

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **ZAHID ASLAM AND RABIA RAFIQUE** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described Part of Blocks 111 and 133, Plan M-1048, Part of Blocks 133 and 134, Plan M-524, Parts 9, 10 and 11, Plan 43R-19393 municipally known as **11 SALEM COURT**. Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit an above grade side door having an interior side yard setback of 1.02m (3.35 ft.) whereas the by-law requires a minimum setback of 1.2m (3.94 ft.) from an interior side yard to an above grade door;
2. To permit a path of travel of 1.02m (3.35 ft.) to the primary entrance to a second unit whereas the by-law requires a minimum unencumbered side yard width of 1.2m (3.94 ft.) to be provided as a path of travel from the front yard to the entrance for a second unit.

OTHER PLANNING APPLICATIONS:

OTHER PLANNING APPLICATIONS:
The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____ NO
Application for Consent: _____ NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, September 14, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

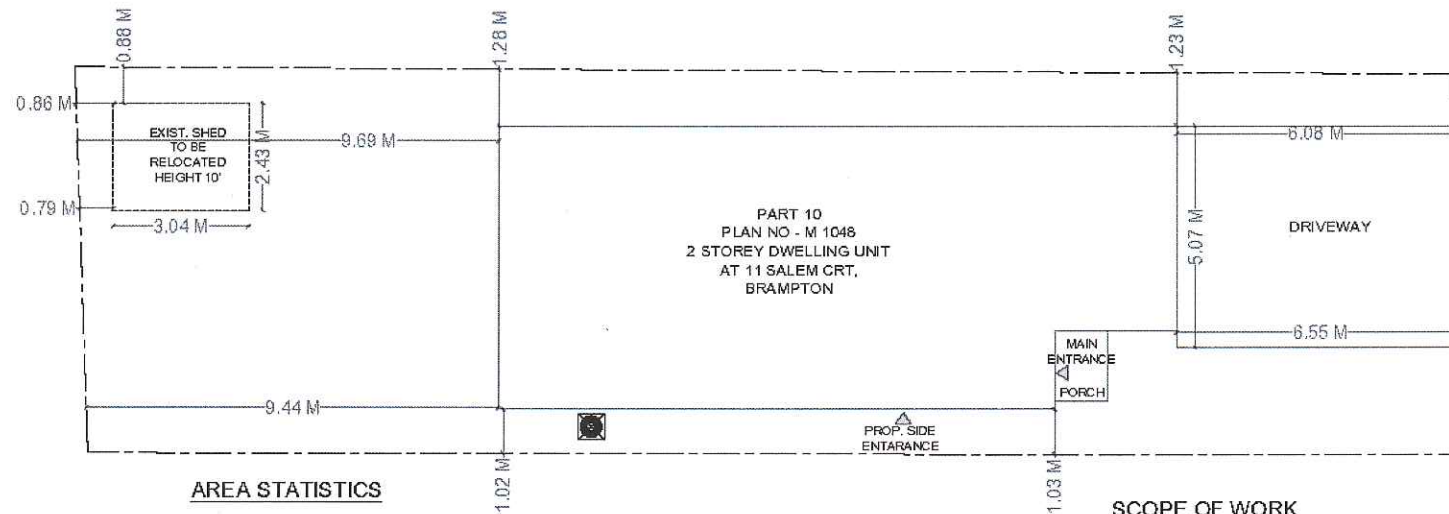
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING. OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 2nd day of September, 2021.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
 Committee of Adjustment, City Clerk's Office,
 Brampton City Hall
 2 Wellington Street West,
 Brampton, Ontario L6Y 4R2
 Phone: (905)874-2117
 Fax: (905)874-2119
jeanie.myers@brampton.ca



AREA STATISTICS

GROSS FLOOR AREA CALCULATIONS

A. BASEMENT

TOTAL BASEMENT APARTMENT GFA = 60.19 m²

ENTRANCE / EGRESS

SCOPE OF WORK

- ① PROP. FINISH BASEMENT
- ② PROP. ONE NEW WINDOW
- ③ ENLARGEMENT OF TWO WINDOWS
- ④ PROP. SIDE ENTRANCE

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT
SCALED.
CONTRACTOR MUST VERIFY ALL
DIMENSIONS AND BE RESPONSIBLE
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SEAL:



1		
NO.		
ISSUED FOR BUILDING PERMIT	JULY 5, 2021	
DESCRIPTION	DATE	

ENGINEER:

Mechways Inc.

ADDRESS : 2751 THANESGATE DRIVE
MISSISSAUGA, ON. L4T 1B5
TEL : 416-667-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

TWO STOREY
DWELLING UNIT AT
11 SALEM CRT,
BRAMPTON, ON

SHEET TITLE:

SITE PLAN

CHECKED: SS

DRAWN: MA

SCALE: 1/4" = 1' - 0"

DATE: JULY 5, 2021



DRAWING:

A0.1

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures
How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, September 9, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Friday, September 10, 2021**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, September 10, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

FILE NUMBER: A-2021-0178

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1.

Name of Owner(s)

ZAHED ASLAM / Rabia Rafique

Address

~~47 FINLAYSON CRES~~ BRAMPTON, ON, L6R0H4

11 Salem Ct, Brampton

Phone #

416-670-4406

Fax #

Email

ZAHID.MAAN1987@GMAIL.COM
2.

Name of Agent

VALIUDDIN MOHAMMED

Address

2751 THAMESGATE DR, MISSISSAUGA, ON, L4T 1G5

Phone #

647-786-5940

Fax #

Email

INFO@MECHWAYS.COM
3.

Nature and extent of relief applied for (variances requested):

A clear 1.2 metre path of travel is required for the Side Entrance whereas 1.03 m is available

A variance of 0.17 m is required.
4.

Why is it not possible to comply with the provisions of the by-law?

A clear 1.2 m path of travel is required for the Side Entrance whereas 1.03 m is available.
5.

