

APPLICATION # A-2021-0169
WARD # 10

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **RAGHBIR UBHI** Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 11, Plan M-90 municipally known as **8 TORTOISE COURT**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit an accessory structure (fireplace) having a height of 3.96m (13 ft.) whereas the by-law permits a maximum height of 3.5m (11.48 ft.);
2. To permit five (5) accessory structures whereas the by-law permits a maximum of two (2) accessory structures;
3. To permit a combined gross floor area of 220.84 sq. m (2377.10 sq. ft.) for five (5) accessory structures (cabana 1, cabana 2, pergola, shed and fireplace) whereas the by-law permits a maximum combined gross floor area of 40 sq. m (430.56 sq. ft.).

Note: Approval was granted under Application A-2021-0087 for four (4) accessory structures having a combined gross floor area of 212.24 sq. m (2284.53 sq. ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, August 24, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this **12th Day of August, 2021.**

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

Region's Vulnerability to Flood
SMA 1: 100

0 20 40 60 80 100

SMA 1: 100

© SEPTEMBER 2019



METRIC
 DISTANCE SHOWN ON THE FLAT MAP IS BETTER AND
 EASIER TO CORRELATE TO ACTUAL DISTANCE BY AIRLINE.

SURVEYOR'S CERTIFICATE
I CERTIFY THAT THE FOREGOING WORK ON THE FLAM
WRECK SHIPWRECK ON THE COAST, BAY OF BOSTON, MASS.

JOYCE KILPATRICK
DIRECTOR, LIAISON OFFICE

[illegible]

ELEVATION NOTE
ELEVATIONS ARE SHOWN IN FEET AND REFERRED TO THE
CITY OF BIRMINGHAM MICHIGAN MVD. AND HAVING A
FIXED REFERENCE OF 100.00 FEET.

BEARING NOTE
 BEARINGS AND DISTANCES WERE OBTAINED TO THE
 NORTH EAST OF LANTIERO POINT, CARRING A BEARING OF
 APPROXIMATELY 100 DEGREES TO DISTANCE 1.5 KM

| | | |
|------------|------------|---------------|
| DATE | OWNER | PROJECT |
| 1986-08-15 | ARMED J.M. | PROJECT 10047 |

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures
How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, August 20, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, August 21, 2021**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, August 21, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** RAGHBIR UBHI
Address 8 TORTOISE CRT BRAMPTON L6P0A1

Phone # 41 645 696 67 **Fax #** _____
Email vespa@on.aibn.com

2. **Name of Agent** ELEN ABUNAHILA
Address 74 Guelph st Georgetown L7G3Z5

Phone # 41 660 296 67 **Fax #** _____
Email elen@antaradesign.ca

3. **Nature and extent of relief applied for (variances requested):**

1. To permit accessory structure for the fireplace is height: 3.96 meters (13 feet)

2. Minor Variance for 8.6 sq.m (93.5sqft) in addition to the other structures

3. Combined Gross Floor Area for 5 accessories is 220.84 sq.m

4. **Why is it not possible to comply with the provisions of the by-law?**

THE REASON IS TO HAVE OUTDOOR SPACE AND STORAGE (ESPECIALLY PROPERTY IS LARGE

5. **Legal Description of the subject land:**
Lot Number LOT 11
Plan Number/Concession Number REGISTERED PLAN M-90
Municipal Address 8 TORTOISE COURT

6. **Dimension of subject land (in metric units)**
Frontage 106.68m
Depth 82.61m from left & 77.45m from the right
Area 8300 m2

7. **Access to the subject land is by:**

| | | | |
|------------------------------------|-------------------------------------|-------------------|--------------------------|
| Provincial Highway | <input type="checkbox"/> | Seasonal Road | <input type="checkbox"/> |
| Municipal Road Maintained All Year | <input checked="" type="checkbox"/> | Other Public Road | <input type="checkbox"/> |
| Private Right-of-Way | <input type="checkbox"/> | Water | <input type="checkbox"/> |

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

G.F.A 972.28m² two existing Dwelling Floor

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Minor Variance for the fireplace is height: 3.96 meters (13 feet)

Minor Variance for 8.6 sq.m (93.5sqft) in addition to the other structures

Combined Gross Floor Area for 5 accessories is 220.84 sq.m

9. Location of all buildings and structures on or proposed for the subject lands:(specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 23.25m

Rear yard setback 26.63

Side yard setback 46.68

Side yard setback 21.90m

PROPOSED

Front yard setback SHED 65.68M CABANA #1 51.1m CABANA #2 48.7m Pergola 59.5m

Rear yard setback SHED 2.42M CABANA #1 9.1m CABANA #2 16.2m Pergola 3.2m

Side yard setback SHED 24.71M CABANA #1 47.4m CABANA #2 6.2m Pergola 36.2m

Side yard setback SHED 74.04M CABANA #1 54.2m CABANA #2 92.2m Pergola 66.1m

10. Date of Acquisition of subject land: 2011
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 2011
15. Length of time the existing uses of the subject property have been continued: 9 YEARS
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

| | | |
|--------------|----------------|--------------|
| File # _____ | Decision _____ | Relief _____ |
| File # _____ | Decision _____ | Relief _____ |
| File # _____ | Decision _____ | Relief _____ |

Ela
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 26 DAY OF July, 2021.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Elen Abuneha RAGHIBER UPMI, OF THE City OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF Peel
THIS 26th DAY OF July, 2021

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Ela
Signature of Applicant or Authorized Agent

Jeanie Myers
A Commissioner etc.

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

RE2

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L Barbuto

Zoning Officer

July 29, 2021

Date

DATE RECEIVED

Date Application Deemed
Complete by the Municipality

July 26, 2021

July 28, 2021

PLAN OF SUBDIVISION OF
LOT 11
REGISTERED PLAN M-90
CITY OF BRAMPTON
Regional Municipality of Peel
SCALE: 1" = 100'
BY: G. B. B. B. B.
GTA SURVEYING INC.
(20110801 2011)

PART 1, PLAN 439-3847

REGISTERED

PART 5, PLAN 439-3847

PART 6, PLAN 439-3847

PART 7, PLAN 439-3847

PART 8, PLAN 439-3847

PART 9, PLAN 439-3847

PART 10, PLAN 439-3847

PART 11, PLAN 439-3847

PART 12, PLAN 439-3847

PART 13, PLAN 439-3847

PART 14, PLAN 439-3847

PART 15, PLAN 439-3847

PART 16, PLAN 439-3847

PART 17, PLAN 439-3847

PART 18, PLAN 439-3847

PART 19, PLAN 439-3847

PART 20, PLAN 439-3847

PART 21, PLAN 439-3847

PART 22, PLAN 439-3847

PART 23, PLAN 439-3847

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PART 25, PLAN 439-3847

PART 26, PLAN 439-3847

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PART 67, PLAN 439-3847

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PART 69, PLAN 439-3847

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PART 134, PLAN 439-3847

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PART 137, PLAN 439-3847

PART 138, PLAN 439-3847

PART 139, PLAN 439-3847

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PART 141, PLAN 439-3847

PART 142, PLAN 439-3847

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PART 145, PLAN 439-3847

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PART 166, PLAN 439-3847

PART 167, PLAN 439-3847

PART 168, PLAN 439-3847

PART 169, PLAN 439-3847

PART 170, PLAN 439-3847

PART 171, PLAN 439-3847

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PART 192, PLAN 439-3847

PART 193, PLAN 439-3847

PART 194, PLAN 439-3847

PART 195, PLAN 439-3847

PART 196, PLAN 439-3847

PART 197, PLAN 439-3847

PART 198, PLAN 439-3847

1. THIS DRAWING(S) CONFORMS TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE 2012.
2. THE STRUCTURAL DRAWINGS ARE TO BE READ AND USED IN CONJUNCTION WITH THE SPECIFICATIONS AND ALL OTHER CONTRACT DOCUMENTS INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DOCUMENTS AND DRAWINGS.
3. ALL DIMENSIONS ARE IN IMPERIAL UNITS.
4. CONFIRM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE INCLUDING ALL STANDARDS REFERENCED THERE IN AND ANY APPLICABLE ACTS OF HAVING JURISDICTION. (THE LATEST VERSION OF STANDARDS & CODES SHALL APPLY)
5. THE CONTRACTOR SHOULD VISIT THE SITE AND BECOME FAMILIARIZED WITH ALL CHARACTERISTICS AFFECTING NEW & EXISTING CONSTRUCTION. CONTRACTOR SHALL CHECK ALL DIMENSIONS ON WORKING DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. ANY CHANGES, ALTERATIONS OR REVISIONS MUST BE REPORTED TO THE ENGINEER BEFORE PROCEEDING WITH WORK.
6. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH & SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS - O. REG. 213/91.
7. THE DESIGN LOADS FOR THE BUILDING & ITS COMPONENTS IS DETERMINED IN ACCORDANCE WITH THE 2012 OBC DIV B PART 4 AND 2010 N.B.C.
8. ALL TEMPORARY STRUCTURES OR WORKS INCLUDING SHORING, FORM WORK, SCAFFOLDING, AND FALSE WORK SHALL BE PROVIDED BY THE CONTRACTOR.
9. FIABLE CONSULTING INC. WILL TAKE NO RESPONSIBILITY FOR ANY CHANGES TO OR DEVIATIONS FROM THIS DRAWING UNLESS APPROVED BY OUR OFFICE IN WRITING.
10. THE INFORMATION ON THIS DRAWING SHALL NOT BE USED FOR ANY OTHER PROJECT OR WORKS. THE INFORMATION ON THESE DRAWINGS APPLIES SOLELY TO THIS PROJECT.

