



Committee of Adjustment

APPLICATION FOR MINOR VARIANCE

AND WHEREAS the applicants are requesting the following variance(s):

- Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall
2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



- MAIN ENTRANCE
- SECONDARY ENTRANCE
- BASEMENT ENTRANCE

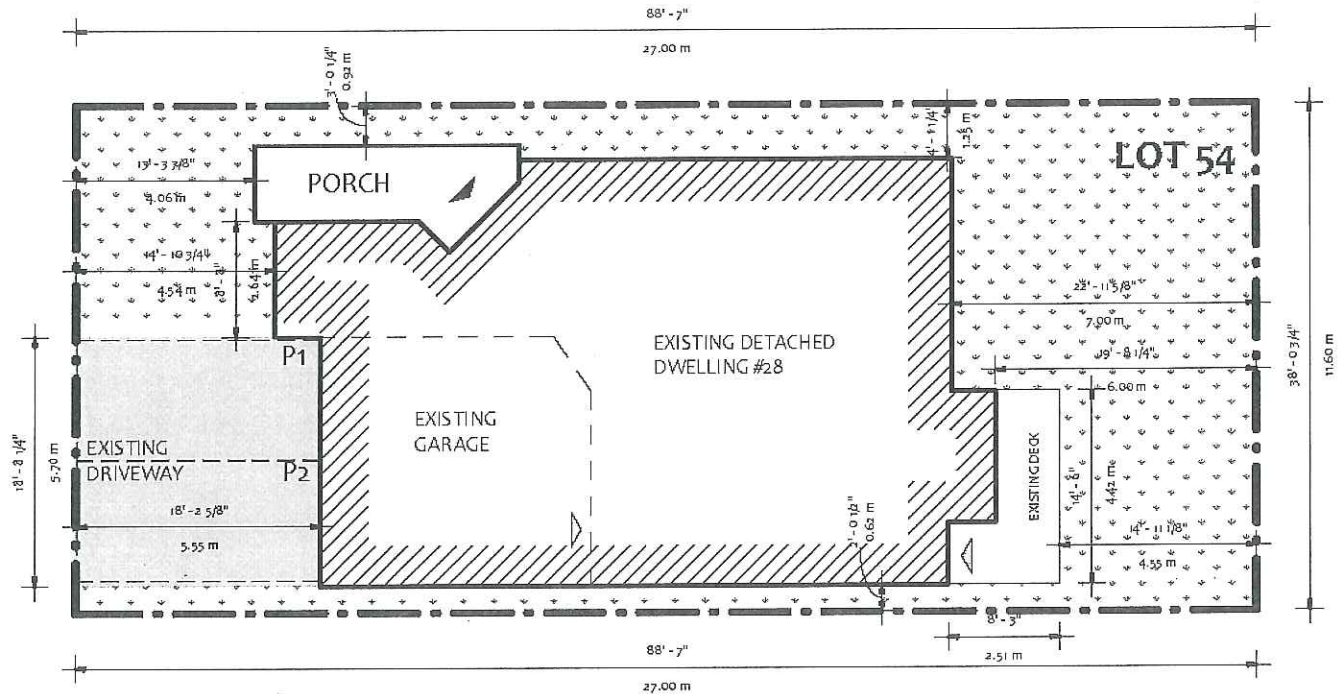
1.0 SITE PLAN
A-02 3/32" = 1'-0"

FLOOR / UNIT AREA	AREA	
	SQFT	SQM
BASEMENT (UNIT 2)	716.95	66.61
BASEMENT (UNIT 1)	416.72	38.71
FIRST FLOOR (UNIT 1)	1139.03	105.82
SECOND FLOOR (UNIT 1)	1504.43	139.77
TOTAL BUILDING AREA	3777.13	350.91

ROOM AREAS - Site	
Name	Area
BASEMENT	
BEDROOM 2	92 SF
MASTER BEDROOM	103 SF
FURNACE	62 SF
W/C	40 SF
LIVING/ DINING/ KITCHEN	318 SF
CLOSET	4 SF
CLOSET	8 SF
REC ROOM	251 SF
STORAGE	76 SF
W/D	9 SF
CLOSET	12 SF
W/C	59 SF
	1036 SF

ROOM AREAS - Site	
Name	Area
MAIN FLOOR	
DINING ROOM	134 SF
HALLWAY	206 SF
CLOSET	7 SF
GARAGE	350 SF
DEN	92 SF
LIVING ROOM	237 SF
BREAKFAST	86 SF
KITCHEN	160 SF
P.R.	27 SF
COVERED PORCH	92 SF
	1391 SF

ROOM AREAS - Site	
Name	Area
SECOND FLOOR	
ENSUITE	62 SF
W.I.C. 2	53 SF
W.I.C. 1	35 SF
BEDROOM 4	133 SF
ENSUITE	75 SF
CORRIDOR	166 SF
BEDROOM 3	207 SF
BEDROOM 2	152 SF
W/C	65 SF
MASTER BEDROOM	286 SF
CLOSET	9 SF
L.C.	10 SF
	1255 SF
Total Building Area: 34	3683 SF



888.238.0658 | 416.483.5303 | 905.821.0728
INFO@YEJSTUDIO.COM
WWW.YEJSTUDIO.COM

BASEMENT SECOND UNIT
28 LOCOMOTIVE CRES
BRAMPTON, ON L7A 0T7

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN, AND
HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE
ONTARIO BUILDING CODE TO BE A DESIGNER.

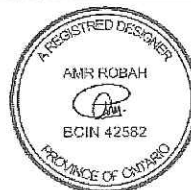
QUALIFICATION INFORMATION

REQUIREMENTS FOR DESIGNER'S EXEMPT UNDER REGULATION 20 OF O.B.C.

NAME
AMR ROBAH

BCIN
42582

PROVINCE OF ONTARIO



SITE PLAN

Project number

Date

21RE500 - 133

2021.06.09

A-02

Drawn by

Scale

D.T

As indicated

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures
How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, September 9, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Friday, September 10, 2021**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, September 10, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



- MAIN ENTRANCE
- SECONDARY ENTRANCE
- BASEMENT ENTRANCE

1.0 SITE PLAN
A-02 3/32" = 1'-0"

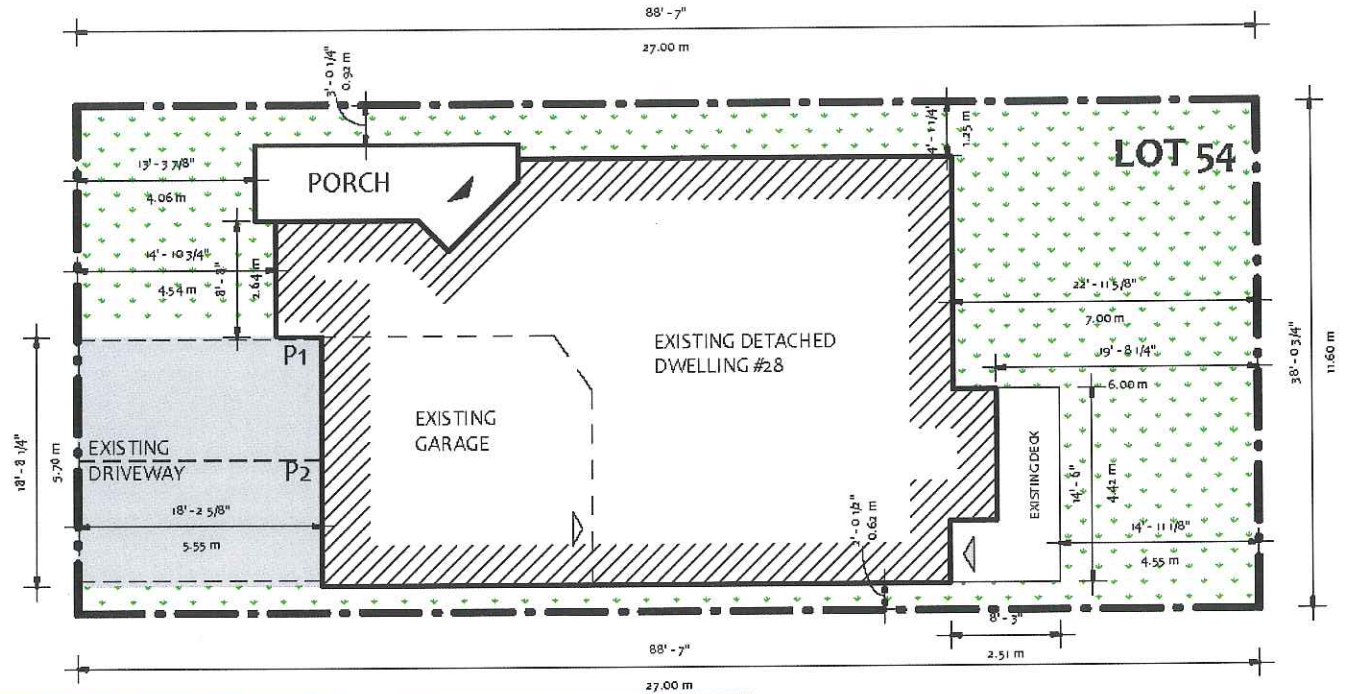
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LOCOMOTIVE CRESC.