Legal Description of the subject land:

Lot Number

PT BLKS 111,133

Plan Number/Concession Number

M1048

Municipal Address

11 SALEM CRT BRAMPTON, ON, L6V4J8
6.

Dimension of subject land (in metric units)

Frontage

8.74 M

Depth

31.60 M

Area

276.22 SQ. M
7.

Access to the subject land is by:

Provincial Highway

☒

Seasonal Road

☐

Municipal Road Maintained All Year

☐

Other Public Road

☐

Private Right-of-Way

☐

Water

☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

GROUND FLOOR AREA = 89.67 sq. m	
GROSS FLOOR AREA = 179.34 sq. m	
NUMBER TO STOREYS = 2	
WIDTH = 6.76 m	
LENGTH = 12.92 m	
HEIGHT = 6.79 m	

PROPOSED BUILDINGS/STRUCTURES on the subject land:

GROUND FLOOR AREA = 89.67 sq. m	
GROSS FLOOR AREA = 179.34 sq. m	
NUMBER OF STOREYS = 2	
WIDTH = 6.76 m	
LENGTH = 12.92 m	
HEIGHT = 6.79 m	

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	6.08 m
Rear yard setback	9.44 m
Side yard setback	LEFT = 1.02 m
Side yard setback	RIGHT = 1.23 M

PROPOSED

Front yard setback	6.08 m
Rear yard setback	9.44 m
Side yard setback	LEFT = 1.02 m
Side yard setback	RIGHT = 1.23 M

10. Date of Acquisition of subject land: 15 NOV 2019
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 1993
15. Length of time the existing uses of the subject property have been continued: SINCE 1993
16. (a) What water supply is existing/proposed?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Well | <input type="checkbox"/> | |
- (b) What sewage disposal is/will be provided?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Septic | <input type="checkbox"/> | |
- (c) What storm drainage system is existing/proposed?
- | | | |
|---------|-------------------------------------|-----------------------|
| Sewers | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Ditches | <input type="checkbox"/> | |
| Swales | <input type="checkbox"/> | |

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File #	Decision	Relief
File #	Decision	Relief
File #	Decision	Relief

Valiuddin
Mohammed

Digitally signed by Valiuddin Mohammed
DN: cn=Valiuddin Mohammed, o=CA,
c=Mechways Inc.,
email=info@mechways.com
Date: 2021.07.13 12:27:30 -0400

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Mississauga

THIS 13th DAY OF July, 2021.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, VALIUDDIN MOHAMMED, OF THE CITY OF MISSISSAUGA

IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Toronto

IN THE Province OF

Ontario THIS 21st DAY OF

July, 2021

A Commissioner etc.

RAMESHBHAI S. PATEL
Barrister, Solicitor & Notary Public
127 Westmore Dr, Unit 101
Toronto, ON M6V 3Y6
Ph: (416) 742-8999

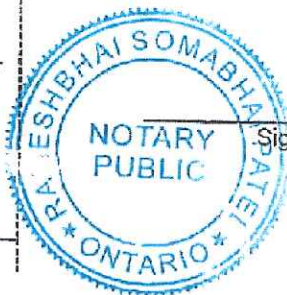
Present Official Plan Designation:

Present Zoning By-law Classification:

Valiuddin
Mohammed

Digitally signed by Valiuddin
Mohammed
DN: cn=Valiuddin Mohammed,
o=CA, o=Mechways Inc.,
email=info@mechways.com
Date: 2021.07.21 14:55:09 -
0400

Signature of Applicant or Authorized Agent



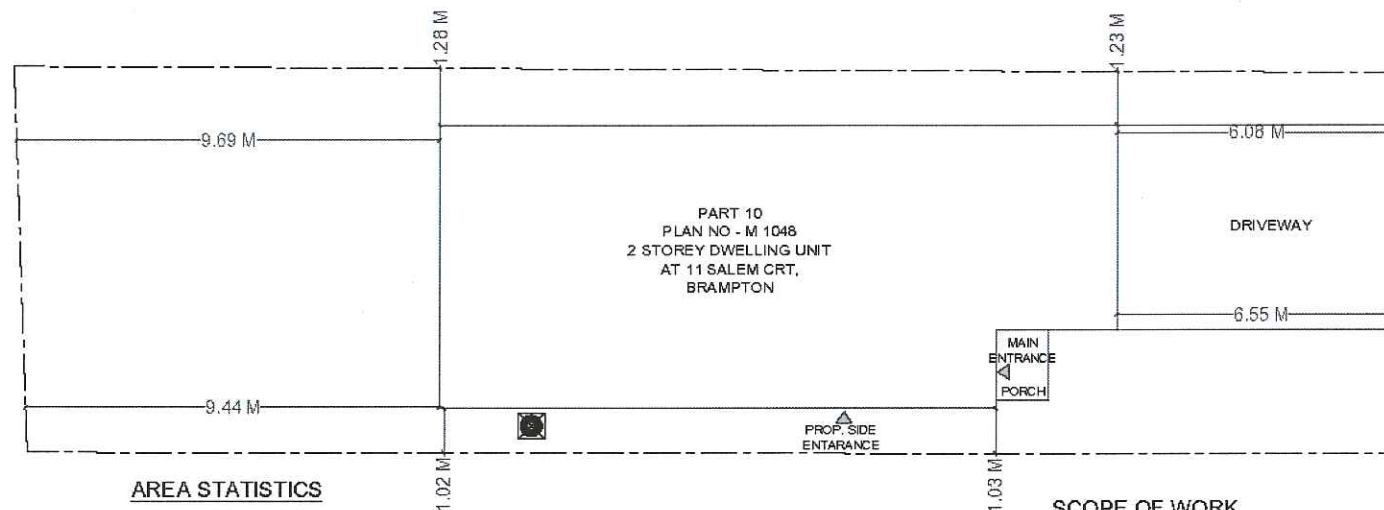
FOR OFFICE USE ONLY

R2A(2) - 283, MATURE

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

HOTHU S.

Date Received: August 5, 2021



AREA STATISTICS

GROSS FLOOR AREA CALCULATIONS

A. BASEMENT

TOTAL BASEMENT GFA = 60.19 m²

ENTRANCE / EGRESS

SCOPE OF WORK

- ① PROP. FINISH BASEMENT
- ② PROP. ONE NEW WINDOW
- ③ ENLARGEMENT OF TWO WINDOWS
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GENERAL NOTES:

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1		
NO.		
ISSUED FOR BUILDING PERMIT	JULY 5, 2021	
DESCRIPTION	DATE	

ENGINEER:

Mechways Inc.

