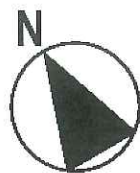




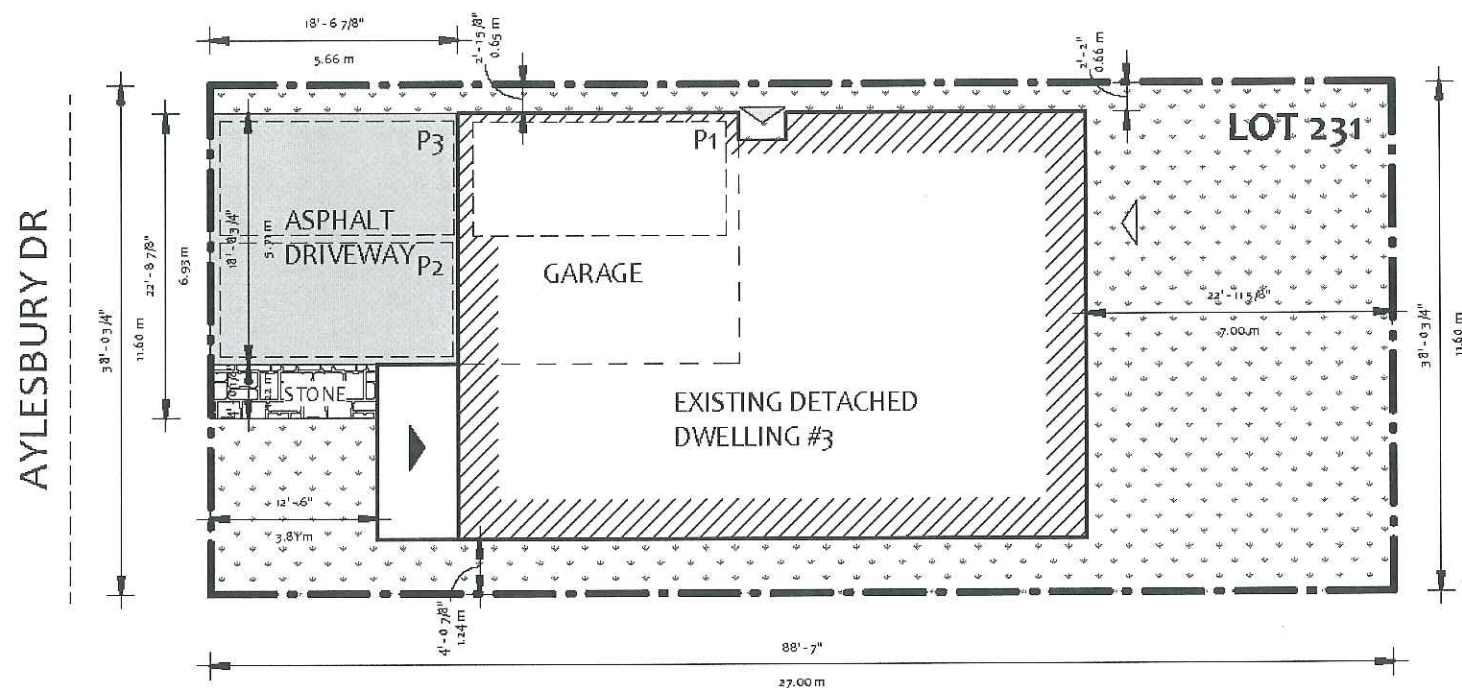
Committee of Adjustment

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall
2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



ROOM AREAS - Site	
Name	Area
BASEMENT	
BEDROOM 1	129 SF
W/C	43 SF
STORAGE	104 SF
LAUNDRY	28 SF
FURNACE	37 SF
CLOSET	10 SF
CLOSET	8 SF
LIVING/DINING	240 SF
KITCHEN	161 SF
HALLWAY	137 SF
	896 SF
MAIN FLOOR	
GREAT ROOM	220 SF
W/C	24 SF
BREKFAST	130 SF
CLOSET	11 SF
DEN	70 SF
DINING ROOM	195 SF
GARAGE	363 SF
KITCHEN	131 SF
FOYER	107 SF
EXIT	16 SF
	1267 SF

ROOM AREAS - Site	
Name	Area
SECOND FLOOR	
LAUNDRY	46 SF
W/C	71 SF
CLOSET	13 SF
BEDROOM 4	112 SF
MASTER BEDROOM	214 SF
W.I.C	55 SF
HALLWAY	14 SF
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1.0 SITE PLAN
A-02 3/32" = 1'-0"

FLOOR / UNIT AREA	AREA	
	SQFT	SQM
BASEMENT (UNIT 2)	947.68	88.04
FIRST FLOOR (UNIT 1)	949.32	88.19
FIRST FLOOR (COMMON AREA)	23.19	2.15
SECOND FLOOR (UNIT 1)	1225.66	113.86
TOTAL BUILDING AREA	3145.85	292.24

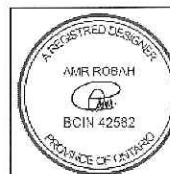
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7-250 SHEILDS CRT.
MARKHAM ON L3R 9T5
888.236.9958 | 416.483.5393
INFO@YEJSTUDIO.COM
WWW.YEJSTUDIO.COM

BASEMENT SECOND UNIT
3 AYLESBURY DR
BRAMPTON, ON, L7A
0V3

THE DESIGNER HAS REVIEWED ALL THE INFORMATION SUBMITTED FOR THE DESIGN, AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET OUT IN THE
CONTRACT DOCUMENTS AND THE REGULATIONS.
QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER SECTION 107 OF O.B.C.
NAME: AMR ROBAH BCIN 42582
AMR ROBAH



CLIENT REVIEW	2021.02.23
REVISION	2021.03.19
ISSUED FOR PERMIT	2021.03.22

SITE PLAN

Drawn by	H.R.
Project number	21 RE 500 21
Date	2021.02.22

A-02

Scale As indicated

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures
How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, September 9, 2021.**
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Friday, September 10, 2021.**
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, September 10, 2021.** City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

August 31, 2021

To: Committee of Adjustment

RE: **APPLICATION FOR MINOR VARIANCE
KISHOR GAREWAL & SAMINA USMAN
A-2021-0189 – 3 AYLESBURY**

Please **amend** application **A-2021-0189** to reflect the following:

1. To permit a driveway width of 6.93m whereas the by-law permit a maximum driveway width of 6.71m.
2. To permit a 0.65m (2.17 ft.) path of travel leading to a principle entrance for a second unit whereas the by-law requires a minimum unencumbered side yard width of 1.2 m (3.94 ft.) to be provided as a path of travel from the front yard to the entrance for a second unit;

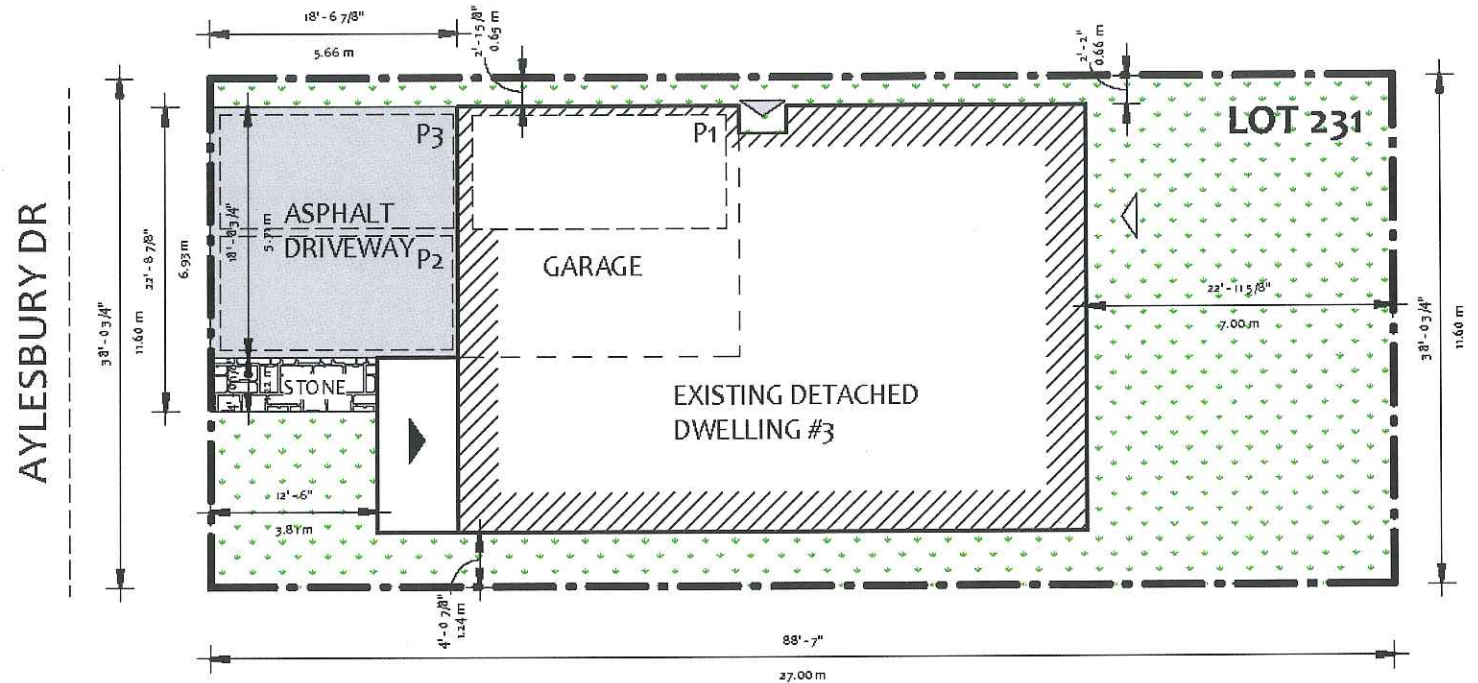


Applicant/Authorized Agent



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STORAGE	104 SF
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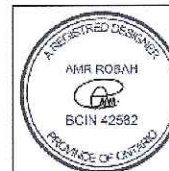
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7-250 SHEILDS CRT.
MARKHAM ON L3R 9T5
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INFO@YEJSTUDIO.COM
WWW.YEJSTUDIO.COM

BASEMENT SECOND UNIT
3 AYLESBURY DR
BRAMPTON, ON, L7A
0V3

THE LIMITED LIABILITY PARTNERSHIP HAS BEEN FORMED IN THE PROVINCE OF ONTARIO, AND HAS THE QUALIFICATIONS AND REQUIREMENTS SET OUT IN THE
ON. A.S. PUBLIC ACCOUNTING ACT, R.S.O. 1990, CHAPTER 54.
QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER SECTION 10 OF THE P.E.C.
NAME AMR ROBAH
BCIN 42582



CLIENT REVIEW	2021.02.23
REVISION	2021.03.19
ISSUED FOR PERMIT	2021.03.22

SITE PLAN

Drawn by	H.R
Project number	21 RE 500 21
Date	2021.02.22

A-02
Scale As indicated

Date | 2021-07-22

City of Brampton
Planning and Development Department

A-2021-0189

Property Address: 3 Aylesbury Dr, Brampton, ON L7A 0V3

Subject: Minor Variance Application for 3 Aylesbury Dr

Project Description:

- The purpose of the project is to create a Second Unit in the basement of the property mentioned above.
- The main entrance of the property will be the existing side entrance built by the builder.

Variances:

The Minor Variance application will have the following variance:

- TO ALLOW A SIDE ENTRANCE (EXISTING) TO A BASEMENT SECOND UNIT WITH A PATH OF TRAVEL OF 0.65m, WHEREAS THE BY-LAW REQUIRES 1.2m UNOBSTRUCTED PATH OF TRAVEL

Rationale:

- The side entrance to be used as a main entrance to the second unit is existing provided by the builder. The side yard setback is 0.65m.
- Due to the location of the stairs leading to the basement, it is not possible to provide a new side entrance.
- Providing a new entrance in the rear yard will require a excavation and foundation work to build a below grade entrance which will have a significantly high construction cost.
- The existing side entrance is the most economical and practical option to be the main entrance to the second unit.

FILE NUMBER: A-2021-0189

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Kishor Garewal & Samina Usman
Address 3 Aylesbury Dr. BRAMPTON, ON L7A 0V3

Phone # 201-724-8060 **Fax #** _____
Email kishor2125@gmail.com

2. **Name of Agent** ALHASAN ROBAH of YEJ STUDIO AND CONSULTING
Address 250 SHIELDS COURT, UNIT 7, MARKHAM ON L7A 0V3

Phone # 416-488-5393 **Fax #** _____
Email PERMITS@YEJSTUDIO.COM

3. **Nature and extent of relief applied for (variances requested):**
TO ALLOW SIDE ENTRANCE (EXISTING) TO A BASEMENT SECOND UNIT WITH A PATH OF TRAVEL OF 0.65m, WHEREAS THE BY-LAW REQUIRES 1.2m UNOBSTRUCTED PATH OF TRAVEL

4. **Why is it not possible to comply with the provisions of the by-law?**
THE SIDE ENTRANCE IS ALREADY EXSITING (BUILT BY THE BUILDER) IN A SIDE YARD WITH 0.67m SETBACK TO THE PROPERTY LINE

5. **Legal Description of the subject land:**
Lot Number LOT 231
Plan Number/Concession Number M1878
Municipal Address 3 Aylesbury Dr Brampton, ON L7A 0V3

6. **Dimension of subject land (in metric units)**
Frontage 11.60m
Depth 27.00m
Area 313.2m

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

DETACHED DWELLING
GFA: 292 SQ.M

PROPOSED BUILDINGS/STRUCTURES on the subject land:

EXISTING TO REMAIN UNCHANGED
GFA: 292 SQ.M

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 3.79m
Rear yard setback 7.0m
Side yard setback 0.65m
Side yard setback 1.24m

PROPOSED

Front yard setback EXISTING TO REMAIN
Rear yard setback EXISTING TO REMAIN
Side yard setback EXISTING TO REMAIN
Side yard setback EXISTING TO REMAIN

10. Date of Acquisition of subject land: 2019

11. Existing uses of subject property: Residential

12. Proposed uses of subject property: Residential

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 2012

15. Length of time the existing uses of the subject property have been continued: Since built

16. (a) What water supply is existing/proposed?

