



APPLICATION # A-2021-0168
WARD #3

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **KEN WAGERMAN AND HEATHER BAIN** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 165, Plan 521 municipally known as **12 ALSTON COURT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a detached garage having a gross floor area of 75.19 sq. m (809.34 sq. ft.) whereas the by-law permits a maximum gross floor area of 48 sq. m (516.67 sq. ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, August 24, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

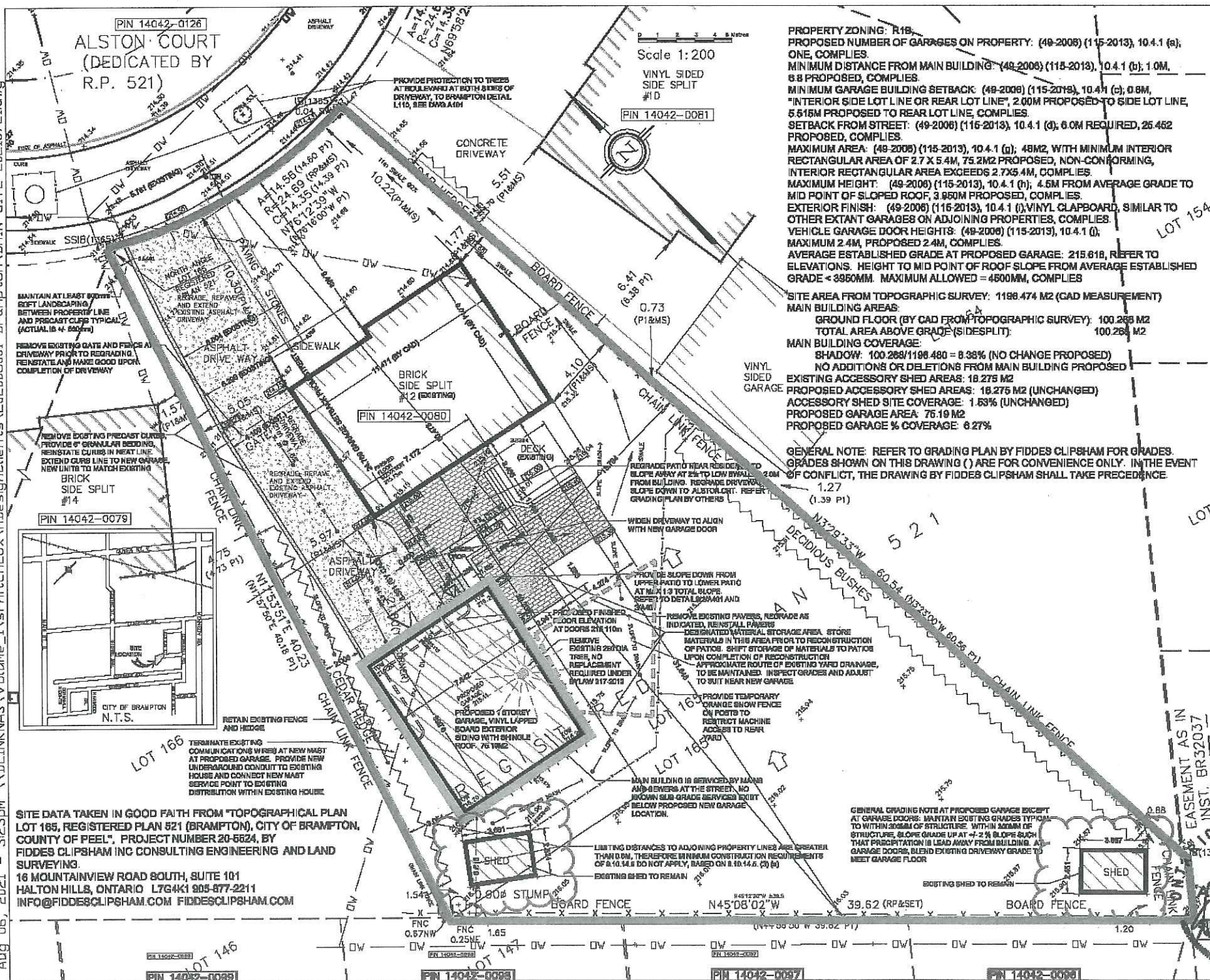
PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this **12th Day of August, 2021.**

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

Aug 05, 2021 - 3:23pm \\DLINKNAS\Volume_1\shitchcox\HDesignClients\202006001 Brampton\BAIN SITE 20210721.dwg



No.	DATE	ISSUE
1	2020.06.25	SITE PLAN SUBMISSION
2	2020.06.25	SITE PLAN UPDATE
3	2020.06.25	SITE PLAN SUBMISSION

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GENERAL REVIEW:
THE ARCHITECT HAS NOT BEEN RETAINED BY THE CLIENT TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF ANY PARTY TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT HAS NO RESPONSIBILITY FOR THE REQUIREMENTS OF THE CONTRACT UNLESS WRITTEN CONFIRMATION OF RETENTION IS RECEIVED BY THE CHIEF BUILDING OFFICIAL.

Stephen Robert HITCHCOX Architect
28 THIRTEENTH ST., ETOBICOKE, ONT.
M9V 3H4 (416) 252-1846

PROJECT: NEW GARAGE
12 ALSTON COURT, BRAMPTON, ONTARIO

DRAWING NAME: A S SITE PLAN WITH/ABOUT GRADES FOR COA (SPA 2020-0126)

ARCHITECTS: STEPHEN ROBERT HITCHCOX ARCHITECTS
LICENCE 4613

PROJECT NO.	DRAWING NUMBER
2020.06.001	SITE PLAN REV

SCALE	DRAWING NUMBER
1:200	A.102

DRAWN	DATE
SRH	2020/07/16

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures
How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, August 20, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, August 21, 2021**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, August 21, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

FILE NUMBER: A-2021-0168

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Ken Wageman, Heather Bain
Address 12 Alston Court, Brampton, On L6W3B6

Phone # 647-453-3714 **Fax #** _____
Email heatherebain@gmail.com

2. **Name of Agent** Stephen Robert Hitchcox Architect
Address 28 Thirteenth Street, Toronto, Ontario, M8V3H4

Phone # 416-252-1846, 416-889-0407 **Fax #** 416-252-0709
Email hdesign@ica.net

3. **Nature and extent of relief applied for (variances requested):**
Proposed detached garage allowed gfa exceeds permitted size. 48 m2 is permitted, 75.19 m2 is proposed.

4. **Why is it not possible to comply with the provisions of the by-law?**
Intended use of garage for hobby restoration of vehicles requires space beyond 48m2. Proposed structure is similar to existing garage at neighbour, #10 Alston Court.

5. **Legal Description of the subject land:**
Lot Number Part of Lot 165, Registered Plan 521
Plan Number/Concession Number Registered Plan 521
Municipal Address 12 Alston Court

6. **Dimension of subject land (in metric units)**
Frontage 14.56m
Depth ~50.473m along centre line of site, "irregular" corner lot
Area 1196.474 M2 (CAD MEASUREMENT)

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Split level single storey brick sided residence, 11.471 m x 9.014 m irregular, 100.268 m²
 Shed 1 - single storey wood framed, 3.681 m x 2.524 m, 9.286 m²
 Shed 2 - 8.989 single storey wood framed, 3.667 m x 2.45m, 8.989 m²

PROPOSED BUILDINGS/STRUCTURES on the subject land:

All existing buildings proposed to be retained.
 Proposed new garage: Wood frame, single storey, 7.842 m x 9.588 m, 75.19m²

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	9.463m to Residence
Rear yard setback	31.678m perpendicular from Residence perpendicular to centre of rear property line
Side yard setback	5.05m at driveway
Side yard setback	1.77m

PROPOSED

Front yard setback	No change to Residence. Proposed garage 24.769 to front of garage
Rear yard setback	No change to Residence. Proposed garage 5.515m perpendicular to rear property line
Side yard setback	No change to Residence. Proposed garage 2.0m to closer property line
Side yard setback	No change to Residence. Proposed garage 13.784m to farther property line

10. Date of Acquisition of subject land: ~ September 26, 2014
11. Existing uses of subject property: Residential single family
12. Proposed uses of subject property: Residential single family
13. Existing uses of abutting properties: Residential single family
14. Date of construction of all buildings & structures on subject land: Late 1950's or early 1960's for Residence
15. Length of time the existing uses of the subject property have been continued: Since construction ~ 60 years

16. (a) What water supply is existing/proposed?
- | | | | |
|-----------|-------------------------------------|-----------------|--|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) | |
| Well | <input type="checkbox"/> | | |
- (b) What sewage disposal is/will be provided?
- | | | | |
|-----------|-------------------------------------|-----------------|--|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) | |
| Septic | <input type="checkbox"/> | | |
- (c) What storm drainage system is existing/proposed?
- | | | | |
|---------|-------------------------------------|-----------------|--|
| Sewers | <input checked="" type="checkbox"/> | Other (specify) | |
| Ditches | <input type="checkbox"/> | | |
| Swales | <input type="checkbox"/> | | |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 23 DAY OF JULY, 20 21.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, STEPHEN HITCHCOX, OF THE CITY OF BRAMPTON
IN THE PROVINCE OF ONTARIO SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF Peel
THIS 23rd DAY OF July, 20 21.

