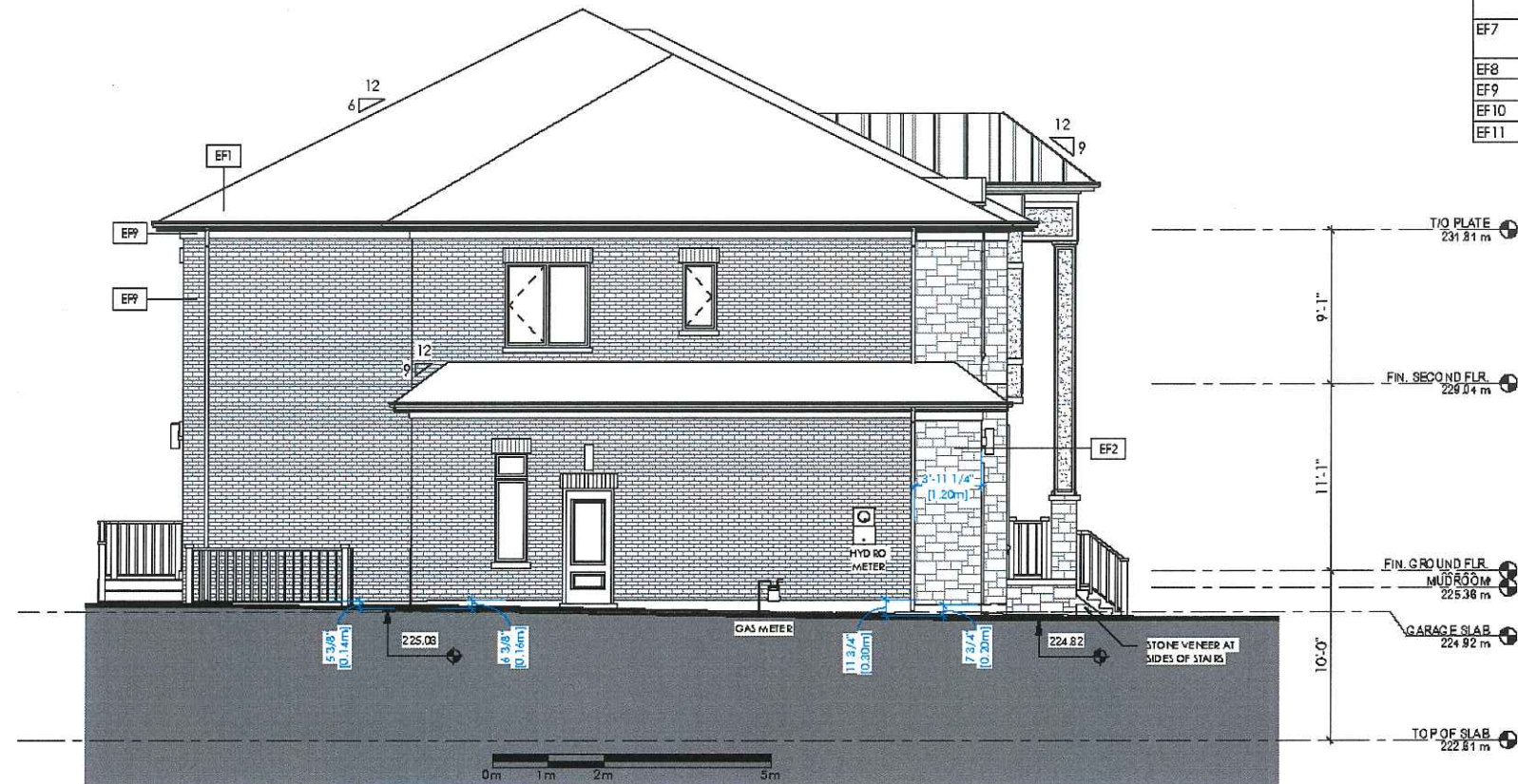
SCALE
 1/8" = 1'-0"
 DATE
 07/08/2021
 DRAWN BY
 HQ

SPA-2021-0077

DRAWING TITLE
REAR ELEVATION

SHEET NO.
A-5

MATERIAL LEGEND	
Key Value	Keynote Text
EF1	ASPHALT SHINGLES (MYSTIC BLACK)
EF2	STONE VENEER (MIVACE CORTONA OR SIMILAR)
EF3	STUCCO (COLOR LIGHT GREY)
EF4	BLACK FRAMED WINDOWS
EF5	EXTERIOR WALL SCONCE
EF6	PRECAST EXTERIOR TRIM (COLOR TO MATCH STONE)
EF7	ALUMINUM FRIEZE BOARD (COLOR TO MATCH STONE)
EF8	PRECAST CONCRETE SILL
EF9	
EF10	
EF11	