ADDRESS : 2751 THAMESGATE DRIVE
MISSISSAUGA, ON L4T 1S8
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

TWO STOREY
DWELLING UNIT AT
11 SALEM CRT,
BRAMPTON, ON

SHEET TITLE:

SITE PLAN

CHECKED: SS

DRAWN: MA

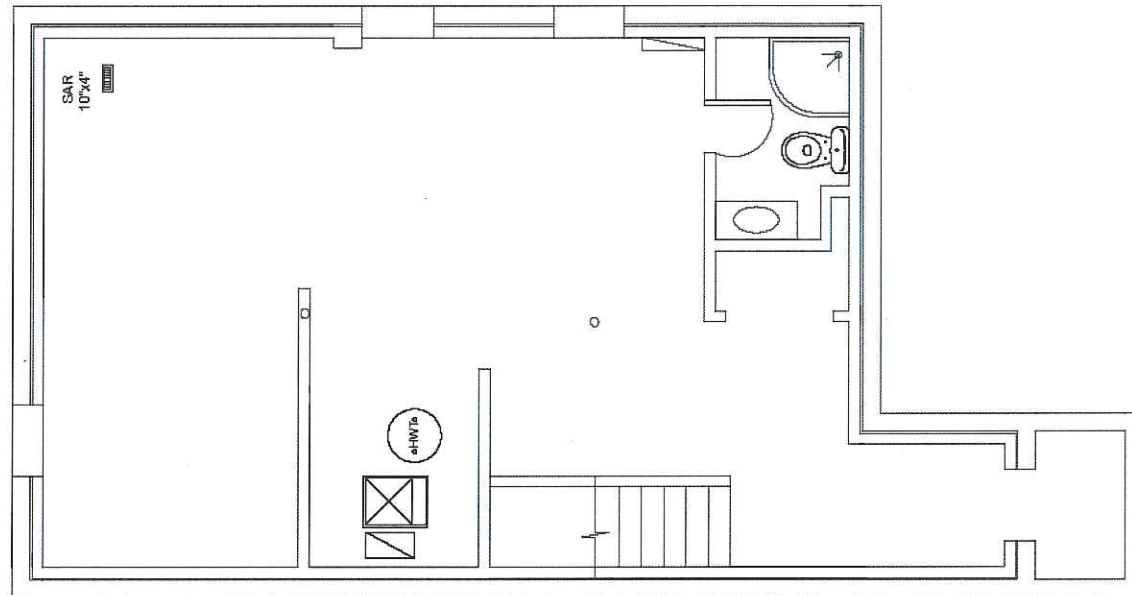
SCALE: 1/8" = 1' - 0"

DATE: JULY 5, 2021



DRAWING:

A0.1



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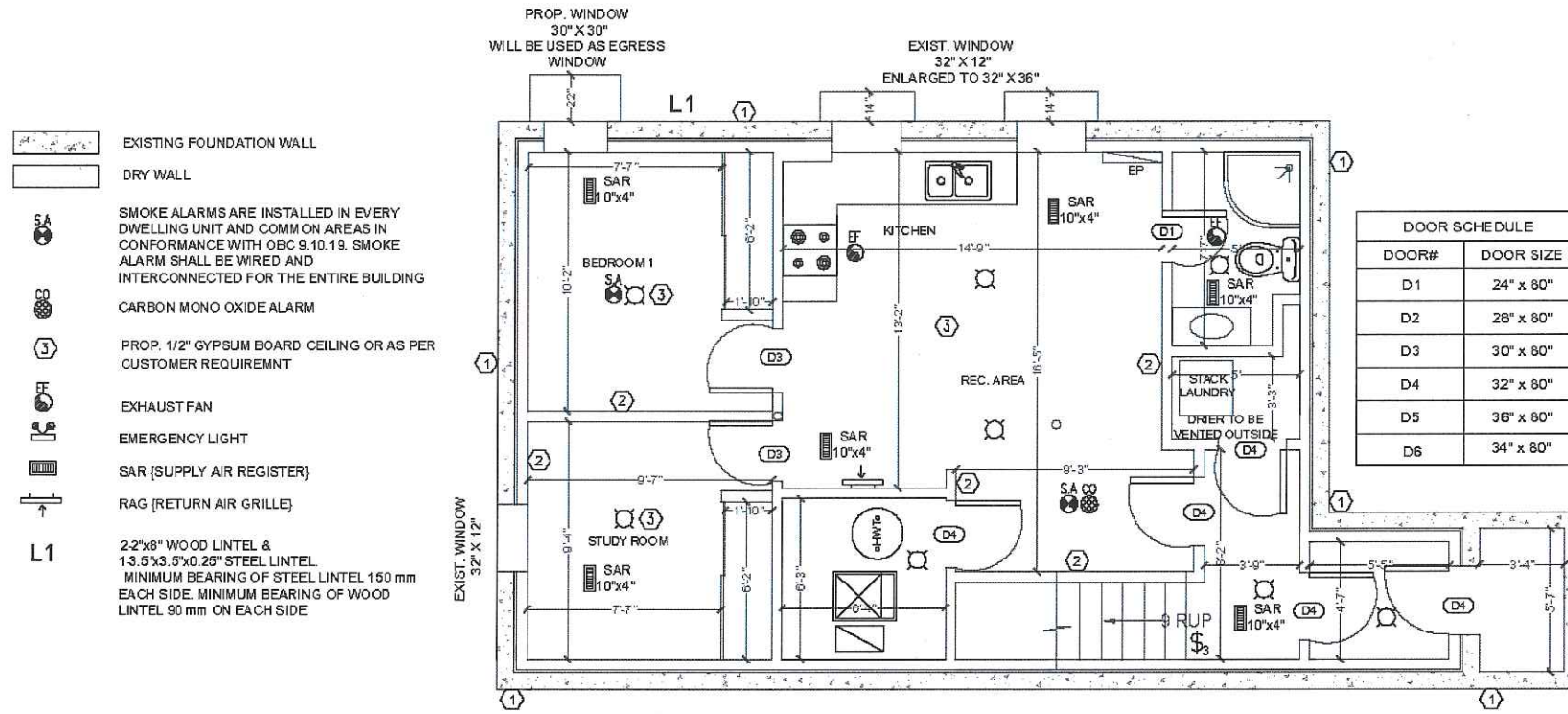
EXIST.
 BASEMENT PLAN

CHECKED: SS
 DRAWN: MA
 SCALE: 1/8" = 1' - 0"
 DATE: JULY 5, 2021



DRAWING:

A1.1



PROP. BASEMENT PLAN

BASEMENT GFA = 647.88 ft² / 60.19 m²
 CEILING HEIGHT = 7'-7"
 CEILING HEIGHT U/S OF DUCT = 6'-8"
 CEILING HEIGHT SHALL NOT BE LESS THAN 6'-5" OVER ALL REQUIRED ROOM AREAS, UNDER BEAMS, DUCTS AND ANY LOCATION NORMALLY USED AS A MEANS OF EGRESS

CALCULATION OF GLASS AREA AS PER COMPLIANCE ALTERNATIVE C107 PART 11 OF OBC 2012				
ROOM TYPE	ROOM AREA (SFT)	GLASS AREA REQUIRED (SFT)	WINDOW SIZE	EXIST. / PROP. GLASS AREA (SFT)
LIVING, DINING & KITCHEN	194.84	@ 5% = 9.74	10 SFT GLASS AREA	10 SFT
BEDROOM 1	97.03	@ 2.5% = 2.42	30" X 30"	4.37