1. REFER TO GEOTECHNICAL REPORT FOR PROPOSED HOUSE IF AVAILABLE.
2. THE TOP SOIL AND VEGETABLE MATTER IN ALL UNEXCAVATED AREAS UNDER THE BUILDING SHALL BE REMOVED.
3. IN LOCALITIES WHERE TERMITE INFESTATION IS A KNOWN PROBLEM ALL STUMPS, ROOTS AND OTHER WOOD DEBRIS SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF AT LEAST 300mm IN EXCAVATED AREAS UNDER THE BUILDING.
4. THE BOTTOM OF EVERY EXCAVATION SHALL BE KEPT FREE OF ALL ORGANIC MATERIAL AND THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS AND THE GROUND SHALL BE NO LESS THAN 450mm.
5. ALL EXCAVATIONS SHALL BE KEPT FREE OF STANDING WATER. WATER IS EXPECTED AT 1.5m (5') BELOW GRADE AND DE-WATERING IS REQUIRED TO COMPLETE THESE WORKS.
6. THE BOTTOM OF THE EXCAVATION SHALL BE KEPT FREE FROM FREEZING THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD.

7. EVERY EXCAVATION SHALL BE UNDERTAKEN IN A MANNER THAT PREVENT DAMAGE TO ADJACENT PROPERTY, EXISTING STRUCTURES, UTILITIES, ROADS, SIDES ETC. DURING ALL PHASES OF CONSTRUCTION.
8. MATERIAL SHALL NOT BE PLACED NOR SHALL EQUIPMENT BE OPERATED IN A MANNER THAT COULD PLACE UNDUE STRESS ON AN EXCAVATION OR ITS SUPPORT.
9. STRUCTURAL BACK FILL MATERIAL TO BE OPSS GRANULAR "A" OR "B" AS NOTED COMPACTED TO AT LEAST 98% S.P.D.D.
10. BACK FILL WITHIN 600mm OF THE FOUNDATION WALL TO SHALL BE FREE OF DELETERIOUS DEBRIS AND BOULDERS OVER 250mm Ø
11. WHERE FOUNDATIONS RESTS ON GRAVEL, SAND OR SILT IN WHICH THE WATER TABLE LEVEL IS LESS THAN THE WIDTH OF THE FOOTING BELOW THE BEARING SURFACE, THE FOOTING WIDTH SHALL BE TWICE AS MUCH AS IT IS SHOWN ON THESE DRAWINGS.

1. 250mm POURED CONCRETE WALLS SHALL BE 25MPa CONCRETE WITH 6% AIR ENTRAINMENT MAX. SEE SECTIONS FOR FINISHED HEIGHTS.
2. DAMP PROOF WALL EXTERIOR WITH BITUMINOUS MATERIAL WATER PROOFING BELOW GRADE TO BE COMPLETED IN CONFORMANCE WITH ARTICLES 9.13.5.1 & 9.13.5.2 OF O.B.C OR DAMP PROOF IN CONFORMANCE WITH ARTICLES 9.13.3.1 & 9.13.3.2 OF O.B.C. PROVIDE FOUNDATION WALL DRAINAGE CONFORMING TO ARTICLE 9.14.2.1. OF O.B.C.
3. A DRAINAGE LAYER SHALL CONSIST OF:
 - 3.1. MIN. 20mm MINERAL FIBRE INSULATION WITH MINIMUM DENSITY OF 0.17kN/m³.
 - 3.2. MINIMUM 100mm OF FREE DRAINING GRANULAR MATERIAL.
 - 3.3. OR APPROVED EQUIVALENT.
4. LATERAL SUPPORT OF WALL PROVIDED BY ANCHORED SILL PLATE AND GROUND FLOOR JOISTS. DO NOT BACKFILL AGAINST WALL UNTIL FLOORING SYSTEM IS COMPLETELY INSTALLED.

5. IN NORMAL SOIL CONDITIONS THE EXTERIOR SURFACE OF THE FOUNDATION WALLS ENCLOSING BASEMENTS AND CRAWL SPACES SHALL BE DAMP PROOFED. WHERE HYDROSTATIC PRESSURE OCCURS A WATERPROOFING SYSTEM IS REQUIRED.
- 5.1. MASONRY FOUNDATIONS WALLS SHALL BE PERPETTED WITH 6mm OF MORTAR COVERED OVER THE ROOFING PRIOR TO WATERPROOFING.
- 5.2. 100mm Ø FOUNDATION DRAINS SHALL BE LAID LEVEL ON UNDISTURBED GROUND ADJACENT TO THE FOOTINGS AT OR BELOW THE TOP OF THE BASEMENT SLAB OR CRAWL SPACE FLOOR AND SHALL BE COVERED WITH 150mm OF CRUSHED STONE.
- 5.3. FOUNDATION DRAINS SHALL DRAIN TO STORM SEWERS, DRAINAGE DITCH OR SUMP PUMP.
- 5.4. WINDOW WELLS SHALL DRAIN TO THE FOOTING DRAIN.
6. DOWN SPOUTS NOT DIRECTLY CONNECTED TO A STORM SEWER SHALL HAVE EXTENSIONS TO CARRY WATER

7. BASEMENT STAIR STRINGERS SHALL BE DAMP PROOFED AT UNDERSIDE WITH #45 BUILDING PAPER.
8. ENSURE WEEPING TILE AND FOUNDATION WALL DRAINAGE APPLIED IN ACCORDANCE WITH APPLICABLE ASPECT OF ARTICLE 9.14 OF O.B.C.

1. DEAD LOAD

| | | |
|----|---|-------------------------------------|
| DL | = | 1.0 kPa (20 PSF) (WOOD JOIST AREAS) |
| DL | = | 5.5 kPa (115 PSF) (CONCRETE SLAB) |

2. LIVE LOAD

| | | |
|----|---|---------------------------------|
| LL | = | 1.9 kPa (40 PSF) (TYPICAL) |
| LL | = | 2.4 kPa (50 PSF) (TOILET AREAS) |
| LL | = | 1.0 kPa (20 PSF) (ROOF) |
| LL | = | 1.4 kPa (30 PSF) (ATTIC SPACE) |

1. SOIL BEARING CAPACITY ASSUMED TO BE 150 kPa SLS NATIVE UNDISTURBED FIRM TO STIFF CLAY, DENSE OR COMPACT SAND OR GRAVEL (SOIL REPORT NOT AVAILABLE). ALL FOOTINGS TO BE MIN 4' (1200mm) DEEP FOR FROST PROTECTION.
2. REPORT THE WATER TABLE TO THE ENGINEER DURING CONSTRUCTION.
3. 20MPa (2900 PSI) CONCRETE STRIP FOOTING WITH CONTINUOUS KEY, RESTING ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL.