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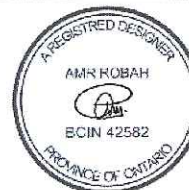
BASEMENT SECOND UNIT

28 LOCOMOTIVE CRES
BRAMPTON, ON L7A 0T7

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ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

NAME: AMR ROBAH
BCIN: 42582
PROFESSION: ARCHITECT



SITE PLAN

Project number

Date

21RE500-133

2021.06.09

A-02

Drawn by

Scale

D.T

As indicated

FILE NUMBER: A-2021-0191

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
 (Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** KONGARA RAM AND SRIDEVI KONGARA
Address 28 LOCOMOTIVE CRES, BRAMPTON ON L7A 0T7
Phone # 416-817-3458 **Fax #** _____
Email ram_kongara@yahoo.com

2. **Name of Agent** AMR ROBAH AT YEJ STUDIO & CONSULTING
Address 250 SHIELDS COURT, UNIT 7, MARKHAM, ON L3R 9T5
Phone # 416-438-5393 **Fax #** _____
Email PERMITS@YEJSTUDIO.COM

3. **Nature and extent of relief applied for (variances requested):**
 TO ALLOW AN ENTRANCE (EXISTING) TO A BASEMENT SECOND UNIT WITH A PATH OF TRAVEL OF 0.92m, WHEREAS THE BY-LAW REQUIRES 1.2m UNOBSTRUCTED PATH OF TRAVEL

4. **Why is it not possible to comply with the provisions of the by-law?**
 THERE IS AN EXISTING PORCH IN THE SIDE YARD THAT HAVE A SIDE YARD SETBACK OF 0.92m, THE EXISITNG ENTRANCE IS IN THE REAR YARD. THE EXISTING PROCH DISTURBS THE CLEAR PATH OF TRAVEL

5. **Legal Description of the subject land:**
Lot Number 54
Plan Number/Concession Number 43M-1878
Municipal Address 28 LOCOMOTIVE CRES, BRAMPTON ON L7A 0T7

6. **Dimension of subject land (in metric units)**
Frontage 11.60m
Depth 27.00m
Area 313.2 SQ.M

7. **Access to the subject land is by:**
 Provincial Highway ☐ Seasonal Road ☐
 Municipal Road Maintained All Year ☒ Other Public Road ☐
 Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

EXISTING DETACHED DWELLING - 2 STOREY
GFA = 350.91 SQ.M

PROPOSED BUILDINGS/STRUCTURES on the subject land:

EXISTING DETACHED DWELLING - 2 STOREY TO REMAIN UNCHANGED
GFA = 350.91 SQ.M

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	4.06m
Rear yard setback	6.07m
Side yard setback	0.62m
Side yard setback	0.92m

PROPOSED

Front yard setback	EXISTING TO REMAIN
Rear yard setback	EXISTING TO REMAIN
Side yard setback	EXISTING TO REMAIN
Side yard setback	EXISTING TO REMAIN

10. Date of Acquisition of subject land: 2019
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 2012
15. Length of time the existing uses of the subject property have been continued: SINCE BUILT

16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Hasan Robah
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 16th DAY OF August, 20 21.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Hasan Robah, OF THE City OF Toronto
IN THE Prov OF Ontario SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 16th DAY OF
August, 20 21

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024

Hasan Robah

Signature of Applicant or Authorized Agent

Submit by Email

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1F - 9 - 2201

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L Barbuta

Zoning Officer

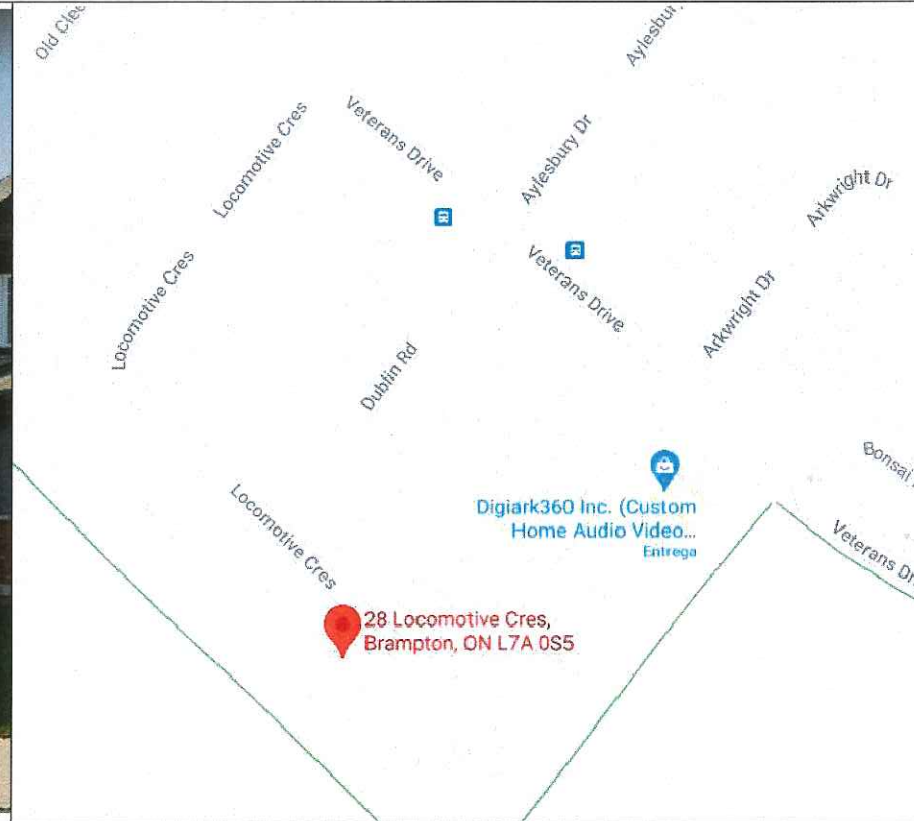
August 16, 2021

Date

DATE RECEIVED

Date Application Deemed
Complete by the Municipality

August 16, 2021
August 16, 2021



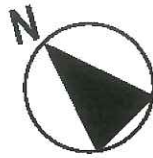
INDEX	
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A-04	EXT. MAIN FLOOR
A-05	EXT. SECOND FLOOR
A-06	PROP. BASEMENT
A-07	PROP. MAIN FLOOR
A-08	PROP. SECOND FLOOR
A-09	SECTIONS
A-10	SCHEDULES
AN-01	GENERAL NOTES
AN-02	CONSTRUCTION NOTES
AN-03	CONSTRUCTION NOTES

BASEMENT SECOND UNIT

RAM KONGARA

28 LOCOMOTIVE CRESC.

BRAMPTON, ON L7A 0T7



- MAIN ENTRANCE
- SECONDARY ENTRANCE
- BASEMENT ENTRANCE

L.O
A-02
SITE PLAN
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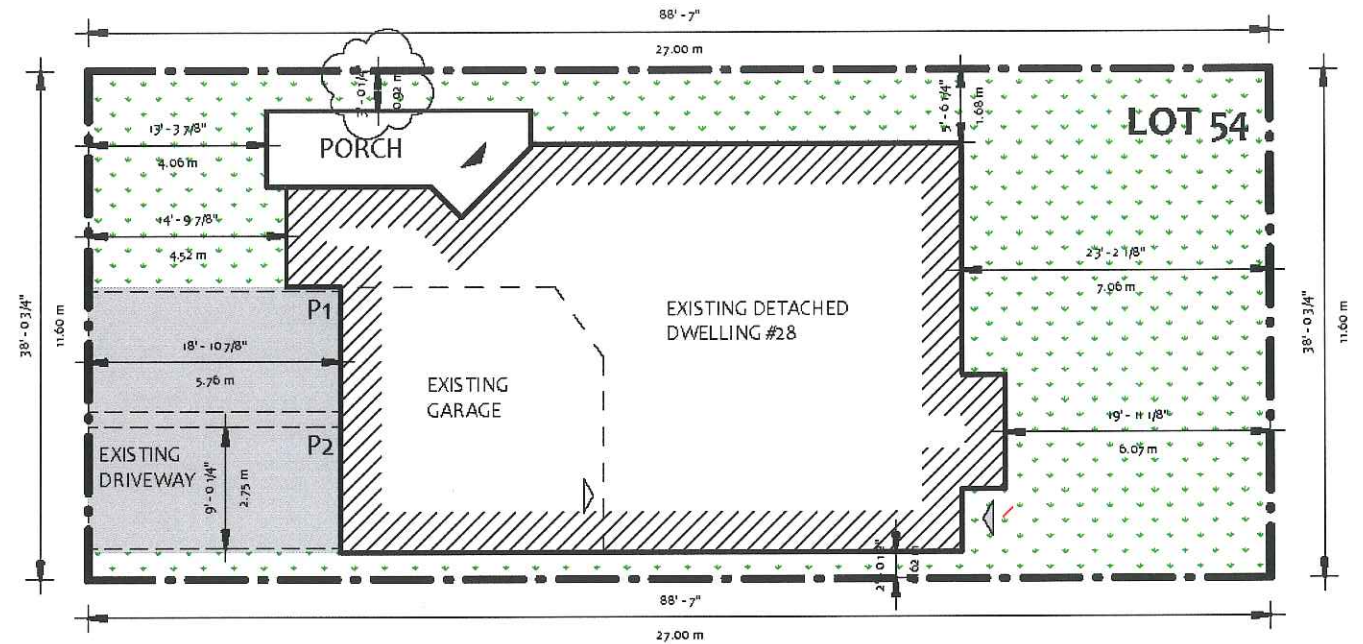
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LOCOMOTIVE CRESC.



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BASEMENT SECOND UNIT

28 LOCOMOTIVE CRES
BRAMPTON, ON L7A 0T7

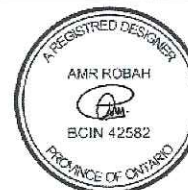
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QUALIFICATION INFORMATION

ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF THE DESIGNER AND IS NOT TO BE
REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL,
INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL
SYSTEM, WITHOUT PERMISSION IN WRITING FROM THE DESIGNER.