KHALSA DESIGN INC.
www.kdgsent.ca
abamca@kdgsent.com
647.468.2940

11 HILLCREST BRAMPTON ON- HAKAM SINGH

BRAMPTON, ON
BRAMPTON, ONTARIO

21034
4044 SF INCLUDING OPEN SPACE

BUILDER

SCALE
1/8" = 1'-0"
DATE
07/04/2021
DRAWN BY
KD

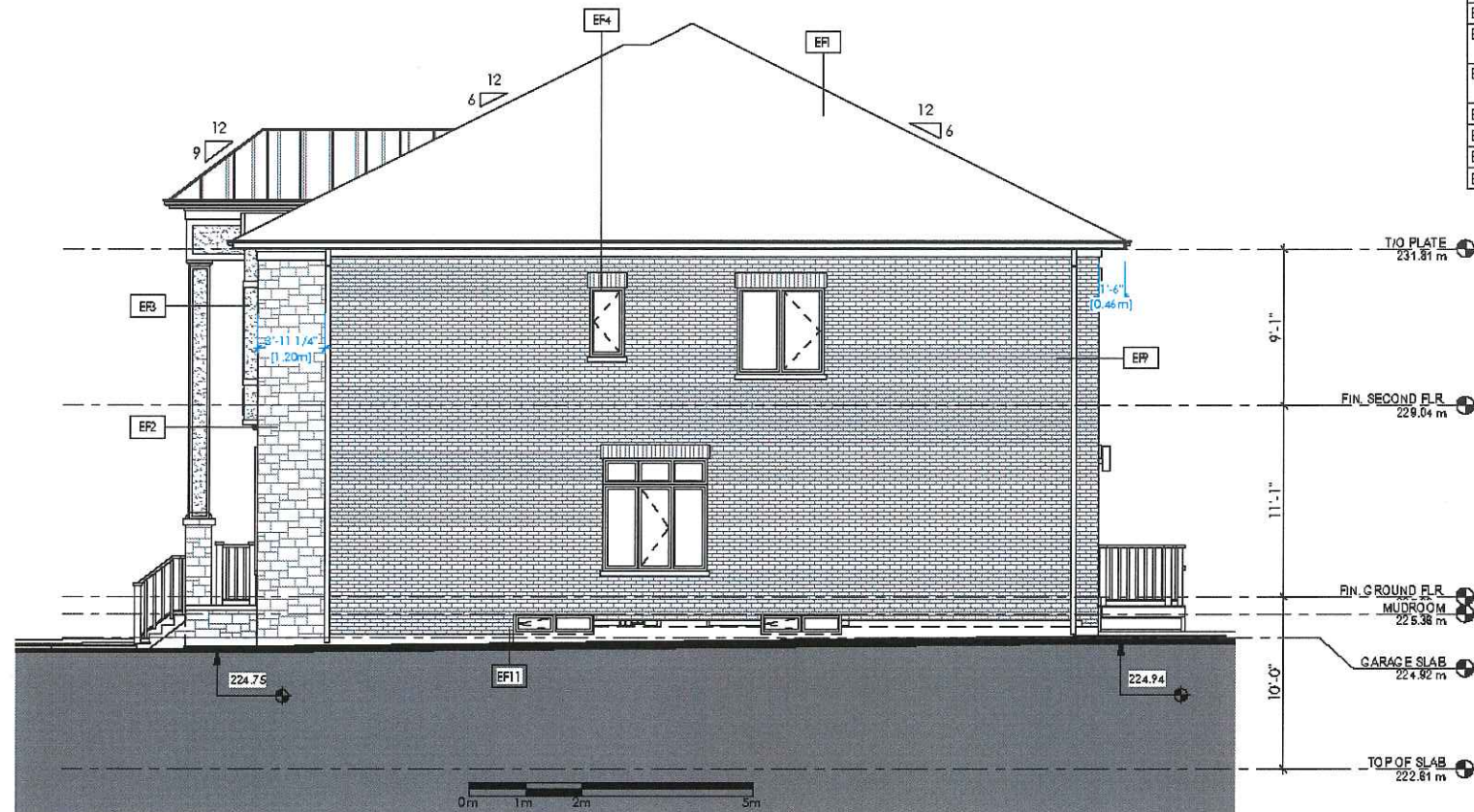
SPA-2021-0077

DRAWING TITLE
**LEFT SIDE
ELEVATION**

SHEET NO.
A-6

MATERIAL LEGEND	
Key Value	Keynote Text

EF1	ASPHALT SHINGLES (MYSTIC BLACK)
EF2	STONE VENEER (VIVACE CORTONA OR SIMILAR)
EF3	STUCCO (COLOR LIGHT GREY)
EF4	BLACK FRAMED WINDOWS
EF5	EXTERIOR WALL SCONCE
EF6	PRECAST EXTERIOR TRIM (COLOR TO MATCH STONE)
EF7	ALUMINUM FRIEZE BOARD (COLOR TO MATCH STONE)
EF8	PRECAST CONCRETE SILL
EF9	
EF10	
EF11	



