

APPLICATION # A-2021-0170
WARD # 4

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **TARIG ABDELMONIM AND EINAS KHAIRY** Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 347, Plan 43M-1883 municipally known as **4 TEABERRY TERRACE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a deck encroachment of 4.29m (14.07 ft.) into the required rear yard, resulting in a rear yard setback of 3.21m (10.53 ft.) whereas the by-law permits a deck encroachment of 1.8m (5.91 ft.) into the required rear yard, resulting in a rear yard setback of 5.7m (18.70 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, August 24, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this **12th Day of August, 2021.**

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

DECK APPROVAL

4 Teaberry Terrace, Brampton, ON



LOCATION MAP



ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE DESIGNER.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.

DRAWINGS NOT TO BE SCALED AND REPRODUCED.

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1	ISSUED FOR BUILDING PERMIT	APR. 2021
No.	ISSUED	DATE

PROJECT MANAGEMENT CONSULTANT

ARCHITECT MAZHAR RAJA

CAPRIJA CORPORATION

Architecture, Construction and Project Management Consultants

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CLIENT

4 Teaberry Terrace, Brampton, ON. L6Y 0Y1

PROJECT

DECK APPROVAL

DRAWING

SITE PLAN

PROJECT NO	221046	
DRAWN	AS	
PLOTTED DATE	APR 27, 2021	
SCALE	AS NOTED	
CHECKED	MR	DWG. NO. A1

1 SITE PLAN
A1 SCALE: 3/32"=1'-0"

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures
How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, August 20, 2021.**
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, August 21, 2021.**
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, August 21, 2021.** City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



FILE NUMBER: A-2021-0170

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1.

Name of Owner(s)

Tarig Abdelmonim // Einas Khairy

Address

4 Teaberry Terrace

Brampton, ON L6Y 0Y1

Phone #

647-660 4197

Fax #

Email

tarigmonim@gmail.com

2.

Name of Agent

Mazhar Raja // Caprija Corporation

Address

1465 Clark Blvd.

Milton, ON L9T 6M5

Phone #

647-959-9595

Fax #

Email

info@caprija.com

3.

Nature and extent of relief applied for (variances requested):

A deck encroachment of 4.29m is required, resulting in a rear yard setback of 3.21m whereas the by-law permits a deck encroachment of 1.8m, resulting in a rear yard setback of 5.7m

4.

Why is it not possible to comply with the provisions of the by-law?

If we provide the permitted 5.7m rear setback, we would be left with a very small deck.

5.

Legal Description of the subject land:

Lot Number

Lot 347

Plan Number/Concession Number

Part 1 Plan 43R-35741

Municipal Address

4 Teaberry Terrace, Brampton, ON L6Y 0Y1

6.

Dimension of subject land (in metric units)

Frontage

8.54m

Depth

29.41 m

Area

264.87m2

7.

Access to the subject land is by:

Provincial Highway

☐

Seasonal Road

☐

Municipal Road Maintained All Year

☒

Other Public Road

☐

Private Right-of-Way

☐

Water

☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Two unit dwelling

Gross Floor Area: 264.87m²

PROPOSED BUILDINGS/STRUCTURES on the subject land:

No change

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.11m

Rear yard setback 8.42m

Side yard setback 0.65m

Side yard setback 1.22m

PROPOSED

Front yard setback 6.11m

Rear yard setback 3.39m

Side yard setback 0.65m

Side yard setback 1.22m

10. Date of Acquisition of subject land: August 2014
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 2014
15. Length of time the existing uses of the subject property have been continued: 7 years
16. (a) What water supply is existing/proposed?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Well | <input type="checkbox"/> | |
- (b) What sewage disposal is/will be provided?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Septic | <input type="checkbox"/> | |
- (c) What storm drainage system is existing/proposed?
- | | | |
|---------|-------------------------------------|-----------------------|
| Sewers | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Ditches | <input type="checkbox"/> | |
| Swales | <input type="checkbox"/> | |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Tariq A/Sale / Consenting
Signature of Applicant(s) or Authorized Agent

DATED AT THE City of Brampton OF Region of Peel

THIS 26 DAY OF July, 2021

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

MAZHAR RAJA TOWN MILTON
I, Tariq Abdelmonem / Elhas Khairy OF THE City OF Brampton

IN THE Region OF Peel-HALTON SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 26th DAY OF

July, 2021

Jeanie Myers
A Commissioner etc.