EXTERIOR WALL:

- 2 STOREY BRICK - 20"x6" (500MM X 150MM)
- 3 STOREY BRICK - 26"x9" (650MM X 230MM)

INTERIOR BEARING WALL:

- 2 STOREY MASONRY - 26"x9" (650MM X 230MM)
- 2 STOREY STUD - 20"x6" (500MM X 150MM)
- 3 STOREY MASONRY - 36"x14" (900MM X 360MM)
- 3 STOREY STUD - 24"x8" (600MM X 200MM)

1. 38X140 (2"X6") SILL PLATE WITH 12.7mm (1/2")ANCHOR BOLTS 300mm (12") LONG, EMBEDDED MIN. 150mm (5") INTO CONC. @ 120mm (4'-0") O.C., CAULKING OR 25mm (1")MINERAL WOOL BETWEEN PLATE AND TOP WALL, USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

1. STEEL BEAMS AND COLUMNS SHALL BE SHOP PRIMED.
2. MINIMUM OF 90mm OF END BEARING FOR WOOD AND STEEL BEAMS WITH 200mm SOLID MASONRY BENEATH THE BEAM.
3. STEEL COLUMNS SHALL HAVE A MINIMUM OUTSIDE DIAMETER OF 76mm AND WALL THICKNESS OF 4.8mm UNLESS NOTED OTHERWISE.
4. WOOD COLUMNS SHALL BE 140x140 UNLESS NOTE OTHERWISE. NO WOOD COLUMN SHALL NOT BE LESS THAN THE WIDTH OF THE SUPPORTED MEMBER.
5. PROVIDE SOLID BLOCKING FOR THE FULL WIDTH OF THE

1. PLACE SLAB-ON-GRADE ON MATERIAL CAPABLE OF SUSTAINING 25 kPa (500 psf) WITHOUT SETTLEMENT RELATIVE TO THE BUILDING FOOTINGS.
2. REINFORCE SLAB ON GRADE WITH WWM 152x152 - MW1&7 U.N.O. (SHEETS) LOCATED 30mm FROM TOP OF SLAB WITH PROPER CHAIRS OR EQUIVALENT FIBRE REINFORCED CONCRETE.
3. SAWCUT JOINTS 25mm (1") DEEP AS SOON AS PRACTICAL, BUT NO LATER THAN 12 HOURS AFTER PLACEMENT OF SLAB. USE EQUIPMENT THAT DOES NOT "RAVEL" THE EDGES OF THE CUT.

1. ALL LVL MATERIAL TO BE SPECIES GRADE 2.0E UNLESS NOTED OTHERWISE.
2. ALL NAILS/BOLTS TO BE 2" (50MM) FROM EDGES & 2³/₄" (64MM) FROM ENDS. INTERMEDIATE ROWS OF NAILS/BOLTS TO BE SPACED EQUALLY BETWEEN OUTER ROWS.
3. BOLTED CONNECTIONS REQUIRE 2" (50MM) OUTSIDE DIAMETER FLAT WASHER UNDER BOLT HEAD & NUT.
4. REFER THE MANUFACTURER'S CATALOGUES FOR NAILING/ BOLTING PATTERNS FOR CONNECTION OF MULTIPLE PLY BEAMS.
5. ALL LVL LINTELS SHALL BE SUPPORTED WITH 2 JACK STUDS PER END UNLESS NOTED OTHERWISE.

- 1 this distinction is not only a shield but a sword as well as it is applied in any way which is not consistent with HNS Engineering Inc.
- 2 This finding should not be used in connection with approval by the engineer
- 3 the client expressly agrees that HNS Engineering Inc's employees, stamping engineers and pipefitters shall have no personal liability in the event of loss of a claim, whether in contract, but under any other cause of action in law. Accordingly, the client expressly agrees that it will bring reprocurement and labour action in any court of law against HNS Engineering Inc's employees, stamping engineers or pipefitters in their personal capacity



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CONCRETE NOTES:

1. CONCRETE WORK SHALL CONFORM TO CSA A23.1-(LATEST) FOR MATERIALS AND WORKMANSHIP.
2. THE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 20 MPa, UNLESS NOTED OTHER WISE. IF MORE STRENUOUS REQUIREMENTS ARE INDICATED IN THE CONTRACT SPECIFICATIONS, THE MORE STRENUOUS REQUIREMENTS APPLY.
3. CONCRETE SHALL HAVE AN EXPOSURE CLASS C-1 AS OUTLINED IN TABLE 2, 4, 20 OF CAN/CSA-A23.1-09 (R2014), UNLESS OTHER WISE NOTED.
4. ALL CONCRETE SHALL BE KEPT MOIST DURING THE FIRST THREE DAYS OF CURING.
5. TOLERANCES AS PER CAN/CSA-A23.1-(LATEST) CLAUSE 6.4.2, EXCEPT AS NOTED BELOW.
6. THE ABOVE REQUIREMENTS DO NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY OF MEETING MORE RIGID REQUIREMENTS SPECIFIED ELSEWHERE IN THE CONSTRUCTION DOCUMENTS OR AS REQUIRED BY EQUIPMENT SHOP DRAWINGS OR SPECIFICATIONS SUCH AS THOSE FOR ELEVATORS ETC.
7. CONCRETE IS SPECIFIED AS PER THE "PERFORMANCE" ALTERNATE AS OUTLINED IN TABLE 5 OF CAN/CSA-A23.1-(LATEST).
8. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR WORKING WITH THE CONCRETE SUPPLIER TO ENSURE THAT THE PLASTIC AND HARDENED MIX PROPERTIES MEET SITE REQUIREMENTS FOR PLACING, FINISHING, AND THE OWNERS' SPECIFIED PERFORMANCE REQUIREMENTS. THE GENERAL CONTRACTOR SHALL MEET THE DOCUMENTATION AND QUALITY CONTROL REQUIREMENTS OUTLINED UNDER THE "PERFORMANCE" ALTERNATE OF TABLE 5 OF CAN/CSA-A23.1-(LATEST).
9. THE CONCRETE SUPPLIER SHALL BE CERTIFIED BY THE READY MIXED CONCRETE ASSOCIATION OF ONTARIO.
10. CONCRETE SHALL HAVE A UNIT WEIGHT OF 145±5 pcf (23.5 kN/m³) UNLESS NOTED OTHERWISE.
11. SLUMP AND AGGREGATE SIZE TO BE DETERMINED BY THE GENERAL CONTRACTOR AND SUPPLIER TO MEET PLACEMENT, AND FINISHING REQUIREMENTS WITHOUT SEGREGATION WHILE MEETING ALL OWNER SPECIFICATIONS.
12. MAXIMUM WATER/CEMENT RATIO AND AIR CONTENT TO MEET THE REQUIREMENTS FOR THE EXPOSURE CLASS AS OUTLINED IN TABLE 2, 4 AND 20 OF CAN/CSA-A23.1-(LATEST).
13. CHLORIDE ION PENETRABILITY FOR EXPOSURE CLASS C-1 SHALL MEET THE REQUIREMENTS OF TABLE 2 OF CAN/CSA-A23.1-(LATEST).
14. CURING OF CONCRETE TO MEET THE REQUIREMENTS FOR THE EXPOSURE CLASS AS OUTLINED IN CLAUSE 7.4.1.7 AS WELL AS TABLES 2 AND 20 OF CAN/CSA-A23.1-(LATEST).
15. NO CALCIUM CHLORIDE IS PERMITTED, IN ANY FORM, IN ANY CONCRETE MIX WITHOUT THE EXPRESS WRITTEN CONSENT OF FIABLE CONSULTING.
16. CURING AND PROTECTION OF CONCRETE FOR HOT, COLD OR DRY WEATHER IS TO BE AS PER CLAUSES

CAN/CSA-A23.1-(LATEST) AS A MINIMUM.

17. ADD CONSTRUCTION JOINTS AS SPECIFIED ON THE DRAWING.

CONCRETE FLOOR NOTES:

1. SLAB ON GRADE TO BE MINIMUM 100mm THICK WITH 25MPa CONCRETE WITH MINIMUM OF 4% AIR ENTRAINMENT ON 150mm COMPACTED GRANULAR FILL.
2. PROVIDE ONE LAYER OF POLYETHYLENE FOR DAMP PROOFING UNDER THE SLAB.

CONCRETE REINFORCEMENT:

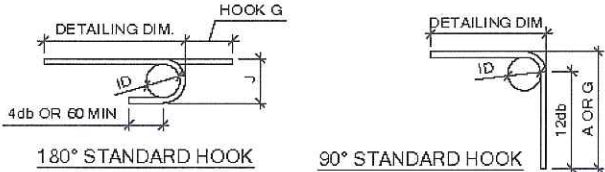
1. REINFORCEMENT SHALL CONFORM TO THE FOLLOWING STANDARDS:

CAN/CSA-G30.18R-GRADE 400 MPa - 10M AND LARGER (U.N.O.)