A Commissioner etc.

Jm
Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1B

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Rose Bruno

Zoning Officer

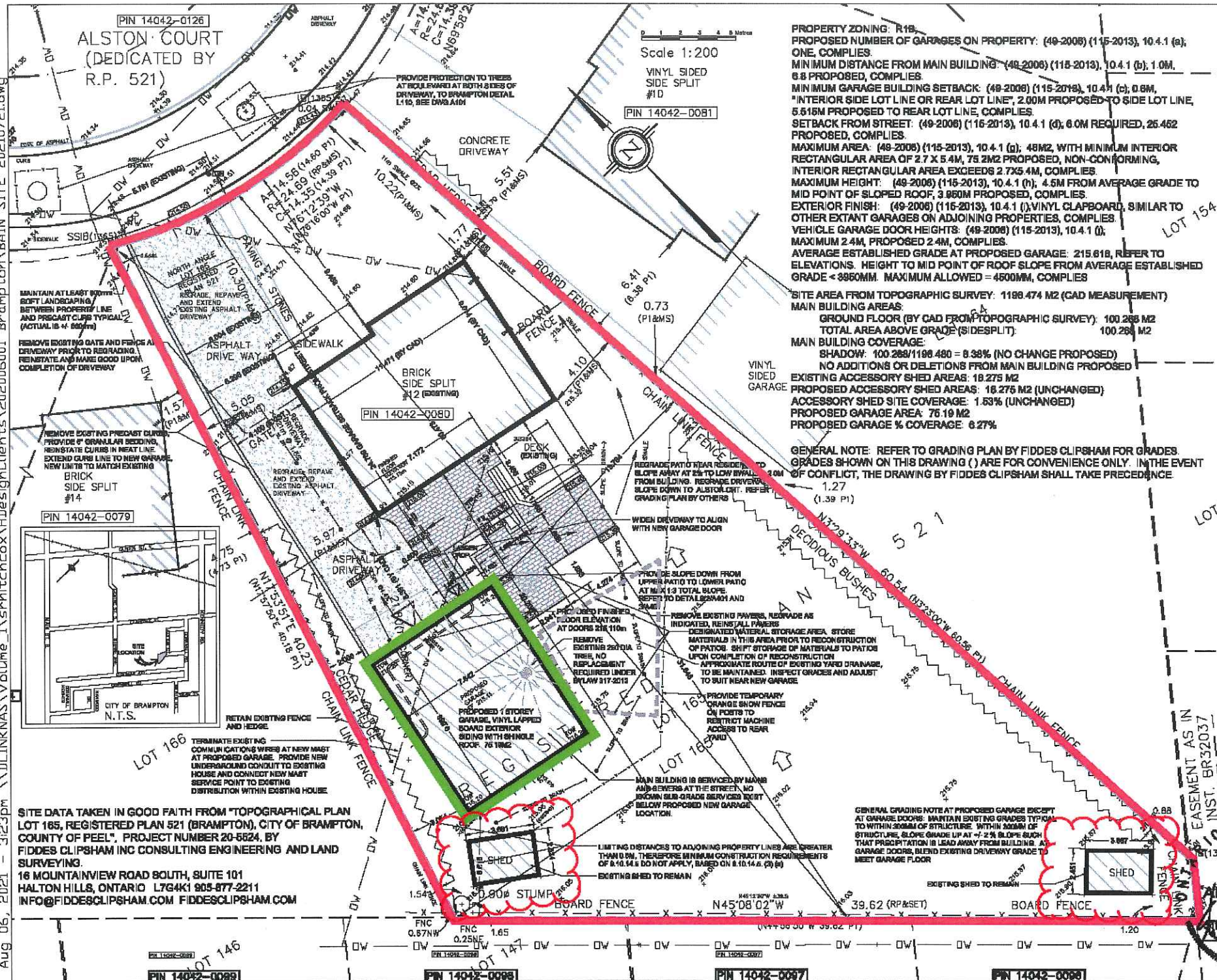
July 26, 2021


Date

DATE RECEIVED

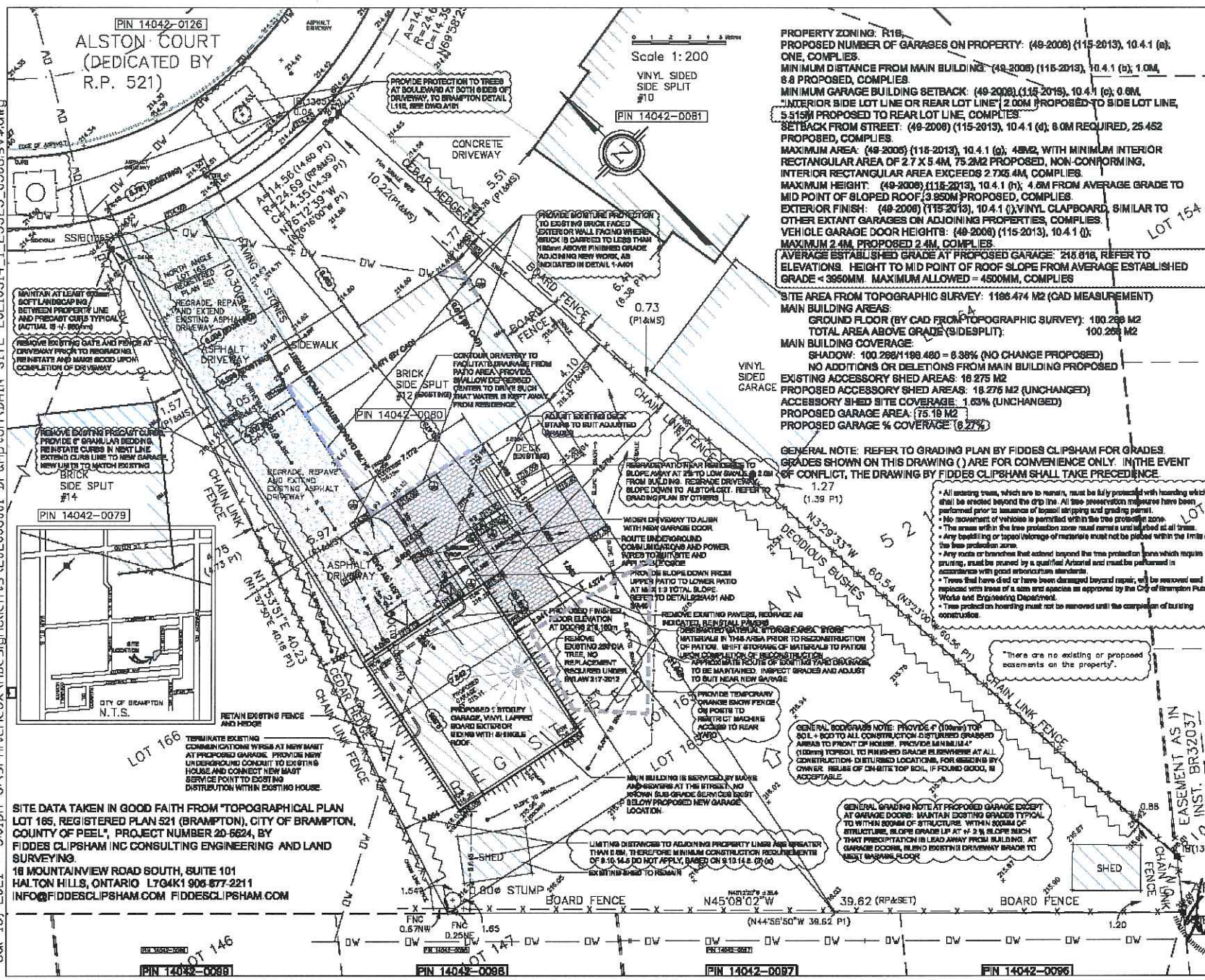
Date Application Deemed
Complete by the Municipality

Revised 2020/01/07



3	2020 07 10	COA SUBMISSION
2	2020 06 14	SITE PLAN UPDATE
1	2020 06 25	SITE PLAN SUBMISSION
NO.	DATE	ISSUE
<p>DESCRIPTION: ALL DRAWINGS, DESIGNS, GRAPHIC REPRESENTATIONS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND ARE PROTECTED BY COPYRIGHT. THE DRAWINGS AND DOCUMENTS ARE TO BE USED ONLY FOR THE PROJECT SO MUCH REPRODUCTION OF THE DOCUMENTS IN PART OR IN WHOLE FOR ANY OTHER PURPOSES OR FOR ANY OTHER THAN THIS PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS PROHIBITED. DRAWINGS ISSUED FOR GENERAL PURPOSES, NEGOTIATIONS, LEASE, ETC. CARRY ALL THE ABOVE COPYRIGHT PROTECTION. ONLY DRAWINGS IMPRINTED WITH OFFICIAL BAA STAMP # 4050 AND SIGNED BY STEPHEN ROBERT HITCHCOX ARCHITECT ARE TO BE USED FOR AND ARE LEGAL FOR CONSTRUCTION.</p> <p>GENERAL REVIEW: THE ARCHITECT HAS NOT BEEN RETAINED BY THE CLIENT TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF ANY PARTS TO MEET OR THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS FOR ANY REASON. NO GUARANTEE OR WARRANTY OF THE REQUIREMENTS OF THE CONTRACT UNLESS WRITTEN CONFIRMATION OF RETENTION IS RECEIVED BY THE CHIEF BUILDING OFFICIAL.</p>		
 <div style="display: inline-block; vertical-align: middle;"> <p>Stephen Robert HITCHCOX Architect</p> <p>28 THIRTEENTH ST, ETOBICOKE, ONT M9V 3H4 (416) 252-1846</p> </div>		
PROJECT	<p>NEW GARAGE 12 ALSTON COURT, BRAMPTON, ONTARIO</p>	
DRAWING NAME	<p>SITE PLAN WITH SPOT GRADES FOR COA (SPA, 2020-0125)</p>	
PROJECT NO.	2020.06.001	DRAWING NAME
SCALE	1:200	DRAWING NUMBER
DRAWN	SRH	A.102
DATE	2020/07/10	

Jul 13, 2021 - 3:01pm S:\shitchcox\HDesignClients\202006001 Brampton\BAIN SITE 20210514_1_2323_0506.v5.dwg



All working drawings submitted to the Building Division as part of a Building Permit application shall be in conformity with the approved site plan drawings as approved by the Development Services Division.