NAME
AMR ROBAH

BCIN
14582



SITE PLAN

Project number

Date

21RE500 - 133

2021.06.09

A-02

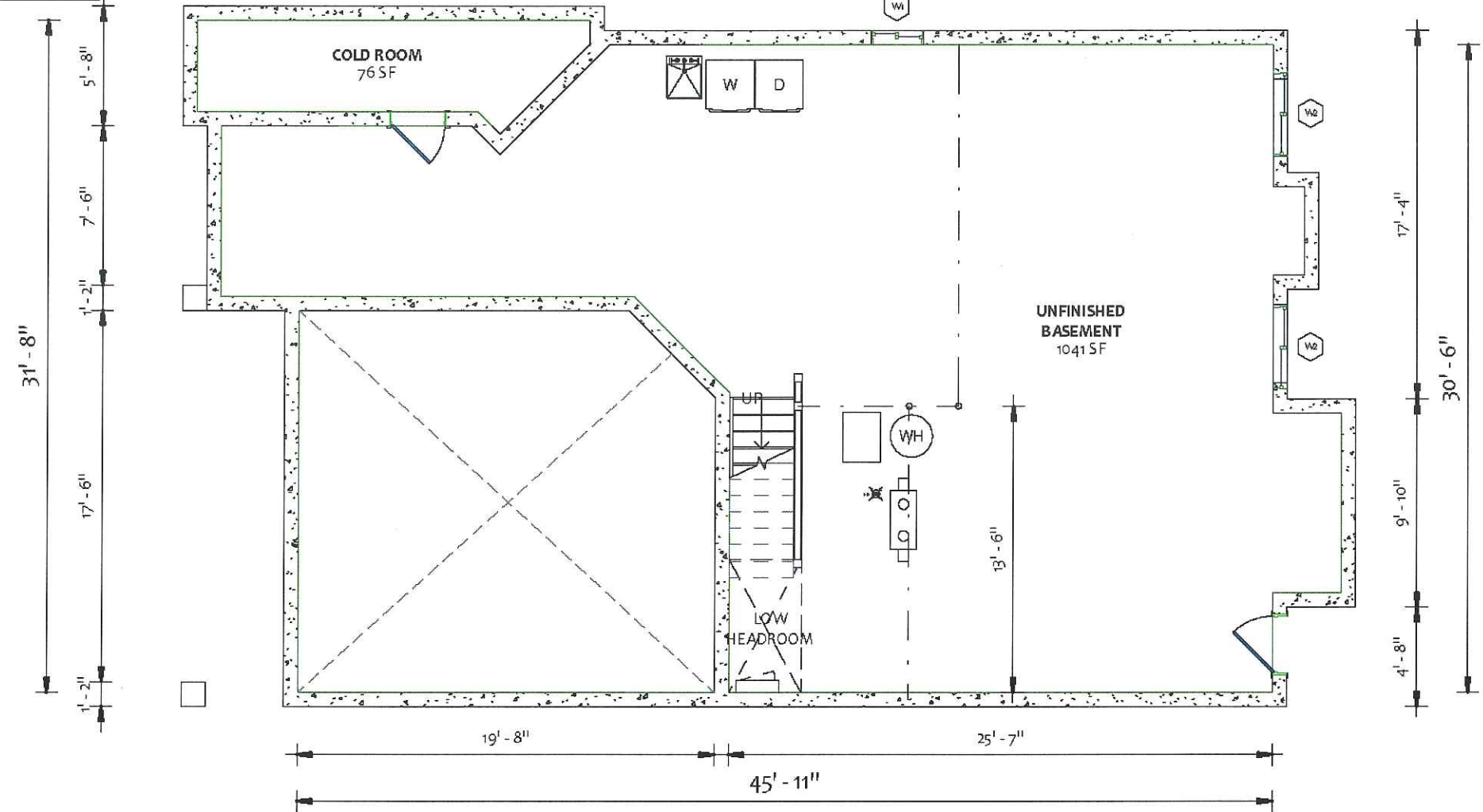
Drawn by

Scale

D.T

As indicated

WINDOW SCHEDULE EXISTING				
Type	Width	Height	Phase Created	Level
W1	2' - 6"	2' - 0"	Existing	BASEMENT
W2	4' - 0"	3' - 4"	Existing	BASEMENT
W2	4' - 0"	3' - 4"	Existing	BASEMENT
Grand total: 3				



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QUALIFICATION INFORMATION
 REQUIREMENTS FOR DESIGNER IN THE MECHANICAL DIVISION "M" OF O.B.C.
 NAME: AMR ROBAH
 REG. NO.: BCIN 42582
 BCIN 42582



EXT. BASEMENT

Project number

Date

21RE500-133

2021.06.09

A-03

Drawn by

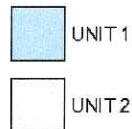
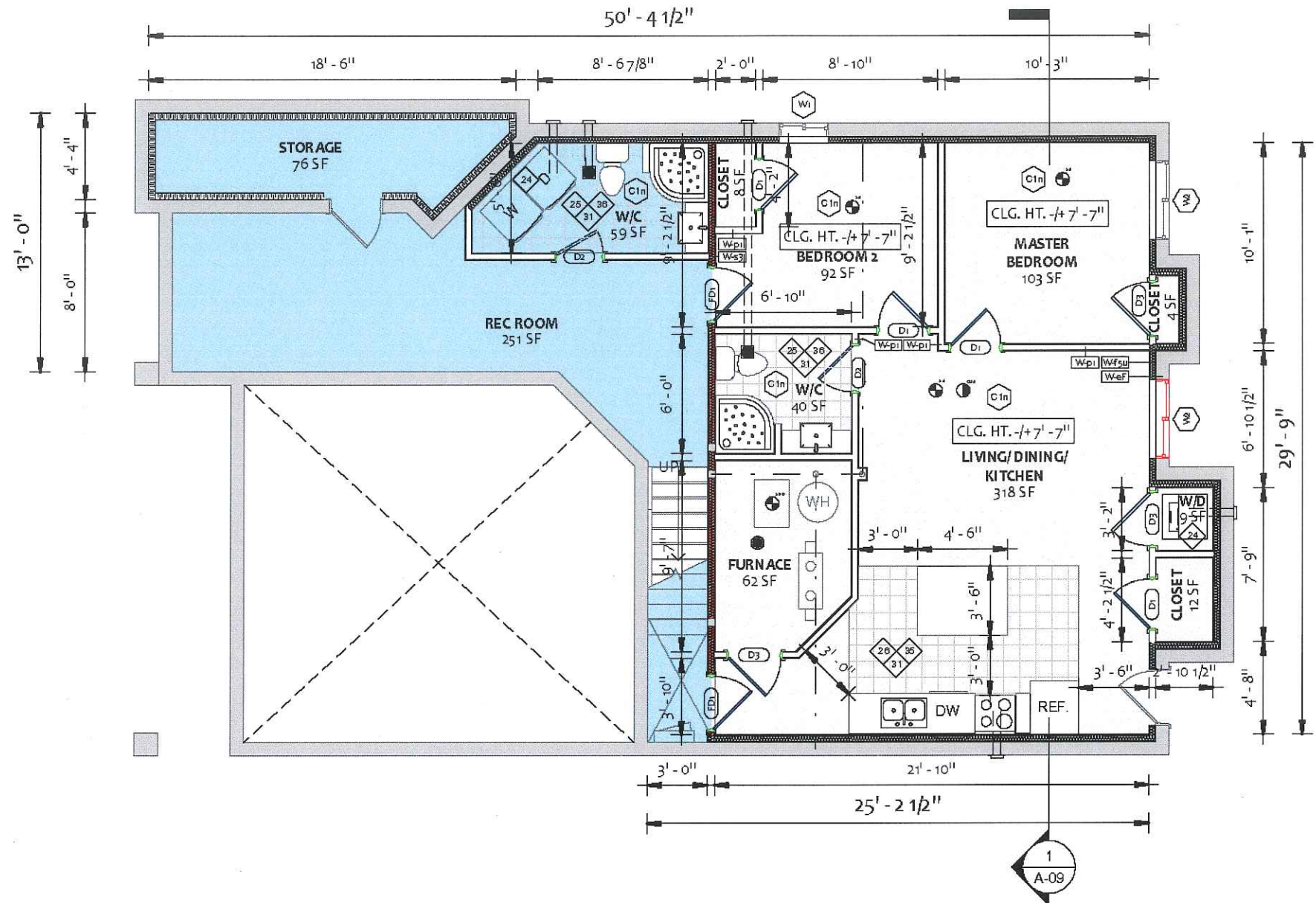
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D.T

3/16" = 1'-0"

- C.A. #152 APPLIED FOR VERTICAL & HORIZONTAL FIRE SEPARATION FOR RESIDENTIAL SUITES. 15 MIN FOR HORIZONTAL & 30 MIN VERTICAL.

- C.A. #153 APPLIED FOR FURNACE ROOM FIRE SEPARATION. SPRINKLER HEAD IS PROVIDED. FIRE SEP. NOT REQUIRED.



ALL PLUMBING MUST CONFORM TO O.REG.
332/12, DIV. B PART 7 OF THE OBC.

ENSURE MINIMUM 30MIN FIRE RESISTANCE RATING AROUND ALL BEAMS AND COLUMNS.