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 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

PROJECT:

TWO STOREY DWELLING UNIT AT 11 SALEM CRT, BRAMPTON, ON

SHEET TITLE:

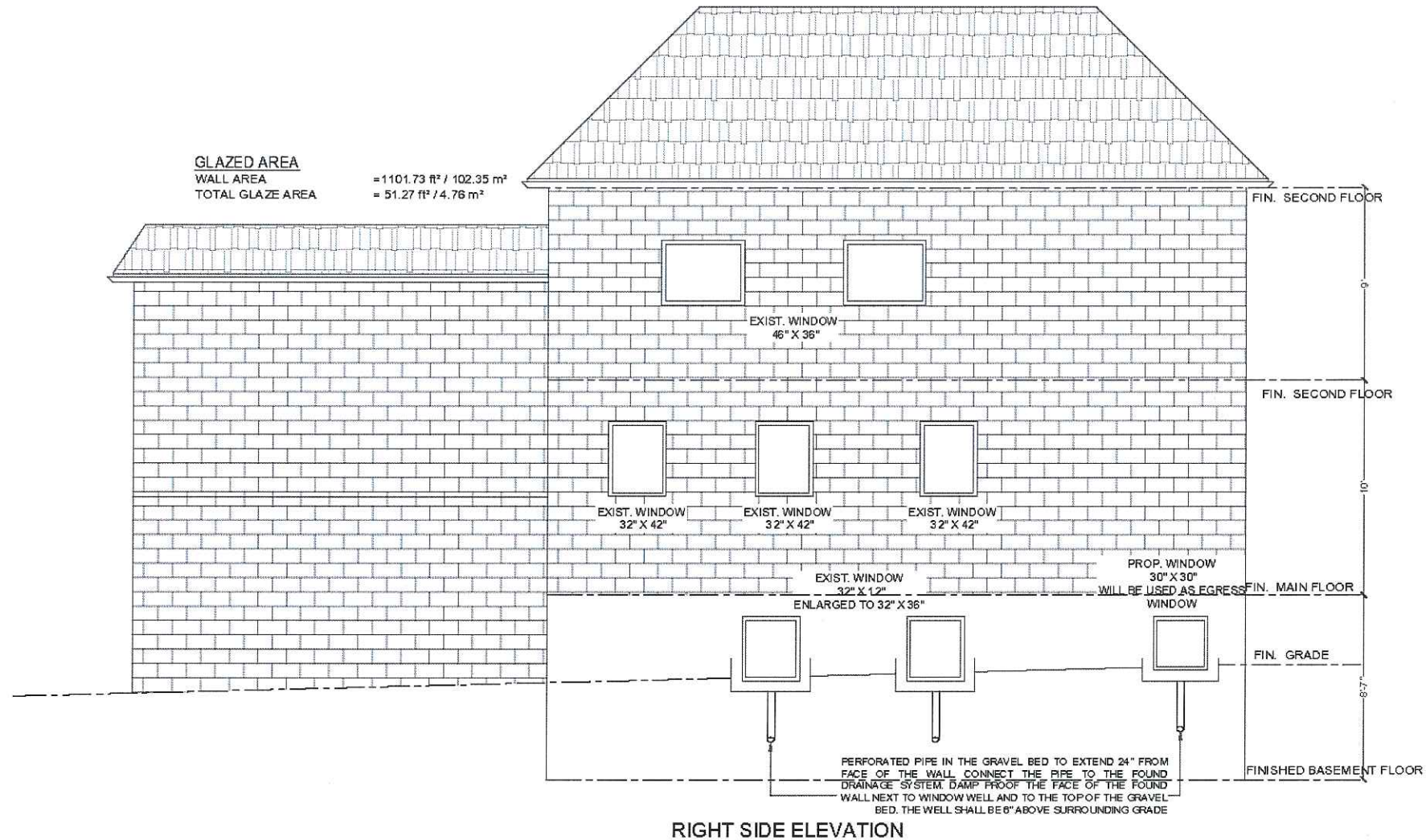
PROP. BASEMENT PLAN

CHECKED: SS
 DRAWN: MA
 SCALE: 1/8" = 1' - 0"
 DATE: JULY 5, 2021



DRAWING:

A1.2



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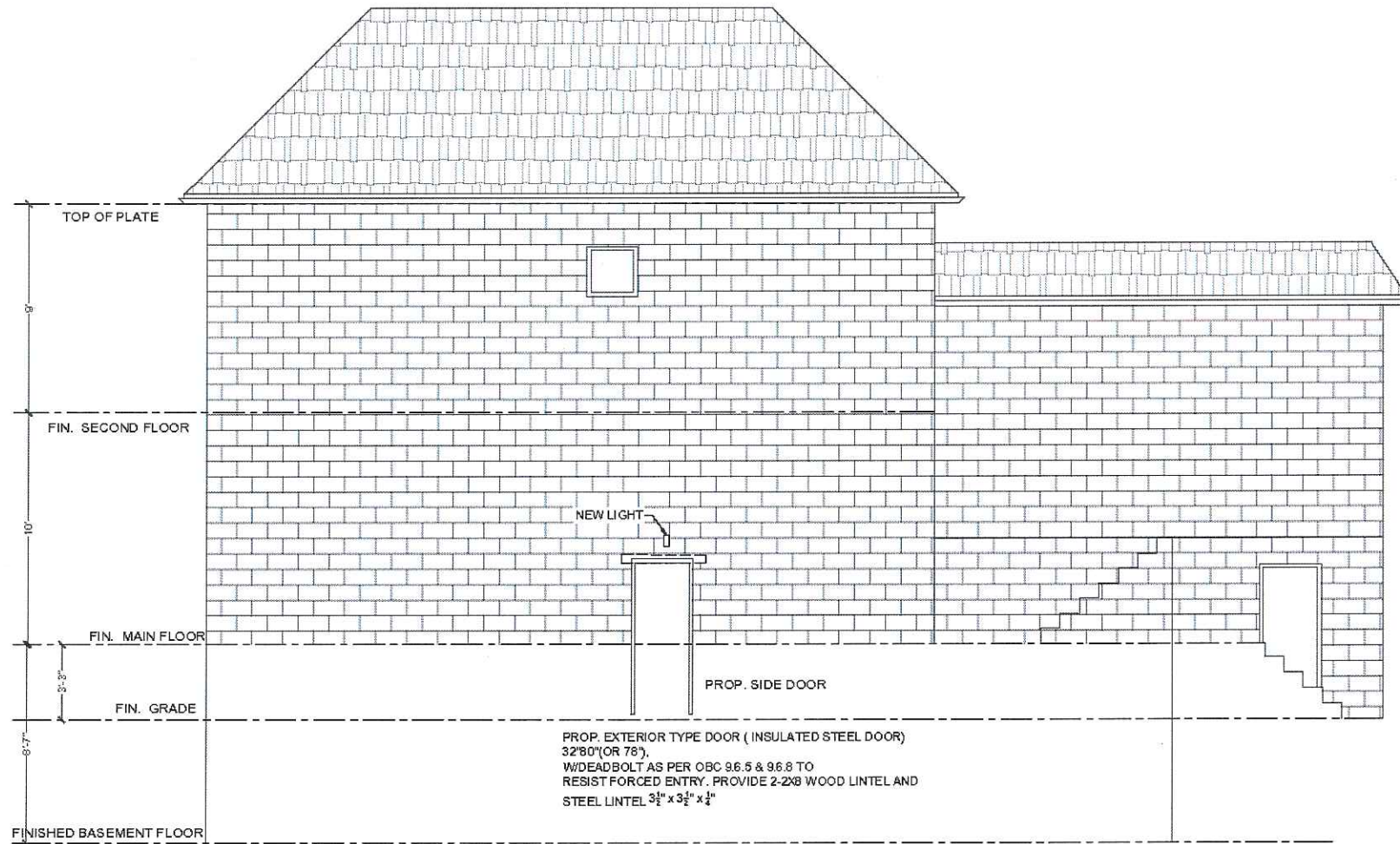
**RIGHT SIDE
ELEVATION**