The Owner is responsible for ensuring that tree protection hoarding, placed at the drip line of the trees, is maintained throughout all phases of demolition and construction in the location and condition as approved by the Planning and Building Division. No materials (i.e., building materials, soil, construction vehicles, equipment, etc.) may be stockpiled within the area of hoarding.

All utility companies will be notified for location prior to the installation of the hoarding that lies within the limits of the COB boulevard area.

Should the installation of below ground services require hoarding to be removed, Open Space staff (i.e. open.space@brampton.ca) are to be contacted prior to the commencement of such work. Should an alternative service route not be possible, staff will inspect and document the condition of the vegetation and servicing installation in order to minimize damage to the vegetation.

The Owner (or Applicant as applicable) will be responsible for the cost of any utility relocations necessitated by the Site Plan Approval and Building Permit.

The existing on-site drainage pattern shall be maintained.

Grades must be met within 33% maximum slope at the property lines and within the site.

The structural design of any retaining wall over 0.50 m (2.00 ft.) in height or any retaining wall located on a property line is shown on the Site Plan and Grading Plan and is to be approved by the Consulting Engineer for the project.

The portions of the driveway within the municipal boulevard will be paved by the Owner at their own expense.

At the entrance to the site, the municipal curb and sidewalk will be continuous through the driveway and a curb depression will be provided for each entrance.

Approved curbing at the entrance to the site is to terminate at the property line or at the municipal sidewalk.

All damaged landscape areas will be reseeded with topsoil and seed following construction activity.

Any COB boulevard trees damaged or removed are to be replaced with minimum 10mm caliper deciduous trees to the satisfaction of the COB at the owner's expense.

All excess excavated materials will be removed from the site at the owner's expense.

All existing or proposed easements on the property should be illustrated and dimensioned on all of the drawings. If applicable, easements on the drawings "there are no existing or proposed easements on the property".

NO.	DATE	DESCRIPTION
1	2021.05.14	SITE PLAN UPDATE
2	2021.05.14	SITE PLAN REVISIONS

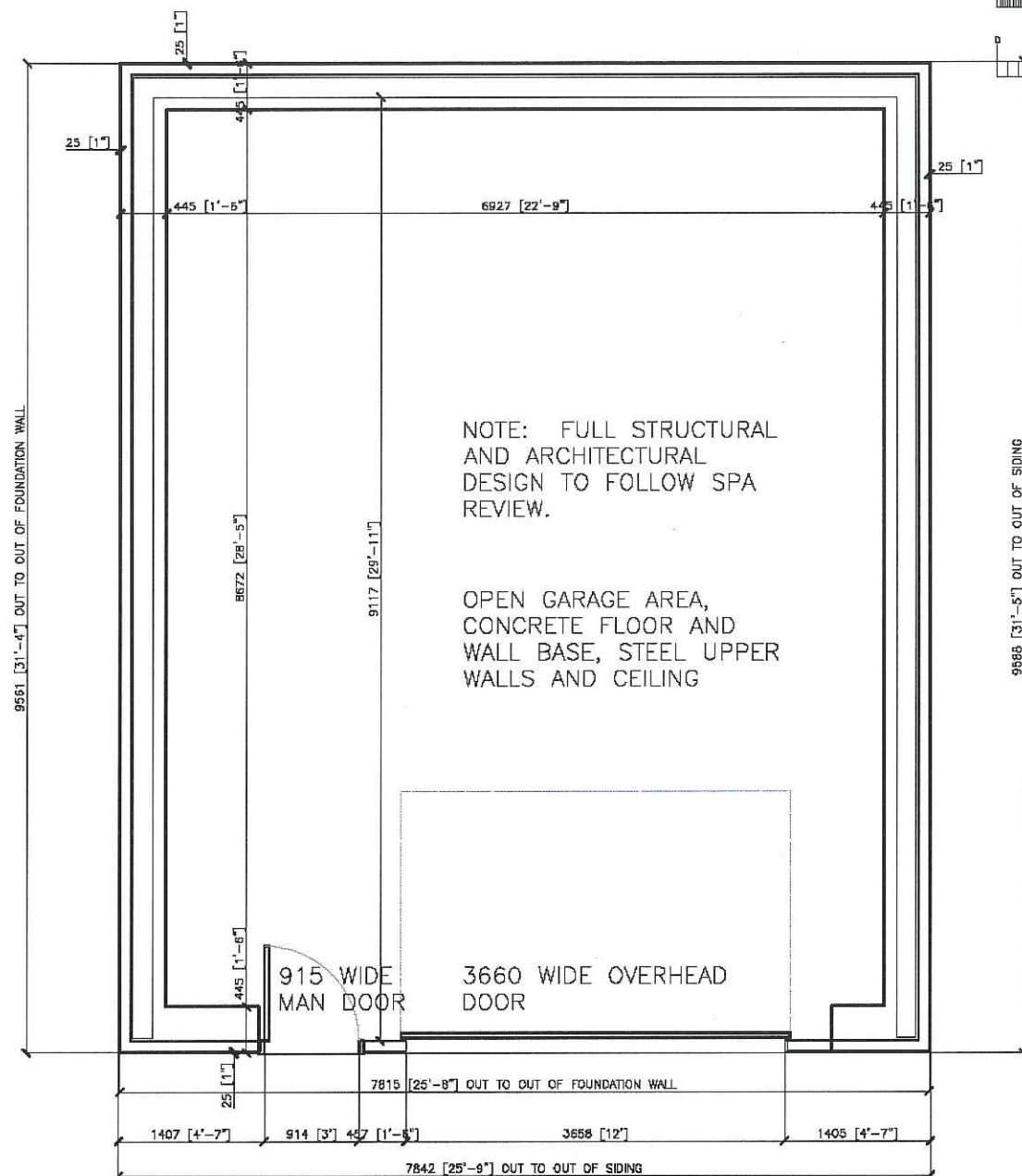
DESIGNER: Stephen Robert Hitchcox Architect
88 THIRTEENTH ST., ETOBICOKE, ONT M9V 3H4 (416) 252-1045

PROJECT: NEW GARAGE
12 ALSTON COURT, BRAMPTON, ONTARIO

DRAWING NAME: SITE PLAN WITH SPOT GRADES (SPA 2020-0126)

PRODUCT NO.: 2020.06.001
SCALE: 1:200
DRAWN: BRH
DATE: 2020/07/18

DRAWING TITLE: SITE PLAN REV
DRAWING NUMBER: A.100



NOTE: FULL STRUCTURAL
AND ARCHITECTURAL
DESIGN TO FOLLOW SPA
REVIEW.

OPEN GARAGE AREA,
CONCRETE FLOOR AND
WALL BASE, STEEL UPPER
WALLS AND CEILING

915 WIDE
MAN DOOR

3660 WIDE OVERHEAD
DOOR

2	2021.05.14	SITE PLAN UPDATE
1	2020.06.20	SITE PLAN SUBMISSION
N.O.	DATE	ISSUE

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GENERAL REMARK
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A Stephen Robert
HITCHCOX
Architect