Municipal ☒
Well ☐

Other (specify) _____

- (b) What sewage disposal is/will be provided?

Municipal ☒
Septic ☐

Other (specify) _____

- (c) What storm drainage system is existing/proposed?

Sewers ☒
Ditches ☐
Swales ☐

Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Hasan Abdel
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY _____ OF _____ BRAMPTON

THIS 16 DAY OF Aug, 2021

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

Samina Usman
I, ASAD ROBAT, OF THE CITY _____ OF Brampton

IN THE REGION _____ OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF _____
Peel THIS 16th DAY OF
August, 2021

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

J.C.M.
Signature of Applicant or Authorized Agent

Jeanie Myers
A Commissioner etc.

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1F - 2201

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

HOTHIS.

Zoning Officer

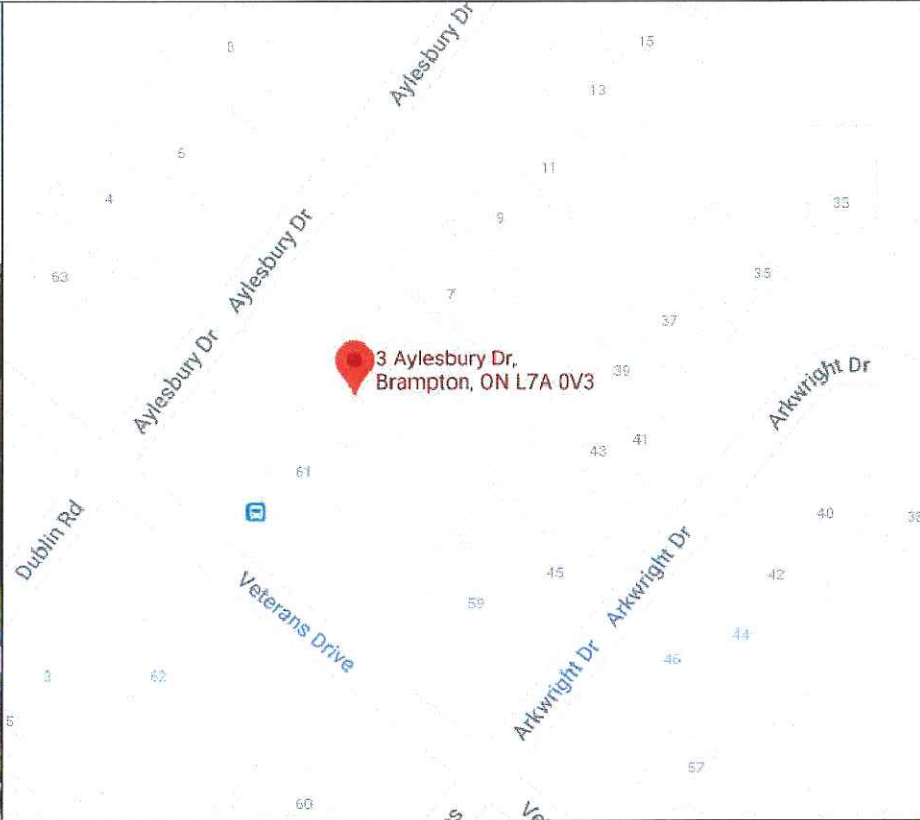
AUGUST 16 2021

Date

DATE RECEIVED



August 16, 2021

Date Application Deemed
Complete by the Municipality



INDEX	
Number	Sheet Name
A-01	COVER PAGE
A-02	SITE PLAN
A-03	EXT. BASEMENT
A-04	EXT. MAIN FLOOR
A-05	EXT. SECOND FLOOR
A-06	PROP. BASEMENT
A-07	PROP. MAIN FLOOR
A-08	PROP. SECOND FLOOR
A-10	SOUTH ELEVATION
A-11	SECTIONS
A-12	SCHEDULES
AN-01	GENERAL NOTES
AN-02	CONSTRUCTION NOTES
AN-03	CONSTRUCTION NOTES

BASEMENT SECOND UNIT
KISHOR GAREWAL
3 AYLESBURY DR
BRAMPTON, ON, L7A 0V3

 <p>7-250 SHEILDS CRT. MARKHAM ON L3R 9T5 888.236.9958 416.483.5393 INFO@YEJSTUDIO.COM WWW.YEJSTUDIO.COM</p>	<p>BASEMENT SECOND UNIT 3 AYLESBURY DR BRAMPTON, ON, L7A 0V3</p>	<p>APP. ILLUSTRATIONS, DRAWINGS AND CALCULATIONS SHALL BE PREPARED BY A QUALIFIED PERSON, AND THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE 2018 AIA/CES AND LEED AC 4.0 A-100-001.</p> <p>QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 101 OF O.P.C.</p> <p>NAME: AMIR ROBAH AMIR ROBAH BCIN 42582</p>		<table><tr><td>CLIENT REVIEW</td><td>2021.02.23</td></tr><tr><td>REVISION</td><td>2021.03.19</td></tr><tr><td>ISSUED FOR PERMIT</td><td>2021.03.22</td></tr></table>	CLIENT REVIEW	2021.02.23	REVISION	2021.03.19	ISSUED FOR PERMIT	2021.03.22	<table><tr><td colspan="2">COVER PAGE</td></tr><tr><td>Drawn by</td><td>S.D</td></tr><tr><td>Project number</td><td>21 RE 500 21</td></tr><tr><td>Date</td><td>2021.02.22</td></tr></table> <div>A-01 Scale</div>	COVER PAGE		Drawn by	S.D	Project number	21 RE 500 21	Date	2021.02.22
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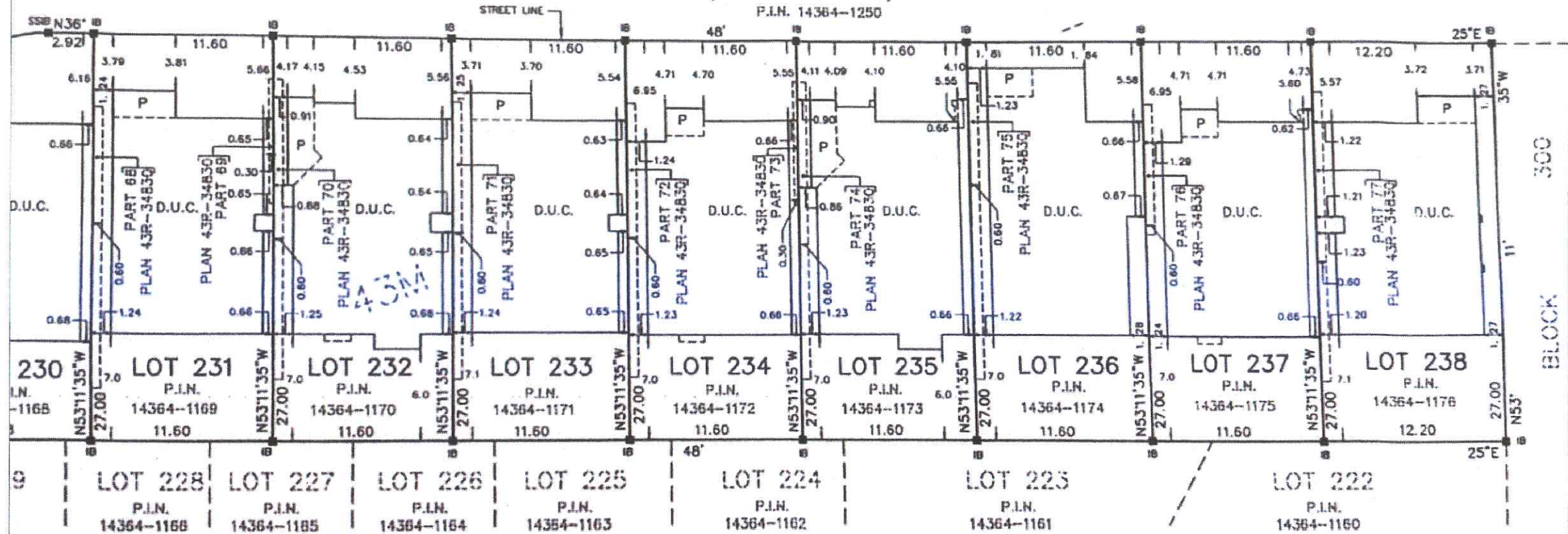
AYLESBURY

DRIVE

1878

(BY PLAN 43M-1878)

P.L.N. 14364-1250



rpe

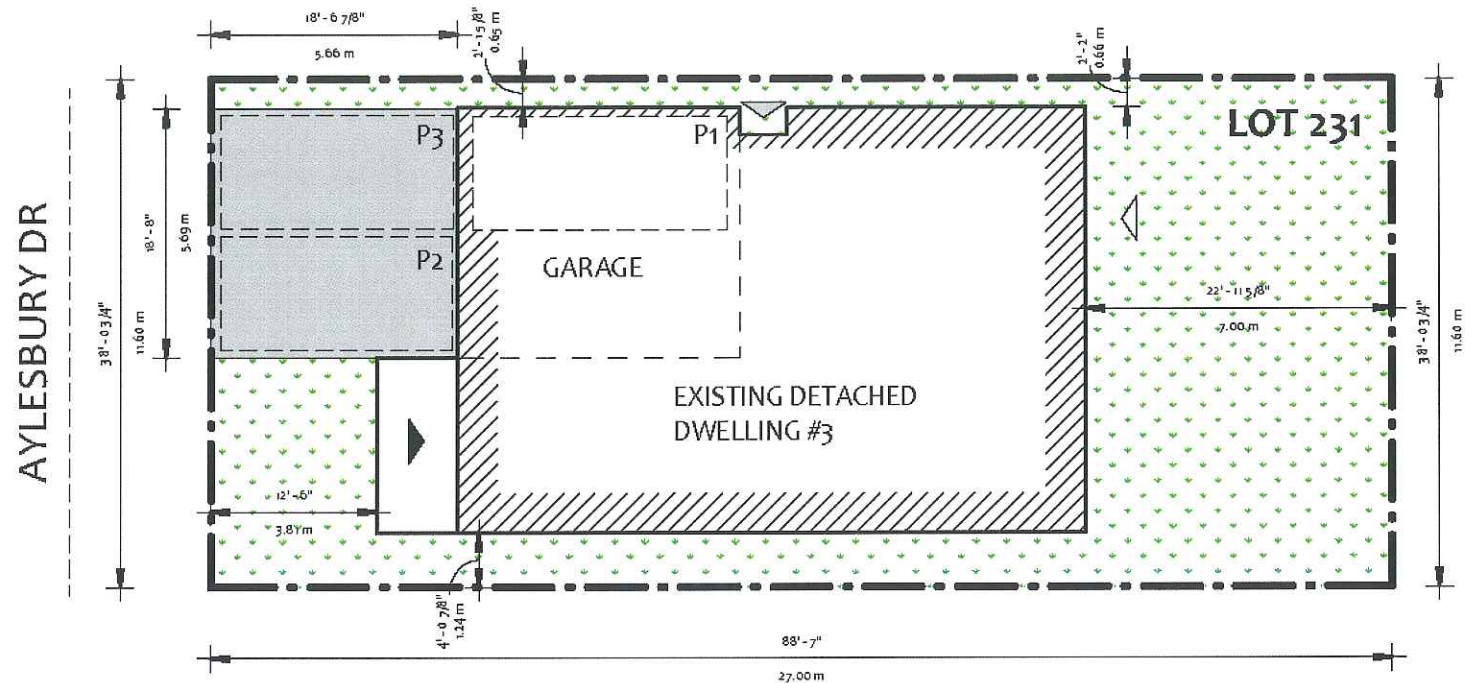
RADY-PENK & EDWARD SURVEYING L
ONTARIO LAND SURVEYORS
643 Chrislea Road, Suite 7
Woodbridge, Ontario L4L 8A3
Tel (416) 635-5000 Fax (416) 635-5001