CHECKED: SS
DRAWN: MA
SCALE: 1/8" = 1' - 0"
DATE: JULY 5, 2021



DRAWING:

A2.1



LEFT SIDE ELEVATION

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SHEET TITLE:

**LEFT SIDE
ELEVATION**

CHECKED: SS
DRAWN: MA
SCALE: 1/4" = 1' - 0"
DATE: JULY 5, 2021



DRAWING:

A2.2

ROOM FINISHED SCHEDULE - BASEMENT										
ROOM NAME	FLOOR		BASE		WALL		CEILING		HEIGHT	REMARKS
	MATERIAL	FININSH	MATERIAL	FININSH	MATERIAL	FININSH	MATERIAL	FININSH		
REC. AREA	WOOD	STAIN	VINYL		DRYWALL	PAINT	GYPSUM BD.	PAINT	2311	
BEDROOM 1	WOOD	STAIN	VINYL		DRYWALL	PAINT	GYPSUM BD.	PAINT	2311	
WASHROOM	CERAMIC	STAIN	VINYL		DRYWALL	PAINT	GYPSUM BD.	PAINT	2311	
UTILITY	CONCRETE		VINYL		DRYWALL	PAINT	GYPSUM BD.			

DOOR SCHEDULE

1. ALL INTERIOR DOORS ARE SLAB DOOR 1 3/8 TH. HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS ARE 78"
2. EGRESS DOOR - EXISTING BELOW GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE

WINDOW SCHEDULE

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m2 W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1M ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS

CONSTRUCTION NOTES

- 1 EXISTING 8" CONC. FOUNDATION WALL MOISTURE BARRIER
2x4 SPF#2 STUDS @ 16" O.C WALL W/6 MIL POLY R12 BATT INSULATION
6MIL POLY VAPOR BARRIER 1/2" GYPSUM BOARD
- 2 NEW/ EXISTING DRYWALL - 1/2" GYPSUM BOARD, ON BOTH SIDES
2"x4" STUDS @ 16" OC
- 3 EXISTING / PROPOSED CEILING
EXISTING CEILING ATTACHED TO BOTTOM OF FLOOR JOISTS OF GROUND FLOOR ASSEMBLY SHALL SATISFIES THE HORIZONTAL FIRE SEPARATION REQUIREMENT 15 MINUTE F.R.R (1/2" GYPSUM BOARD). REMOVE 24"x48" CEILING TILE IF EXIST AND REPLACE WITH 1/2" GYPSUM BOARD CEILING
- 5 EXISTING DUCT WORK LOCATED IN THE CEILING SHALL BE RELOCATED SO THAT THE DIRECTION OF THE HEAT FLOW IS TOWARDS THE FLOOR
- 6 MECHANICAL VENTILATION
24 LS EXHAUST FANS IN KITCHEN AND WASHROOM AND 37.5 LS FOR PRINCIPAL EXHAUST
- 7 IN COMPLIANCE WITH C152(b) SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING AND HAVE A VISUAL SIGNALING COMPONENT
- 8 PROVIDE CARBON MONOXIDE ALARM CONFIRMING TO CAN/CSA-6.19 "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES" ADJACENT TO EACH SLEEPING AREA WITHIN EACH DWELLING UNIT. CARBON MONOXIDE ALARMS MAY BE HARDWIRED, BATTERY OPERATED OR THE TYPE THAT CAN BE PLUGGED INTO ELECTRICAL OUTLET
- 9 FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS AND RESOLVE ANY DISCREPANCIES WITH THE ENGINEER PRIOR TO START OF WORK
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF ONTARIO BUILDING CODE 2012 AND CITY BY-LAWS AND STANDARDS
- IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKMEN HAVING WORKING KNOWLEDGE OF THE APPLICABLE CODE, STANDARDS, INSURANCES AND REQUIREMENTS OF INDUSTRY ACCEPTED STANDARD, AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS.
- BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE DRAWINGS, THE OWNER AND/OR BUILDER ACKNOWLEDGES THAT THE GENERAL NOTES HAVE BEEN READ AND UNDERSTOOD
- THE DRAWINGS PREPARED BY THE DESIGNER IS FOR THE PERMIT IN COMPLIANCE WITH OBC AND CITY BY-LAWS.
- THE DESIGNER IS NOT LIABLE FOR COST INCURRED FOR RE-WORK, ALTERATION, DISCREPANCIES OR ANY KIND OF CONSTRUCTION RELATED WORK
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE NOTICE OF ENGINEER PRIOR TO START OF WORK
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET
- CONTRACTOR TO VERIFY ANY SERVICES OR ANY EQUIPMENT THAT REQUIRES RELOCATION TO BE PLAN IN ADVANCE BEFORE CONSTRUCTION AND IF REQUIRE DISCUSS WITH ENGINEER.