28 THIRTEENTH ST., ETOBICOKE, ONT
M9V 3H4 (416) 232-1846

PROJECT **NEW GARAGE**
12 ALSTON COURT, BRAMPTON, ONTARIO

DRAWING NAME

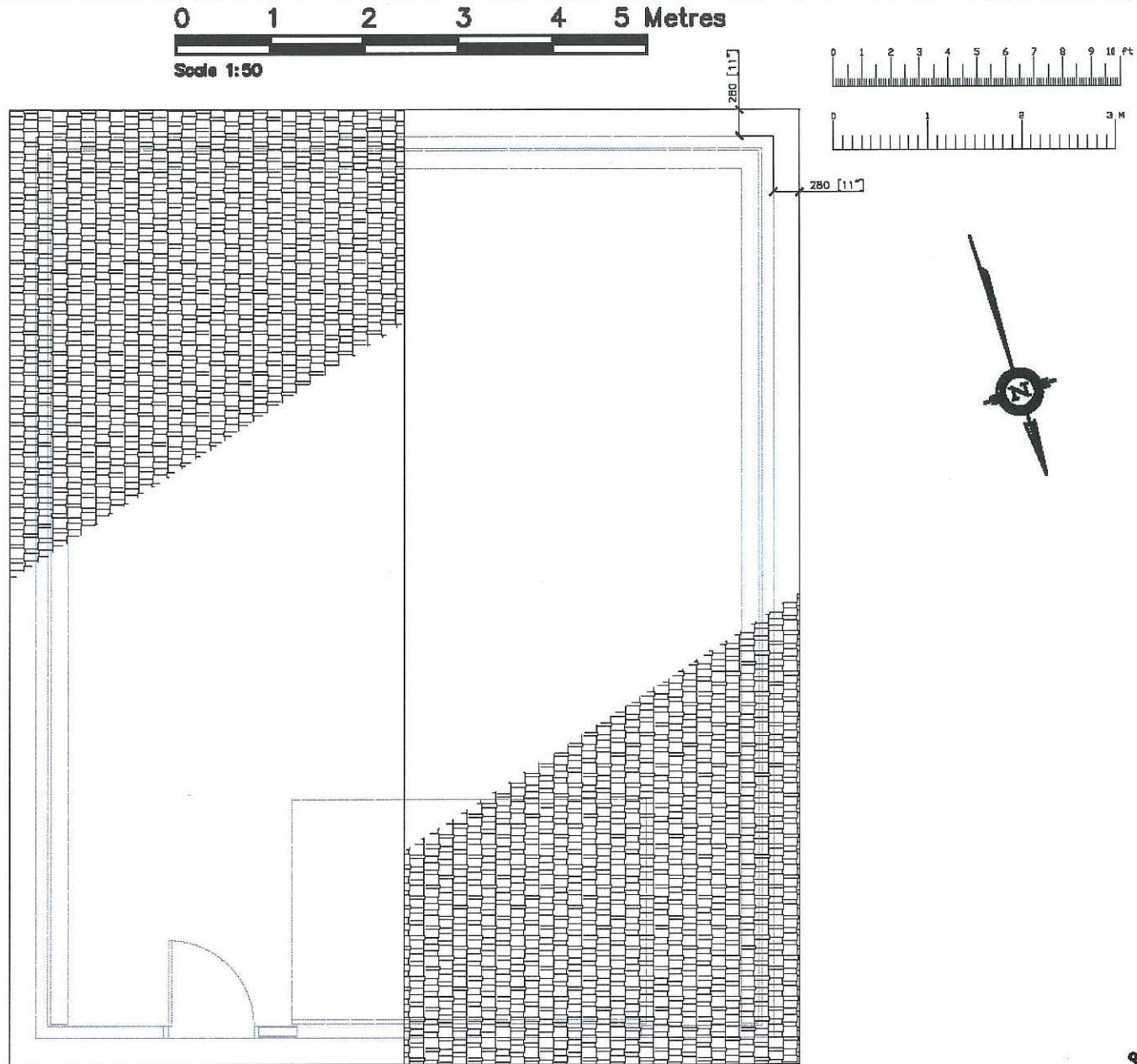
ASSOCIATED FLOOR PLAN
(SPA-2020-0126)

ONTARIO

ARCHITECTS
STEPHEN E. HICKCOCK
LICENCE
4513

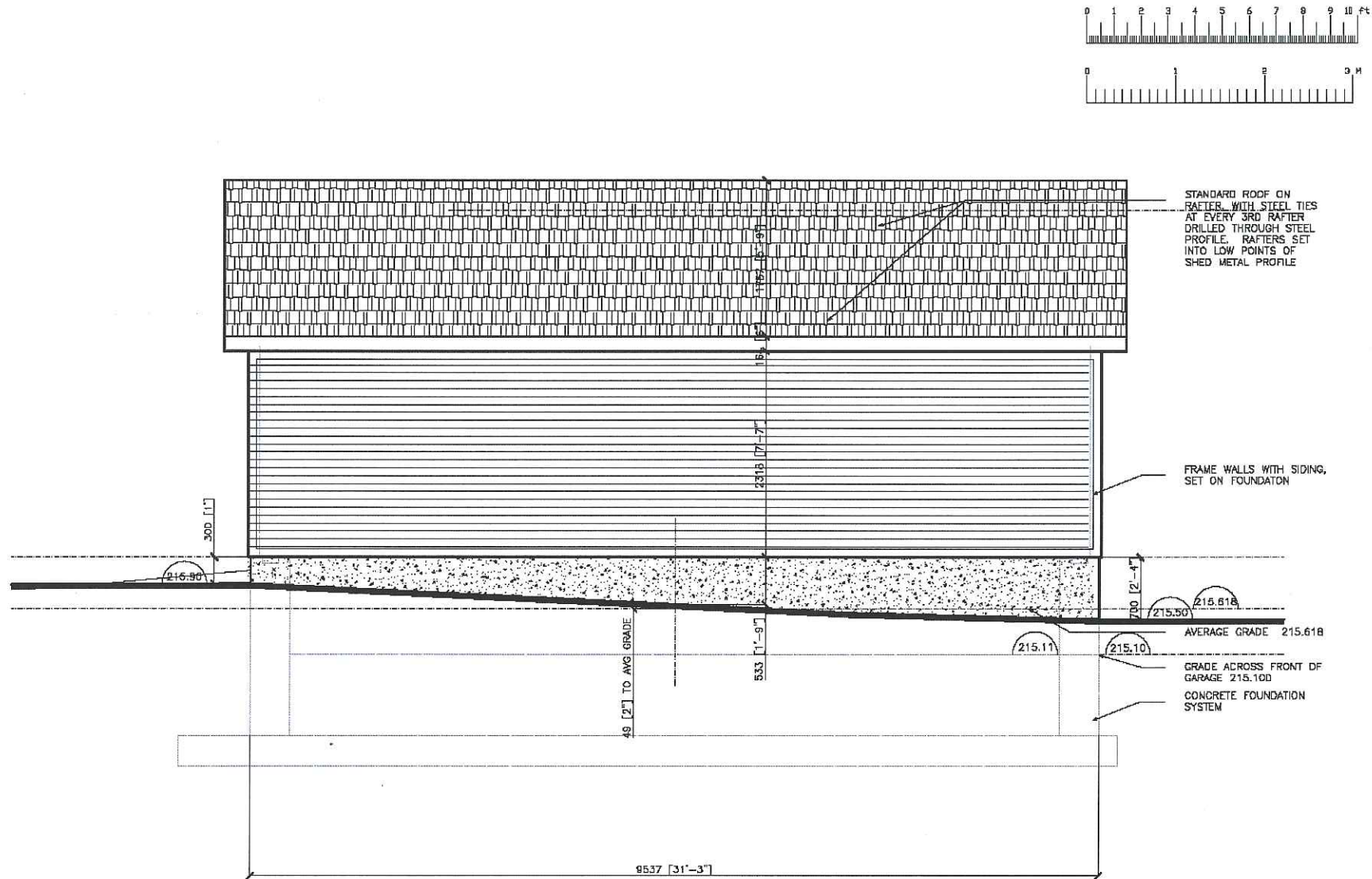
PROJECT NO. 2020.06.001	DRAWING ISSUE SITE PLAN REV
SCALE 1:50	DRAWING NUMBER A.200
DRAWN SRH	
DATE 2020/07/18	

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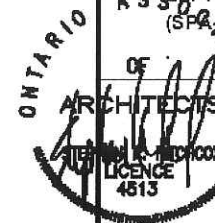


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1	2020.06.25	SITE PLAN SUBMISSION
NO.	DATE	ISSUE
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<p>Stephen Robert HITCHCOX Architect 28 THIRTEENTH ST., ETOBICOKE, ONT M9V 3H4 (416) 252-1846</p>		
<p>PROJECT NEW GARAGE 12 ALSTON COURT, BRAMPTON, ONTARIO</p>		
<p>DRAWING NAME A.S. ROOF PLAN (SPA-2020-0126)</p>		
PROJECT NO.	2020.06.001	DRAWING ISSUE
SCALE	1:50	DRAWING NUMBER
DRAWN	SRH	A.201
DATE	2020/07/18	