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QUALIFICATION INFORMATION

NAME
AVRECOBAIL



Date _____

2021.06.09

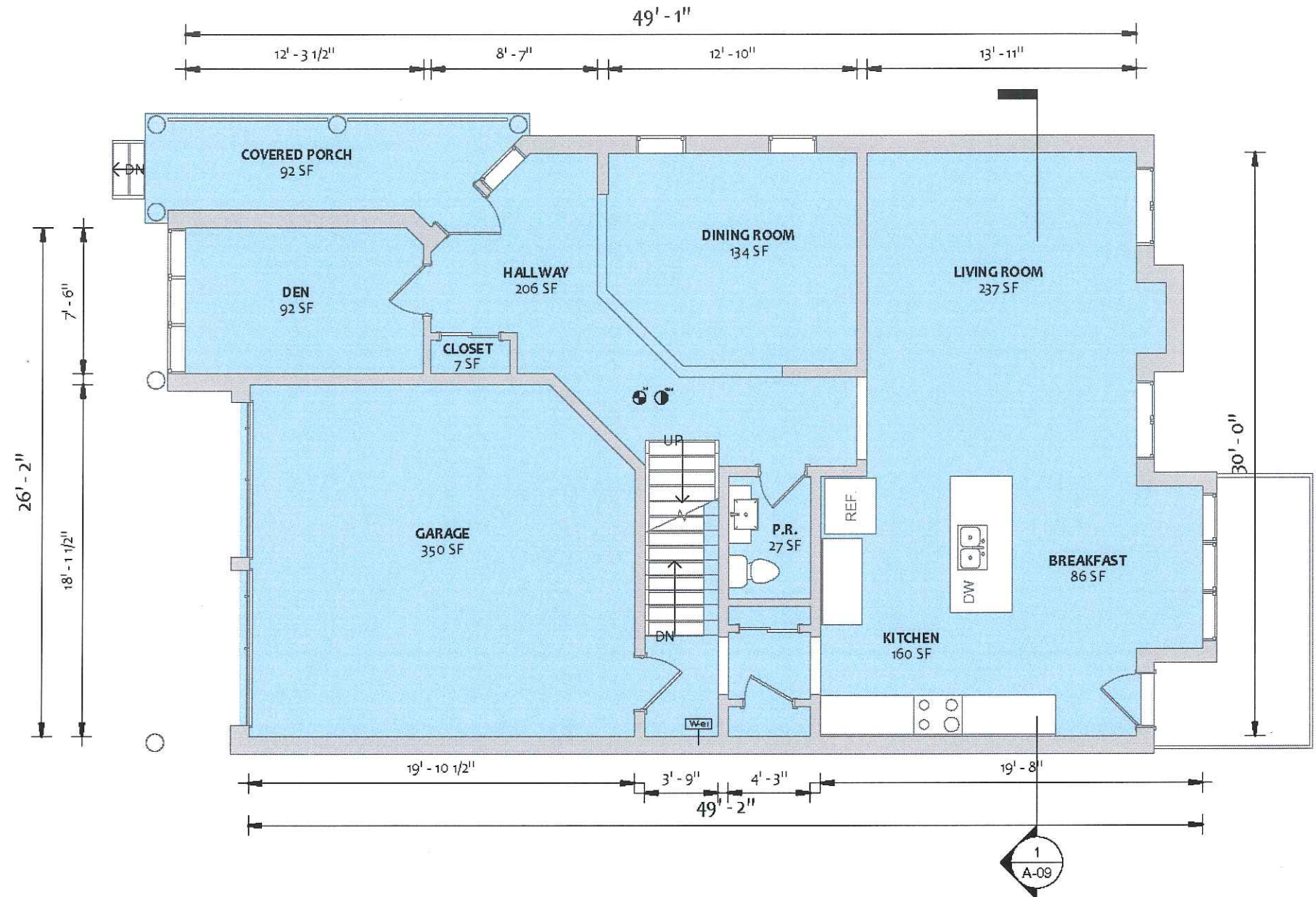
A-06

Drawn by

A.H.

Scale

$$\frac{3}{16}'' = 1'-0''$$



UNIT 1

ALL PLUMBING MUST CONFORM TO O.REG. 332/12, DIV. B PART 7 OF THE OBC.

ALL SMOKE ALARMS TO BE INTERCONNECTED WITHIN EACH UNIT AND WITH THE DETECTORS.

ENSURE MINIMUM 30MIN FIRE RESISTANCE RATING AROUND ALL BEAMS AND COLUMNS.



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BASEMENT SECOND UNIT

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QUALIFICATION INFORMATION
REGISTERED DESIGNER IN THE PROFESSION OF ARCHITECTURE
NAME: AMR ROBAH
A/R: ROBAH
BCIN: 42582
4/2/20



PROP. MAIN FLOOR

Project number

Date

21RE500-133

2021.06.09

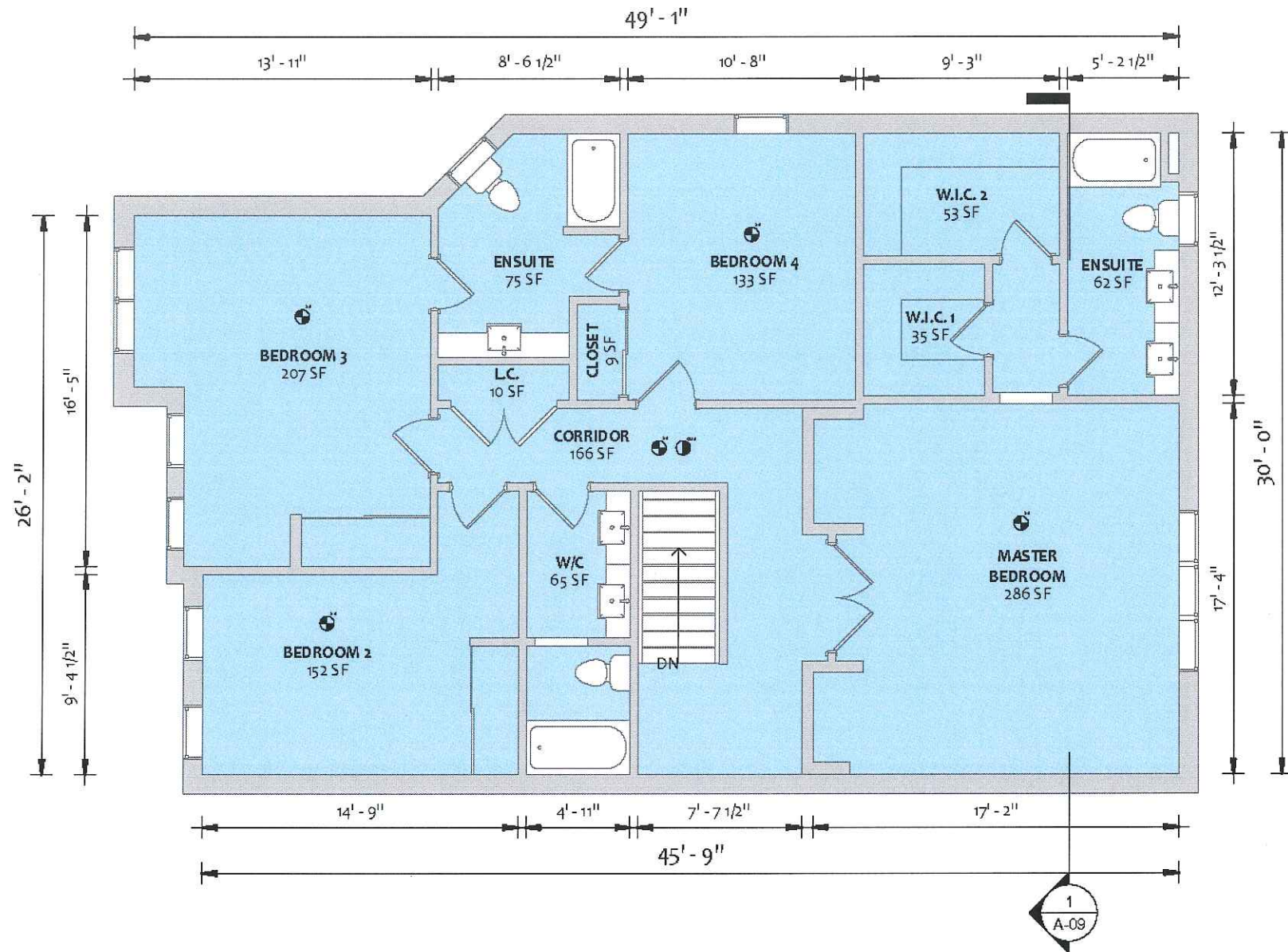
A-07

Drawn by

Scale

H.R.

3/16" = 1'-0"



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QUALIFICATION INFORMATION
 REQUIREMENTS FOR DESIGNER'S SIGNATURE AND SEAL OF DESIGNER'S PROFESSIONAL REGISTRATION
 NAME: AMR ROBAH
 A-08
 BCIN: 42582
 4/1/2024



PROP. SECOND FLOOR

Project number

21RE500-133

Date

2021.06.09

A-08

Drawn by

A.H.

Scale

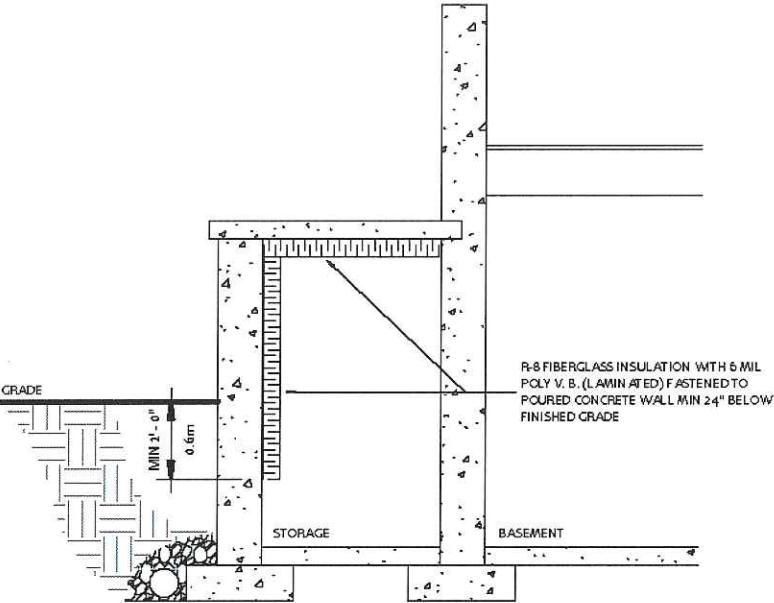
3/16" = 1'-0"

9.10.16.1. REQUIRED FIRE BLOCKS IN CONCEALED SPACES:

1. CONCEALED SPACES IN INTERIOR WALLS, CEILINGS, FLOORS AND CRAWL SPACES SHALL BE SEPARATED BY FIRE BLOCKS FROM CONCEALED SPACES IN EXTERIOR WALLS AND ATTIC OR ROOF SPACES.

2. FIRE BLOCKS SHALL BE PROVIDED AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES IN INTERIOR COVERED CEILINGS, DROP CEILINGS AND SOFFITS WHERE THE EXPOSED CONSTRUCTION MATERIALS WITHIN THE CONCEALED SPACES HAVE A SURFACE FLAME-SPREAD RATING GREATER THAN 25.

3. FIRE BLOCKS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF EACH RUN OF STAIRS WHERE THEY PASS THROUGH A FLOOR CONTAINING CONCEALED SPACE IN WHICH THE EXPOSED CONSTRUCTION MATERIALS WITHIN THE SPACE HAVE A SURFACE OF FLAME-SPREAD RATING GREATER THAN 25.