2. SUPPORT REINFORCING WITH CHAIRS, ACCESSORIES, OR REINFORCING BARS AS REQUIRED. BARS USED AS SUPPORT BARS SHALL BE CONSIDERED AS ACCESSORIES.
3. PROVIDE SUFFICIENT SUPPORTS TO MAINTAIN CONCRETE PROTECTION AS SPECIFIED. ALL SUPPORTS AND BARS MUST BE TIED TOGETHER TO MAINTAIN REINFORCING STEEL SECURELY IN PLACE DURING CONCRETE PLACEMENT.
4. PROVIDE CONCRETE COVER OVER REINFORCING STEEL ACCORDING TO CSA A23.1 AND DETAILED AS FOLLOWS:

| EXPOSURE CONDITION | CONCRETE COVER (mm) |
|--|---------------------|
| SURFACES CAST AGAINST AND PERMANENT EXPOSED TO EARTH | 75 |
| SURFACES EXPOSED TO DE-ICING CHEMICALS | 80 |
| FORMED SURFACES EXPOSED TO EARTH OR WEATHER | 40 |
| WALLS NOT EXPOSED TO WEATHER | 20 |

| BAR SIZE | STEEL GRADE | | | | | | | | | | | |
|----------|--------------|-----|----------|--------|--------------|-----|----------|--------|--------------|-----|----------|--------|
| | 400R OR 500R | | | | 400W OR 500W | | | | EPOXY COATED | | | |
| | 180° HOOK | | 90° HOOK | | 180° HOOK | | 90° HOOK | | 180° HOOK | | 90° HOOK | |
| | ID | J | G* | A OR G | ID | J | G* | A OR G | ID | J | G* | A OR G |
| 10M | 70 | 90 | 140 | 180 | 80 | 80 | 130 | 180 | 80 | 100 | 160 | 190 |
| 15M | 100 | 130 | 180 | 280 | 90 | 120 | 170 | 250 | 120 | 150 | 200 | 270 |
| 20M | 120 | 160 | 220 | 310 | 100 | 140 | 200 | 300 | 160 | 200 | 270 | 340 |
| 25M | 150 | 200 | 280 | 400 | 150 | 200 | 280 | 400 | 200 | 250 | 330 | 430 |



180° STANDARD HOOK

90° STANDARD HOOK



TYPICAL SPLICE LENGTH (Lp)

NON-EPOXY COATED BARS

| 400 W BAR SIZE | Lp MIN. | |
|----------------|---------|-----|
| | WALLS | |
| | 35 MPa | |
| | 10M | 620 |
| 15M | 880 | |

EPOXY COATED BARS

| 400 W BAR SIZE | Lp MIN. | |
|----------------|---------|-----|
| | WALLS | |
| | 35 MPa | |
| | 10M | 745 |
| 15M | 1055 | |

- * BUILT UP SECTION USING 5-38X140 MEMBERS.
- a. SPACING OF NAILS ALONG THE MEMBER LENGTH SHALL NOT EXCEED SIX TIMES THE THICKNESS OF THE THINNEST PIECE AND SPACING PERPENDICULAR TO THE MEMBER LENGTH SHALL NOT EXCEED 20 TIMES THE NAIL DIAMETER;
- b. ALL NAILS SHALL PENETRATE THROUGH AT LEAST 3/4 OF THE THICKNESS OF THE LAST INDIVIDUAL PIECE AND NAILS SHALL BE DRIVEN ALTERNATELY FROM EITHER FACE OF THE BUILT-UP MEMBER ALONG THE LENGTH; AND
- c. WHEN THE INDIVIDUAL PIECES OF THE BUILT-UP MEMBER ARE WIDER THAN THREE TIMES THEIR THICKNESS, THERE SHALL BE AT LEAST TWO ROWS OF NAILS ACROSS THE MEMBER WIDTH

1. This drawing is to be used only if it is signed and sealed by the engineer or architect.
2. This drawing shall not be used for construction until approved by the engineer.
3. The client expressly agrees that this engineering firm's employees, including engineers and architects, shall have no personal liability in the event of a claim, whether in contract, tort, or otherwise, arising out of or from the use of this drawing, and that the client shall be responsible for any and all claims against this engineering firm's employees, including engineers and architects, in their personal capacity.



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| RO | 07/05/21 | Issued For Permit |
| No. | DATE DD/MM/YY | DESCRIPTION |

CLIENT:

ENGINEER:

HNS
Engineering Inc.
55 Strathaven Drive,
Mississauga, ON L5R 4G9
design_sajid@yahoo.ca

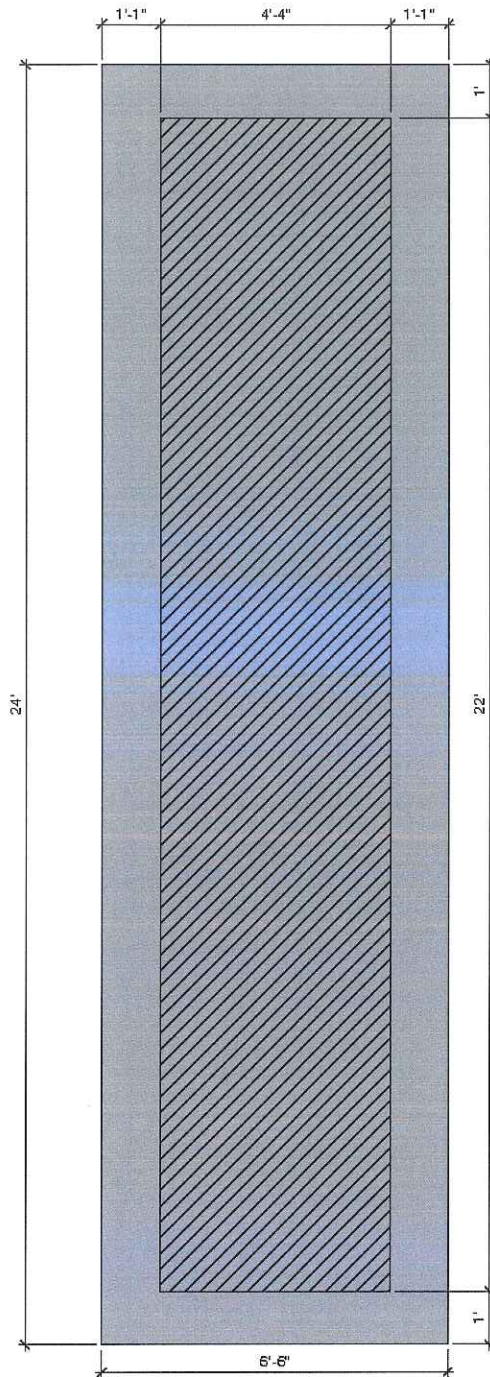
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| DATE: | SCALE: |
| APR. 18, 21 | As Noted |

PROJECT ADDRESS:
8 TORTOISE COURT,
BRAMPTON

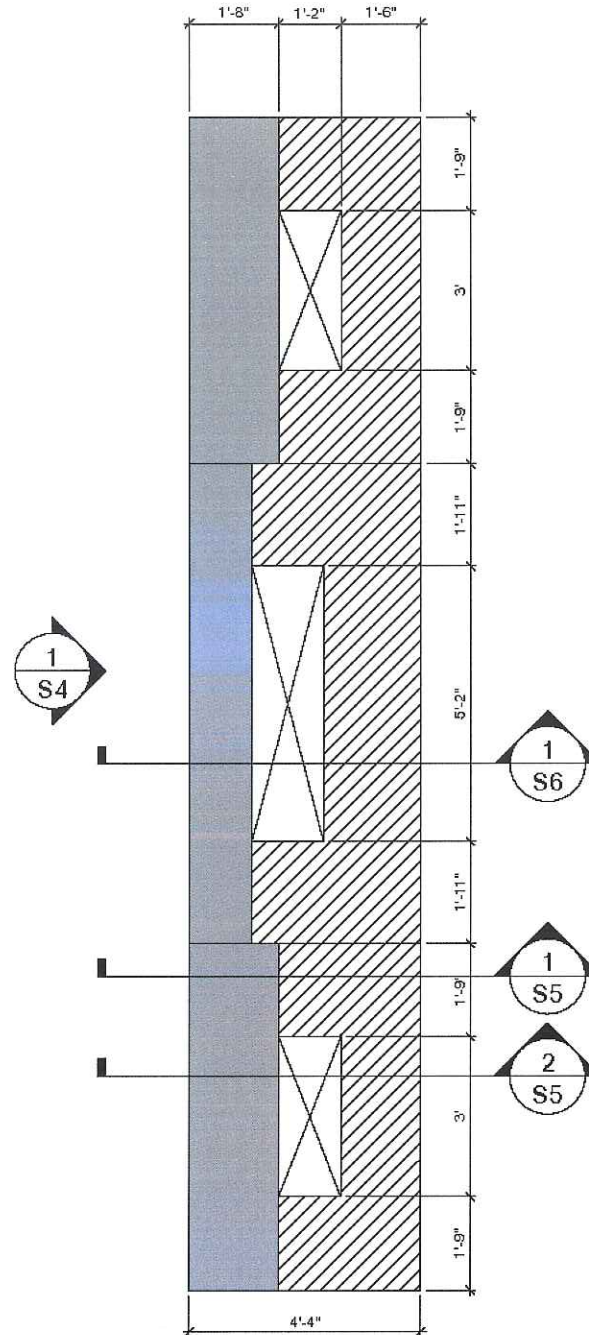
PROJECT TITLE:
DESIGN OF EXTERIOR
FIRE PLACE