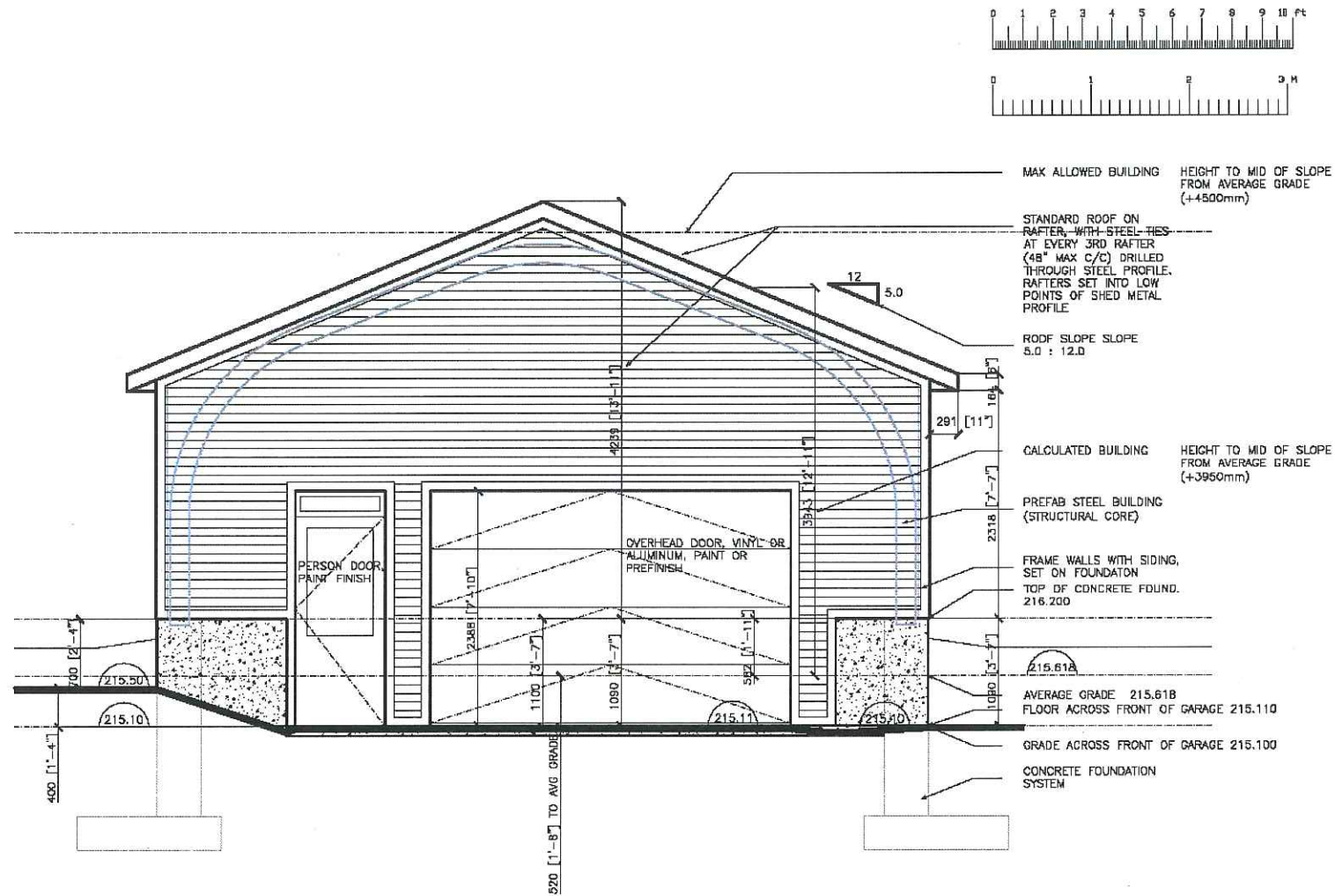
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2	2021.05.14	SITE PLAN UPDATE
1	2020.06.25	SITE PLAN SUBMITTANCE
NO.	DATE	ISSUE
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<p>Stephen Robert HITCHCOX Architect 28 THIRTEENTH ST., ETOBICOKE, ONT M9V 3H4 (416) 232-1846</p>		
<p>PROJECT NEW GARAGE 12 ALSTON COURT, BRAMPTON, ONTARIO</p>		
<p>DRAWING NAME LEFT SIDE ELEVATION (SPA-2020-0126)</p>		
PROJECT NO.	2020.06.001	DRAWING ISSUE
SCALE	1:50	DRAWING NUMBER
DRAWN	SRH	A.300
DATE	2020/07/15	

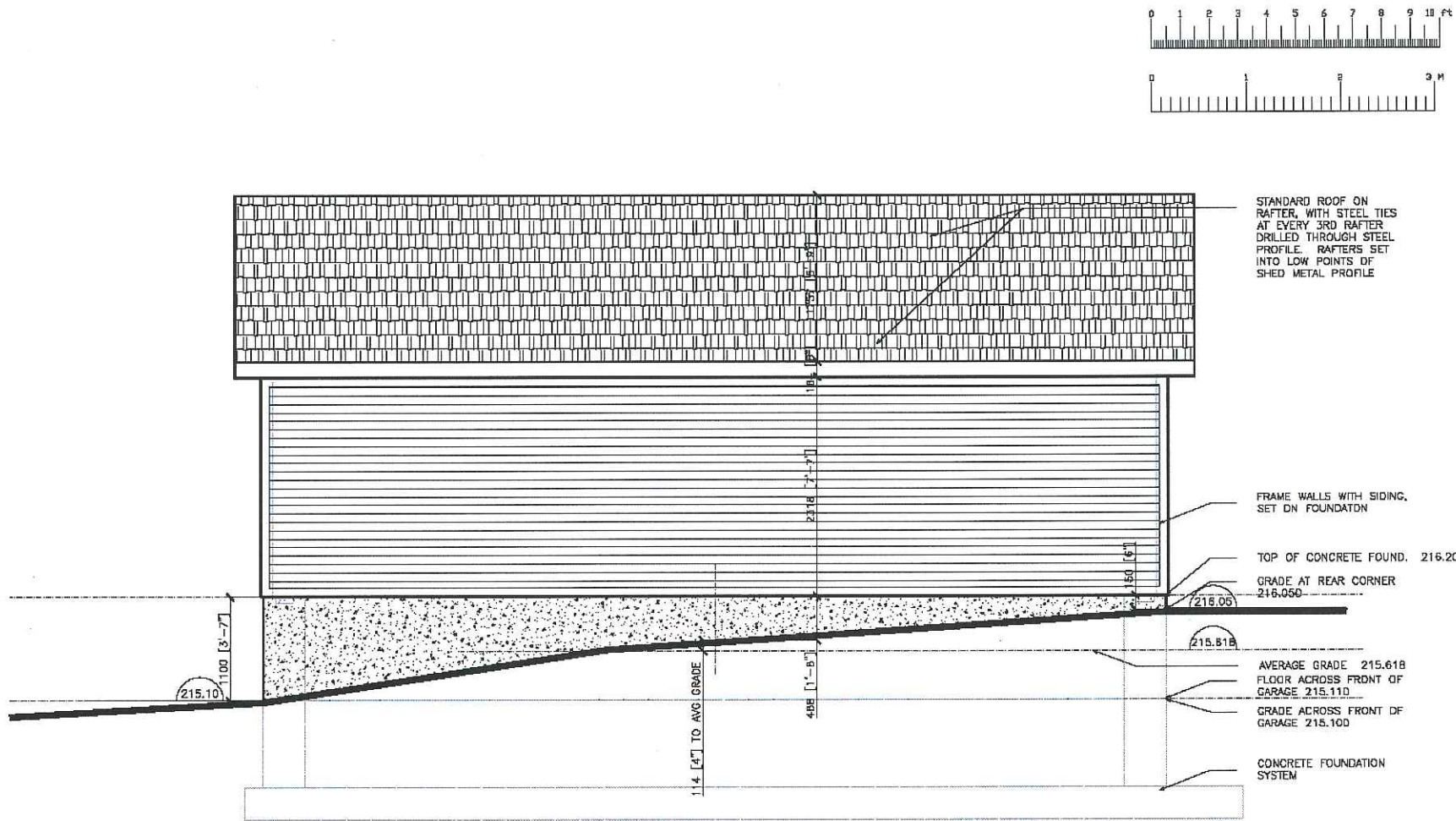


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1	2020.06.25	SITE PLAN SUBM ISSION
N.O.	DATE	ISSUE
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GENERAL NOTE THE ARCHITECT HAS NOT BEEN RETAINED BY THE CLIENT TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF ANY PARTY TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. NOTE FOR ANY MISINTERPRETATION OF THE REQUIREMENTS OF THE CONTRACT UNLESS WRITTEN CONFIRMATION OF RETENTION IS RECEIVED BY THE CHIEF BUILDING OFFICIAL.		
 28 THIRTEENTH ST., ETOBICOKE, ONT M9V 3H4 (416) 232-1846		
PROJECT NEW GARAGE 12 ALS TON COURT, BRAMPTON, ONTARIO		
DRAWING NAME AS FRONT ELEVATION (SPR-2020-0126)		
PROJECT NO. 2020.06.001		DRAWING ISSUE SITE PLAN REV
SCALE 1:50		DRAWING NUMBER A.301
DRAWN SRH		
DATE 2020/07/18		

Jul 13, 2021 - 3:03pm S:\srh\hitchcox\HDesign\Clients\202006001 Brampton\BoltBuilding 20210713.dwg



2	2021.05.14	SITE PLAN UPDATE
1	2020.06.25	SITE PLAN SUBMITTAL
NO.	DATE	ISSUE

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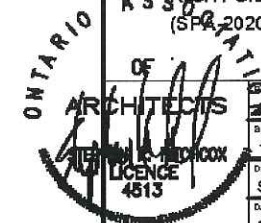
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Stephen Robert HITCHCOX Architect
28 THIRTEENTH ST., ETORICOKE, ONT
N9V 3H4 (416) 232-1846