2
A-09
FINISHED COLD CELLAR
3/8" = 1'-0"

1
A-09
BUILDING CROSS SECTION
3/16" = 1'-0"



YEJ
STUDIO CONSULTING

888.230.9008 | 416.483.5393 | 905.821.0728
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BASEMENT SECOND UNIT

28 LOCOMOTIVE CRES
BRAMPTON, ON L7A 0T7

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED BY THE ONTARIO BUILDING CODE, SECTION 9.1.1 OF THE O.B.C.

NAME
AMR ROBAH

BCIN
42582



SECTIONS

Project number
21RE500 - 133

Date
2021.06.09

A-09

Drawn by
A.H.

Scale
As indicated

DOOR SCHEDULE						
Type	Ct.	Level	Width	Height	Phase Created	Comments
D1	1	BASEMENT	2' - 6"	6' - 8"	New Construction	
D1	1	BASEMENT	2' - 6"	6' - 8"	New Construction	
D1	1	BASEMENT	2' - 6"	6' - 8"	New Construction	
D1	1	BASEMENT	2' - 6"	6' - 8"	New Construction	
D2	1	BASEMENT	2' - 4"	6' - 8"	New Construction	
D2	1	BASEMENT	2' - 4"	6' - 8"	New Construction	
D3	1	BASEMENT	2' - 8"	6' - 8"	New Construction	
D3	1	BASEMENT	2' - 8"	6' - 8"	New Construction	
D3	1	BASEMENT	2' - 8"	6' - 8"	New Construction	
FD1	1	BASEMENT	2' - 8"	6' - 8"	New Construction	
FD1	1	BASEMENT	2' - 8"	6' - 8"	New Construction	
Grand total: 11						

WINDOW SCHEDULE						
Type	Ct.	Level	Width	Height	GLASS AREA	Phase Created
W1	1	BASEMENT	2' - 6"	2' - 0"	4.50 SF	Existing
W2	1	BASEMENT	4' - 0"	3' - 4"	12.00 SF	Existing
W2	1	BASEMENT	4' - 0"	3' - 4"	12.00 SF	Existing
Grand total: 3						

BASEMENT (UNIT2)						
No.	Elevation	Room Name	Room Area (sqft)	Req. Win. %	Req. Win. Area (sqft)	Glass Area (sqft)
W2		MASTER BEDROOM	103 sqft	2.5 %	2.575 sqft	12 sqft
W1		BEDROOM 2	92 sqft	2.5 %	2.3 sqft	4.5 sqft
W2 EX.		LIVING / DINING / KITCHEN	317 sqft	5 %	15.85 sqft	17.51 sqft

STRUC. ELEMENTS	
LINTEL SCHEDULE	
NO.	DESCRIPTION
H1	2 - 2x8
H2	3 - 2x8
H3	2 - 2x10
H4	3 - 2x10
H5	2 - 2x12
H6	3 - 2x12
L7	L-5 x 3 1/2 x 5/16
L8	L-5 x 5 x 5/16
L9	L-5 x 5 x 1/2

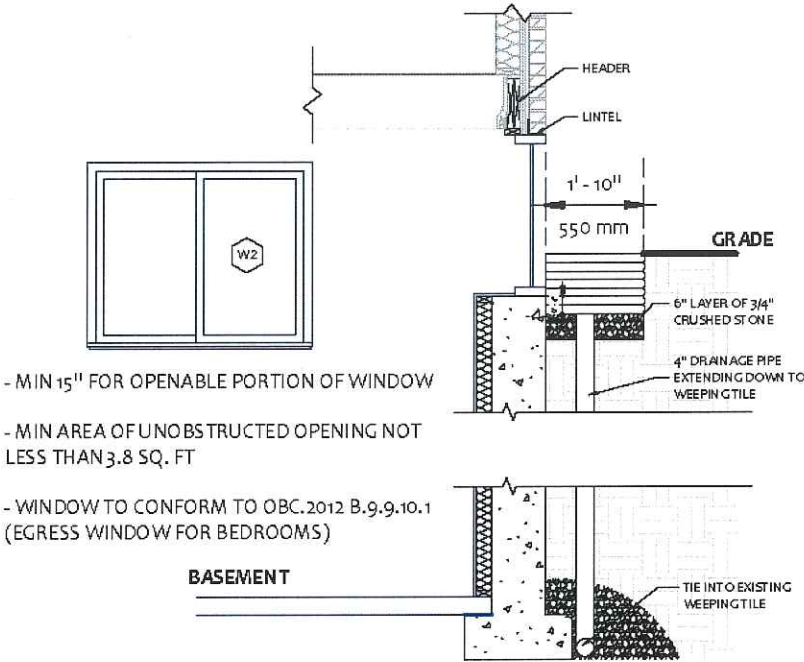
WALL SCHEDULE

	Wef EXISTING FOUNDATION WALL
	Wex EXISTING EXTERIOR WALL
	Wep EXISTING STUD PARTITION WALL
	Wpi NEW INTERIOR - STUD PARTITION - 1/2" GYPSUM WALL BOARD - 2" x 4" @ 16" o.c. WOOD STUDS - 1/2" GYPSUM WALL BOARD
	Wfsu EXTERIOR - BASEMENT INSULATED STUD WALL - EXT. CONT. R-12 INSULATION TO REMAIN - NEW 2" x 4" @ 16" o.c. STUDS - NEW AIR/VAPOUR BARRIER - NEW 1/2" GYPSUM WALL BOARD
	Wsi NEW INTERIOR - 30min FIRE SEP. (Wic) - 1 LAYER 1/2" REGULAR GWB - 2" x 4" WOOD STUDS @ 16" o.c. - ROXUL INSULATION IN CAVITIES - 1 LAYER 1/2" REGULAR GWB

CEILING SCHEDULE

	G1n FULL HT CLG - 15 MIN. FIRE SEPARATION (C.A.#152) - EX. FLOOR FINISH - EX. FLOOR JOIST - OPTIONAL INSULATION IN CAVITIES - 1 LAYER 1/2" GYPSUM BOARD * NOTE: NO OPENINGS ARE PERMITTED * PART 11 COMPLIANCE ALTERNATIVE APPLIED
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	G2 BULKHEAD 15 min FIRE SEPARATION - NEW 1 LAYERS 1/2" GYPSUM BOARD * NOTE: NO OPENINGS ARE PERMITTED
--	---



1
A-10 D17.2 - EGRESS WINDOW BSMT - WINDOW/ELL
3/8" = 1'-0"

SCHEDULES

Project number 21RE500-133
Date 2021.06.09

A-10

Drawn by A.H.
Scale As indicated

GENERAL NOTES :

I. ALL CONSTRUCTION SHALL MEET WITH THE LATEST REQUIREMENTS OF:

- AUTHORITIES HAVING JURISDICTION.
- ZONING RESTRICTIONS AND COMMITTEE OF ADJUSTMENT DECISIONS.
- ONTARIO BUILDING CODE
- ONTARIO REGULATIONS UNDER THE HEALTH AND PROMOTION ACT.
- ONTARIO FIRE CODE
- ALL SUPPLIERS SPECIFICATIONS RE: THE TECHNICAL METHODS TO USE MATERIALS AND THE SAFEST SYSTEM TO INSTALL BREAKABLE OR HANGING MATERIALS SUCH AS GLASS OR LIGHT FIXTURES ETC.

II. CONTRACTOR SHALL:

- CONFIRM ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES OR ERRORS TO THE ARCHITECT AND THE PARTIES INVOLVED.
- WORK ONLY FROM THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS THAT ARE STAMPED AND SIGNED BY THE ARCHITECT.
- RETAIN A CERTIFIED SURVEYOR TO CHALK OUT ALL PROPERTY LINES, BUILDING BOUNDARIES AND LIMITATIONS AND CONFIRM GRADES OF THE LOT.
- PRIOR TO EXCAVATION, TAKE PRECAUTION IN SUCH A MANNER TO PREVENT DAMAGE TO ADJACENT PROPERTIES, EXISTING STRUCTURE, UTILITIES, ROADS AND SIDEWALKS.
- PRIOR TO CONSTRUCTION CHECK WITH ALL INSPECTORS OF ALL AUTHORITIES HAVING JURISDICTION ON THE PROJECT REGARDING SCHEDULES OF INSPECTIONS AND ARRANGE FOR THEIR SITE VISITS AND CALL ALL UTILITY COMPANIES (GAS, HYDRO, CABLE, WORKS DEPT., etc.) TO CHECK ALL EXISTING LINES, PIPES, TREES,
- PROVIDE ALL REQUIRED LATERAL FRAMING SUPPORTS (TO ENSURE RIGIDITY AND STURDINESS) THAT DO NOT SHOW ON DRAWINGS
- NOT PLACE MATERIALS NOR PLACE OR OPERATE EQUIPMENT IN OR ADJACENT TO AN EXCAVATION IN A MANNER THAT MAY ENDANGER THE INTEGRITY OF THE EXCAVATION OR ITS SUPPORTS.
- NOT SCALE DRAWINGS UNLESS OTHERWISE MENTIONED
- COMPLY BY SOIL REPORT WHENEVER APPLICABLE.
- USE ONLY APPROVED SUPPLIERS & INSTALLERS

III. SHOP DRAWINGS:

- THE REVIEW OF SHOP DRAWINGS IS FOR THE SOLE PURPOSE OF ASCERTAINING CONFORMANCE WITH THE GENERAL DESIGN CONCEPT. IT SHALL NOT MEAN APPROVAL OF THE DETAIL DESIGN INHERENT IN THE SHOP DRAWING, RESPONSIBILITY FOR WHICH SHALL REMAIN WITH THE CONTRACTOR SUBMITTING SAME, AND SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR MEETING ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR DIMENSIONS TO BE CONFIRMED AND CORRECTED AT THE JOB SITE, FOR INFORMATION THAT PERTAINS SOLELY TO FABRICATION, PROCESSES OR TO TECHNIQUES OF CONSTRUCTION AND INSTALLATION AND OR COORDINATION OF THE WORK OF ALL SUB-TRADES.
- ALL SHOP DRAWINGS SHALL BE STAMPED BY THE MANUFACTURER'S STRUCTURAL ENGINEER PRIOR TO SUBMITTING FOR REVIEW BY ARCHITECT.
- SEQUENCE OF SHOP DRAWINGS REVIEW: - CONTRACTOR - STRUCTURAL ENGINEER - ALL OTHER INVOLVED CONSULTANTS - ARCHITECT
- SHOP DRAWINGS SHALL BE PROVIDED FOR: - STEEL - PREFAB. CONC. - CANOPIES - WINDOWS - DOORS

GENERAL NOTES :

IV. RENOVATION AND ADDITION CONSTRUCTION:

- REPAIR ALL DEFECTIVE OR DAMAGED CONDITIONS IN BUILDING AND SITE THEN FINISH THEM TO MATCH
- ALL EXISTING CONSTRUCTION SHALL BE ALL FINISHED UNLESS OTHERWISE MENTIONED, CHECK WITH ARCHITECT.