DRAWING NAME:
GENERAL NOTES - 2

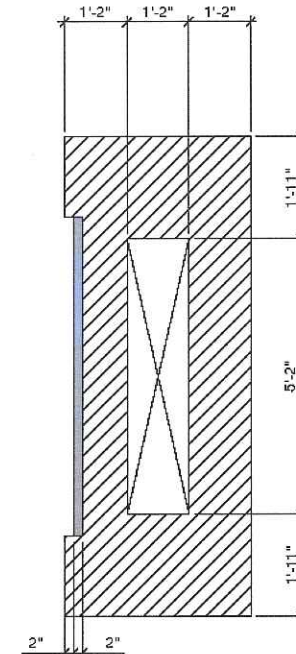
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| PROJECT NUMBER: | DRAWING NUMBER: |
| 21090 | S2 |



1 FOUNDATION PLAN
S3 SCALE : 3/8" = 1'-0"



2 PLAN @ 2' - 6"
S4 S3 SCALE : 3/8" = 1'-0"



3 PLAN @ 10' - 6"
S3 SCALE : 3/8" = 1'-0"

1 This drawing is to be used only for the project for which it is prepared and should not be used for any other project without the written consent of HNS Engineering Inc.
2 This drawing should not be used for construction and approved by the engineer.
3 The client hereby agrees that HNS Engineering Inc.'s employees, stamping engineers and individuals shall have no personal liability to the client in respect of a claim, whether in contract, tort or otherwise, arising out of or from the use of this drawing, and the client hereby agrees that it will hold its employees and individuals in any event of the use of this drawing by HNS Engineering Inc.'s employees, stamping engineers or individuals in their personal capacity.



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| No. | DATE DD/MM/YY | DESCRIPTION |

CLIENT:

ENGINEER:

HNS
Engineering Inc.
55 Strathaven Drive,
Mississauga, ON L5R 4G9
design_sajid@yahoo.ca

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| DRAWN: | CHECKED: |
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| DATE: | SCALE: |
| APR. 18, 21 | As Noted |

PROJECT ADDRESS :
8 TORTOISE COURT,
BRAMPTON

PROJECT TITLE:
DESIGN OF EXTERIOR
FIRE PLACE

DRAWING NAME:
PLANS

| | |
|-----------------|-----------------|
| PROJECT NUMBER: | DRAWING NUMBER: |
| 21090 | S3 |

1. This drawing is to be used only for the purpose for which it is issued and no part of it shall be used for any other purpose without the written consent of HNS Engineering Inc.
2. This drawing shall not be used for construction until approved by the engineer.
3. The client represents and warrants that HNS Engineering Inc.'s engineer, stamping engineer and architect shall have no personal liability in the event of any error or omission in the drawing, but shall not be liable for any error or omission in the drawing. Accordingly, the client represents and warrants that it will bear the responsibility and liability for any error or omission in the drawing and shall not be liable for any error or omission in the drawing.



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CLIENT:

ENGINEER:

HNS
Engineering Inc.
55 Strathaven Drive,
Mississauga, ON L5R 4G9
design_sajid@yahoo.ca

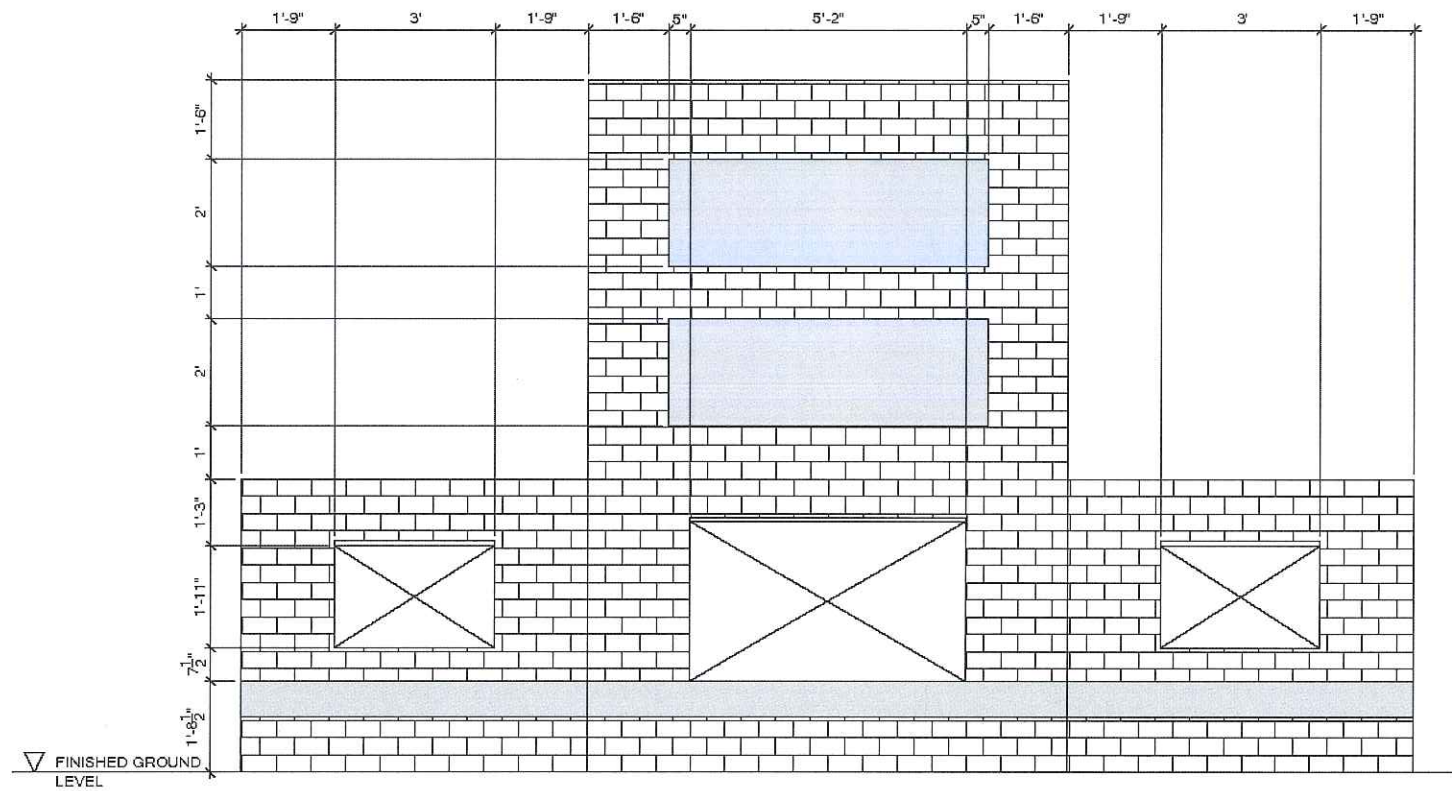
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| APR. 18, 21 | As Noted |

PROJECT ADDRESS:
8 TORTOISE COURT,
BRAMPTON

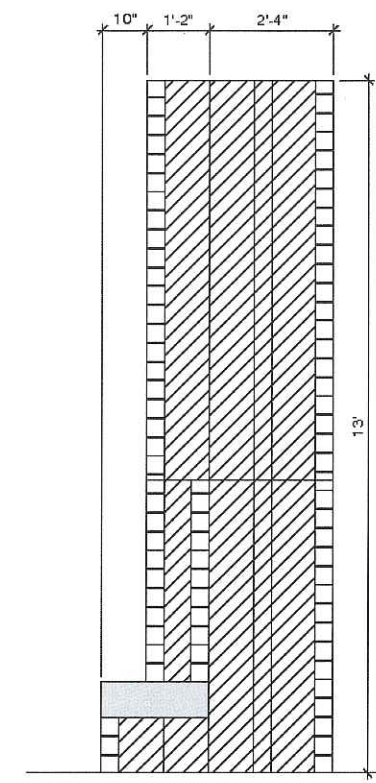
PROJECT TITLE:
DESIGN OF EXTERIOR
FIRE PLACE

DRAWING NAME:
ELEVATIONS

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|-----------------|-----------------|
| PROJECT NUMBER: | DRAWING NUMBER: |
| 21090 | S4 |



1 ELEVATION - 1
S4 SCALE : 3/8" = 1'-0"



2 ELEVATION - 2
S4 SCALE : 3/8" = 1'-0"

1. This drawing is not to be used for any other purpose than that for which it was prepared.
 2. This drawing should not be used for construction until approved by the engineer.
 3. The client, separately, agrees that HNS Engineering Inc.'s employees, during the preparation and execution of this drawing, shall not be held personally liable for the design or construction of a structure, but shall be held liable for any other cause of action in law. Accordingly, the client separately agrees that it will not be responsible and take no action in any suit of law against HNS Engineering Inc.'s employees, during the preparation or execution of this drawing.