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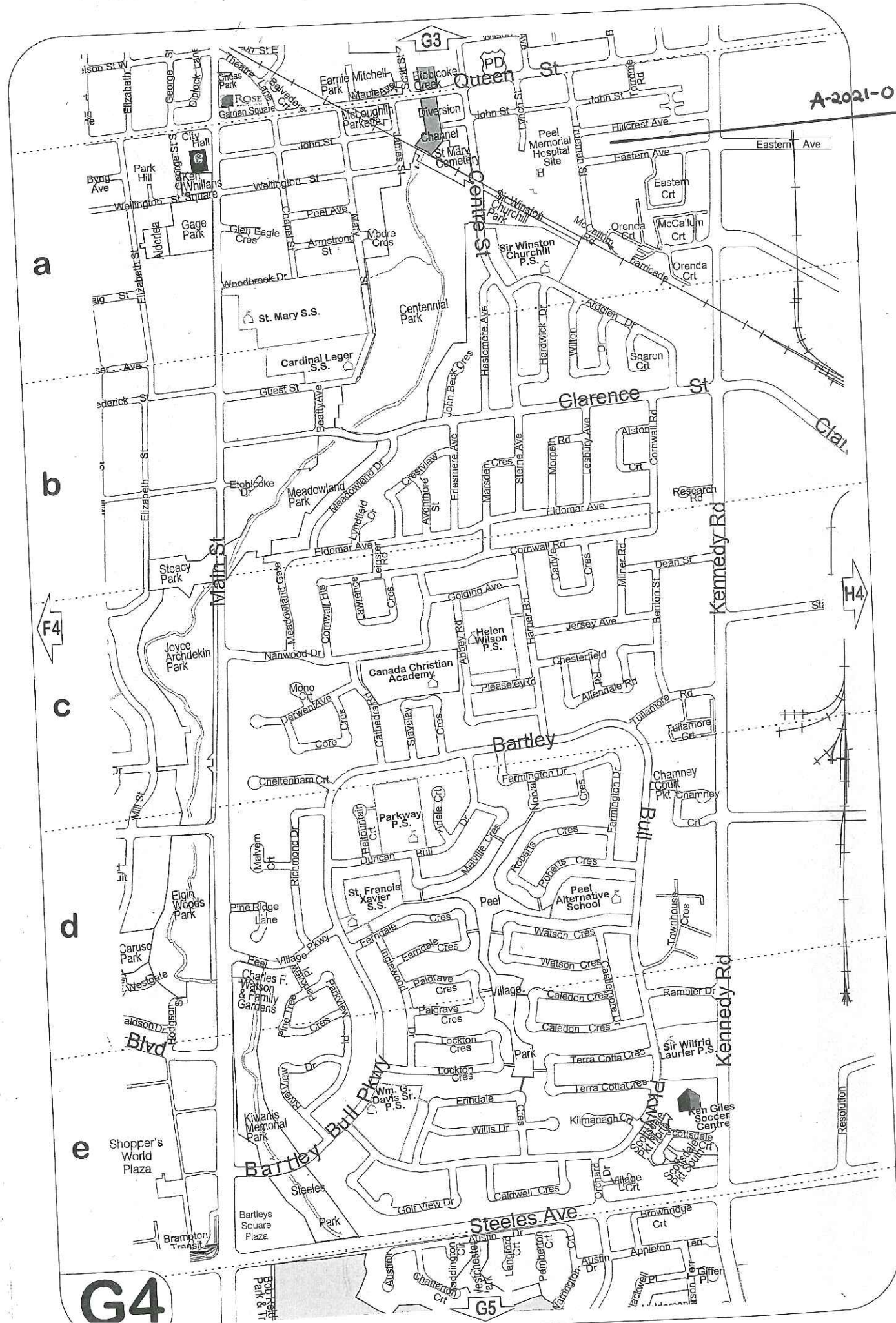
SCALE
1/8" = 1'-0"
DATE
07/20/22
DRAWN BY
KD

SPA-2021-0077

DRAWING TITLE
**RIGHT SIDE
ELEVATION**

SHEET NO.

A-7



a

b

F4

c

d

e

G4

H4

G5