V. BONDING EXISTING TO NEW CONSTRUCTION:

- PROVIDE 1/2" DIA. X 6" LONG ANCHOR BOLTS SPACED 3'-0" O/C VERTICALLY OR HORIZONTALLY BETWEEN EXISTING AND NEW STUDS AND ROOF FRAMINGS.
- PROVIDE OVERLAPPED VERTICAL JOINTS BETWEEN EXISTING AND NEW MASONRY VENEERS, WALLS AND FOUNDATION.
- SAND BLASTED AREA SHALL BE FINISHED WITH A CLEAR SEALANT.

CONSTRUCTION SPECIFICATIONS

1. WOOD

- ALL WOOD CONSTRUCTION SHALL BE IN ACCORDANCE WITH CSA 086
- BEAMS AND LINTELS & JOISTS SHALL BE KILN DRIED, STAMPED SPRUCE #2, UNLESS OTHERWISE MENTIONED.
- ALL WOOD MEMBERS WHICH ARE PLACED IN SOIL SHOULD BE PRESSURE TREATED WITH A WOOD PRESERVATIVE.
- ALL EXTERIOR WOOD SHALL BE STAINED OR PAINTED.

2. CONCRETE

- SHALL COMPLY WITH CSA A23 SERIES INCL. COLD WEATHER CONCRETING.
- MINIMUM COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE: 25 MPA AND 35 MPA FOR LOADING DOCK AND FOR ALL EXPOSED CONCRETE AFTER 28 DAYS WITH AIR ENTRAINMENT 6 %
- MAXIMUM SLUMP 3"
- PROVIDE SEALANT-TOPPED EXPANSION JOINT BETWEEN EXISTING AND NEW CONCRETE FLOORS.
- REINFORCEMENT SHALL CONFORM CSA 30.12 GRADE 58

3. STEEL

- SHALL CONFORM TO CSA STANDARDS & CAN 3-G40.21 (STRUCTURAL STEEL QUALITY)
- SHALL BE TREATED ON THE OUTSIDE SURFACE WITH AT LEAST ONE COAT OF RUST INHIBIT PAINT.
- ALL EXPOSED STEEL SHALL BE GALVANIZED.
- STEEL GRADE
 - i) HOLLOW SECTION: G 40.21-M 350W
 - ii) I BEAMS & COLUMNS: G 40.21-M 350W
- O.W.S.J. : LIVE LOAD DEFLECTION SHALL NOT EXCEED 1/360 OF SPAN, TOTAL LOAD DEFLECTION SHALL NOT EXCEED 1/300 OF SPAN.
- WELDING SHALL COMPLY WITH CSA W59 AND EXECUTED BY CERTIFIED WELDER.
- ALL BOLTS A 325 BOLTS.
- FOR ALL STEEL FABRICATION, PROVIDE SHOP DRAWINGS AND CALCULATIONS STAMPED BY P. ENG.

CONSTRUCTION SPECIFICATIONS

4. MINIMUM STRUCTURAL BEARING

(PROVIDE 2 SOLID MASONRY BLOCKS BELOW BEARING)

- WOOD JOIST: 2"
- WOOD BEAMS: 4"
- STEEL BEAM: 8"
- STEEL LINTEL: 8"
- O.W.S.J. : 6" ON MASONRY & 2 1/2" ON STEEL & SHALL HAVE 4" DEEP SHOES

5. MASONRY

- SHALL HAVE 1000 PSI MIN. CRUSHING STRENGTH.
- PROVIDE GALVANIZED STANDARD BLOCK-LOK EACH 2ND COURSE.
- VERTICAL JOINTS SHALL BE STAGGERED & CORNERS INTERLOCKED.
- PROVIDE SHOP DRAWINGS STAMPED BY P. ENG. FOR STONE VENEER & PREFAB PANELS.
- VERTICAL CRACK CONTROL JOINTS (DESIGNED TO RESIST MOISTURE PENETRATION AND KEYED TO PREVENT RELATIVE DISPLACEMENT OF THE WALL PORTIONS ADJACENT TO THE JOINT) SHALL BE PROVIDED IN FOUNDATION WALLS MORE THAN 82'-0" LONG AT INTERVALS OF 50'-0" MAX. AND FLUSH WITH OPENING JAMBS.

6. FOUNDATION

- FOOTING AND SONO TUBE FOUNDATION SHALL BEAR ON UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL (TO 98 % STANDARD PROCTOR DENSITY) CAPABLE OF A BEARING OF 3000 PSF, SOIL SHALL BE CHECKED BY SOIL ENGINEER
- DEPTH OF FOOTING ARE PROVISIONAL & SUBJECT TO VERIFICATION ON SITE BY A SOIL ENGINEER.
- ALL EXTERIOR (OR EXPOSED TO EXTERIOR) WALLS, PARTITION, COLUMNS SHALL BE PROVIDED WITH 4'-0" DEEP FOUNDATION.
- PROVIDE 5/8" DIA. X 16" LONG ANCHOR TIES (8" IN NEW CONSTRUCTION).
- TOP TWO COURSES OF CONCRETE BLOCKS SHALL BE FILLED WITH CONCRETE.
- PROVIDE MIN 8"X2'-0" WIDE STRIP FOOTING BELOW ANY INTERIOR LOAD BEARING WALL

7. COLUMNS

- SHALL BE SECURELY FASTENED TO CENTER OF FOUNDATIONS AND TO THE SUPPORTED MEMBERS TO PREVENT LATERAL MOVEMENT.

8. DESIGN LOADS

UN FACTORED DESIGN LOADS

1. SNOW LOAD = kPa (PART 4 DESIGN, S_s = 2.0 kPa, S_r = 0.4 kPa)
2. ROOF DEAD LOAD = 0.75 kPa
3. SECOND FLOOR DEAD LOAD = 0.75 kPa
4. MAIN FLOOR DEAD LOAD = 1.0 kPa
5. OCCUPANCY LIVE LOAD = 1.9 kPa
6. WIND PRESSURE q(1/50) = 0.44 Kpa
7. ASSUMED SOIL BEARING CAPACITY = 75 kPa
8. GUARDS TO BE BUILT ACCORDING TO OBC 2012 SB-7



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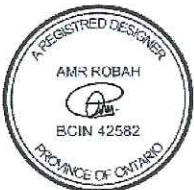
BASEMENT SECOND UNIT

**28 LOCOMOTIVE CRES
BRAMPTON, ON L7A 0T7**

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

REGISTERED PROFESSIONAL ENGINEER IN THE PROVINCE OF ONTARIO
NAME: AMR ROBAH
BCIN: 42582



GENERAL NOTES

Project number: 21RE500-133
Date: 2021.06.09

AN-01

Drawn by: A.R.
Scale:

CONSTRUCTION NOTES

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECS AND TO CONFORM TO ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODE AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS ONT. REG. 35.0/06

1 ROOF CONSTRUCTION

N2:10 ROOF ASPHALT SHINGLES ON 1/8" PLYWOOD SHEATHING WITH H-CLIPS, APPROVED WOOD TRUSSES @24" O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 3" FROM EDGE OF ROOF AND MIN. 12" INNER FACE OF EXTERIOR WALL. 2"x4" TRUSS BRACING @6' O.C. BOTTOM. COR. PREFIN. ALUM. EAVES TROUGH, FASCIA & VENTED SOFFIT. ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES.

2 STONE VENEER WALL CONSTRUCTION

4" FACE STONE, 1" AIR SPACE 0.03 THICK X 7/8" WIDE GALVANIZED METAL TIES INSTALLED W/ GALVANIZED SPIRAL NAILS 32" O.C. HORIZ., 16" O.C. VERT. SHEATHING PAPER, LAYERS TO OVERLAP EACH OTHER ON 12" EXTERIOR TYPE SHEATHING. 2"x6" WOOD STUDS @16" O.C. R24 BATT INSULATION IN CONTINUOUS CONT. ACT W/ SHEATHING AND VAPOUR BARRIER (AIR BARRIER BOULE PLAT AT THE TOP, SINGLE PLATE AT THE BOTTOM).

3 STONE VANEER @ FDN. WALL

20 MM POLY FLASHING MINIMUM 6" UP BEHIND SHEATHING PAPER, WEEPING HOLES @ MIN 2'-0" APART

4 STUCCO WALL CONSTRUCTION

3 COATS OF STUCCO FINISH ON STUCCO LATH ON 1/2" T&G EPS INSULATION BOARD FASTENED WITH NAILS OF MIN 3/2 MM DIA. W/ MIN 11.1 MM HEAD SAPPED @ MAX. 6" O.C. VERTICALLY AND 16" O.C. HORIZONTALLY OR 4" O.C. VERTICALLY AND 24" HORIZONTALLY ON SHEATHING PAPER. @ NOT LESS THAN 8" ABOVE FINISHED GROUND

5 WOOD SIDING WALL CONSTRUCTION

FRAME WALL CONSTRUCTION FINISH WITH VYNEL SIDING SIDING PAPER LAYERS TO OVERLAP EACH OTHER EXTERIOR TYPE SIDING ON 2X6 WOOD STUDS @ 16" O.C. DOUBLE PLATE AT THE TOP SINGLE PLATE @ BOTTOM R24 BATT INSULATION IN CAVITIES.