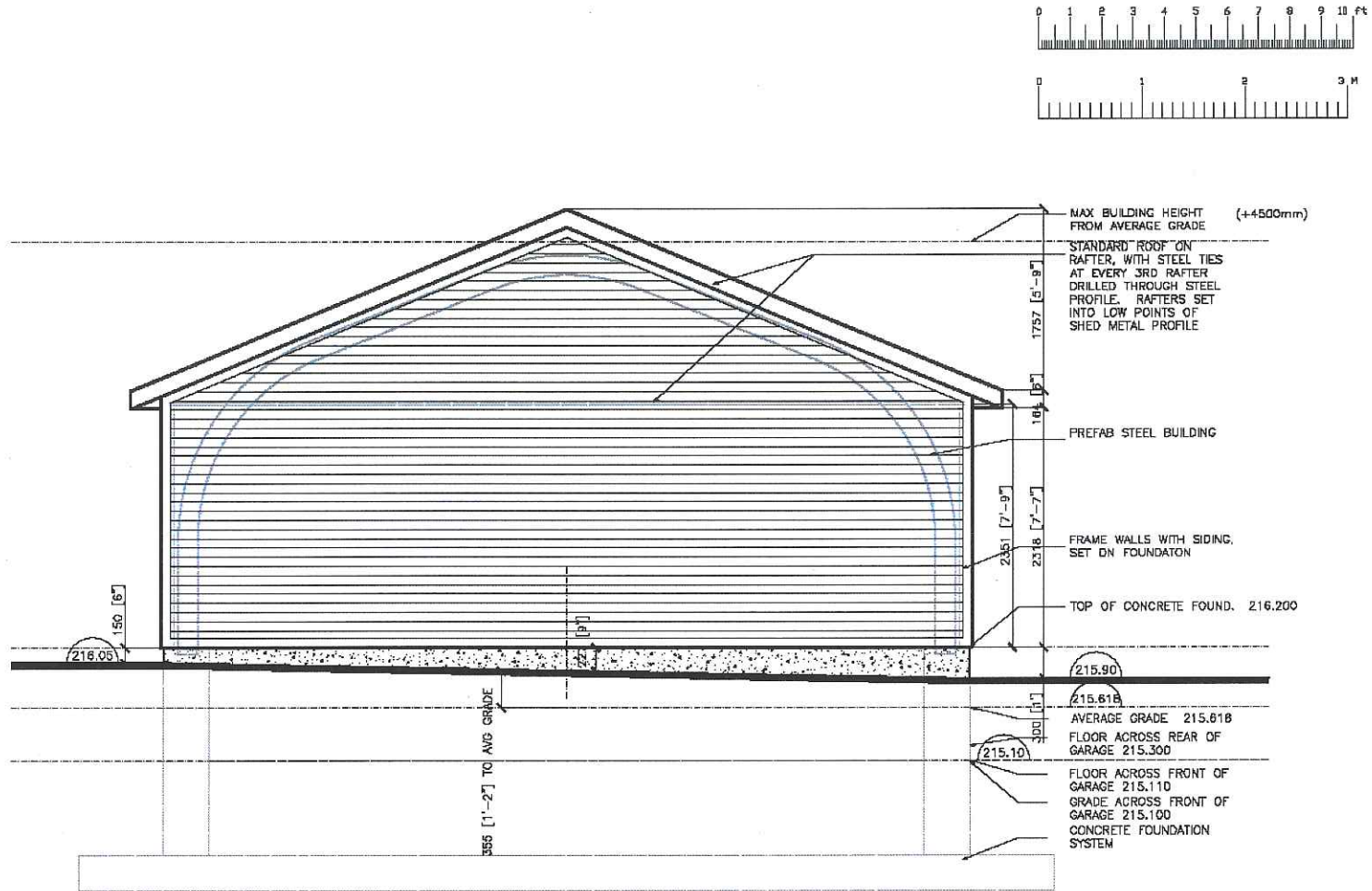
PROJECT **NEW GARAGE**
12 ALSION COURT, BRAMPTON, ONTARIO

DRAWING NAME
RIGHT SIDE ELEVATION
(SPA-2020-0126)

PROJECT NO.	2020.06.001	DRAWING ISSUE	SITE PLAN REV
SCALE	1:50	DRAWING NUMBER	A.302
DRAWN	SRH		
DATE	2020/07/18		



Jul 13, 2021 - 3:43pm S:\srhitchcox\HDesign\Clients\202006001 Brampton\BabinBuilding 20210713.dwg



2	2021.05.14	SITE PLAN UPDATE
1	2020.06.25	SITE PLAN SUBMISSION
N.O.	DATE	ISSUE

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A Stephen Robert
HITCHCOX
Architect
28 THIRTEENTH ST, ETOBICOKE, ONT
M9V 3H4 (416) 252-1846

PROJECT	NEW GARAGE
	12 ALSTON COURT, BRAMPTON, ONTARIO

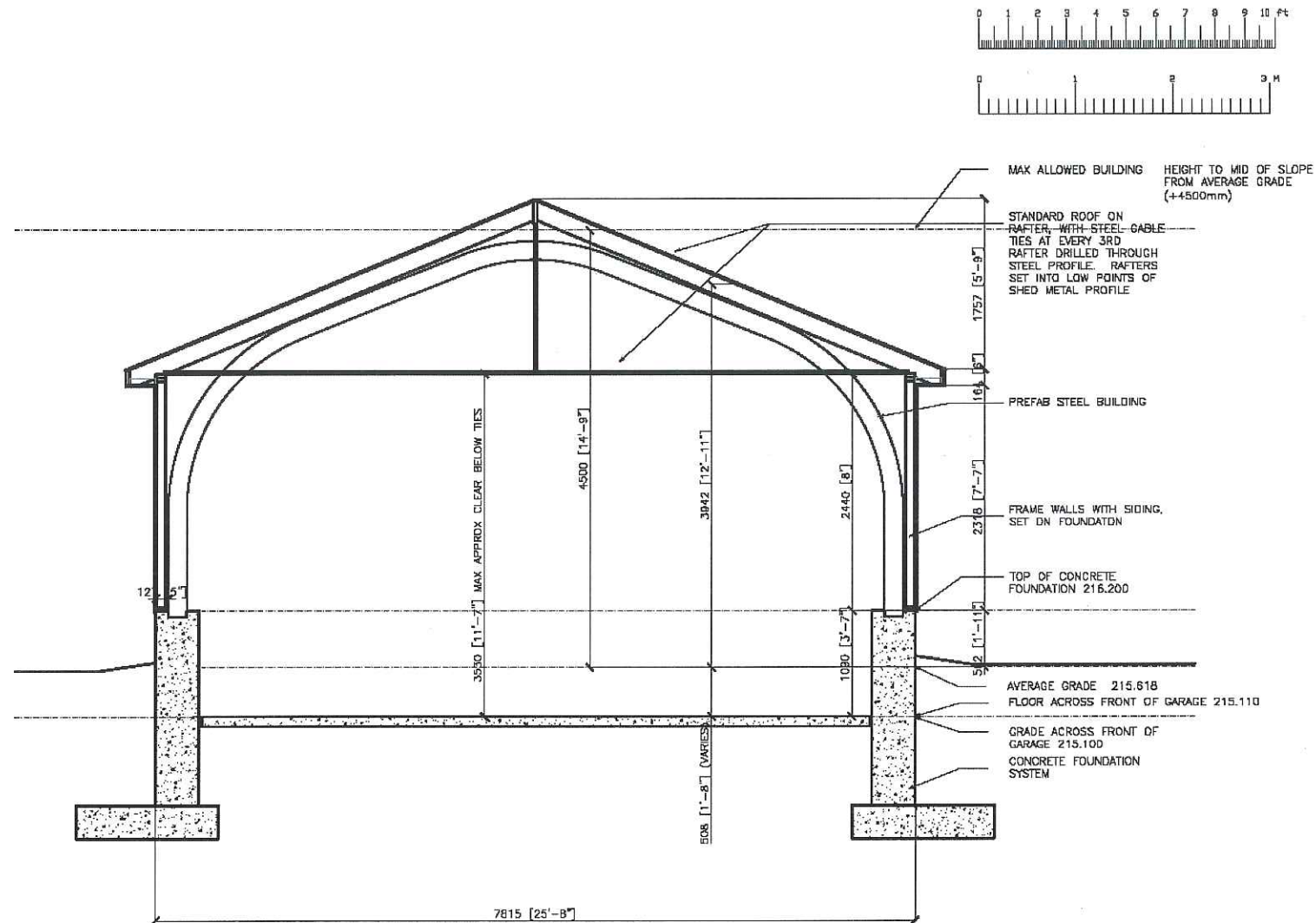
DRAWING NAME

AS 302 REAR ELEVATION
(SPA 2020-0126)

ONTARIO
OF
ARCHITECTS
J. H. COX
LICENCE
4513

PROJECT NO. 2020.06.001	DRAWING ISSUE SITE PLAN REV
SCALE 1:50	DRAWING NUMBER A.303
DRAWN SRH	
DATE 2020/07/18	

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2	2021.05.14	SITE PLAN UPDATE
1	2020.06.20	SITE PLAN SUBMISSION
N.O.	DATE	ISSUE

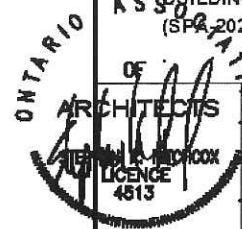
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Stephen Robert HITCHCOX Architect
28 THIRTEENTH ST., ETOBICOKE, ONT M9V 3H4 (416) 232-1846