\$

WP

RE

RE

LI

SL

EL

FD

SP

DT

SA

CO

BT

3 WAY SWITCH
INSTALL AT 3'-3" AFF
3 DENOTES 3-WAY SWITCH
SPECIFICATION GRADE WHITE,
WITH WHITE COVER PLATE
SHALL BE INSTALLED AT THE
ENDS OF EACH STAIRWAYS

15A, 120V DUPLEX RECEPTACLE
SPECIFICATION GRADE WHITE,
CW WHITE COVER PLATE
GFI - GROUND FAULT TYPE
WP -WEATHERPROOF COVER
C - ABOVE COUNTER

RECEPTACLE 50A, 208V.
STOVE OR DRIER OUTLET.

RECEPTACLE

LIGHT

SPOT LIGHT

EMERGENCY LIGHT

FD: FLOOR DRAIN

SPRINKLER

DUCT TYPE SMOKE DETECTOR

SMOKE ALARM

CARBON MONOXIDE DETECTOR

EXHAUST FAN

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT
SCALED.
CONTRACTOR MUST VERIFY ALL
DIMENSIONS AND BE RESPONSIBLE
FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE
DESIGNER BEFORE COMMENCING THE
WORK. THE DRAWINGS AND
DOCUMENTS PROVIDED HERE WITHIN
ARE THE EXCLUSIVE PROPERTY OF
MECHWAYS INC. REPRODUCTION OF
THE DOCUMENTS PROVIDED IS
PROHIBITED WITHOUT THE CONSENT
OF THE DESIGNER.
ALL DESIGN AND CONSTRUCTION
DOCUMENTATION ARE FINAL UNLESS
REVISED BY THE DESIGNER. IF ANY
DISCREPANCIES ARE DISCOVERED
HERE WITHIN, THE DESIGNER SHALL
BE NOTIFIED.

SEAL:



1		
NO.		
	ISSUED FOR BUILDING PERMIT	JULY 5, 2021
	DESCRIPTION	DATE

ENGINEER:

Mechways Inc.

ADDRESS : 2751 THAMESGATE DRIVE
MISSISSAUGA, ON. L4T 1G9
TEL. : 416-657-9100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

TWO STOREY
DWELLING UNIT AT
11 SALEM CRT,
BRAMPTON, ON

SHEET TITLE:

GENERAL NOTES

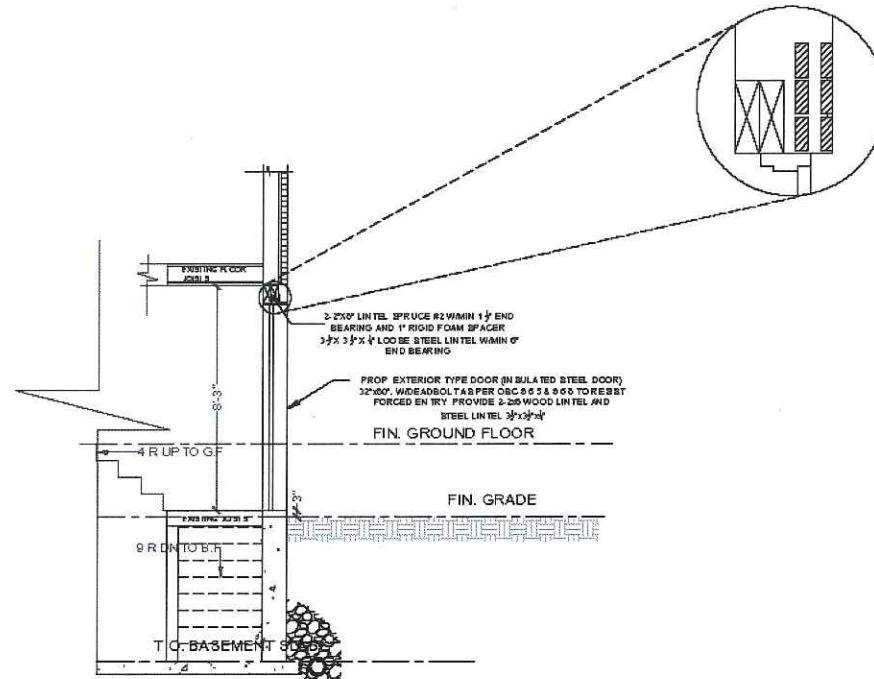
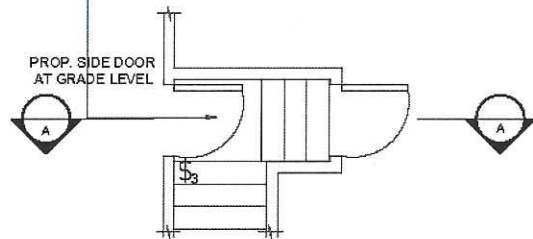
CHECKED: SS
DRAWN: MA
SCALE: N/A
DATE: JULY 5, 2021



DRAWING:

A4.1

NEW EXTERIOR TYPE DOOR (INSULATED STEEL DOOR) 32"x80",
W/DEADBOLT AS PER OBC 9.6.5 & 9.6.8 TO RESIST FORCED ENTRY.
PROVIDE 2-2"x6" WOOD LINTEL AND STEEL LINTEL 3½"x3½"x¼"



GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT
SCALED.
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BE NOTIFIED.

SEAL:



1		
NO.		
ISSUED FOR BUILDING PERMIT	JULY 5, 2021	
DESCRIPTION	DATE	

ENGINEER:

Mechways Inc.

ADDRESS : 2751 THAMESGATE DRIVE
MISSISSAUGA, ON, L4T 1G5
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

TWO STOREY
DWELLING UNIT AT
11 SALEM CRT,
BRAMPTON, ON

SHEET TITLE:

SECTION PLAN

CHECKED: SS

DRAWN: MA

SCALE: 1/8" = 1' - 0"

DATE: JULY 5, 2021



DRAWING:

S 1

DOCUMENTS RELEASED PURSUANT TO A REQUEST
UNDER THE
MUNICIPAL FREEDOM OF INFORMATION AND
PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56
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**SURVEYOR'S REAL PROPERTY REPORT
PART 1
PLAN OF
BLOCKS 132,133,134 AND PART OF BLOCK 135
PLAN 43M-524 AND
BLOCK 111, PLAN 43M-1048
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL**

SCALE 1:250

10m 5m 0 10m 20m

RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S., 1992.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN
BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

DRIVE
VALONIA
(FORMERLY TILDEN WOOD DRIVE BY PLAN 43M-524)
RENAMED BY BY-LAW 233-91, INST. No. LT1298952

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS COMPLETED
ON THE 14th DAY OF OCT., 1992

DATE OCT. 26th, 1992.

T. Singh

T. SINGH

ONTARIO LAND SURVEYOR

NOTES

- DENOTES MONUMENT FOUND
- DENOTES MONUMENT SET
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- PL DENOTES PLAN 43R-19393
- D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- PCL DENOTES PARCEL
- (922) DENOTES SCHAEFFER & REINTHALER LTD., O.L.S.