A101



ROOM AREAS - Site	
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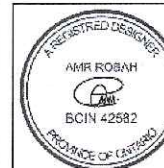
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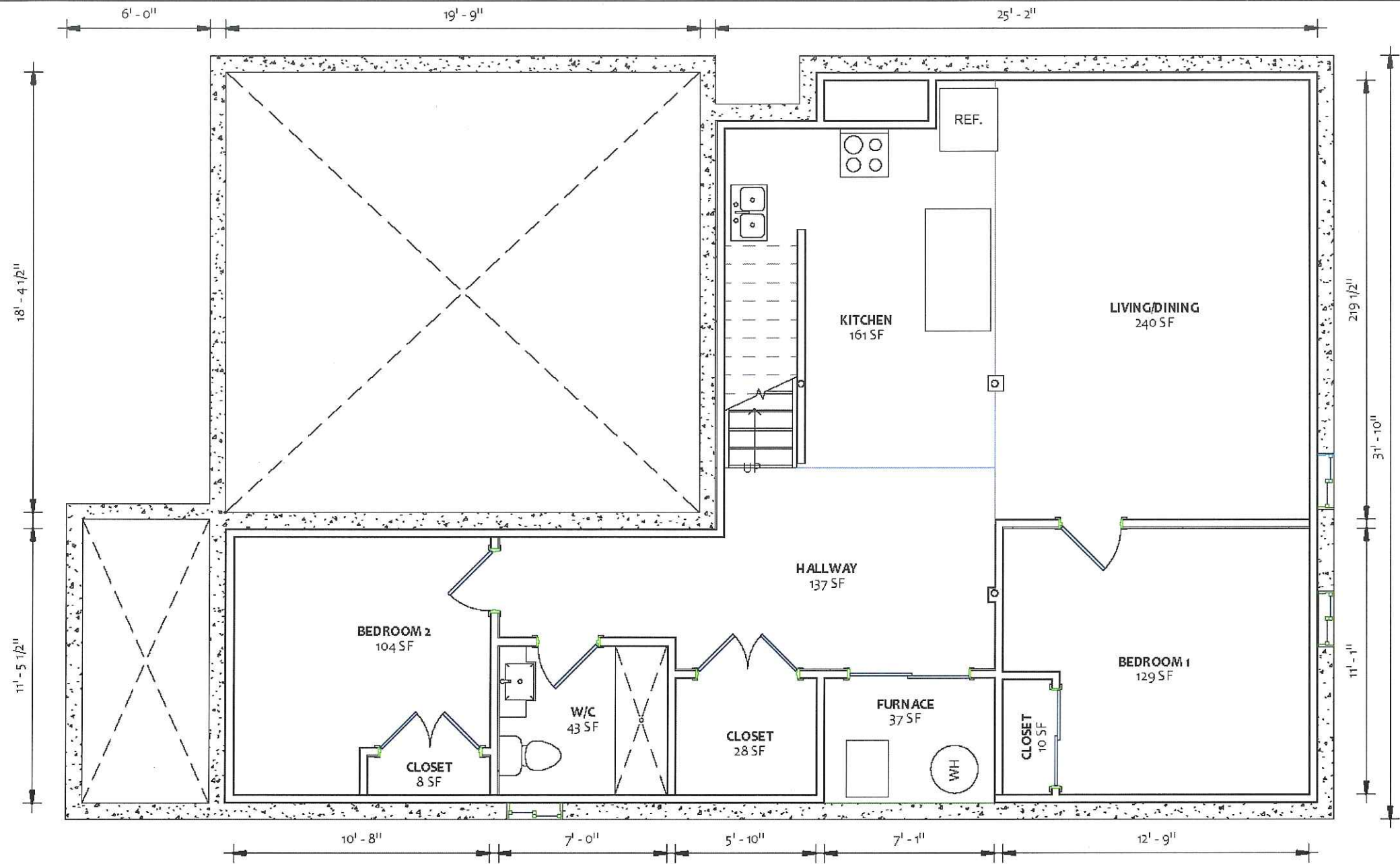
1. THE QUALITY OF THE DESIGN SHALL BE THE RESPONSIBILITY OF THE DESIGNER, AND THE QUALITY OF THE CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
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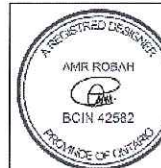
A-02



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BASEMENT SECOND UNIT
3 AYLESBURY DR
BRAMPTON, ON, L7A
0V3

APP. AND DESIGN DRAWINGS ARE PREPARED BY THE ARCHITECT, AND
THESE DRAWINGS AND SHEETS ARE REQUIRED TO BE SET OUT IN THE
CONTRACT DOCUMENTS AND SHEETS TO THE REQUIREMENTS SET OUT IN THE
QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER SECTION 10.1 OF O.C.B.C.
NAME: AMR ROBAH
BCIN: 42582



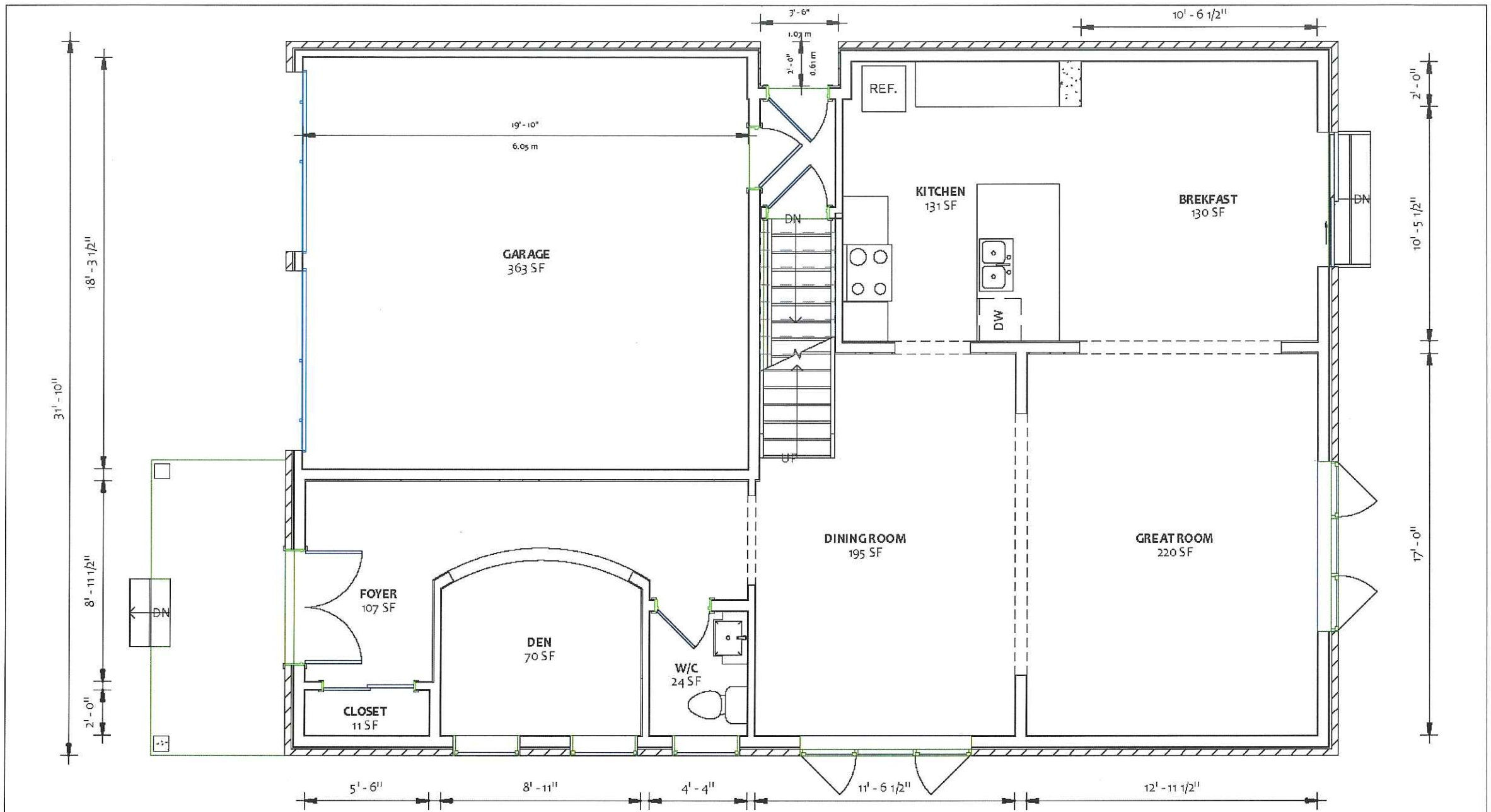
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ISSUED FOR PERMIT: 2021.03.22

EXT. BASEMENT

Drawn by: S.D.
Project number: 21 RE 500 21
Date: 2021.02.22

A-03

Scale: 1/4" = 1'-0"



7-250 SHELDON CRT.
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WWW.YEJSTUDIO.COM

BASEMENT SECOND UNIT
3 AYLESBURY DR
BRAMPTON, ON, L7A
0V3

THESE DRAWINGS HAVE BEEN PREPARED BY A PROFESSIONAL DESIGNER, ENGINEER, AND ARCHITECT, AND THEY MEET THE REQUIREMENTS SET OUT IN THE
2018 AIA/CES BUILDING EDUCATION PROGRAM.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER SECTION 101 OF O.C.C.

NAME: AMIR ROBAH
BCIN: 42582



CLIENT REVIEW 2021.02.23

REVISION 2021.03.19

ISSUED FOR PERMIT 2021.03.22

EXT. MAIN FLOOR

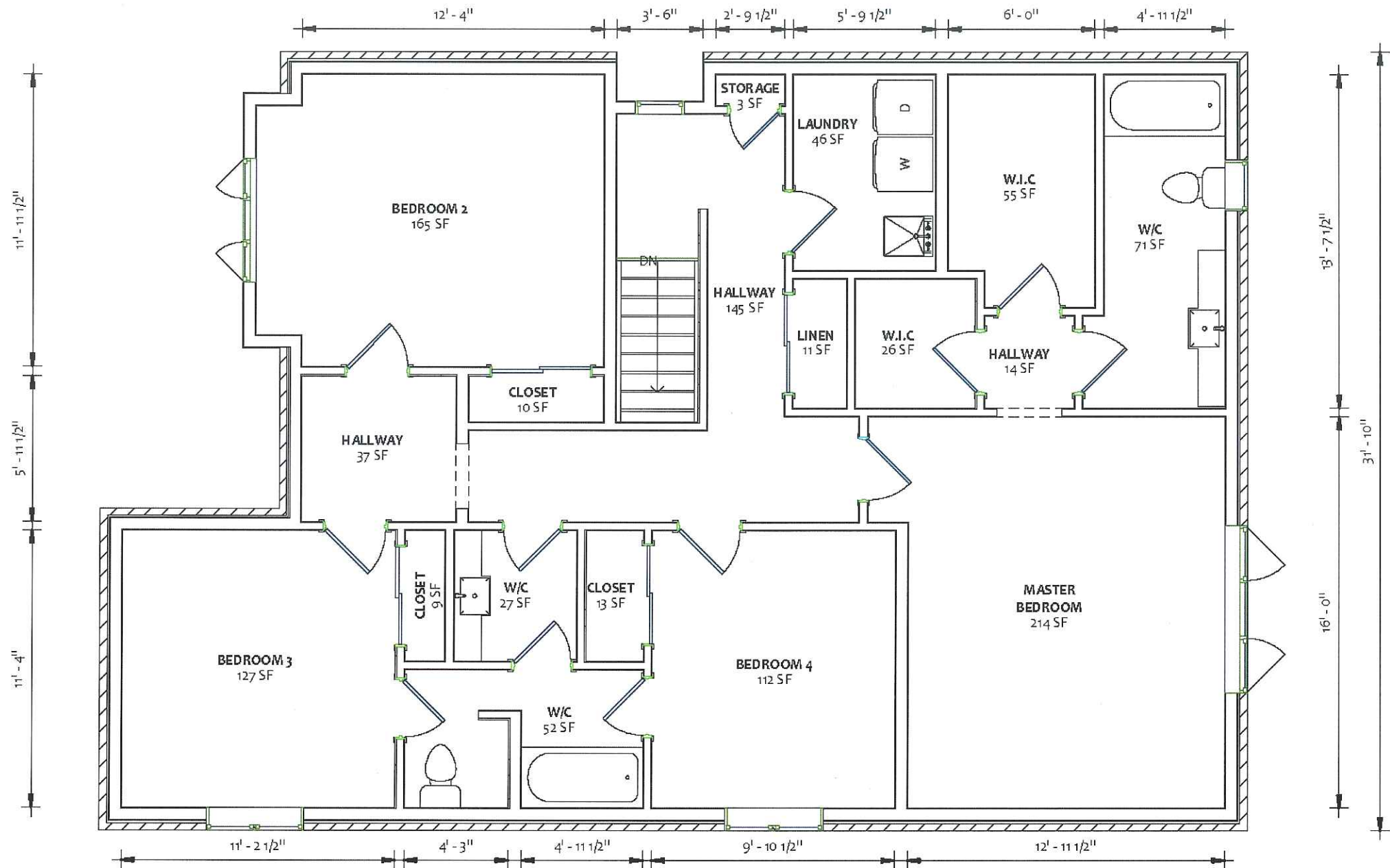
Drawn by S.D

Project number 21 RE 500 21

Date 2021.02.22

A-04

Scale 1/4" = 1'-0"



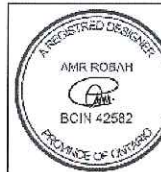
7-250 SHEILDS CRT.
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BASEMENT SECOND UNIT
3 AYLESBURY DR
BRAMPTON, ON, L7A
0V3

THE PROFESSIONAL MAY REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN, AND
HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE
REGULATIONS FOR PROFESSIONAL DESIGNERS.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPTED UNDER DIVISION 10 OF O.P.C.

NAME: AMR ROBAH
PROFESSIONAL DESIGNER
BCIN 42582



CLIENT REVIEW	2021.02.23
REVISION	2021.03.19
ISSUED FOR PERMIT	2021.03.22

EXT. SECOND FLOOR

Drawn by	S.D
Project number	21 RE 500 21
Date	2021.02.22

A-05

Scale 1/4" = 1'-0"

OBC DIV. B, PART 11 C.A. APPLIED:

- **C.A. #152** APPLIED FOR VERTICAL & HORIZONTAL FIRE SEPARATION FOR RESIDENTIAL SUITES. 15 MIN FOR HORIZONTAL & 30 MIN VERTICAL.