Tariq A/Sale / Consenting
Signature of Applicant or Authorized Agent

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024. J.M.

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R1F-11.6-2102

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L Barbuto

Zoning Officer

July 29, 2021

Date

DATE RECEIVED

July 26, 2021

DECK APPROVAL

4 Teaberry Terrace, Brampton, ON



LOCATION MAP



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ARCHITECT MAZHAR RAJA

CAPRIJA CORPORATION

Architecture, Construction and Project Management Consultants

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CLIENT

4 Teaberry Terrace, Brampton, ON. L6Y 0Y1

PROJECT

DECK APPROVAL

DRAWING

SITE PLAN

PROJECT NO	221046	
DRAWN	AS	
PLOTTED DATE	APR 27, 2021	
SCALE	AS NOTED	
CHECKED	MR	DWG. NO. A1

DECK APPROVAL 4 Teaberry Terrace, Brampton, ON



LOCATION MAP



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CLIENT

4 Teaberry Terrace, Brampton, ON. L6Y 0Y1

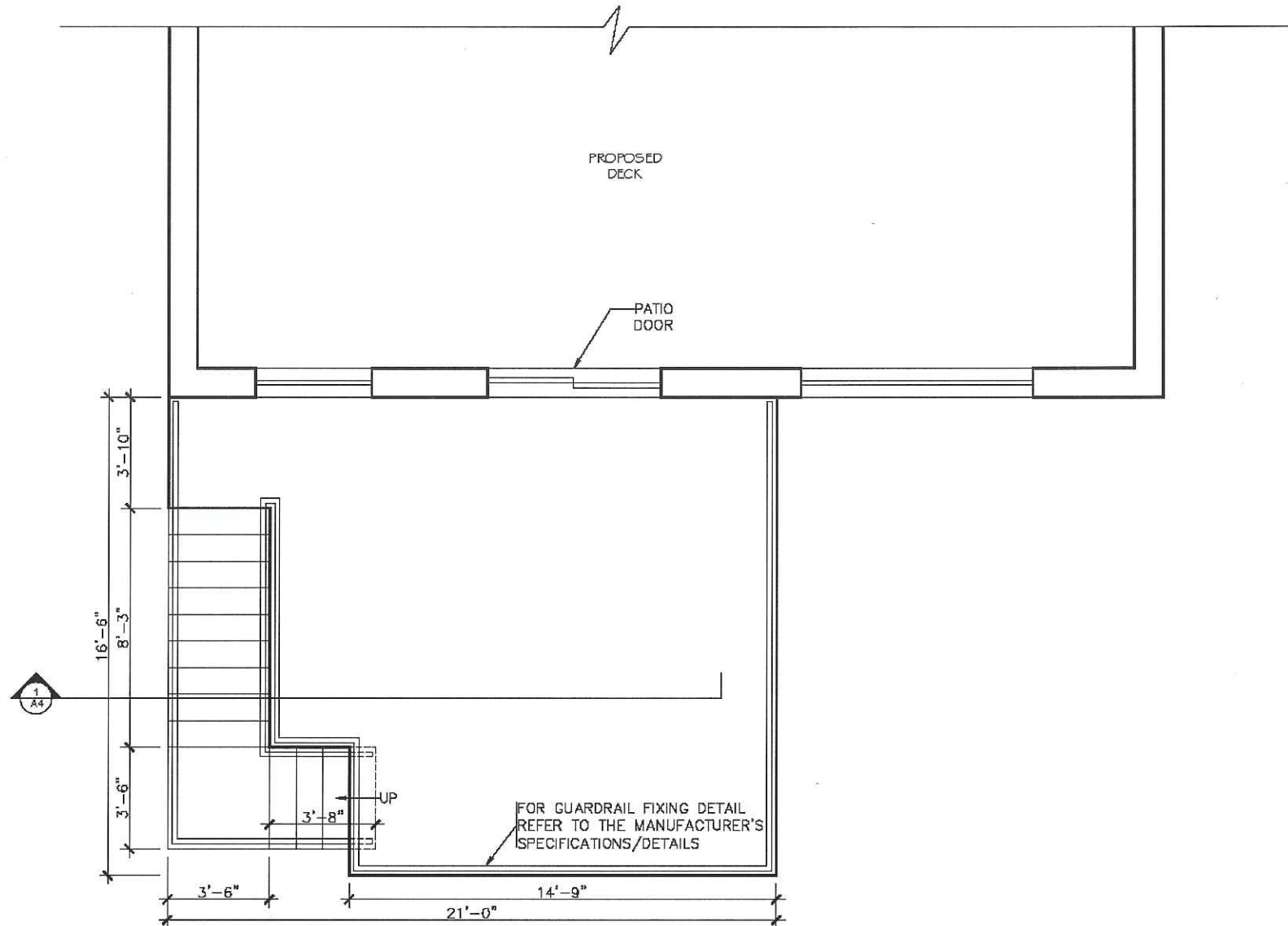
PROJECT

DECK APPROVAL

DRAWING

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1 DECK PLAN
A2 SCALE: 1/4"=1'-0"

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Email: info@caprija.com; Web: www.caprija.com