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 55 Strehaven Drive,
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 design_sajid@yahoo.ca

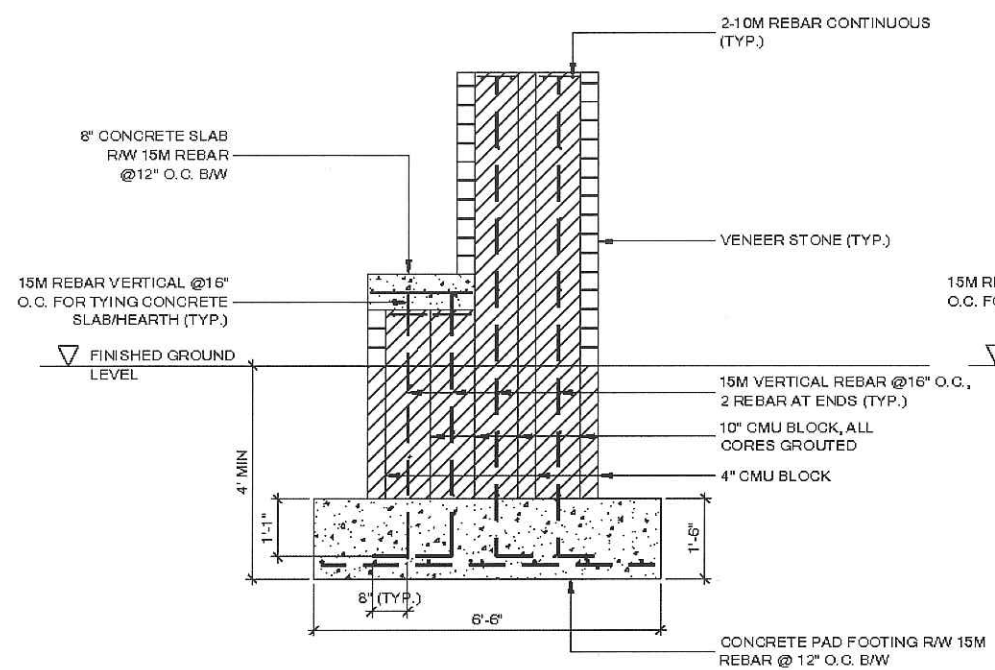
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| DATE: APR. 18, 21 | SCALE: As Noted |

PROJECT ADDRESS:
 8 TORTOISE COURT,
 BRAMPTON

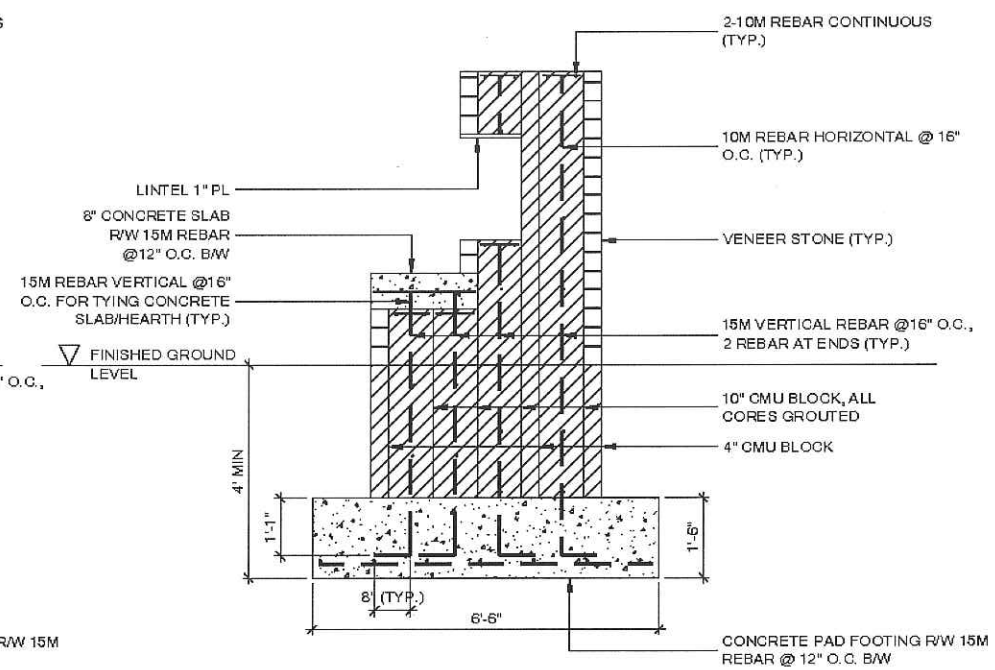
PROJECT TITLE:
 DESIGN OF EXTERIOR
 FIRE PLACE

DRAWING NAME:
 SECTIONS - 1

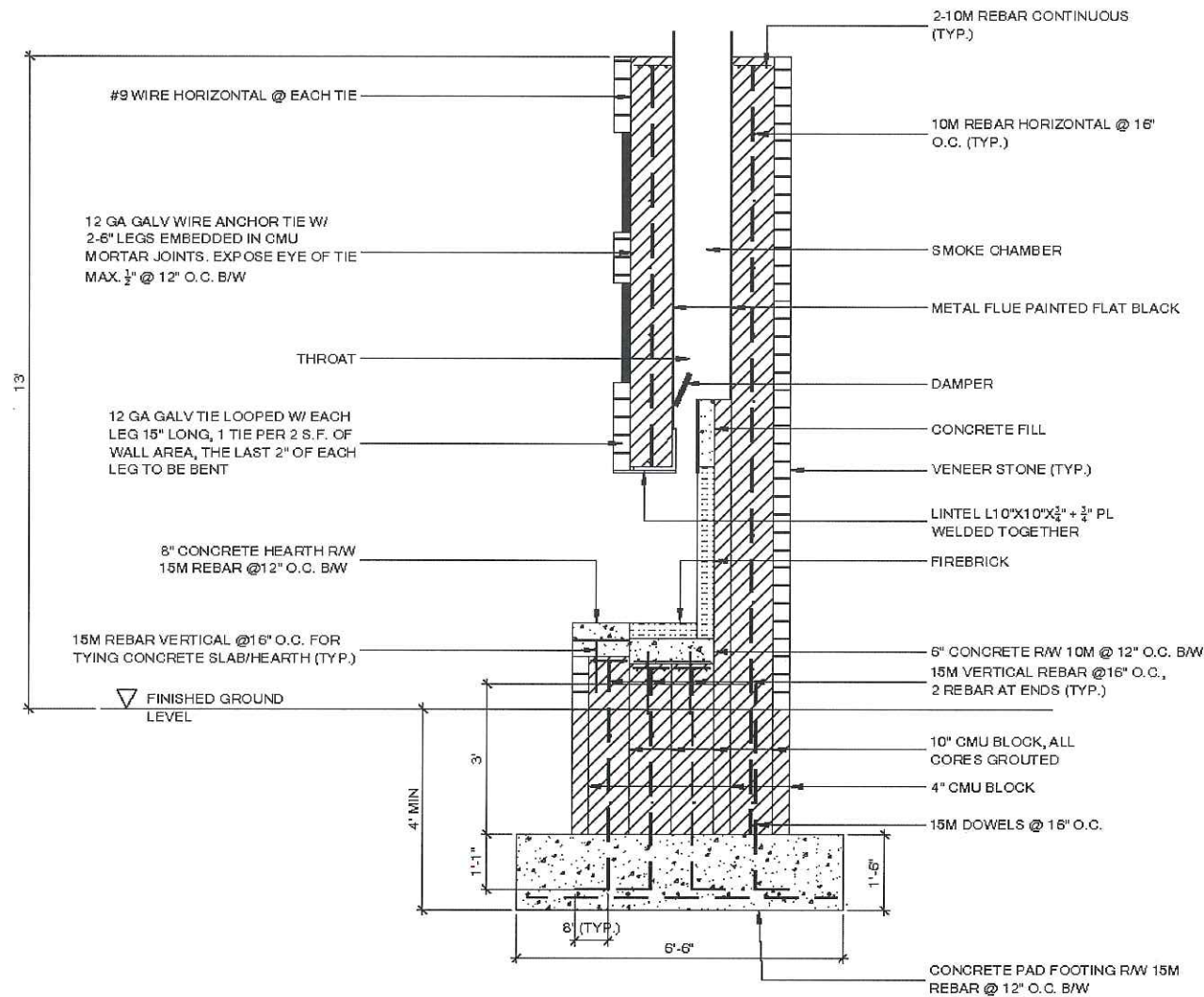
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| PROJECT NUMBER: 21090 | DRAWING NUMBER: S5 |
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1 SECTION - 1
 S5 SCALE : 3/8" = 1'-0"