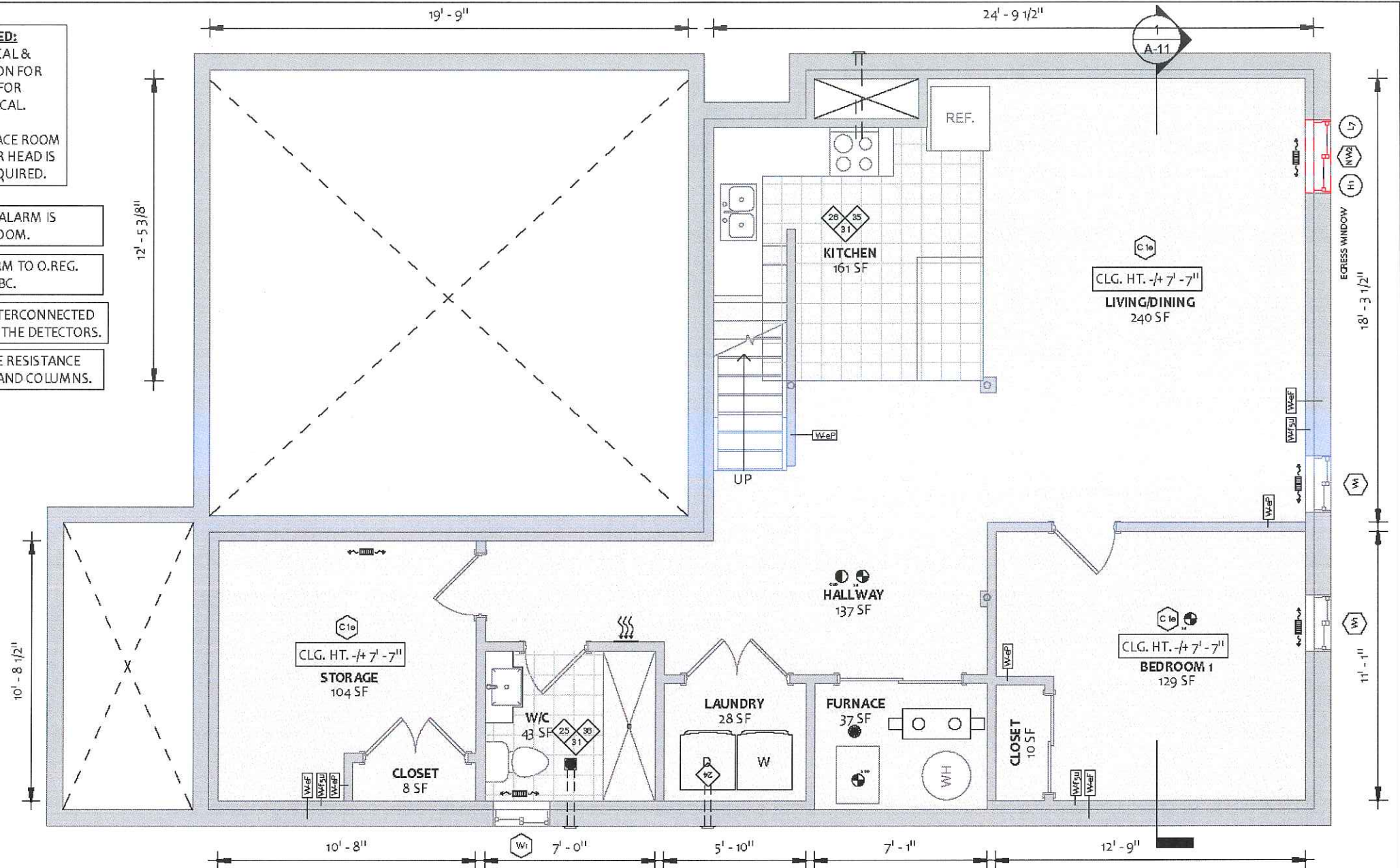
- **C.A. #153** APPLIED FOR FURNACE ROOM FIRE SEPARATION. SPRINKLER HEAD IS PROVIDED. FIRE SEP. NOT REQUIRED.

ENSURE A DUCT TYPE SMOKE ALARM IS INSTALLED IN MECHANICAL ROOM.

ALL PLUMBING MUST CONFORM TO O.REG. 332/12, DIV. B PART 7 OF THE OBC.

ALL SMOKE ALARMS TO BE INTERCONNECTED WITHIN EACH UNIT AND WITH THE DETECTORS.

ENSURE MINIMUM 30MIN FIRE RESISTANCE RATING AROUND ALL BEAMS AND COLUMNS.



UNIT 2

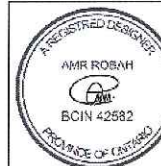


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BASEMENT SECOND UNIT
3 AYLESBURY DR
BRAMPTON, ON, L7A
0V3

THE DESIGNER HAS REVIEWED ALL DRAWINGS FOR CONFORMANCE WITH THE OBC, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE OBC AND THE OBC AND THE OBC.

QUALIFICATION INFORMATION
REQUIRES UNLESS DESIGN IS EXEMPT UNDER SECTION 10.1 OF OBC
NAME: AMIR ROBAH
ANALYST: BCIN 42582



CLIENT REVIEW 2021.02.23

REVISION 2021.03.19

ISSUED FOR PERMIT 2021.03.22

PROP. BASEMENT

Drawn by S.D.

Project number 21 RE 500 21

Date 2021.02.22

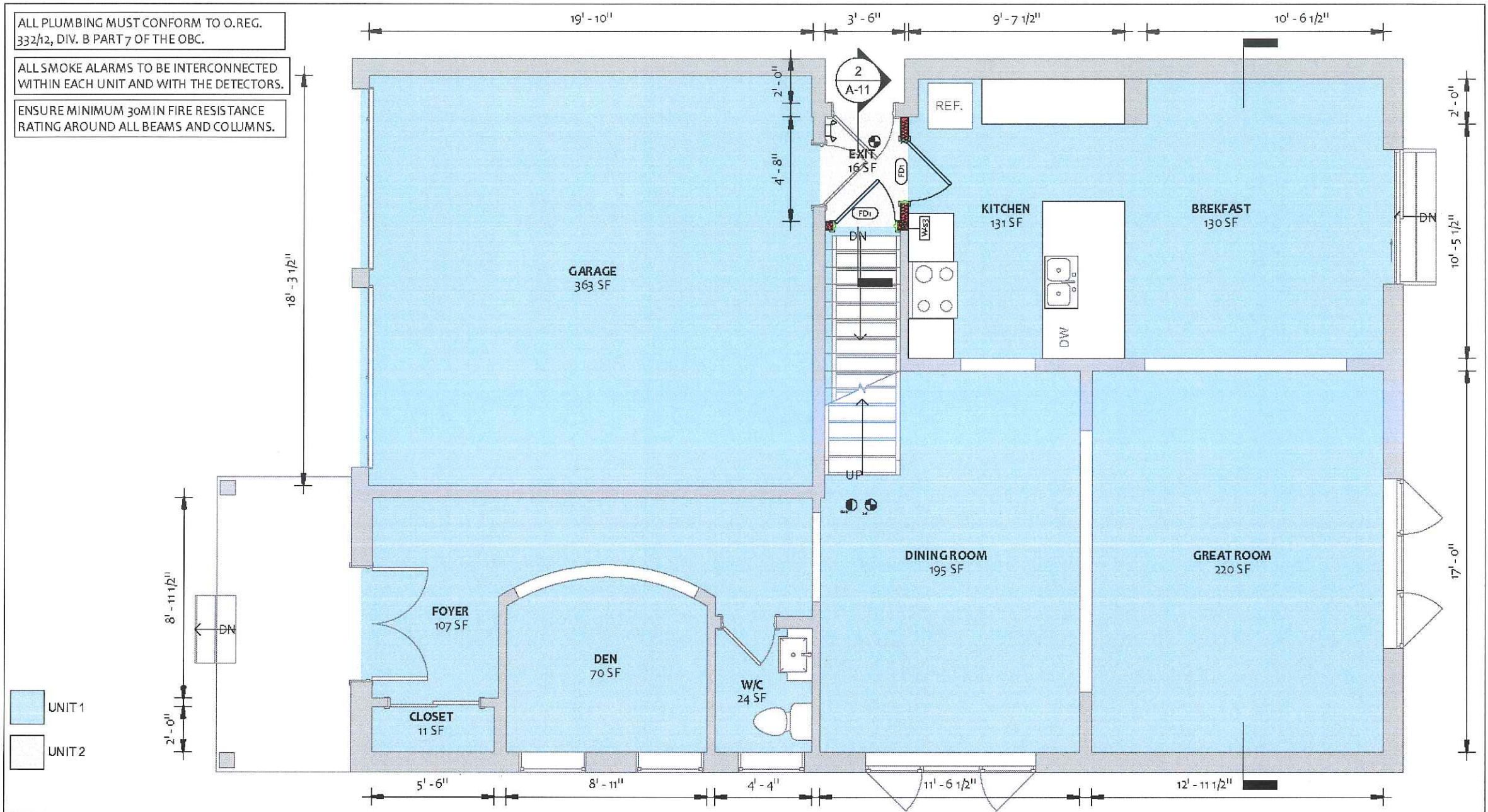
A-06

Scale 1/4" = 1'-0"

ALL PLUMBING MUST CONFORM TO O.REG. 332/12, DIV. B PART 7 OF THE OBC.

ALL SMOKE ALARMS TO BE INTERCONNECTED WITHIN EACH UNIT AND WITH THE DETECTORS.

ENSURE MINIMUM 30MIN FIRE RESISTANCE RATING AROUND ALL BEAMS AND COLUMNS.

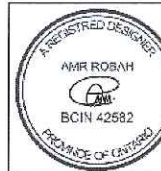


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BASEMENT SECOND UNIT
3 AYLESBURY DR
BRAMPTON, ON, L7A
0V3

THE DESIGNER HAS REVIEWED ALL DRAWINGS FOR CONFORMANCE WITH THE REQUIREMENTS SET OUT IN THE OBC AND HAS DETERMINED THAT THE DRAWINGS COMPLY WITH THE REQUIREMENTS SET OUT IN THE OBC.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGNER IS REGISTERED UNDER THE OBC SECTION 10 OF OBC
NAME: AMIR ROBAH
BCIN: 42582



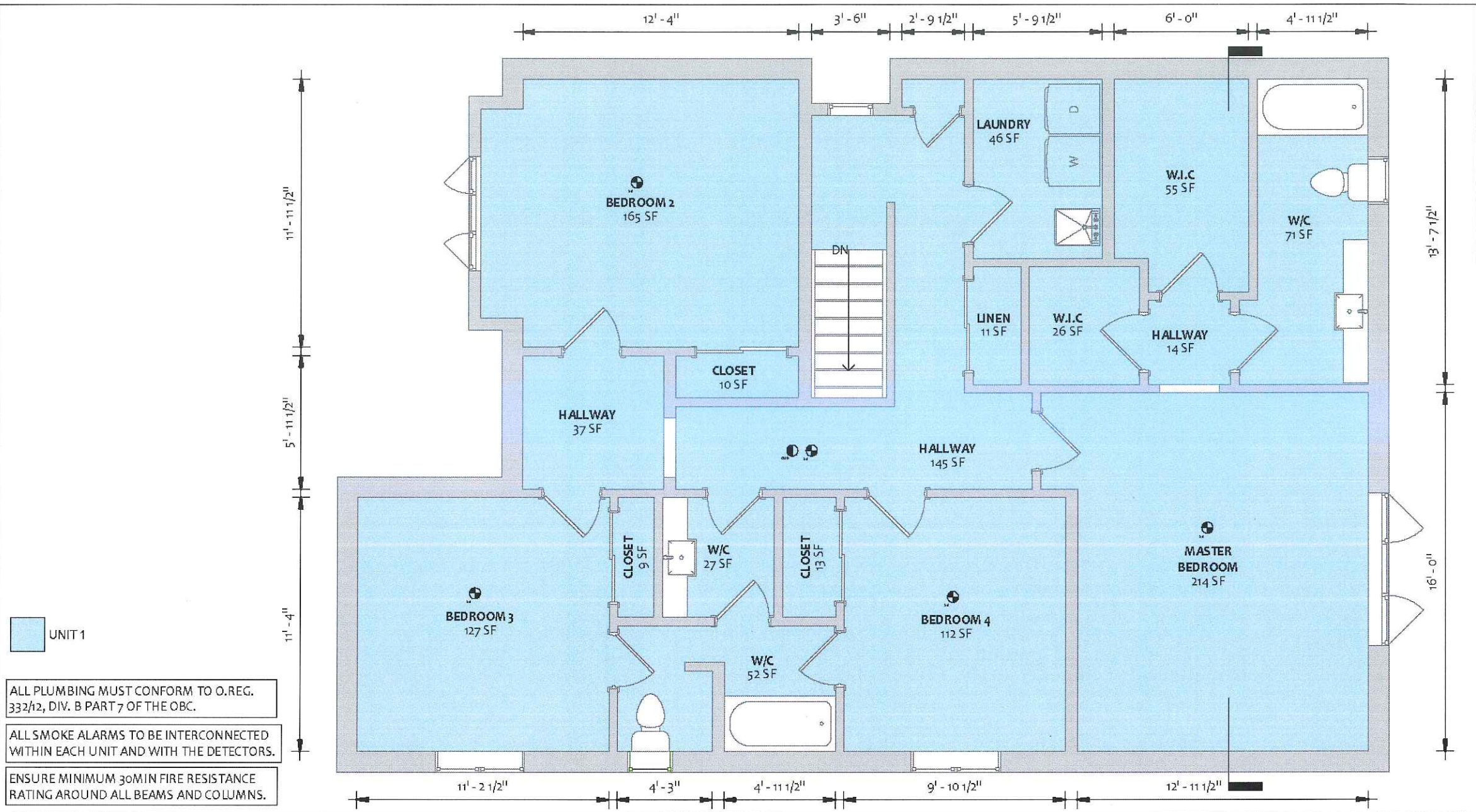
CLIENT REVIEW	2021.02.23
REVISION	2021.03.19
ISSUED FOR PERMIT	2021.03.22

PROP. MAIN FLOOR

Drawn by	S.D
Project number	21 RE 500 21
Date	2021.02.22

A-07

Scale 1/4" = 1'-0"

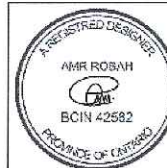


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BASEMENT SECOND UNIT
3 AYLESBURY DR
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0V3

THE UNDERSIGNED HAS REVIEWED AND APPROVED THIS SET OF DRAWINGS AND
HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE
OBC AND THE REGULATION OF THE OBC.