CLIENT

4 Teaberry Terrace, Brampton,
ON. L6Y 0Y1

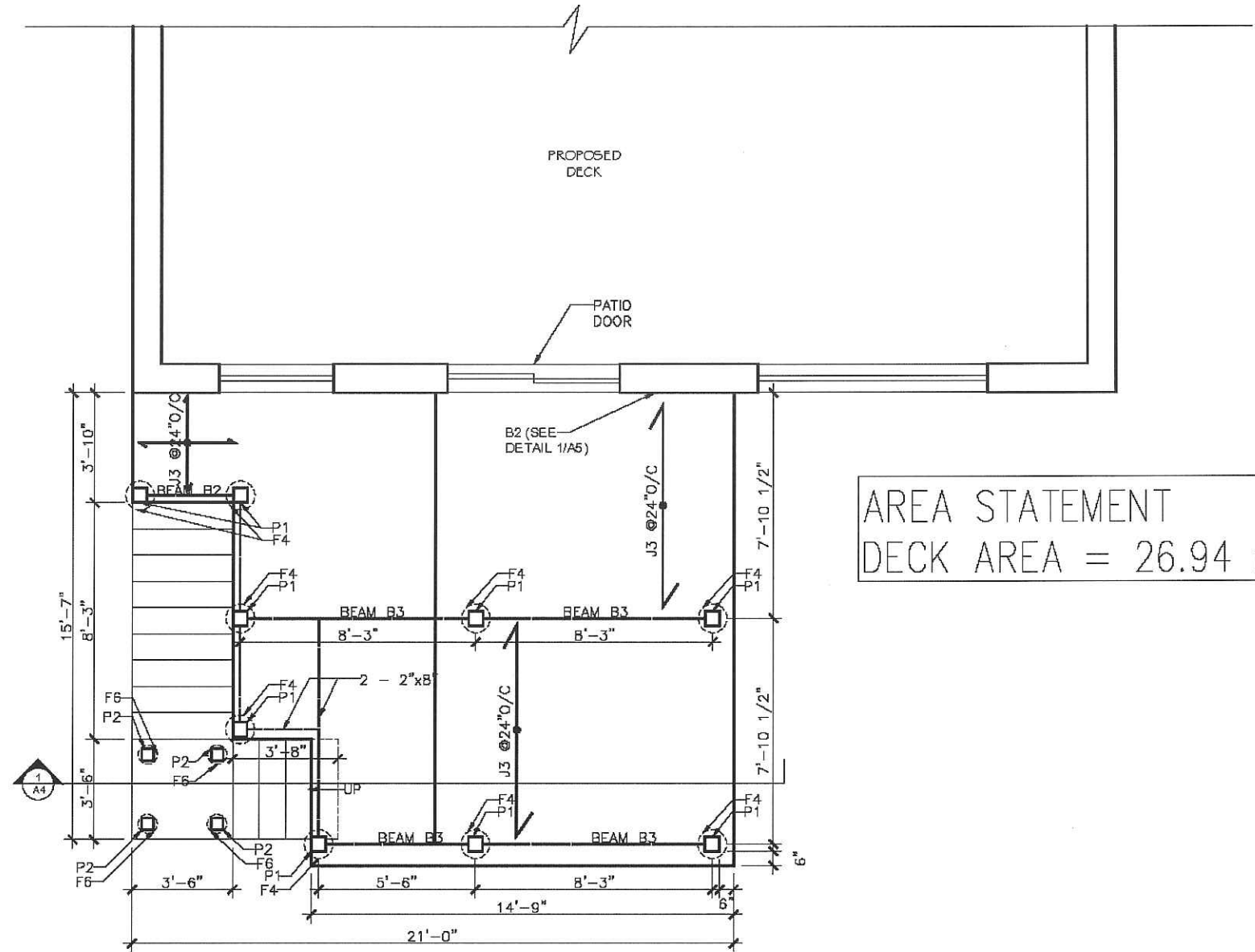
PROJECT

DECK APPROVAL

DRAWING

DECK PLAN

PROJECT NO	221046	
DRAWN	AS	
PLOTTED DATE	APR 27, 2021	
SCALE	AS NOTED	
CHECKED	MR	
		DWG. NO. A2



AREA STATEMENT
DECK AREA = 26.94 m²

1 DECK DETAILS
A3 SCALE: 1/4"=1'-0"

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CLIENT

4 Teaberry Terrace, Brampton, ON. L6Y 0Y1

PROJECT

DECK APPROVAL

DRAWING

DECK DETAILS

PROJECT NO	221046	
DRAWN	AS	
PLOTTED DATE	APR 27, 2021	
SCALE	AS NOTED	
CHECKED	MR	DWG. NO. A3

ALL ELEVATION LINES ARE
INDICATIVE. IT IS DRAWN FOR
THE DECK APPROVAL ONLY.



1 SOUTH-WEST ELEVATION
A4 SCALE: 3/16"=1'-0"

LEGENDS – FOOTINGS

F1	Ø18" CONC. FOOTING
F2	Ø16" CONC. FOOTING
F3	Ø14" CONC. FOOTING
F4	Ø12" CONC. FOOTING
F5	Ø10" CONC. FOOTING
F6	Ø8" CONC. FOOTING

LEGENDS – BEAMS

B1	3 – 2"x12" PT WOOD
B2	3 – 2"x10" PT WOOD
B3	3 – 2"x8" PT WOOD
B4	3 – 2"x6" PT WOOD

LEGENDS – JOISTS

J1	2"x12" PT WOOD
J2	2"x10" PT WOOD
J3	2"x8" PT WOOD
J4	2"x6" PT WOOD

LEGENDS – POSTS

P1	6"x6" PT POST
P2	5"x5" PT POST
P3	4"x4" PT POST

2 LEGENDS
A4 SCALE: N.T.S.

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ARCHITECT MAZHAR RAJA



CLIENT

4 Teaberry Terrace, Brampton,
ON. L6Y 0Y1

PROJECT

DECK APPROVAL

DRAWING

WEST ELEVATION

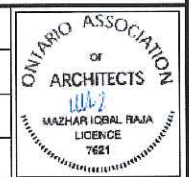
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AS