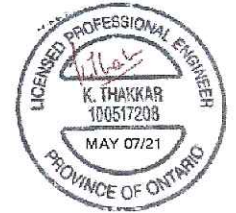


2 SECTION - 2
 S5 SCALE : 3/8" = 1'-0"



1 SECTION - 1
S6 SCALE : 3/8" = 1'-0"

1. This drawing is for your use only. It should not be copied or reproduced in any way without the written consent of HNS Engineering Inc.
2. This drawing should not be used for construction until approved by the engineer.
3. The client represents and warrants that HNS Engineering Inc.'s employees, designers, drafters and consultants shall have no personal liability in the event of a claim, whether in contract, tort or otherwise, arising out of or from the design or construction of the project. The client represents and warrants that it will hold the engineer, its employees, designers, drafters and consultants harmless from and against all claims, damages, costs and expenses, including reasonable attorneys' fees, that may be asserted against or incurred by the engineer, its employees, designers, drafters and consultants in connection with the project.



| | | |
|---------|------------------|-------------------|
| R0 | 07/05/21 | Issued For Permit |
| No. | DATE DD/MM/YY | DESCRIPTION |
| CLIENT: | | |

ENGINEER:

HNS
Engineering Inc.

55 Strathaven Drive,
Mississauga, ON L5R 4G9
design_sajid@yahoo.ca

| | |
|--|-----------------------|
| DRAWN: KT | CHECKED: KT |
| DATE: APR. 18, 21 | SCALE: As Noted |
| PROJECT ADDRESS: 8 TORTOISE COURT, BRAMPTON | |
| PROJECT TITLE: DESIGN OF EXTERIOR FIRE PLACE | |
| DRAWING NAME: SECTIONS - 2 | |
| PROJECT NUMBER: 21090 | DRAWING NUMBER: S6 |

8 TORTOISE COURT

PREVIOUS DECISION(S)



BRAMPTON Flower City

Notice of Decision

Committee of Adjustment

FILE NUMBER A-2021-0087

HEARING DATE MAY 11, 2021

APPLICATION MADE BY RAGHEIR UBHI
IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN
APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING
VARIANCE(S):

1. To permit an accessory structure (cabana 1) having a gross floor area of 78.25 sq. m (842.28 sq. ft.);
2. To permit an accessory structure (cabana 1) having a building height of 4.57m (15.0 ft.);
3. To permit an accessory structure (cabana 2) having a gross floor area of 69.32 sq. m (746.15 sq. ft.);
4. To permit an accessory structure (cabana 2) having a building height of 5.03m (16.50 ft.);
5. To permit an accessory structure (pergola) having a height of 5.19m (17.03 ft.);
6. To permit an accessory structure (shed) having a gross floor area of 48.25 sq. m (519.36 sq. ft.);
7. To permit 4 accessory structures (cabana 1, cabana 2, pergola and shed);
8. To permit 4 accessory structures (cabana 1, cabana 2, pergola and shed) having a combined gross floor area of 212.24 sq. m (2284.53 sq. ft.).

(8 TORTOISE COURT – LOT 1, PLAN M-90)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF
BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Doerfler

SECONDED BY: R. Power

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON MAY 11, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

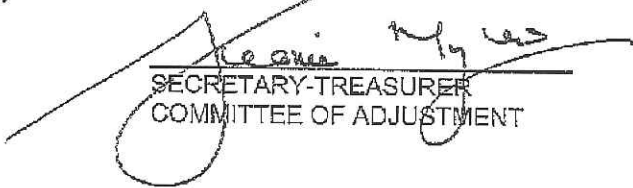
ROD POWER, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 11TH DAY OF MAY, 2021

**NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL
PLANNING APPEAL TRIBUNAL WILL BE MAY 31, 2021**

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY
THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH
RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

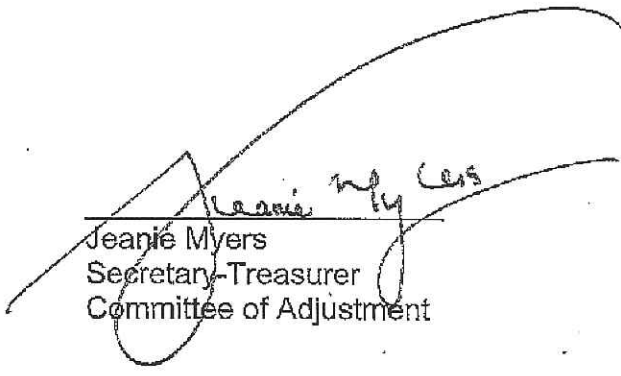
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: A-2021-0087

DATED: MAY 11, 2021

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That roof drainage from the accessory structures shall be directed onto the subject property and drainage on adjacent properties not be adversely impacted;
3. That the accessory buildings (cabana 1, cabana 2, pergola and shed) shall not be used as a separate dwelling unit and that the permission for habitable space in the accessory buildings shall be limited to the provision of one washroom and one bar sink;
4. That the proposed cabanas and pergola be of a primarily open style construction and shall not be fully enclosed;
5. The applicant acquires a TRCA permit pursuant to Ontario Regulation 166/06;
6. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



BRAMPTON

Flower City

Notice of Decision

Committee of Adjustment

FILE NUMBER A-2020-0129

HEARING DATE DECEMBER 1, 2020

APPLICATION MADE BY RAGHBIR UBHI

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit an accessory structure (shed) having a gross floor area of 48.25 sq. m (519.36 sq. ft.);
2. To permit an accessory structure (cabana) having a gross floor area of 123.55 sq. m (1329.88 sq. ft.);
3. To permit a combined gross floor area of 171.8 sq. m (1849.24 sq. ft.) for two (2) accessory structures (shed and cabana);
4. To permit a fence in the front yard having a maximum height of 2.69m (8.83 ft.).

(8 TORTOISE COURT – LOT 11, PLAN M-90)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: R. Power

SECONDED BY: D. Colp

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON DECEMBER 1, 2020

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

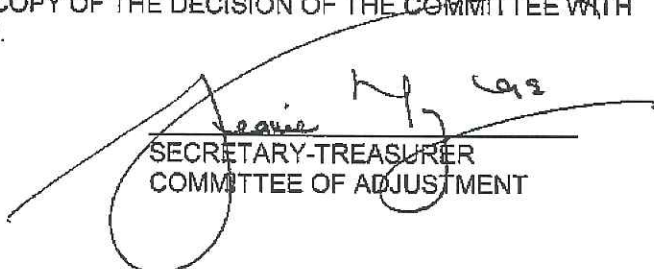
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 1ST DAY OF DECEMBER, 2020

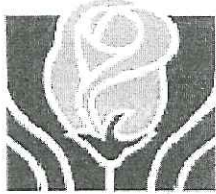
NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE DECEMBER 21, 2020

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

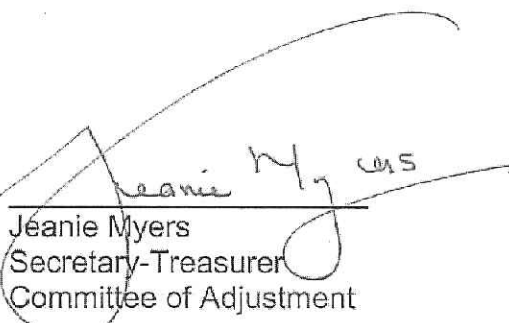
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