QUALIFICATION INFORMATION
REQUIRED: UNLESS DESIGN IS EXEMPT UNDER SECTION 10.1 OF OBC
NAME: AMR ROBAH
BCIN: 42582
BEGIN: 4-2-22



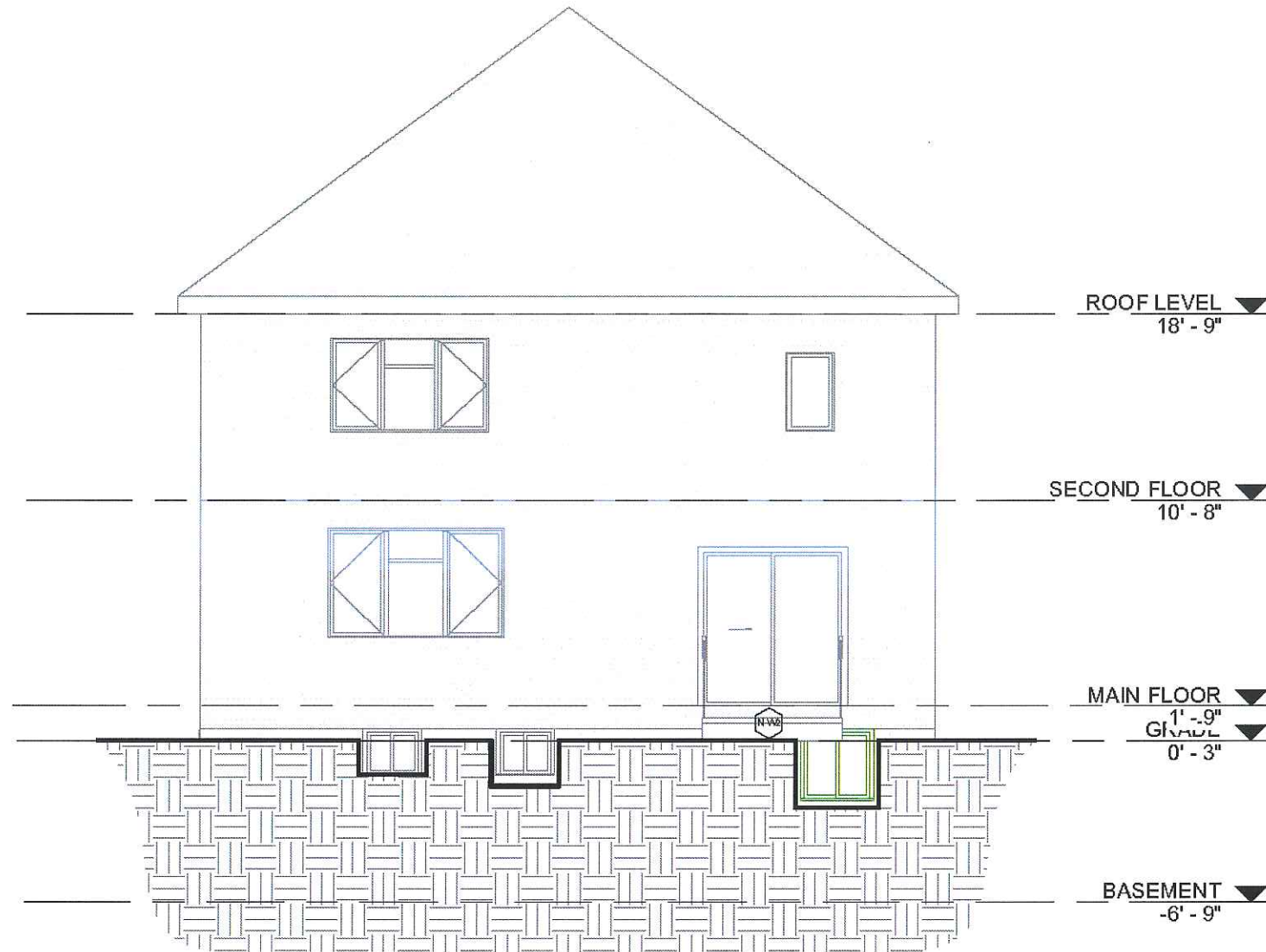
CLIENT REVIEW	2021.02.23
REVISION	2021.03.19
ISSUED FOR PERMIT	2021.03.22

PROP. SECOND FLOOR

Drawn by: S.D.
Project number: 21 RE 500 21
Date: 2021.02.22

A-o8

Scale: 1/4" = 1'-0"



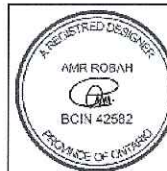
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WWW.YEJSTUDIO.COM

BASEMENT SECOND UNIT
3 AYLESBURY DR
BRAMPTON, ON, L7A
0V3

THE DESIGNER HAS REVIEWED THE PROJECT AND IS NOT PROVIDING ANY GUARANTEE, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE
CITY OF BRAMPTON LOCAL BY-LAW 2016-01-01

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER s. 10.1 OF THE REG. NO. OF O.C.B.C.

NAME: AMR ROBAH
BCIN: 42582



CLIENT REVIEW	2021.02.23
REVISION	2021.03.19
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SOUTH ELEVATION

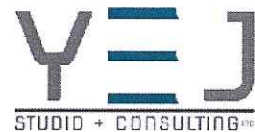
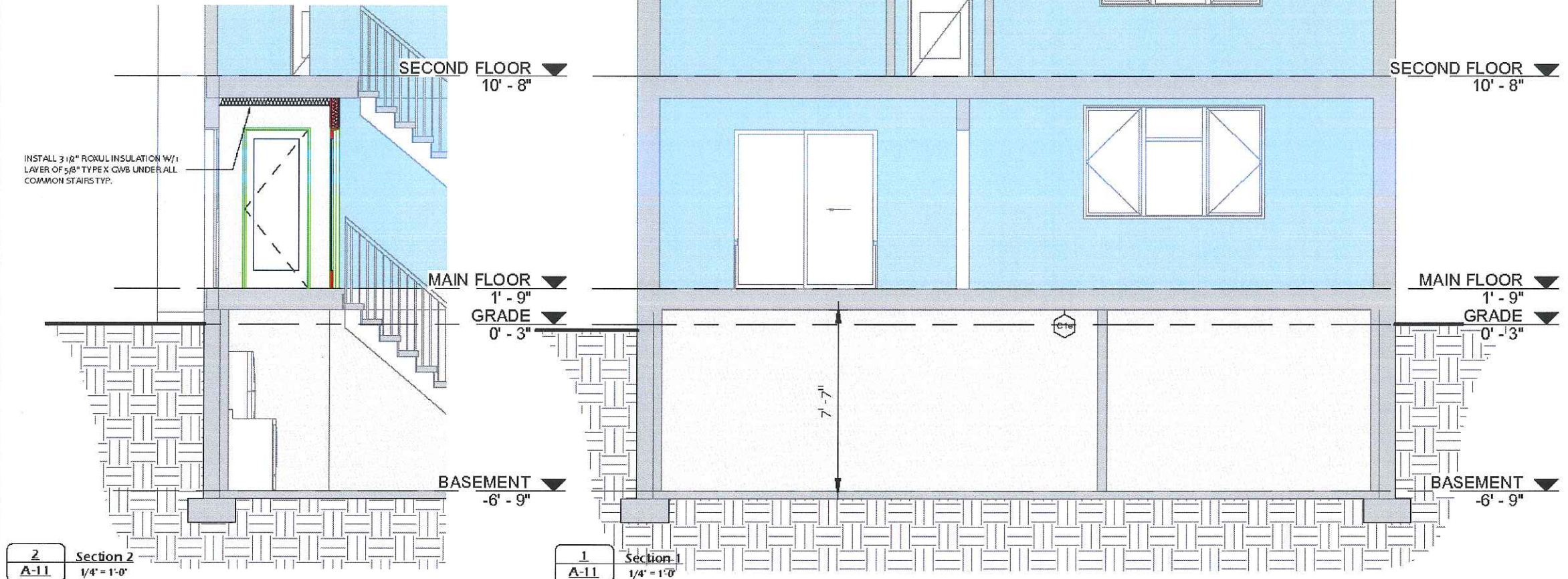
Drawn by	S.D
Project number	21 RE 500 21
Date	2021.02.22

A-10

Scale 3/16" = 1'-0"

9.10.16.1. **REQUIRED FIRE BLOCKS IN CONCEALED SPACES:**

1. CONCEALED SPACES IN INTERIOR WALLS, CEILINGS, FLOORS AND CRAWL SPACES SHALL BE SEPARATED BY FIRE BLOCKS FROM CONCEALED SPACES IN EXTERIOR WALLS AND ATTIC OR ROOF SPACES.
2. FIRE BLOCKS SHALL BE PROVIDED AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES IN INTERIOR COVERED CEILINGS, DROP CEILINGS AND SOFFITS WHERE THE EXPOSED CONSTRUCTION MATERIALS WITHIN THE CONCEALED SPACES HAVE A SURFACE FLAMED-SPREAD RATING GREATER THAN 25.
3. FIRE BLOCKS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF EACH RUN OF STAIRS WHERE THEY PASS THROUGH A FLOOR CONTAINING CONCEALED SPACE IN WHICH THE EXPOSED CONSTRUCTION MATERIALS WITHIN THE SPACE HAVE A SURFACE OF FLAME-SPREAD RATING GREATER THAN 25.



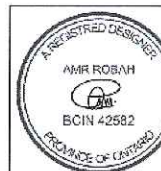
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BASEMENT SECOND UNIT
3 AYLESBURY DR
BRAMPTON, ON, L7A
0V3

THE DESIGNER HAS REVIEWED THE DRAWINGS FOR CONFORMANCE WITH THE REQUIREMENTS SET OUT IN THE
CANADIAN NATIONAL BUILDING CODE AND THE REQUIREMENTS SET OUT IN THE
LOCAL BY-LAW AND THE REQUIREMENTS SET OUT IN THE
LOCAL ZONING BY-LAW.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER SECTION 10.1 OF O.C.B.C.

NAME: AMR ROBAH
BCIN: 42582



CLIENT REVIEW	2021.02.23
REVISION	2021.03.19
ISSUED FOR PERMIT	2021.03.22

SECTIONS




Drawn by	S.D
Project number	21 RE 500 21
Date	2021.02.22

A-11

Scale 1/4" = 1'-0"






DOOR SCHEDULE						
Type	Ct.	Level	Width	Height	Phase Created	Comments
FD1	1	MAIN FLOOR	2' - 8"	6' - 8"	New Construction	20 MIN FIRE RATED W/SELF CLOSING DEVICE
FD1	1	MAIN FLOOR	2' - 8"	6' - 8"	New Construction	20 MIN FIRE RATED W/SELF CLOSING DEVICE
Grand total: 2						

WINDOW SCHEDULE						
Type	Ct.	Level	Width	Height	GLASS AREA	Phase Created
NW2	1	BASEMENT	3' - 0"	3' - 0"	8.10 SF	New Construction
W1	1	BASEMENT	2' - 4"	1' - 11"	4.03 SF	Existing
W1	1	BASEMENT	2' - 4"	1' - 11"	4.03 SF	Existing
W1	1	BASEMENT	2' - 4"	1' - 11"	4.03 SF	Existing
Grand total: 4						


BASEMENT (UNIT2)						
No.	Elevation	Room Name	Room Area (sqft)	Req. Win. %	Req. Win. Area (sqft)	Glass Area (sqft)
W1		BEDROOM 1	129 sqft	2.5 %	3.22 sqft	4.03 sqft
W1		LIVING / DINING ROOM	240 sqft	5 %	12 sqft	12.12 sqft
NW2						

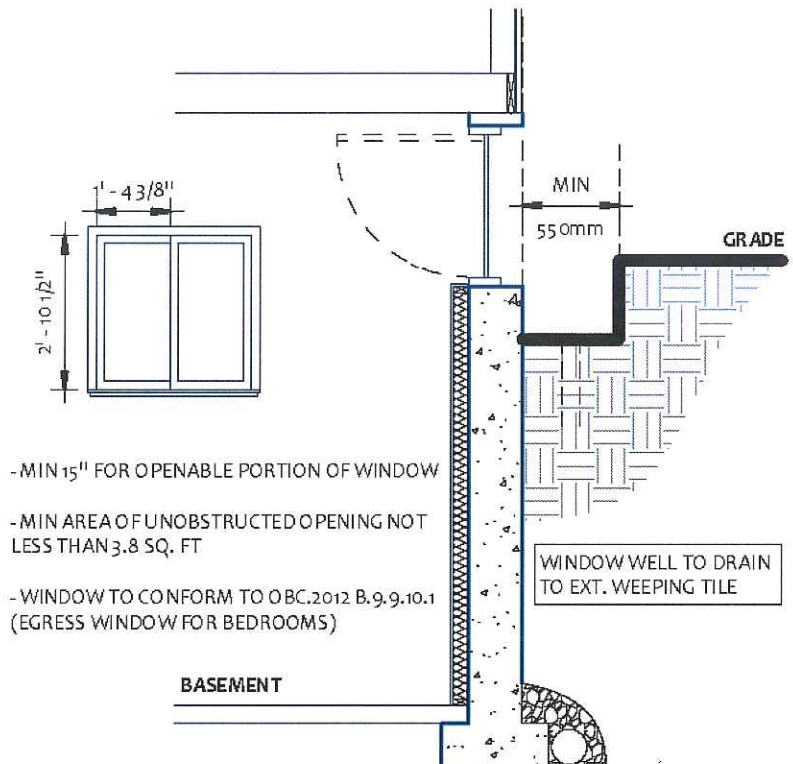
STRUC. ELEMENTS	
LINTEL SCHEDULE	
NO.	DESCRIPTION
H1	2 - 2x8
H2	3 - 2x8
H3	2 - 2x10
H4	3 - 2x10
H5	2 - 2x12
H6	3 - 2x12
L7	L-5 x 3 1/2 x 5/16
L8	L-5 x 5 x 5/16
L9	L-5 x 5 x 1/2

WALL SCHEDULE

	W-eF EXISTING FOUNDATION WALL
	W-eX EXISTING EXTERIOR WALL
	W-eP EXISTING STUD PARTITION WALL
	W-fsu EXTERIOR - BASEMENT INSULATED STUD WALL
	- 1" AIR GAP
	- EX. 2"x4" @ 16" o.c. STUDS
	- EX. INSULATION ON STUDS CAVITIES
	- EX. AIR/VAPOR BARRIER
	- EX. 1/2" GYPSUM WALL BOARD
	W-is NEW INTERIOR - 30min FIRE SEP. (W/c)
	- 1 LAYER 1/2" REGULAR GWB
	- 2"x4" WOOD STUDS @ 16" o.c.
	- ROXUL INSULATION IN CAVITIES
	- 1 LAYER 1/2" REGULAR GWB

CEILING SCHEDULE

	C1e EXISTING CEILING
	- EX. FLOOR FINISH
	- EX. FLOOR JOIST
	- EXISTING 1 LAYER 1/2" GYPSUM BOARD
	* NOTE: NO OPENINGS ARE PERMITTED



- MIN 15" FOR OPENABLE PORTION OF WINDOW
- MIN AREA OF UNOBSTRUCTED OPENING NOT LESS THAN 3.8 SQ. FT
- WINDOW TO CONFORM TO OBC.2012 B.9.9.10.1 (EGRESS WINDOW FOR BEDROOMS)

WINDOW WELL TO DRAIN TO EXT. WEEPING TILE

2	D17.2 - EGRESS WINDOW BSMT - WINDOWWELL
A-12	3/8" = 1'-0"

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BASEMENT SECOND UNIT
3 AYLESBURY DR
BRAMPTON, ON, L7A
0V3

THE DESIGNER SHALL BE A PROFESSIONAL ENGINEER OR ARCHITECT, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING ACT AND REGULATION.