PLOTTED DATE
APR 27, 2021

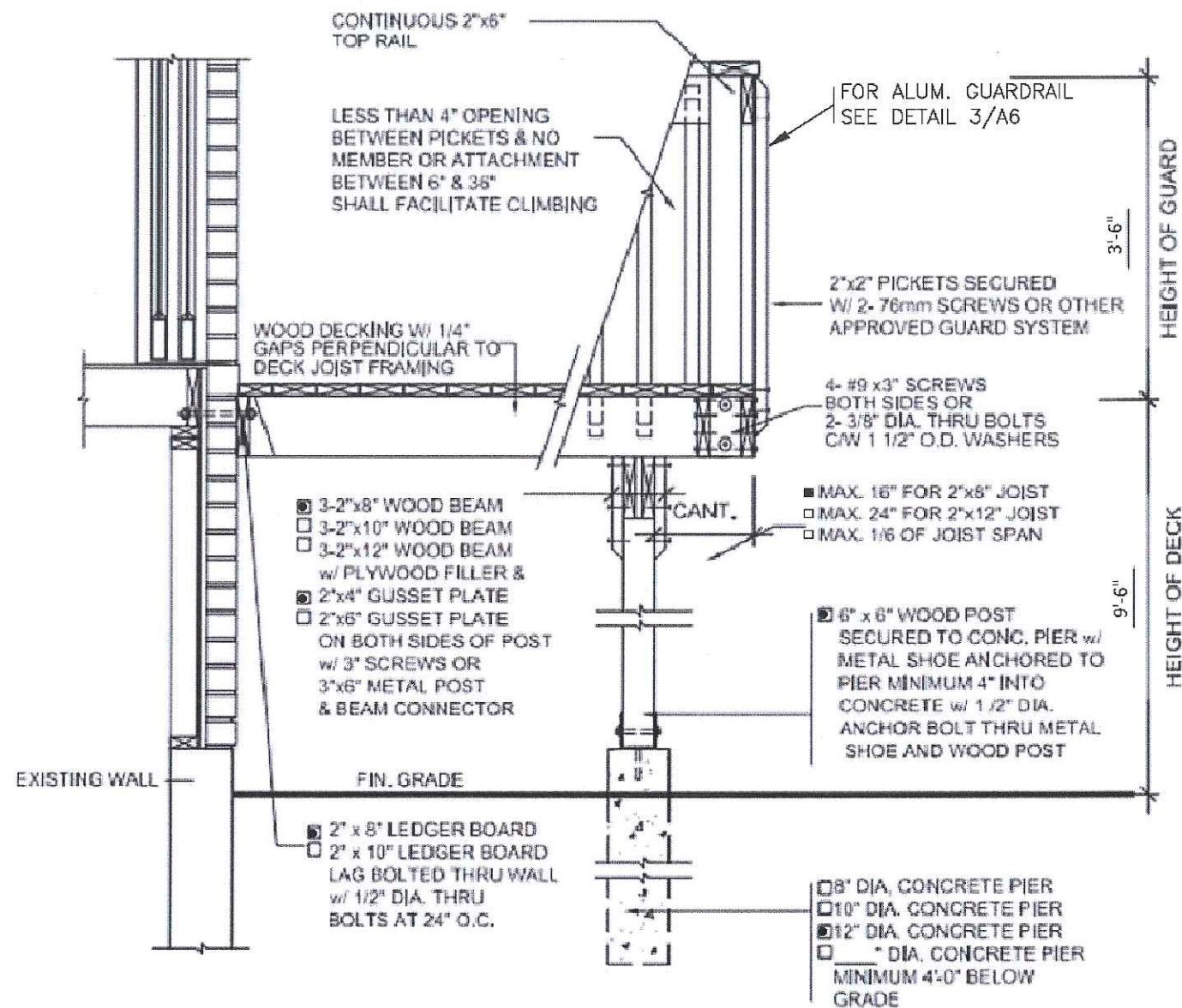
SCALE
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CHECKED
MR



DWG. NO.

A4



1 SECTION A-A
 A5 SCALE: N.T.S

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CLIENT

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 ON. L6Y 0Y1

PROJECT

DECK APPROVAL

DRAWING

SECTION A-A

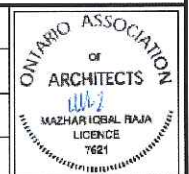
PROJECT NO 221046

DRAWN AS

PLOTTED DATE APR 27, 2021

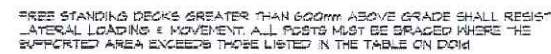
SCALE AS NOTED

CHECKED MR

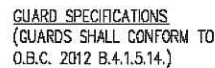


DWG. NO.