6 FOUNDATION WALLS

BITUMINOUS DAMPROOFING ON 1/4" PAVING ON 10" CONCRETE BLOCKS FDN. WALL TOP COURSE FILLED W/ CONCRETE PROVIDE PAVING COVERED OVER 24" X12" POURED CONCRETE FOOTING TO BEAR ON UNDISTURBED SOIL PROVIDE DRAINAGE LAYER:
- MIN 3/4" MINERAL FIBRE INSULATION W/ A DENSITY OF NOT LESS THAN 3.6 LB/FT OR
- MIN. 4" OF FREE DRAINAGE GRANULAR MATERIAL OR
- A.B.M.E.C. APPROVED DRAINAGE LAYER MATERIAL

7 REDUCTION IN FOUNDATION WALL THICKNESS

WHERE THE TOP OF FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOIST, THE REDUCED SECTION SHALL BE NOT MORE 13 3/4" HIGH AND NOT LESS THAN 3 1/2" THICK. WHERE THE TOP OF FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF A MASONRY EXTERIOR FACING, THE REDUCED SECTION SHALL BE NOT LESS 3 1/2" THICK AND TIED TO THE FACING MATERIAL W/ METAL TIES.

8 INTERIOR STUD PARTITIONS (NO BEARING)

NO BEARING PARTITIONS 1/2" DRY WALL FINISH ON BOTH SIDES OF 2"x4" WOOD STUDS @16" O.C. 2 TOP PLATES & 1 BOTTOM PLATE PROVIDE SOUND ATTENUATION IN SULATION IN BATHROOM WALLS & WHERE INDICATED ON PLANS.

9 INTERIOR STUD PARTITIONS (BEARING)

BEARING PARTITIONS 1/2" DRY WALL FINISH ON BOTH SIDES OF 2"x6" WOOD STUDS @16" O.C. 2 TOP PLATES & 1 BOTTOM PLATE PROVIDE SOUND ATTENUATION IN SULATION IN BATHROOM WALLS & WHERE INDICATED ON PLANS.

10 WALL INSULATION

MIN. R24 INSULATION BATT TO COVER THE INTERIOR FACE OF THE EXTERIOR WALLS WITH CONTINUOUS AIR/VAPOUR BARRIER

11 FOUNDATION INSULATION

R20 INSULATION BLANKET WITH AIR/VAPOUR BARRIER FROM SUB-FLOOR TO BASEMENT SLAB. DAMPROOF W/ BLDG. PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.

12 STUD WALL REINFORCEMENT

PROVIDE WOOD BLOCKING REINFORCEMENT TO STUD WALLS FOR FUTURE GRAB BARS. INSTALLATION IN MAIN BATHROOM 33" X 36" A.F.F. BEHIND TOILET 33" A.F.F. ON THE WALL OPPOSITE THE ENTRANCE TO THE TUB AND SHOWER

13 SILL PLATE

2"x6" SILL PLATE FASTENED TO FOUNDATION WALL WITH MIN. 1/2" DIA. ANCHOR BOLTS EMBEDDED MIN. 4" IN CONCRETE @ 7'-10" O.C. MAX. PROVIDE CAULKING FOR GASKET BETWEEN PLATE AND FOUNDATION WALL.

14 FLOOR FRAMING

5/8" T&G PLYWOOD NAILED AND CLUED ON 2" X 8" I-JOIST WITH MIN. 1 1/2" END BEARING ON EACH SIDE WITH CROSS BRIDGING OR SOLID BLOCKING @ MAX. 6'-11" O.C.

15 ENGINEERED FLOOR FRAMING

5/8" T&G PLYWOOD NAILED AND CLUED ON 2" X 10" JOIST WITH MIN. 1 1/2" END BEARING ON EACH SIDE WITH CROSS BRIDGING OR SOLID BLOCKING @ MAX. 6'-11" O.C.

16 BASEMENT SLAB

MIN. 3" 25 MPA CONC. SLAB ON 4" COARSE GRANULAR FILL WITH DAMPROOFING BELOW SLAB.

17 STEEL BASEMENT COLUMN

MIN 3" DIA. AND WALL THICKNESS OF MIN. 3/16" WITH 4" X 4" X 1/4" THICK STEEL PLATE WELDED TOP AND BOTTOM AND SUPPORTED ON A 36" X 36" X 16" THK CONCRETE FOOTING.

18 STEEL BEAM

W150X22 SITTING ON STEEL COLUMN ON ONE END AND 3 1/2" END BEARING ON FOUNDATION WALL ON THE OTHER END WITH 1" X 3" CONTINUOUS WOOD STRAPPING ON EACH SIDE OF THE BEAM.

19 GRADE

SLOPE GRADE AWAY FROM BUILDING FACE & PROVIDE SEMI SOLID BLOCK COURSE AT OR BELOW GRADE LEVEL.

20 DRAINAGE

4" DIA. WEEPING TILE W/ 6" CRUSHED STONE OVER AND AROUND

21 CRAWL SPACE ACCESS HATCH

CRAWL SPACE CLEARANCE MIN. 24" CLEAR TO 1/5 OF STRUCTURE PROVIDE 1/64" POLY GROUND COVER MIN. 11 13/16" OVERLAP, SEALED AT JOISTS & FOUNDATION WALL & WEIGHTED DOWN W/ MIN ACCESS OPENING OF 2' X 7' X 10"

22 ATTIC ACCESS

ATTIC ACCESS HATCH 22" X 28" WITH WEATHERSTRIPPING (MIN. 3.4 FT2) RSI 8.8 (R10) RIGID INSULATION BACKING

23 CEILING CONSTRUCTION

MIN 5/8" DRY WALL FINISH ON ALL CEILING CS. WITH CONTINUOUS AIR/VAPOUR BARRIER WITH MIN. R40 INSULATION FOR ATTIC

24 DRYER VENT

CAPPED DRYER EXHAUST VENTED TO EXTERIOR. DUCT SHALL CONFORM TO CBC 2012 DIV. B PART 6

25 WASHROOM EXHAUST

MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. PROVIDE DUCT SCREEN AS PER CBC 2012 DIV. B 9.32.3.12

26 CABINETS ABOVE RANGE

FRAMING FINISHES AND CABINETS ABOVE RANGE MUST HAVE MIN 2'-6" CLEARANCE, UNLESS FRAMING, FINISHES AND CABINETS ARE NON-COMBUSTIBLE OR ARE PROTECTED AS PER 9.10.22.2 (10)(1) AND (11)

27 SMOKE ALARM O.B.C. 9.10.19

PROVIDE ONE PER FLOOR NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF 1 SOUNDS IT SHOULD BE INSTALLED IN CONFORMANCE WITH CANULC 5593

28 CARBON MONOXIDE ALARM O.B.C. 9.33.4.

PROVIDE CARBON MONOXIDE DETECTOR ADJACENT TO EACH SLEEPING AREA.

29 EXCAVATION AND BACKFILL

* EXCAVATION SHOULD BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES AND ADJACENT PROPERTY
* THE TOPSOIL AND VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC MATERIALS.
* IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS, ROOTS AND WOOD DEBRIS SHALL BE REMOVED TO A MIN DEPTH OF 11 3/4" IN EXCAVATED AREAS UNDER A BUILDING AND THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS AND THE GROUND SHALL BE NOT LESS THAN 17 3/4"
* BACK FILL WITHIN 23 5/8" OF THE FOUNDATION WALLS SHALL BE FREE OF DELETERIOUS DEBRIS AND BOULDERS OVER 7/8" IN DIAMETER.

30 NOTCHING AND DRELLING OF TRUSSES, JOISTS AND RAFTERS

* HOLES IN FLOORS, ROOFS AND CEILING MEMBERS TO BE MAX. 1/4 X ACTUAL DEPTH OF MEMBER AND NOT LESS THAN 2" FROM EDGES.
* NOTCHES IN FLOORS, ROOF, CEILING MEMBERS TO BE LOCATED ON TOP OF THE MEMBER WITHIN 1/2 THE ACTUAL DEPTH FROM THE EDGE OF BEARING AND NOT GREATER THAN 1/3 JOIST DEPTH.
* WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDE THAT NOT LESS THAN 2/3 THE DEPTH OF THE STUD REMAINS IF LOAD BEARING AND 1 1/2 IF NON LOAD BEARING WALL.
* ROOF TRUSS MEMBERS SHALL NOT BE NOTCHED, DRILLED, OR WEAKENED UNLESS ACCOMMODATED IN THE DESIGN.

31 CERAMIC TILES

WHEN CERAMIC TILES APPLIED TO A MORTAR BED WITH ADHESIVE, THE BED SHALL BE A MIN. OF 1/2" THICK & REINFORCED WITH GALVANIZED DIAMOND MESH LATH, APPLIED OVER POLYETHYLENE ON SUBFLOORING ON JOISTS AT NO MORE THAN 16" O.C. WITH AT LEAST 2 ROWS CROSS BRIDGING.

32 2 STORY VOLUME SPACE

2 STORY HIGH (18'-0") EXTERIOR WALL STUDS TO BE 22"x6" CONTINUOUS STUDS @ 12" O.C. TRIPLE UP AT EVERY THIRD DOUBLE STUDS C/W 3/8" EXTERIOR PLYWOOD SHEATHING PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ (4'-0") O.C. VERTICALLY. FOR HORIZONTAL DISTANCE NOT EXCEEDING (9'-0") PROVIDE (22"x6") TOP PLATE AND A SINGLE BOTTOM PLATE. MIN. OF 32"x8" CONTINUOUS HEADER AT GROUND CEILING LEVEL TO BE NAILED AND CLUED AT TOP, BOTTOM PLATES AND HEADERS FOR 9' HIGH GROUND/FIRST FLOOR CEILING AND TRIPLE HEADERS NAILED ON TOP OF FOUNDATION WALL SILL PLATE AND ADD 12"x8" CONTINUOUS BOTTOM PLATE NAILED ON TOP OF HEADERS.