QUALIFICATION INFORMATION
REQUIRED: UNLESS DESIGN IS EXEMPT UNDER SECTION 10.1 OF O.B.C.

NAME: AMR ROBAH
AMR ROBAH

BCIN 42682

REGISTERED DESIGNER
AMR ROBAH
BCIN 42682
PROVINCE OF ONTARIO

CLIENT REVIEW	2021.02.23
REVISION	2021.03.19
ISSUED FOR PERMIT	2021.03.22

SCHEDULES	
Drawn by	S.D
Project number	21 RE 500 21
Date	2021.02.22
Scale As indicated	

A-12

GENERAL NOTES :

- I. ALL CONSTRUCTION SHALL MEET WITH THE LATEST REQUIREMENTS OF:**
- AUTHORITIES HAVING JURISDICTION.
 - ZONING RESTRICTIONS AND COMMITTEE OF ADJUSTMENT DECISIONS.
 - ONTARIO BUILDING CODE
 - ONTARIO REGULATIONS UNDER THE HEALTH AND PROMOTION ACT.
 - ONTARIO FIRE CODE
 - ALL SUPPLIERS SPECIFICATIONS RE: THE TECHNICAL METHODS TO USE MATERIALS AND THE SAFEST SYSTEM TO INSTALL BREAKABLE OR HANGING MATERIALS SUCH AS GLASS OR LIGHT FIXTURES ETC.
- II. CONTRACTOR SHALL:**
- CONFIRM ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES OR ERRORS TO THE ARCHITECT AND THE PARTIES INVOLVED.
 - WORK ONLY FROM THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS THAT ARE STAMPED AND SIGNED BY THE ARCHITECT.
 - RETAIN A CERTIFIED SURVEYOR TO CHALK OUT ALL PROPERTY LINES, BUILDING BOUNDARIES AND LIMITATIONS AND CONFIRM GRADES OF THE LOT.
 - PRIOR TO EXCAVATION, TAKE PRECAUTION IN SUCH A MANNER TO PREVENT DAMAGE TO ADJACENT PROPERTIES, EXISTING STRUCTURE, UTILITIES, ROADS AND SIDEWALKS.
 - PRIOR TO CONSTRUCTION CHECK WITH ALL INSPECTORS OF ALL AUTHORITIES HAVING JURISDICTION ON THE PROJECT REGARDING SCHEDULES OF INSPECTIONS AND ARRANGE FOR THEIR SITE VISITS AND CALL ALL UTILITY COMPANIES (GAS, HYDRO, CABLE, WORKS DEPT.,...etc.) TO CHECK ALL EXISTING LINES, PIPES, TREES,
 - PROVIDE ALL REQUIRED LATERAL FRAMING SUPPORTS (TO ENSURE RIGIDITY AND STURDINESS) THAT DO NOT SHOW ON DRAWINGS
 - NOT PLACE MATERIALS NOR PLACE OR OPERATE EQUIPMENT IN OR ADJACENT TO AN EXCAVATION IN A MANNER THAT MAY ENDANGER THE INTEGRITY OF THE EXCAVATION OR ITS SUPPORTS.
 - NOT SCALE DRAWINGS UNLESS OTHERWISE MENTIONED
 - COMPLY BY SOIL REPORT WHENEVER APPLICABLE.
 - USE ONLY APPROVED SUPPLIERS & INSTALLERS
- III. SHOP DRAWINGS:**
- THE REVIEW OF SHOP DRAWINGS IS FOR THE SOLE PURPOSE OF ASCERTAINING CONFORMANCE WITH THE GENERAL DESIGN CONCEPT. IT SHALL NOT MEAN APPROVAL OF THE DETAIL DESIGN INHERENT IN THE SHOP DRAWING, RESPONSIBILITY FOR WHICH SHALL REMAIN WITH THE CONTRACTOR SUBMITTING SAME, AND SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR MEETING ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR DIMENSIONS TO BE CONFIRMED AND CORRECTED AT THE JOB SITE, FOR INFORMATION THAT PERTAINS SOLELY TO FABRICATION, PROCESSES OR TO TECHNIQUES OF CONSTRUCTION AND INSTALLATION AND OR COORDINATION OF THE WORK OF ALL SUB-TRADES.
 - ALL SHOP DRAWINGS SHALL BE STAMPED BY THE MANUFACTURER'S STRUCTURAL ENGINEER PRIOR TO SUBMITTING FOR REVIEW BY ARCHITECT.
 - SEQUENCE OF SHOP DRAWINGS REVIEW: - CONTRACTOR - STRUCTURAL ENGINEER - ALL OTHER INVOLVED CONSULTANTS - ARCHITECT
 - SHOP DRAWINGS SHALL BE PROVIDED FOR: - STEEL - PREFAB. CONC. - CANOPIES - WINDOWS - DOORS

GENERAL NOTES :


- IV. RENOVATION AND ADDITION CONSTRUCTION:**
- REPAIR ALL DEFECTIVE OR DAMAGED CONDITIONS IN BUILDING AND SITE THEN FINISH THEM TO MATCH
 - ALL EXISTING CONSTRUCTION SHALL BE ALL FINISHED UNLESS OTHERWISE MENTIONED, CHECK WITH ARCHITECT.
- V. BONDING EXISTING TO NEW CONSTRUCTION:**
- PROVIDE 1/2" DIA. X 6" LONG ANCHOR BOLTS SPACED 3'-0" O/C VERTICALLY OR HORIZONTALLY BETWEEN EXISTING AND NEW STUDS AND ROOF FRAMINGS.
 - PROVIDE OVERLAPPED VERTICAL JOINTS BETWEEN EXISTING AND NEW MASONRY VENEERS, WALLS AND FOUNDATION.
 - SAND BLASTED AREA SHALL BE FINISHED WITH A CLEAR SEALANT.

CONSTRUCTION SPECIFICATIONS

- 1. WOOD**
- ALL WOOD CONSTRUCTION SHALL BE IN ACCORDANCE WITH CSA 086
 - BEAMS AND LINTELS & JOISTS SHALL BE KILN DRIED, STAMPED SPRUCE #2, UNLESS OTHERWISE MENTIONED.
 - ALL WOOD MEMBERS WHICH ARE PLACED IN SOIL SHOULD BE PRESSURE TREATED WITH A WOOD PRESERVATIVE.
 - ALL EXTERIOR WOOD SHALL BE STAINED OR PAINTED.
- 2. CONCRETE**
- SHALL COMPLY WITH CSA A23 SERIES INCL. COLD WEATHER CONCRETING.
 - MINIMUM COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE: 25 MPA AND 35 MPA FOR LOADING DOCK AND FOR ALL EXPOSED CONCRETE AFTER 28 DAYS WITH AIR ENTRAINMENT 6 %
 - MAXIMUM SLUMP 3"
 - PROVIDE SEALANT-TOPPED EXPANSION JOINT BETWEEN EXISTING AND NEW CONCRETE FLOORS.
 - REINFORCEMENT SHALL CONFORM CSA 30.12 GRADE 5B
- 3. STEEL**
- SHALL CONFORM TO CSA STANDARDS & CAN 3-G40.21 (STRUCTURAL STEEL QUALITY)
 - SHALL BE TREATED ON THE OUTSIDE SURFACE WITH AT LEAST ONE COAT OF RUST INHIBIT PAINT.
 - ALL EXPOSED STEEL SHALL BE GALVANIZED.
 - STEEL GRADE
 - i) HOLLOW SECTION: G 40.21-M 350W
 - ii) I BEAMS & COLUMNS: G 40.21-M 350W
 - O.W.S.J. : LIVE LOAD DEFLECTION SHALL NOT EXCEED 1/360 OF SPAN, TOTAL LOAD DEFLECTION SHALL NOT EXCEED 1/300 OF SPAN.
 - WELDING SHALL COMPLY WITH CSA W59 AND EXECUTED BY CERTIFIED WELDER.
 - ALL BOLTS A 325 BOLTS.
 - FOR ALL STEEL FABRICATION, PROVIDE SHOP DRAWINGS AND CALCULATIONS STAMPED BY P. ENG.

CONSTRUCTION SPECIFICATIONS

- 4. MINIMUM STRUCTURAL BEARING**
- (PROVIDE 2 SOLID MASONRY BLOCKS BELOW BEARING)
- WOOD JOIST: 2"
 - WOOD BEAMS: 4"
 - STEEL BEAM: 8"
 - STEEL LINTEL: 8"
 - O.W.S.J. : 8" ON MASONRY & 2 1/2" ON STEEL & SHALL HAVE 4" DEEP SHOES
- 5. MASONRY**
- SHALL HAVE 1000 PSI MIN. CRUSHING STRENGTH.
 - PROVIDE GALVANIZED STANDARD BLOCK-LOK EACH 2ND COURSE.
 - VERTICAL JOINTS SHALL BE STAGGERED & CORNERS INTERLOCKED.
 - PROVIDE SHOP DRAWINGS STAMPED BY P. ENG. FOR STONE VENEER & PREFAB PANELS.
 - VERTICAL CRACK CONTROL JOINTS (DESIGNED TO RESIST MOISTURE PENETRATION AND KEYED TO PREVENT RELATIVE DISPLACEMENT OF THE WALL PORTIONS ADJACENT TO THE JOINT) SHALL BE PROVIDED IN FOUNDATION WALLS MORE THAN 8'-0" LONG AT INTERVALS OF 50'-0" MAX. AND FLUSH WITH OPENING JAMBS.
- 6. FOUNDATION**
- FOOTING AND SONO TUBE FOUNDATION SHALL BEAR ON UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL (TO 98 % STANDARD PROCTOR DENSITY) CAPABLE OF A BEARING OF 3000 PSF, SOIL SHALL BE CHECKED BY SOIL ENGINEER
 - DEPTH OF FOOTING ARE PROVISIONAL & SUBJECT TO VERIFICATION ON SITE BY A SOIL ENGINEER.
 - ALL EXTERIOR (OR EXPOSED TO EXTERIOR) WALLS, PARTITION, COLUMNS SHALL BE PROVIDED WITH 4'-0" DEEP FOUNDATION.
 - PROVIDE 5/8" DIA. X 16" LONG ANCHOR TIES (8" IN NEW CONSTRUCTION).
 - TOP TWO COURSES OF CONCRETE BLOCKS SHALL BE FILLED WITH CONCRETE.
 - PROVIDE MIN 8"X2'-0" WIDE STRIP FOOTING BELOW ANY INTERIOR LOAD BEARING WALL
- 7. COLUMNS**
- SHALL BE SECURELY FASTENED TO CENTER OF FOUNDATIONS AND TO THE SUPPORTED MEMBERS TO PREVENT LATERAL MOVEMENT.
- 8. DESIGN LOADS**
- UN FACTORED DESIGN LOADS**
1. SNOW LOAD = kPa (PART 4 DESIGN, S_s = 2.0 kPa, S_r = 0.4 kPa)
 2. ROOF DEAD LOAD = 0.75 kPa
 3. SECOND FLOOR DEAD LOAD = 0.75 kPa
 4. MAIN FLOOR DEAD LOAD = 1.0 kPa
 5. OCCUPANCY LIVE LOAD = 1.9 kPa
 6. WIND PRESSURE q(1/50) = 0.44 kPa
 7. ASSUMED SOIL BEARING CAPACITY = 75 kPa
 8. GUARDS TO BE BUILT ACCORDING TO OBC 2012 SB-7



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0V3

THE ABOVE INFORMATION HAS BEEN REVIEWED AND APPROVED FOR THE PROJECT, AND THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE
QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER SECTION 10.1 OF O.B.C.
NAME: AMIR ROBAH
BCIN 42582
PROVINCE OF ONTARIO

CLIENT REVIEW 2021.02.23
REVISION 2021.03.19
ISSUED FOR PERMIT 2021.03.22

GENERAL NOTES	
Drawn by	A.R
Project number	21 RE 500 21
Date	2021.02.22

AN-01
Scale

CONSTRUCTION NOTES

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECS AND TO CONFORM TO ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODE AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS ONT. REG. 35.006