ALL FOUND MONUMENTS BY A. SKRANDA SURVEYING LTD., O.L.S.
UNLESS NOTED OTHERWISE.

ALL TIES TO CONCRETE FOUNDATIONS.

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE
NORTHEAST LIMIT OF SALEM COURT AS SHOWN ON PLAN 43M-1048
HAVING A BEARING OF N57°10'52"W.

THIS REPORT WAS PREPARED FOR
PARCEL CONSTRUCTION
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY OTHER PARTIES.

PART 2
THIS PLAN MUST BE READ IN
CONJUNCTION WITH SURVEY REPORT
DATED OCT. 26, 1992.



RADY-PENTEK & EDWARD SURVEYING LTD.
ONTARIO LAND SURVEYORS

465 WILSON AVENUE, DOWNSVIEW, ONTARIO
635-5000

DRAWN: Y.W.

CHECKED: T.S.

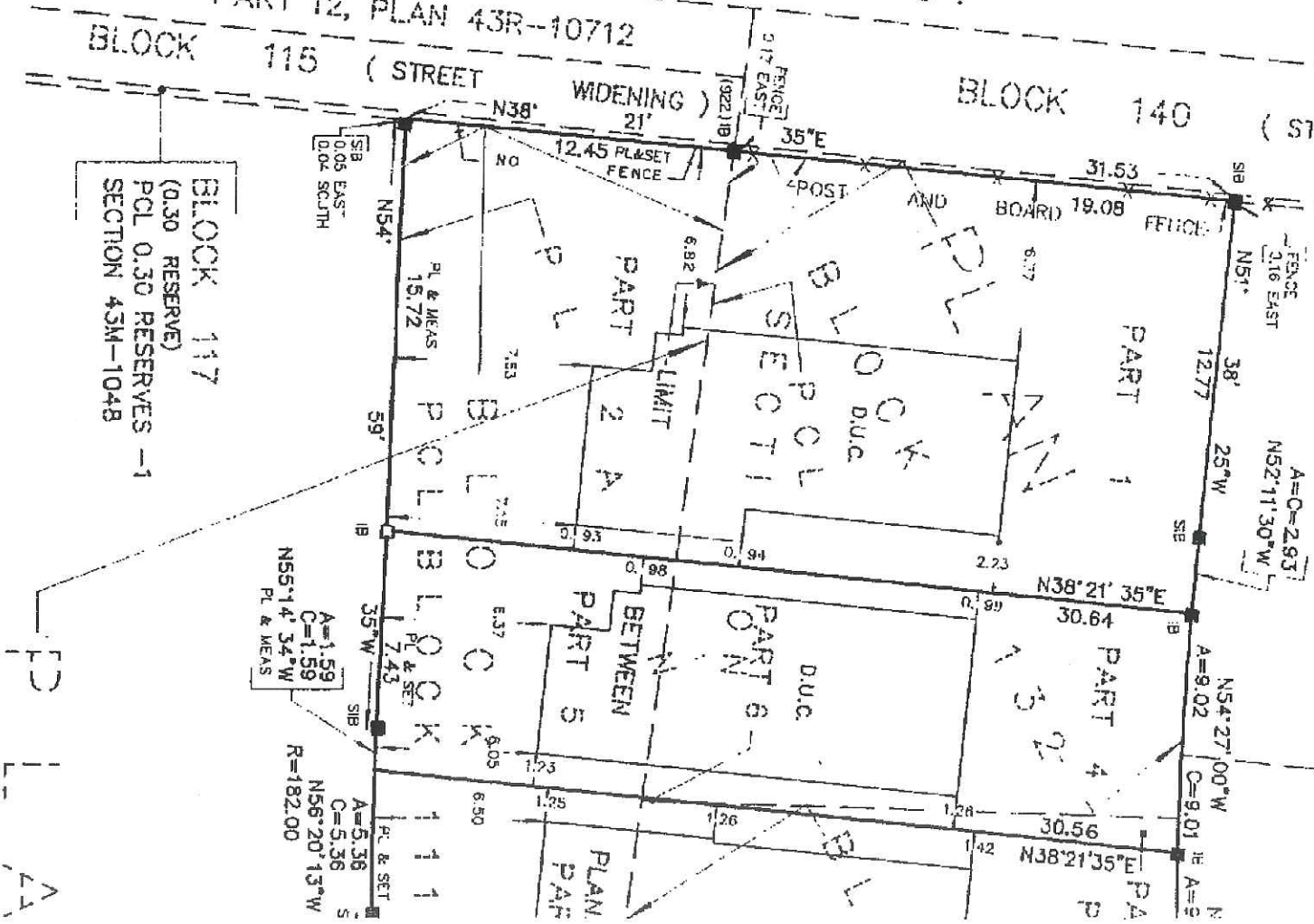
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BOVAIRD
(ROAD ALLOWANCE BETWEEN LOTS 10 AND 11, EAST OF HURONTARIO STREET)
INST.