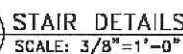
A5



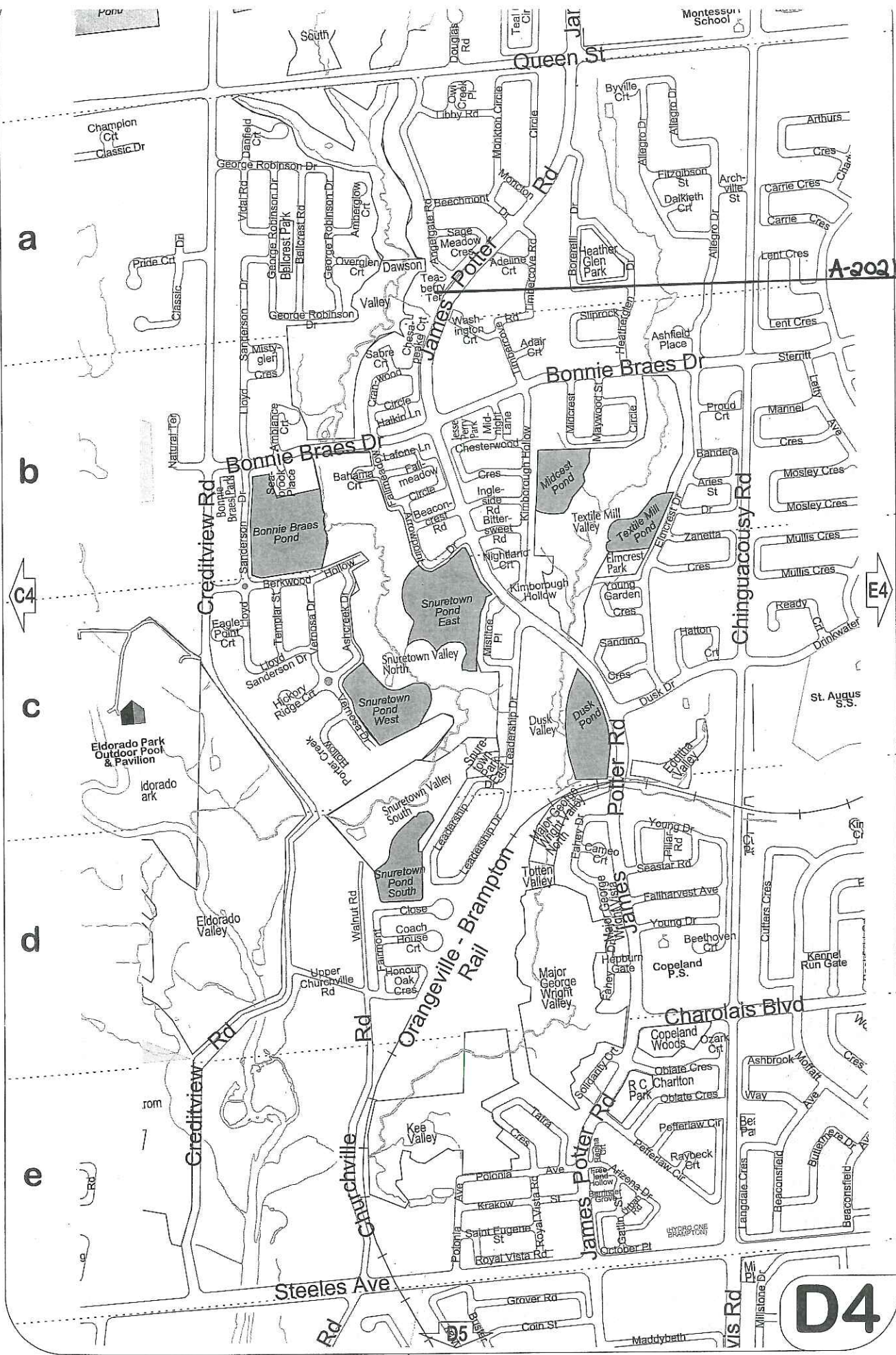
SCALE: $3/8"=1'-0"$



GURADTRAIL DETAIL
SCALE: 3/16"=1'-0"



DWG. NO. **A6**



A-2021-0170

D4