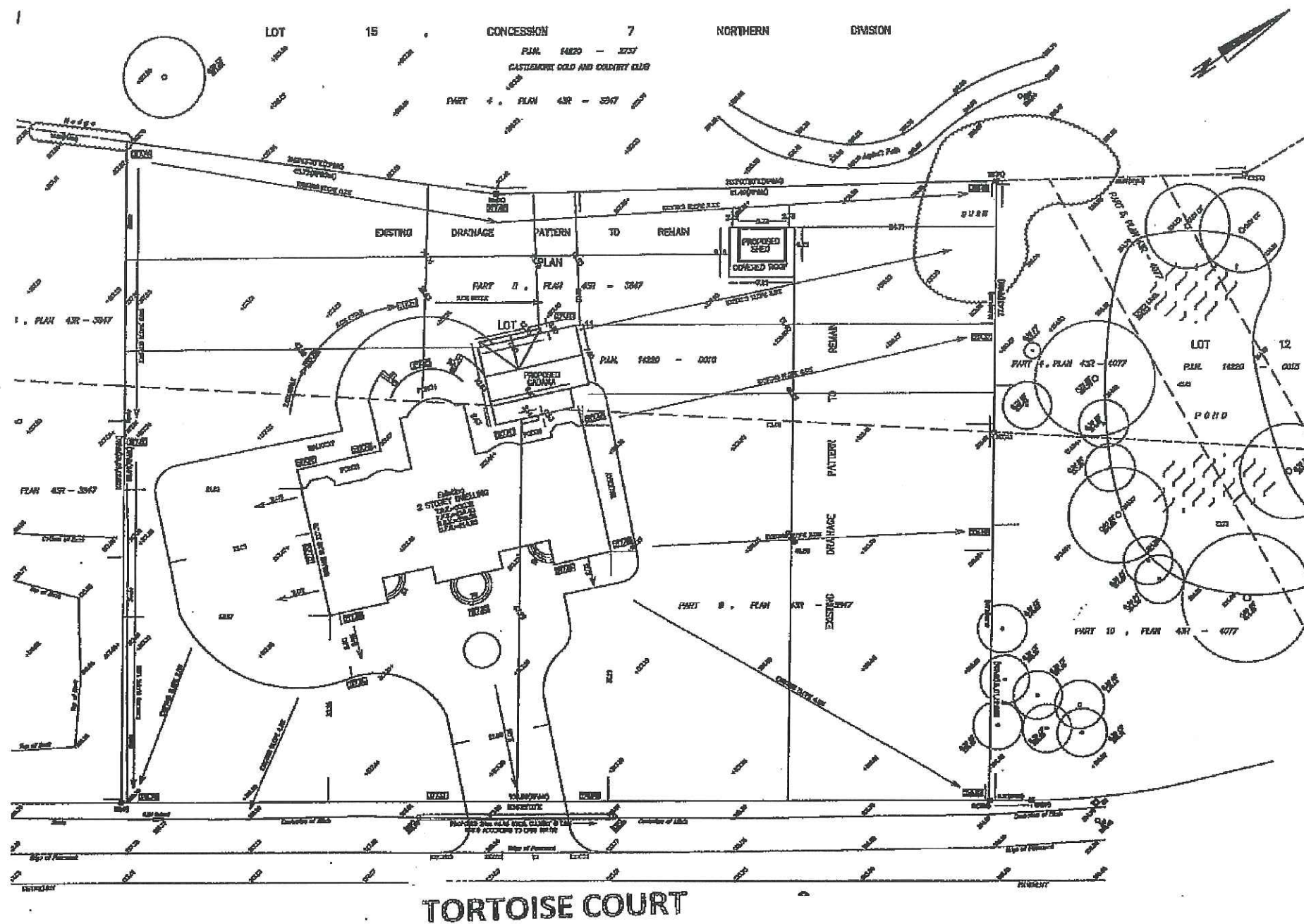
APPLICATION NO: A-2020-0129

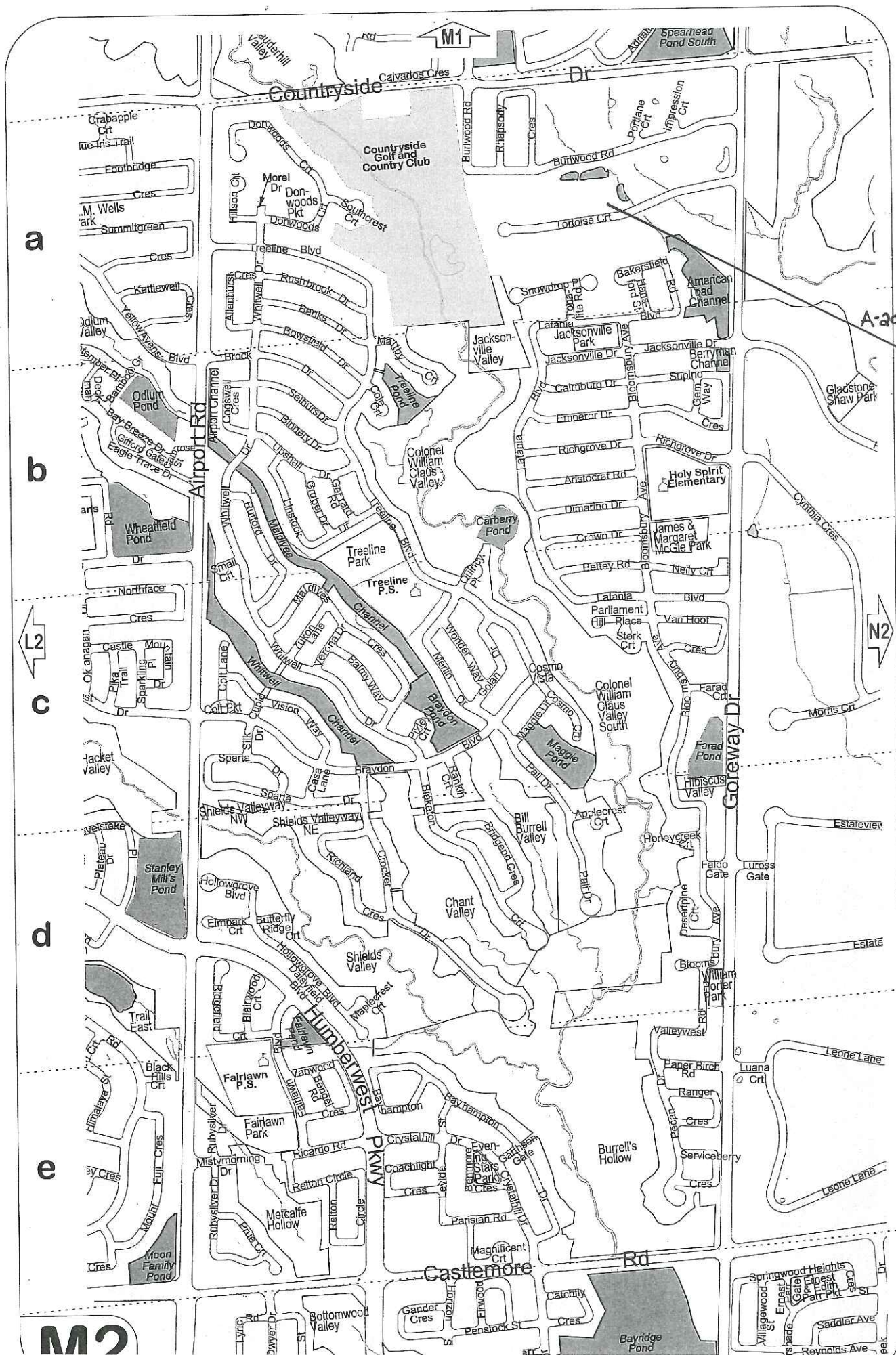
DATED: DECEMBER 1, 2020

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
2. That the proposed cabana be of an open style construction;
3. That the drainage from the open, roofed structure and all accessory structures be directed onto the subject property and drainage on adjacent properties not be adversely impacted;
4. That the existing open style fencing shall not be replaced by a solid or opaque form of fencing;
5. That the applicant submits a TRCA permit application (Application for Development, Interference with Wetlands & Alterations to Shorelines and Watercourses-Ontario Regulation 166/06) and the associated review fee of \$210 (Works on Private Residential Property – Minor Ancillary;
6. That the applicant submits the required review fee of \$580 (Variance-Residential-Minor) to TRCA; and
7. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment





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b

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d

e

L2

A-2021-0169

N2

M2

Castlemore

Rd