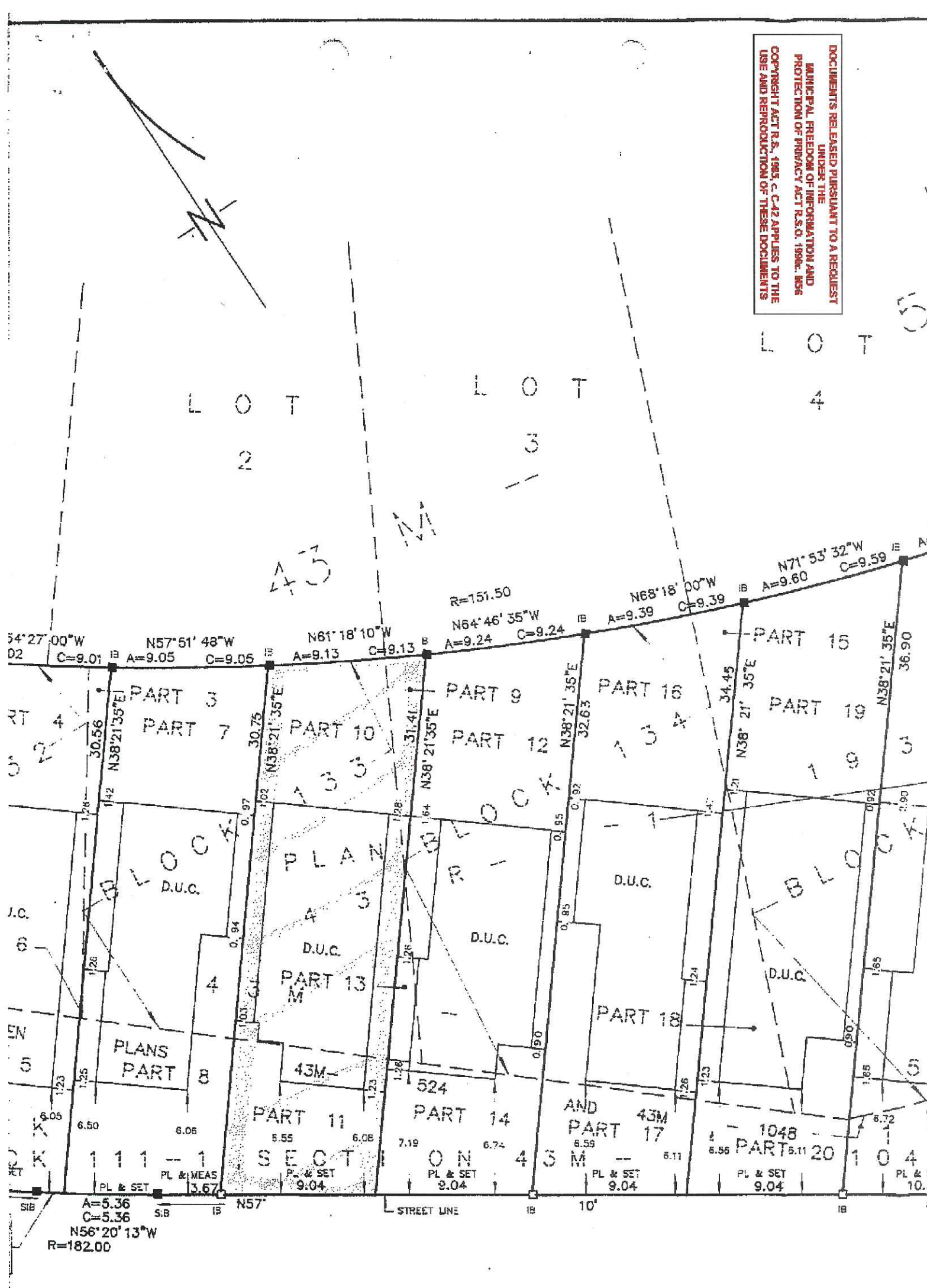
PART 12, PLAN 43R-10712
BLOCK 115 (STREET
BLOCK 140 (STREET
24321 (CHING)
WIDENING)

BLOCK 117
(0.30 RESERVE)
PCL 0.30 RESERVES -1
SECTION 43M-104B

BLOCK 143 (0.30 RESERVE)
PCL 0.30 RESERVES -5
SECTION 43M-524



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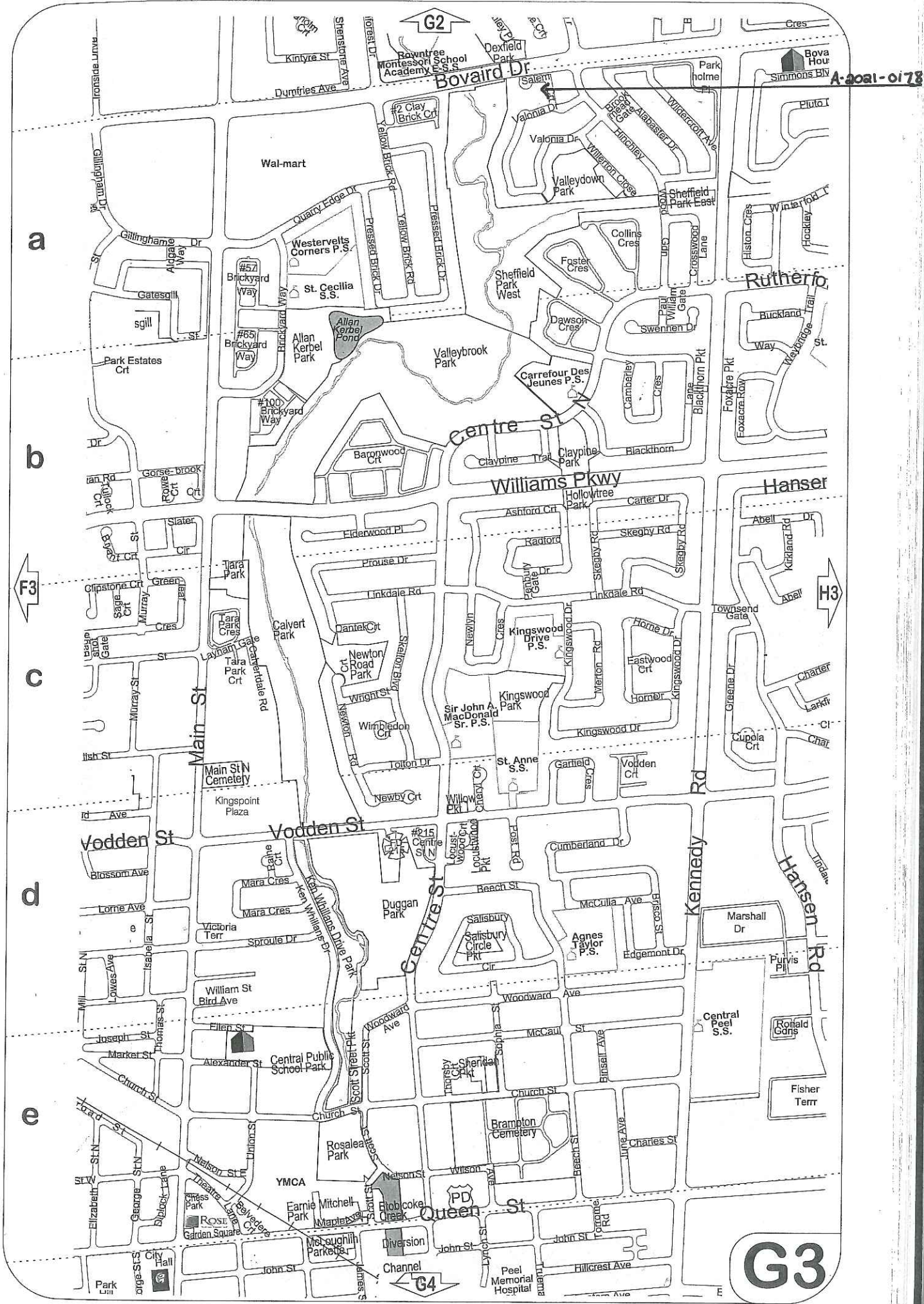
SALEM

COURT

(BY PLAN 43M -- 1048)

PLAN

43M



A-2021-0178

G3