- 1 **ROOF CONSTRUCTION**
N2Q10 ROOF ASPHALT SHINGLES ON 1/8" PLYWOOD SHEATHING WITH H-CLIPS APPROVED WOOD TRUSSES @24" O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 3" FROM EDGE OF ROOF AND MIN. 12" INNER FACE OF EXTERIOR WALL.
2"x4" TRUSS BRACING @6' O.C. BOTTOM CORD. PREFIN. ALUM. EXAMSTROUGH, FASCIA, R/W & VENTED SOFFIT. ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES.
- 2 **STONE VENEER WALL CONSTRUCTION**
4" FACE STONE, 1" AIR SPACE 0.03 THICK X 7/8" WIDE GALVANIZED METAL TIES INSTALLED W/ GALVANIZED SPIRAL NAILS 32" O.C. HORIZ, 16" O.C. VERT. SHEATHING PAPER, LAYERS TO OVERLAP EACH OTHER ON 1/2" EXTERIOR TYPE SHEATHING. 2"x6" WOOD STUDS @16" O.C. R24 BATT INSULATION IN CONTINUOUS CONTACT W/ SHEATHING AND VAPOUR BARRIER / AIR BARRIER. DOUBLE PLATE AT THE TOP OR SINGLE PLATE AT THE BOTTOM.
- 3 **STONE VANEER @ FDN. WALL**
20 MM POLY FLASHING MINIMUM 6" UP BEHIND SHEATHING PAPER. WEEPING HOLES @ MIN 2'-5" APART
- 4 **STUCCO WALL CONSTRUCTION**
3 COATS OF STUCCO FINISH ON STUCCO LATH ON 1 1/2" T & G EPS INSULATION BOARD FASTENED WITH NAILS OF MIN 3.2 MM DIA. W/ MIN 11.1 MM HEAD SPACED @ MAX 6" O.C. VERTICALLY AND 16" O.C. HORIZONTALLY OR 4" O.C. VERTICALLY AND 24" HORIZONTALLY ON SHEATHING PAPER. @ NOT LESS THAN 8" ABOVE FINISHED GROUND.
- 5 **WOOD SIDING WALL CONSTRUCTION**
FRAME WALL CONSTRUCTION. FINISH WITH VYNEL SIDING SIDING PAPER. LAYERS TO OVERLAP EACH OTHER EXTERIOR TYPE SIDING ON 2X6 WOOD STUDS @ 16" O.C. DOUBLE PLATE AT THE TOP SINGLE PLATE @ BOTTOM R24 BATT INSULATION IN CAVITIES.
- 6 **FOUNDATION WALLS**
BITUMINOUS DAMPROOFING ON 1/4" PARGING ON 10" CONCRETE BLOCKS FDN. WALL TOP COURSE FILLED W/ CONCRETE PROVIDE PARGING COVERED OVER 24"x12" POURED CONCRETE FOOTING TO BEAR ON UNDISTURBED SOIL. PROVIDE DRAINAGE LAYER:
- MIN 3/4" MINERAL FIBRE INSULATION W/ DENSITY OF NOT LESS THAN 3.6 LB/FT OR
- MIN. 4" OF FREE DRAINAGE GRANULAR MATERIAL OR
- AB, M.E.C. APPROVED DRAINAGE LAYER MATERIAL
- 7 **REDUCTION IN FOUNDATION WALL THICKNESS**
WHERE THE TOP OF FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOIST, THE REDUCED SECTION SHALL BE NOT MORE 13 3/4" HIGH AND NOT LESS THAN 3 1/2" THICK. WHERE THE TOP OF FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF A MASONRY EXTERIOR FACING, THE REDUCED SECTION SHALL BE NOT LESS 3 1/2" THICK AND TIED TO THE FACING MATERIAL W/ METAL TIES.
- 8 **INTERIOR STUD PARTITIONS (NO BEARING)**
NO BEARING PARTITIONS 1/2" DRYWALL FINISH ON BOTH SIDES OF 2"x6" WOOD STUDS @16" O.C. 2 TOP PLATES & 1 BOTTOM PLATE PROVIDE SOUND ATTENUATION IN SULATION IN BATHROOM WALLS & WHERE INDICATED ON PLANS.

- 9 **INTERIOR STUD PARTITIONS (BEARING)**
BEARING PARTITIONS 1/2" DRYWALL FINISH ON BOTH SIDES OF 2"x6" WOOD STUDS @16" O.C. 2 TOP PLATES & 1 BOTTOM PLATE PROVIDE SOUND ATTENUATION IN SULATION IN BATHROOM WALLS & WHERE INDICATED ON PLANS.
- 10 **WALL INSULATION**
MIN. R24 INSULATION BATT'S TO COVER THE INTERIOR FACE OF THE EXTERIOR WALLS WITH CONTINUOUS AIR / VAPOUR BARRIER.
- 11 **FOUNDATION INSULATION**
R20 INSULATION BLANKET WITH AIR / VAPOUR BARRIER FROM SUB-FLOOR TO BASEMENT SLAB. DAMPROOF W/ BLDG. PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.
- 12 **STUD WALL REINFORCEMENT**
PROVIDE WOOD BLOCKING REINFORCEMENT TO STUD WALLS FOR FUTURE GRAB BARS IN STALLATION IN MAIN BATHROOM 3'3" 3/8" A.F.F. BEHIND TOILET 3'3" A.F.F. ON THE WALL OPPOSITE THE ENTRANCE TO THE TUB AND SHOWER.
- 13 **SILL PLATE**
2"x6" SILL PLATE FASTENED TO FOUNDATION WALL WITH MIN. 1/2" DIA. ANCHOR BOLTS EMBEDDED MIN. 4" IN CONCRETE @ 7'-10" O.C. MAX. PROVIDE CAULKING FOR GASKET BETWEEN PLATE AND FOUNDATION WALL.
- 14 **FLOOR FRAMING**
5/8" T & G PLYWOOD NAILED AND CLUED ON 2" X 8" JOIST WITH MIN. 1 1/2" END BEARING ON EACH SIDE WITH CROSS BRIDGING OR SOLID BLOCKING @ MAX. 6'-11" O.C.
- 15 **ENGINEERED FLOOR FRAMING**
5/8" T & G PLYWOOD NAILED AND CLUED ON 2" X 10" JOIST WITH MIN. 1 1/2" END BEARING ON EACH SIDE WITH CROSS BRIDGING OR SOLID BLOCKING @ MAX. 6'-11" O.C.
- 16 **BASEMENT SLAB**
MIN. 3" 25 MPA CONC. SLAB ON 4" COARSE GRANULAR FILL WITH DAMPROOFING BELOW SLAB.
- 17 **STEEL BASEMENT COLUMN**
MIN 3" DIA. AND WALL THICKNESS OF MIN. 3/16" WITH 4"x4"x1/4" THICK STEEL PLATE WELDED TOP AND BOTTOM AND SUPPORTED ON A 36"x36"x16" THK CONCRETE FOOTING.
- 18 **STEEL BEAM**
W150X22 SITTING ON STEEL COLUMN ON ONE END AND 3 1/2" END BEARING ON FOUNDATION WALL ON THE OTHER END WITH 1"x3" CONTINUOUS WOOD STRAPPING ON EACH SIDE OF THE BEAM.
- 19 **GRADE**
SLOPE GRADE AWAY FROM BUILDING FACE & PROVIDE SEMI SOLID BLOCK COURSE AT OR BELOW GRADE LEVEL.
- 20 **DRAINAGE**
4" DIA. WEEPING GTILE W/ 6" CRUSHED STONE OVER AND AROUND
- 21 **CRAWL SPACE ACCESS HATCH**
CRAWL SPACE CLEARANCE MIN. 24" CLEAR TO U/S OF STRUCTURE PROVIDE 16x4" POLY CONCRETE COVER MIN. 11 13/16" OVERLAP, SEALED AT JOISTS & FOUNDATION WALL & WEIGHTED DOWN W/ MIN ACCESS OPENING OF 2' 7" X 10"
- 22 **ATTIC ACCESS**
ATTIC ACCESS HATCH 22"x28" WITH WEATHERSTRIPPING (MIN. 3-4FT2) RSI 8.8 (R50) RIGID INSULATION BACKING

- 23 **CEILING CONSTRUCTION**
MIN 5/8" DRYWALL FINISH ON ALL CEILING SURFACES WITH CONTINUOUS AIR VAPOUR BARRIER WITH MIN. R40 INSULATION FOR ATTIC.
- 24 **DRYER VENT**
CAPPED DRYER EXHAUST VENTED TO EXTERIOR DUCT SHALL CONFORM TO OBC 2012 DIV. B PART 6
- 25 **WASHROOM EXHAUST**
MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. PROVIDE DUCT SCREEN AS PER OBC 2012 DIV. B 9.32.3.12
- 26 **CABINETS ABOVE RANGE**
FRAMING FINISHES AND CABINETS ABOVE RANGE MUST HAVE MIN 2'-6" CLEARANCE, UNLESS FRAMING, FINISHES AND CABINETS ARE NON-COMBUSTIBLE OR ARE PROTECTED AS PER 9.10.22.2 (2) (i) (1) AND (11)
- 27 **SMOKE ALARM O.B.C. 9.10.19**
PROVIDE ONE PER FLOOR NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARM TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF 1 SOUNDS, IT SHOULD BE INSTALLED IN CONFORMANCE WITH CANULC-5593
- 28 **CARBON MONOXIDE ALARM O.B.C. 9.33.4.**
PROVIDE CARBON MONOXIDE DETECTOR ADJACENT TO EACH SLEEPING AREA.
- 29 **EXCAVATION AND BACKFILL**
* EXCAVATION SHOULD BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES AND ADJACENT PROPERTY
* THE TOPSOIL AND VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER BUILDING SHALL BE REMOVED. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC MATERIALS.
* IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS, ROOTS AND WOOD DEBRIS SHALL BE REMOVED TO A MIN DEPTH OF 11 3/4" IN EXCAVATED AREAS UNDER BUILDING AND THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS AND THE GROUND SHALL BE NOT LESS THAN 17 3/4"
* BACK FILL WITHIN 23 5/8" OF THE FOUNDATION WALLS SHALL BE FREE OF DELETERIOUS DEBRIS AND BOULDERS OVER 7/8" IN DIAMETER.
- 30 **NOTCHING AND DRELING OF TRUSSES, JOISTS AND RAFTERS**
* HOLES IN FLOORS, ROOFS AND CEILING MEMBERS TO BE MAX 1/4 X ACTUAL DEPTH OF MEMBER AND NOT LESS THAN 2" FROM EDGES.
* NOTCHES IN FLOORS, ROOF, CEILING MEMBERS TO BE LOCATED ON TOP OF THE MEMBER WITHIN 1/2 THE ACTUAL DEPTH FROM THE EDGE OF BEARING AND NOT GREATER THAN 1/3 JOIST DEPTH.
* WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDE THAT NOT LESS THAN 2/3 THE DEPTH OF THE STUD REMAINS IF LOAD BEARING AND 1 1/2 IF NON LOAD BEARING WALL.
* ROOF TRUSS MEMBERS SHALL NOT BE NOTCHED, DRILLED, OR WEAKENED UNLESS ACCOMMODATED IN THE DESIGN.
- 31 **CERAMIC TILES**
WHEN CERAMIC TILES APPLIED TO A MORTAR BED WITH ADHESIVE, THE BED SHALL BE A MIN. OF 1/2" THICK & REINFORCED WITH GALVANIZED DIAMOND MESH LATH, APPLIED OVER POLYETHYLENE ON SUBFLOORING ON JOISTS AT NO MORE THAN 16" O.C. WITH AT LEAST 2 ROWS CROSS BRIDGING.
- 32 **2 STORY VOLUME SPACE**
2 STORY HIGH (18'-0") EXTERIOR WALL STUDS TO BE 2"x6" CONTINUOUS STUDS @12" O.C. TRIPLE UP AT EVERY THIRD DOUBLE STUDS C/M 3/8" EXTERIOR PLYWOOD SHEATHING PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ (4'-0") O.C. VERTICALLY. FOR HORIZONTAL DISTANCE NOT EXCEEDING (9'-0") PROVIDE (2'-2"x6") TOP PLATE AND A SINGLE BOTTOM PLATE. MIN. OF 3/2"x8" CONTINUOUS HEADER AT GROUND CEILING LEVEL TO BE NAILED AND CLUED AT TOP, BOTTOM PLATES AND HEADERS FOR 9' HIGH GROUND/FIRST FLOOR CEILING ADD TRIPPLE HEADERS NAILED ON TOP OF FOUNDATION WALL SILL PLATE AND ADD 1-2"x6" CONTINUOUS BOTTOM PLATE NAILED ON TOP OF HEADERS.