PROJECT **NEW GARAGE**
12 ALS TON COURT, BRAMPTON, ONTARIO

DRAWING NAME
AS B BUILDING SECTION
(SP-2020-0126)



PROJECT N.O.	2020.06.001	DRAWING ISSUE	SITE PLAN REV
SCALE	1:50	DRAWING NUMBER	A.400
DRAWN	SRH		
DATE	2020/07/18		

[illegible]

COMPACTED BASE, 25MM COARSE SAND
AT PAVERS, ON MIN 100MM COMPACTED
SCREENING, 150MM SCREENING BELOW
PISA STONES

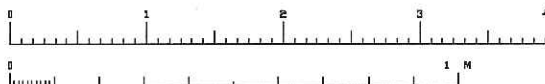
COMPACTED BASE, 25MM COARSE SAND
AT PAVERS, ON MIN 100MM COMPACTED
SCREENING, 150MM SCREENING BELOW
PISA STONES

DIG DOWN TO 6" BELOW TOP OF —
FOUNDATION WALL.
APPLY WATERPROOFING TO FACE BRICK
TO 6" ABOVE GRADE, LAPPING ON TO
FOUNDATION WALL.
APPLY DRAINAGE BOARD FROM 6" ABOVE
GRADE, TO 18" BELOW GRADE.
INSTALL CEMENT BOARD TO FOUNDATION
AND BRICK WALL TO AT LEAST 6" ABOVE
GRADE AT 18" BELOW GRADE.
MECHANICALLY FASTEN TO MASONRY
WALL SUBSTRATE THROUGH DRAINAGE
BOARD, PARGE COAT, BACKFILL AND
PROVIDE FINISH INDICATED ON SITE
PLAN.
FLANGE PREFINISHED METAL FLASHING
TO GULLET CUT INTO FIRST BRICK JOINT
ABOVE SILL.

EXISTING DAMPPROOFING
ON EXISTING FOUNDATION
SYSTEM

1
A401

NEW PROTECTION
TO HOUSE WALL
EXTERIOR



2	2021.05.14	BITE PLAN UPDATE
1	2020.04.20	BITE PLAN SUBMISSION
N.O.	DATE	ISSUE


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GENERAL REMARK
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THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS NOR FOR ANY
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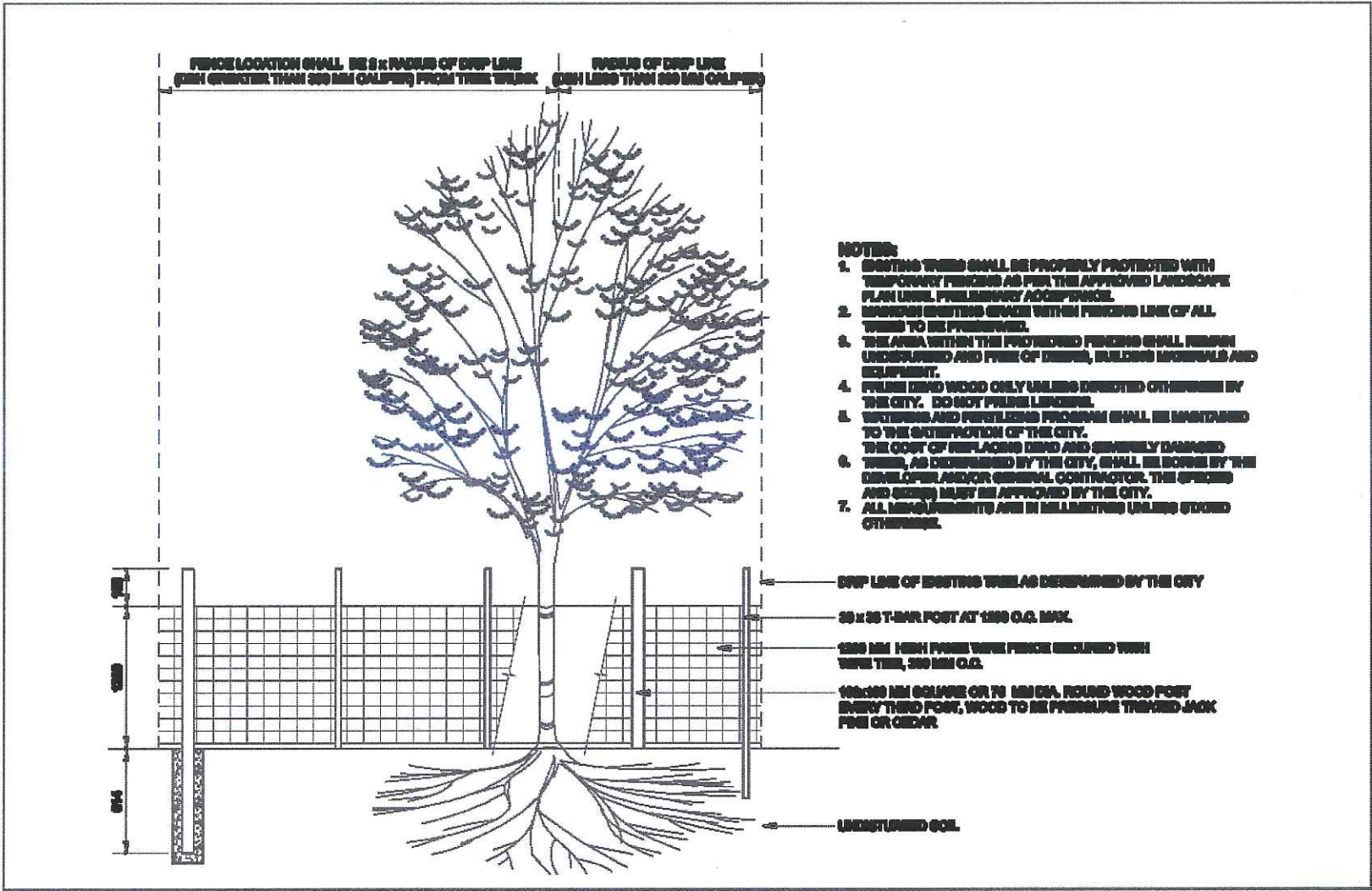
A Stephen Robert
HITCHCOX
Architects
28 THIRTEENTH ST., ETOBICOKE, ONT.
M9V 3H4 (416) 232-1846

PROJECT **NEW GARAGE**
12 ALSTON COURT, BRAMPTON, ONTARIO

DRAWING NAME
HOUSE FOUNDATION REPAIR
(SPA-2020-0126)

	PROJECT NO.	DRAWING ISSUE
	2020.06.001	SITE PLAN R
	SCALE	DRAWING NUMBER
	1:12.5	A.401
	DRAWN	
	SRH	
	DATE	
	2020/07/15	

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THIS TREE PROTECTION DETAIL IS A STANDARD DOCUMENT PROVIDED BY CITY OF BRAMPTON. STEPHEN ROBERT HITCHCOX ARCHITECT INCLUDES THIS DETAIL IN THIS DRAWING SET FOR CONVENIENCE PURPOSES ONLY, AND MAKES NO ASSERTIONS AS TO THE SUITABILITY OR CORRECTNESS OF THIS DETAIL. AS AN IMPOSED CONDITION OF SPA AND BUILDING PERMIT BY THE CITY OF BRAMPTON, THE CITY OF BRAMPTON RETAINS ALL LEGAL LIABILITIES THAT MAY RESULT FROM THE USE OF THIS DETAIL AND STEPHEN ROBERT HITCHCOX EXPLICITLY EXCLUDES ANY AND ALL LIABILITIES ARISING FROM THE USE OF THIS DETAIL.