- 33 **FOOTING**
24"x12" DEEP POURED CONCRETE 2200 PSI ON UNDISTURBED SOIL. MIN. 48" BELOW FINISHED GRADE
- 34 **BUILT UP POST**
3-2"x4" BUILT UP POST WITH DAMPROOFING MATERIAL WRAPPED AT END OF POST AND CHORED TO 24"x24"x12" CONCRETE FOOTING.
- 35 **RANGE HOOD EXHAUST**
MECHANICAL EXHAUST HOOD WITH MIN 100 CFM AND 6" DIA. RIGID STEEL DUCT OR EQUIVALENT TO OUTDOOR.
- 36 **SHOWER AND TUB VALVES**
1. ALL SHOWER VALVES SHALL CONFORM TO OBC DIV. B 7.6.5.2
2. WATERPROOF FINISH REQUIRED AT SHOWER AND TUB AREAS TO CONFIRM TO OBC DIV B 9.29.2
- 37 **WALL REINFORCEMENT FOR FUTURE GRAB BARS INSTALLATION IN WASHROOM**
SEE WASHROOM DETAIL SHEET
- 38 **GARAGE WALL-GAS PROOFING**
ATTACHED GARAGES MUST BE COMPLETELY SEALED TO PREVENT THE INFILTRATION OF CARBON MONOXIDE & GASOLINE FUMES INTO THE DWELLING.
1. PROVIDE 1/2" DRYWALL W/ MIN. 2 COATS OF JOINT COMPOUND AT ALL WALLS ADJACENT TO DWELLING.
2. CAULK BETWEEN GYPSUM BOARD AND OTHER SURFACES W/ ACOUSTIC SEALANT.
3. CAULK ALL PENETRATIONS SUCH AS HOSE BIBS W/ FLEXIBLE CAULKING.
4. DOORS BETWEEN GARAGE & DWELLING SHALL BE TIGHT FITTING & WEATHER STRIPPED & PROVIDED W/ A SELF CLOSING DEVICE. DOOR MUST NOT OPEN INTO A ROOM INTENDED FOR SLEEPING.
5. GARAGE SLAB SHALL BE SLOPED TO DRAIN OUT DOORS.
6. UNIT MASONRY WALLS FORMING THE SEPARATION BETWEEN THE DWELLING & ATTACHED GARAGE SHALL BE PROVIDED W/ 2 COATS OF SEALER OR COVERED W/ PLASTER OR GYPSUM BOARD ON THE GARAGE SIDE.
- 39 **PRECAST STAIRS**
PRECAST CONCRETE STEPS OR WOOD STEPS (PERMITTED TO A MAX. OF 3 RISERS) WHEN NOT EXPOSED TO WHETHER MAX RISE 7-7/8" MIN. THREAD 9-1/2". GREATER THAN 3 RISERS WILL REQUIRE LANDING/GUARD / HANDRAIL AND FOUNDATION UNDER CONC. STEPS.
- 40 **WOOD FRAME STAIRS**
STAIRS DETAILS
MAX RISE = 7-7/8"
MIN RUN = 8-1/4"
MIN TREAD = 9-1/4"
MAX NOSING = 1"-0"
MIN HEADROOM = 6'-5"
R/L @ LANDING = 2'-11"
R/L @ STAIRS = 2'-8"
MIN STAIRS WIDTH = 2'-10"
- CURVED STAIRS**
MIN AVG. RUN = 7-7/8"
MIN RUN = 5'-7/8"
- RAILING**
FINISHED RAILING ON PICKETS SPACED MAX. 4". INFERIOR GUARDS 2'-11" MIN. EXTERIOR GUARDS 3'-6" MIN.

- 41 **INSULATION VALUES**
ABOVE GRADE WALLS R-24
BASEMENT WALLS R-10
CEILING WITH ATTIC SPACE R-10
CEILING WITHOUT ATTIC SPACE R-31
- R-24 CONTINUOUS R-10 RIGID INSULATION + R-12 MIN BATT INSULATION
R-60
R-31

CONSTRUCTION NOTES

Drawn by A.R.
Project number 21 RE 500 21
Date 2021.02.22

AN-02

Scale

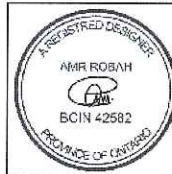


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BASEMENT SECOND UNIT
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THE UNDERSIGNED HAS REVIEWED THESE PLANS FOR CONFORMANCE WITH THE REQUIREMENTS SET OUT IN THE

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER SECTION 10 OF O.B.C.
NAME AMIR ROBAH
BCIN 42582



CLIENT REVIEW 2021.02.23
REVISION 2021.03.19
ISSUED FOR PERMIT 2021.03.22

42

WINDOWS

- WINDOWS TO BE SEALED TO THE AIR AND VAPOR BARRIER
- WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.6 OR
- AN ENERGY RATING OF NOT LESS THAN 21 FOR OPERABLE WINDOWS AND 31 FOR FIXED WINDOWS
- SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 2.8W/(M².K)

43

DOORS AND WINDOWS

- EVERY FLOOR LEVEL CONTAINING A BEDROOM AND NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST ONE WINDOW HAVING AN UNOBSTRUCTED OPEN AREA OF 0.35 m² AND NO DIMENSION LESS THAN 380MM, WHICH IS OPENABLE FROM THE INSIDE WITHOUT TOOLS
- EXTERIOR HOUSE DOORS AND WINDOWS WITHIN 2000MM FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY AND SHALL HAVE A DEADBOLT LOCK
- THE PRINCIPAL ENTRY DOOR SHALL HAVE EITHER A DOOR VIEWER, TRANSPARENT GLAZING OR A SIDELIGHT

44

HVAC NOTES

1. CONTRACTOR TO COORDINATE DUCTS INSTALLATION WITH PIPES, ELECTRICAL LIGHTING & BUILDING STRUCTURE.
2. ALL MECHANICAL DUCTWORK SHALL BE CONCEALED IN ATTIC SPACE OR BULKHEADS UNLESS OTHERWISE NOTED.
3. PROVIDE FLUE VENT, COMBUSTION AIR AND TERMINATION KIT FOR FURNACE AND INST ALL AS PER MANUFACTURER WRITTEN INSTRUCTION.
4. PROVIDE BALANCING DAMPERS AT ALL AIR SUPPLY TAKE-OFFS:
 - (A) AT BRANCH DUCT OFF MAIN TRUNK DUCT.
 - (B) IN DRY WALL AREA, PROVIDE DAMPER AT GRILLE WITH APPROVED LOCKING DEVICE TO ENGINEER'S APPROVAL.
5. CUTTING FOR DUCTS SHALL BE DONE BY THIS CONTRACTOR. OBTAIN APPROVAL BEFORE CUTTING IN ANY WALL, STRUCTURAL BEAM, FLOOR AND ROOF.
6. COORDINATE LOCATION OF EACH S.A. GRILLE AND RETURN AIR GRILLE ON SITE BEFORE CUTTING AND ROUGH-IN.
7. INSULATE ALL EXHAUST AIR DUCTS MIN. 150MM FROM WALLS OR ROOF.
8. CONNECT GAS PIPE TO EACH UNIT COMPLETE WITH SHUT OFF VALVE. ALL GAS PIPING SHALL BE CSA AND CGA APPROVED. INSTALL PIPES IN ACCORDANCE TO B149.1 CODE.
9. INSULATE ALL DUCTS IN CEILING SPACE, ATTIC SPACE AND GARAGE.
10. TEST AND BALANCE SYSTEM. SUBMIT BALANCING REPORT.
11. COORDINATE ROUTING DUCTS AND LOCATION OF EACH GRILLE, FAN AND FURNACE WITH STRUCTURAL MEMBERS, PIPING, CONDUITS AND LIGHTING. OFFSET AS REQUIRED AND MAINTAIN REQUIRED SERVICE ACCESS.
12. PROVIDE R.A. GRILLES AT HIGH AND LOW LEVELS. EACH GRILLE SHALL BE COMPLETED WITH BALANCING DAMPER.
- USE SPACE BETWEEN JOISTS AND WALL STUDS FOR RETURN WHERE APPLICABLE. PROVIDE SHEET METAL JOISTS LINER (JL) AS REQUIRED.

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MECHANICAL VENTILATION:

- A MECHANICAL VENTILATION SYSTEM IS REQUIRED WITH A TOTAL CAPACITY AT LEAST EQUAL TO THE SUM OF:
 - 10.0 L/S EACH FOR BASEMENT AND MASTER BEDROOM
 - 5.0 L/S FOR EACH OTHER ROOM
- PRINCIPAL DWELLING EXHAUST FAN SHALL BE INSTALLED AND CONTROLLED BY A CENTRALLY LOCATED SWITCH IDENTIFIED AS SUCH.
- SUPPLEMENTAL EXHAUST SHALL BE INSTALLED SO THAT THE TOTAL CAPACITY OF ALL KITCHEN, BATHROOM AND OTHER EXHAUSTS, LESS THE PRINCIPAL EXHAUST, IS NOT LESS THAN THE TOTAL REQUIRED CAPACITY.
- A HEAT RECOVERY VENTILATOR MAY BE EMPLOYED IN LIEU OF EXHAUST TO PROVIDE VENTILATION. AN HRV IS REQUIRED IF ANY SOLID FUEL BURNING APPLIANCES ARE INSTALLED.
- SUPPLY AIR INTAKES SHALL BE LOCATED SO AS TO AVOID CONTAMINATION FROM EXHAUST OUTLETS.

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NATURAL VENTILATION

- EVERY ROOF SPACE ABOVE AN INSULATED CEILING SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA
- INSULATED ROOF SPACES NOT INCORPORATING AN ATTIC SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/150 OF THE INSULATED CEILING AREA
- ROOF VENTS SHALL BE UNIFORMLY DISTRIBUTED WITH MIN. 25% AT TOP OF THE SPACE AND 25% AT BOTTOM OF THE SPACE DESIGNED TO PREVENT THE ENTRY OF RAIN, SNOW, OR INSECTS
- UNHEATED CRAWL SPACES SHALL BE PROVIDED WITH 0.1m

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BASEMENT EGRESS WINDOW

MIN. UNOBSTRUCTED OPENING SIZES	
WIDTH	HEIGHT
18"	30"
19"	28.8"
20"	27.36"
21"	26.04"
22"	24.84"
23"	23.76"
24"	22.8"
25"	21.84"
26"	21"
27"	20.16"

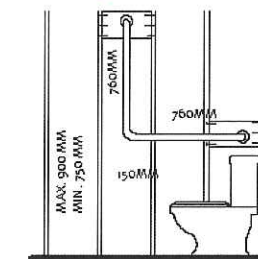
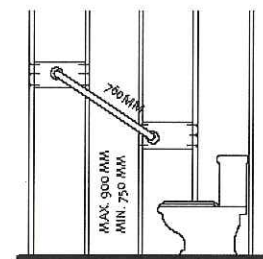
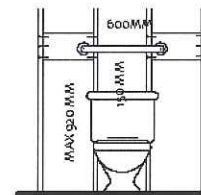
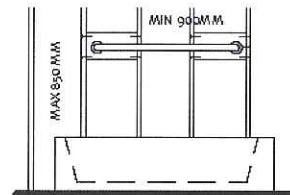
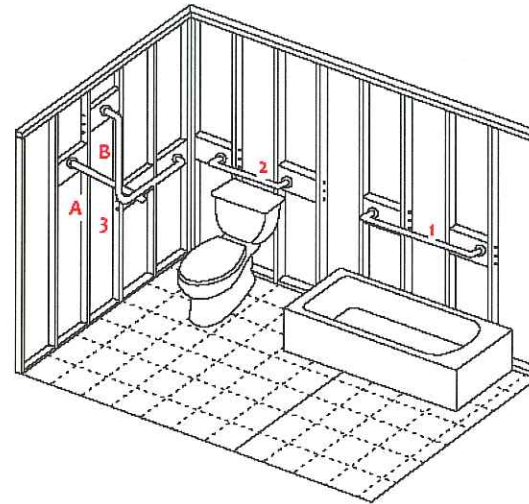
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MINIMUM ROOM AREAS

ONE BEDROOM APARTMENT			
LIVING AREA	13.5M ²	145.3ft ²	LIVING AREA SHALL COMPLY WITH MINIMUM REQUIREMENTS
	11.0M ²	118.4ft ²	
DINING AREA	7.0M ²	75.3ft ²	DINING AREA SHALL COMPLY WITH MINIMUM REQUIREMENTS
	3.25M ²	35.0ft ²	
1 BEDROOM	9.8M ²	105.5ft ²	BEDROOM AREA SHALL COMPLY WITH MINIMUM REQUIREMENTS
	8.8M ²	94.7ft ²	
OTHER BEDROOMS	4.2M ²	45.2ft ²	IF IN BEDROOM AREA IS COMBINED WITH OTHER ROOMS
	7.0M ²	75.3ft ²	
OTHER BEDROOMS	6.0M ²	64.6ft ²	IF IN BEDROOM AREA IS COMBINED WITH OTHER ROOMS
	4.2M ²	45.2ft ²	

TWO BEDROOM APARTMENT			
LIVING AREA	13.5M ²	145.3ft ²	LIVING AREA SHALL COMPLY WITH MINIMUM REQUIREMENTS
	13.5M ²	145.3ft ²	
DINING AREA	7.0M ²	75.3ft ²	DINING AREA SHALL COMPLY WITH MINIMUM REQUIREMENTS
	3.25M ²	35.0ft ²	

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STUD WALL REINFORCEMENT**LEGEND**

	SMOKE ALARM
	CM ALARM
	DUCT SMOKE DETECTOR
	EXHAUST FAN DUCTED DIRECTLY OUTSIDE
	FLOOR DRAIN
	HEAT REGISTER
	AIR RETURN
	LIGHT FIXTURE
	SPRINKLER
	EMERGENCY LIGHT
	ELECTRICAL OUTLET
	LINTEL NOTE
	DOOR TAG
	WALL TAG
	WINDOW TAG
	CEILING TAG
	CONSTRUCTION NOTE
	EXISTING WALL
	DEMOLISHED WALL
	PROPOSED WALL
	COMMON AREA
	UNIT1
	UNIT2
	UNIT3



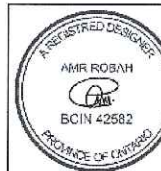
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BASEMENT SECOND UNIT
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THE CONTRACTOR HAS REVIEWED THE DRAWINGS AND ACCEPTS THE REQUIREMENTS SET OUT IN THE CITY OF BRAMPTON'S BUILDING BY-LAW, 2012.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER SECTION 10.1 OF O.B.C.

NAME: AMR ROBAH
REG. NO.: BCIN 42582



CLIENT REVIEW 2021.02.23

REVISION 2021.03.19

ISSUED FOR PERMIT 2021.03.22

CONSTRUCTION NOTES

Drawn by: A.R.
Project number: 21 RE 500 21
Date: 2021.02.22

AN-03

Scale: As indicated



a

b

c

d

e

A-2021-0189