L110

NTJ

TEMPORARY TREE PROTECTION FENCING

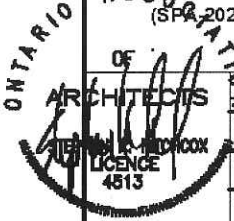
SITE PREPARATION - SERIES 100

SEPTEMBER 2014

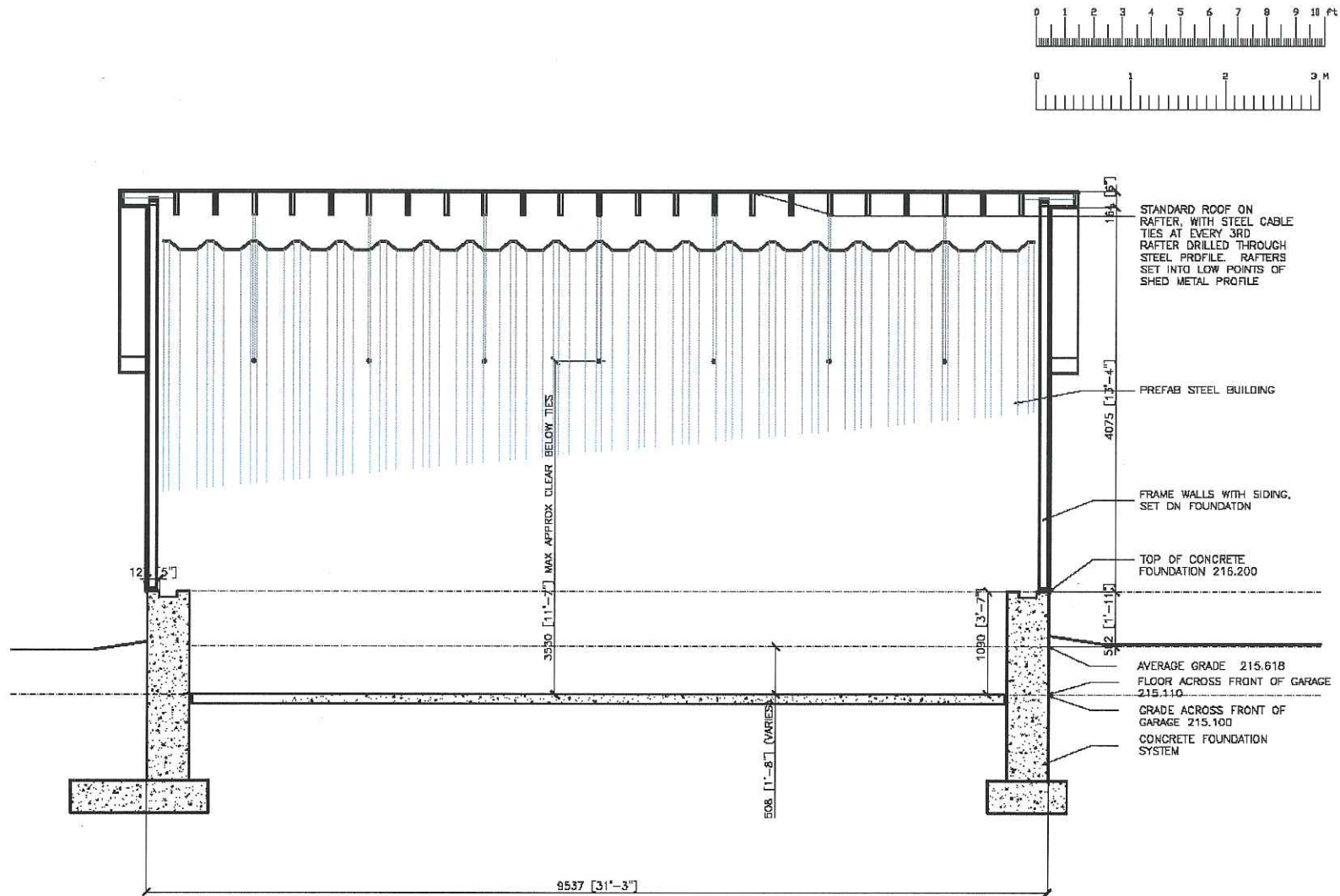
BRAMPTON

Flower City

2	2021.05.14	SITE PLAN UPDATE
1	2020.06.25	SITE PLAN SUBMITTAL
N.O.	DATE	ISSUE
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Stephen Robert HITCHCOX Architect 28 THIRTEENTH ST., ETOBICOKE, ONT M9V 3H4 (416) 232-1846		
PROJECT: NEW GARAGE 12 ALS TON COURT, BRAMPTON, ONTARIO		
DRAWING NAME: A S S B TREE PROTECTION (SPA-2020-0126)		
OBJECT NO.	2020.06.001	DRAWING ISSUE
SCALE	1:12.5	DRAWING NUMBER
DRAWN	SRH	A.402
DATE	2020/07/18	



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2	2021.05.14	SITE PLAN UPDATE
1	2020.06.20	SITE PLAN SUBMISSION
NO.	DATE	ISSUE

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Stephen Robert HITCHCOX Architect
28 THIRTEENTH ST., STOBICKE, ONT
N6V 3H4
(416) 232-1846

PROJECT **NEW GARAGE**
12 ALSTON COURT, BRAMPTON, ONTARIO

DRAWING NAME **A S S BUILDING LONG SECTION**
(SPA-2020-0126)

PROJECT NO.	2020.06.001	DRAWN & ISSUE	SITE PLAN REV
SCALE	1:50	DRAWING NUMBER	A.403
DRAWN	SRH		
DATE	2020/07/18		



2021.07.21

Re: Proposed Frame Garage at 12 Alston Court

Committee of Adjustment, City of Brampton;

This note is to confirm that the owners of #12 Alston Court, Heather Bain and Ken Wageman, have shown me drawings of their proposed new back yard detached wood framed garage.

I understand that the proposed structure complies with building heights, location, and finishes as required by the applicable Zoning bylaw, and that it will be constructed to the rear of the house in line with the existing driveway.

I do not object to the proposed floor area of the structure, which is proposed at 75.19 m², and which is greater than the 48 m² maximum floor area identified by the applicable Zoning bylaw.

Signed by:



Printed Name:

STEVE FLYNN

Date:

22 / July / 2021

Address:

14 Alston Court

Adjacency to 12 Alston Court:

NEXT DOOR (14)

2021.07.21

Re: Proposed Frame Garage at 12 Alston Court

Committee of Adjustment, City of Brampton;

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Signed by:



Printed Name:

Leonardo Balich / Kristine Rodriguez

Date:

23 / July / 2021

Address:

10 Alston Court

Adjacency to 12 Alston Court:

East

2021.07.21

Re: Proposed Frame Garage at 12 Alston Court

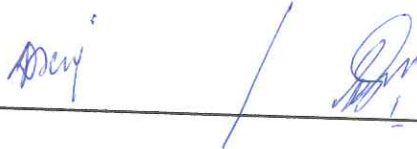
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Signed by:



Printed Name:

DALJIT SAINI / SUKHWINDER SAINI

Date:

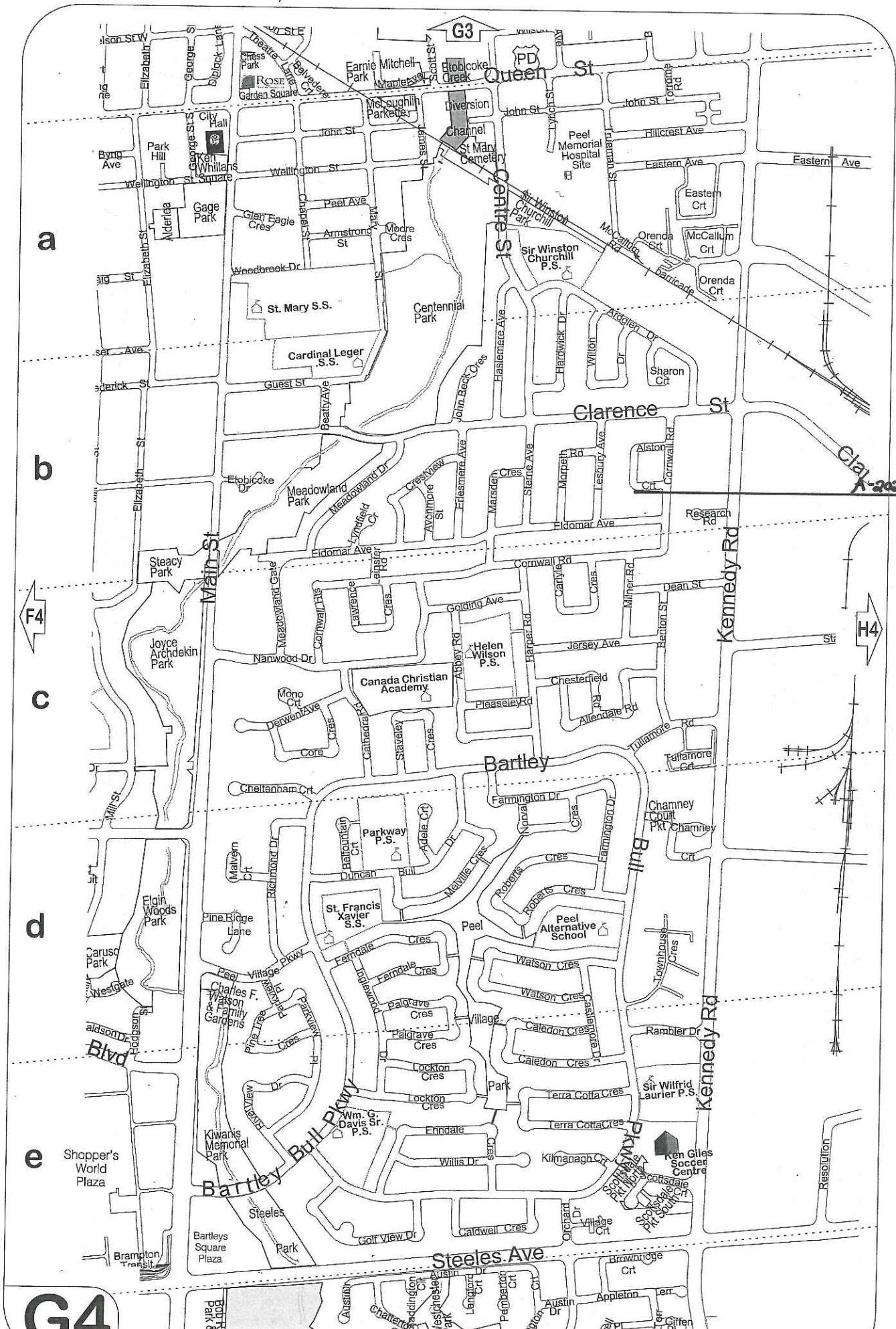
22 / July / 2021

Address:

3 Alston Court

Adjacency to 12 Alston Court:

Across the street.



a

b

c

d

e



A-2021-0168

G4