33 FOOTING

24" X 12" DEEP POURED CONCRETE 2200 PSI ON UNDISTURBED SOIL MIN. 48" BELOW FINISHED GRADE

34 BUILT UP POST

32"x4" BUILT UP POST WITH DAMPROOFING MATERIAL WRAPPED AT END OF POST ANCHORED TO 24"x24"x12" CONCRETE FOOTING.

35 RANGE HOOD EXHAUST

MECHANICAL EXHAUST HOOD WITH MIN 100 CFM AND 6" DIM. RIGID STEEL DUCT OR EQUIVALENT TO OUTDOOR.

36 SHOWER AND TUB VALVES

1. ALL SHOWER VALVES SHALL CONFORM TO CBC DIV. B 7.5.5.2
2. WATERPROOF FINISH REQUIRED AT SHOWER AND TUB AREAS TO CONFIRM TO CBC DIV. B 9.2.9.2

37 WALL REINFORCEMENT FOR FUTURE GRAB BARS

INSTALLATION IN WASHROOM

SEE WASHROOM DETAIL SHEET

38 GARAGE WALL GAS PROOFING

ATTACHED GARAGES MUST BE COMPLETELY SEALED TO PREVENT THE INFILTRATION OF CARBON MONOXIDE & GASOLINE FUMES INTO THE DWELLING.

1. PROVIDE 1/2" DRY WALL W/ MIN. 2 COATS OF JOINT COMPOUND AT ALL WALLS ADJACENT TO DWELLING.
2. CAULK BETWEEN GYPSUM BOARD AND OTHER SURFACES W/ ACOUSTIC SEALANT.
3. CAULK ALL PENETRATIONS SUCH AS HOSE BIBS W/ FLEXIBLE CAULKING.
4. DOORS BETWEEN GARAGE & DWELLING SHALL BE TIGHT FITTING & WEATHER STRIPPED & PROVIDED W/ A SELF CLOSING DEVICE. DOOR MUST NOT OPEN INTO A ROOM INTENDED FOR SLEEPING.
5. GARAGE SLAB SHALL BE SLOPED TO DRAIN OUTDOORS.
6. UNIT MASONRY WALLS FORMING THE SEPARATION BETWEEN THE DWELLING & ATTACHED GARAGE SHALL BE PROVIDED W/ 2 COATS OF SEALER OR COVERED W/ PLASTER OR GYPSUM BOARD ON THE GARAGE SIDE.

39 PRECAST STAIRS

PRECAST CONCRETE STEPS OR WOOD STEPS (PERMITTED TO A MAX. OF 3 RISERS) WHEN NOT EXPOSED TO WHETHER MAX RISE 7-7/8" MIN. THREAD 9-1/2". GREATER THAN 3 RISERS WILL REQUIRE LANDING/GUARD / HANDRAIL AND FOUNDATION UNDER CONC. STEPS.

40 WOOD FRAME STAIRS

STAIRS DETAILS

MAX RISE	= 7-7/8"
MIN RUN	= 8-1/4"
MIN TREAD	= 9-1/4"
MAX NOSING	= 1"-0"
MIN HEADROOM	= 6'-6"
RAIL@LANDING	= 2'-11"
RAIL@STAIRS	= 2'-8"
MIN STAIRS WIDTH	= 2'-10"

CURVED STAIRS

MIN AVG. RUN	= 7-7/8"
MIN RUN	= 5'-7/8"

RAILING

FINISHED RAILING ON PICKETS SPACED MAX. 4".
INFERIOR GUARDS 2'-11" MIN.
EXTERIOR GUARDS 3'-0" MIN.

41 INSULATION VALUES

ABOVE GRADE WALLS	R-24
BASEMENT WALLS	CONTINUOUS R-10 RIGID INSULATION +
	R-12 MIN BATT INSULATION
CEILING WITH ATTIC SPACE	R-60
CEILING WITHOUT ATTIC SPACE	R-31

BASEMENT SECOND UNIT

28 LOCOMOTIVE CRES
BRAMPTON, ON L7A 0T7

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
ACQUIRED THROUGH EDUCATION IN THE FIELD OF DESIGN, 10% OF DESIGN
NAME
ANIR ROBAH
BCIN 42582



CONSTRUCTION NOTES

Project number 21RE500-133
Date 2021.06.09

AN-02

Drawn by A.R.
Scale



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42

WINDOWS

- WINDOWS TO BE SEALED TO THE AIR AND VAPOR BARRIER.
- WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.6 OR
- AN ENERGY RATING OF NOT LESS THAN 2.1 FOR OPERABLE WINDOWS AND 3.1 FOR FIXED WINDOWS
- SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 2.8W/(M².K)

43

DOORS AND WINDOWS

- EVERY FLOOR LEVEL CONTAINING A BEDROOM, AND NOT SERVED BY AN EXTERIOR DOOR, SHALL CONTAIN AT LEAST ONE WINDOW HAVING AN UNOBSTRUCTED OPEN AREA OF 0.35 m² AND NO DIMENSION LESS THAN 380MM, WHICH IS OPENABLE FROM THE INSIDE WITHOUT TOOLS.
- EXTERIOR HOUSE DOORS AND WINDOWS WITHIN 2000MM FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY AND SHALL HAVE A DEADBOLT LOCK.
- THE PRINCIPAL ENTRY DOOR SHALL HAVE EITHER A DOORVIEWER, TRANSPARENT GLAZING OR A SIDELIGHT.

44

HVAC NOTES

1. CONTRACTOR TO COORDINATE DUCTS INSTALLATION WITH PIPES, ELECTRICAL LIGHTING & BUILDING STRUCTURE.
 2. ALL MECHANICAL DUCTWORK SHALL BE CONCEALED IN ATTIC SPACE OR BULKHEADS UNLESS OTHERWISE NOTED.
 3. PROVIDE FLUE VENT, COMBUSTION AIR, AND TERMINATION KIT FOR FURNACE AND INSTALL AS PER MANUFACTURER WRITTEN INSTRUCTION.
 4. PROVIDE BALANCING DAMPERS AT ALL AIR SUPPLY TAKE-OFFS:
 - (A) AT BRANCH DUCT OFF MAIN TRUNK DUCT.
 - (B) IN DRY WALL AREA, PROVIDE DAMPER AT GRILLE WITH APPROVED LOCKING DEVICE TO ENGINEER'S APPROVAL.
 5. CUTTING FOR DUCTS SHALL BE DONE BY THIS CONTRACTOR OBTAIN APPROVAL BEFORE CUTTING IN ANY WALL, STRUCTURAL BEAM, FLOOR AND ROOF.
 6. COORDINATE LOCATION OF EACH S.A. GRILLE AND RETURN AIR GRILLE ON SITE BEFORE CUTTING AND ROUGH-IN.
 7. INSULATE ALL EXHAUST AIR DUCTS MIN. 150MM FROM WALLS OR ROOF.
 8. CONNECT GAS PIPE TO EACH UNIT COMPLETE WITH SHUT OFF VALVE. ALL GAS PIPING SHALL BE CSA AND CGA APPROVED. INSTALL PIPES IN ACCORDANCE TO B149.1 CODE.
 9. INSULATE ALL DUCTS IN CEILING SPACE, ATTIC SPACE AND GARAGE.
 10. TEST AND BALANCE SYSTEM. SUBMIT BALANCING REPORT.
 11. COORDINATE ROUTING DUCTS AND LOCATION OF EACH GRILLE, FAN AND FURNACE WITH STRUCTURAL MEMBERS, PIPING, CONDUITS AND LIGHTING. OFFSET AS REQUIRED AND MAINTAIN REQUIRED SERVICE ACCESS.
 12. PROVIDE R.A. GRILLES AT HIGH AND LOW LEVELS. EACH GRILLE SHALL BE COMPLETED WITH BALANCING DAMPER.
- USE SPACE BETWEEN JOISTS AND WALL STUDS FOR RETURN WHERE APPLICABLE. PROVIDE SHEET METAL JOISTS LINER (JL) AS REQUIRED.

45

MECHANICAL VENTILATION:

- A MECHANICAL VENTILATION SYSTEM IS REQUIRED WITH A TOTAL CAPACITY AT LEAST EQUAL TO THE SUM OF:
 - 10.0 L/S EACH FOR BASEMENT AND MASTER BEDROOM
 - 5.0 L/S FOR EACH OTHER ROOM
- A PRINCIPAL DWELLING EXHAUST FAN SHALL BE INSTALLED AND CONTROLLED BY A CENTRALLY LOCATED SWITCH IDENTIFIED AS SUCH.
- SUPPLEMENTAL EXHAUST SHALL BE INSTALLED SO THAT THE TOTAL CAPACITY OF ALL KITCHEN, BATHROOM AND OTHER EXHAUSTS, LESS THE PRINCIPAL EXHAUST, IS NOT LESS THAN THE TOTAL REQUIRED CAPACITY.
- A HEAT RECOVERY VENTILATOR MAY BE EMPLOYED IN LIEU OF EXHAUST TO PROVIDE VENTILATION. AN HRV IS REQUIRED IF ANY SOLID FUEL BURNING APPLIANCES ARE INSTALLED.
- SUPPLY AIR INTAKES SHALL BE LOCATED SO AS TO AVOID CONTAMINATION FROM EXHAUST OUTLETS.

46

NATURAL VENTILATION

- EVERY ROOF SPACE ABOVE AN INSULATED CEILING SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA
- INSULATED ROOF SPACES NOT INCORPORATING AN ATTIC SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/150 OF THE INSULATED CEILING AREA
- ROOF VENTS SHALL BE UNIFORMLY DISTRIBUTED WITH MIN. 25% AT TOP OF THE SPACE AND 25% AT BOTTOM OF THE SPACE DESIGNED TO PREVENT THE ENTRY OF RAIN, SNOW, OR INSECTS.
- UNHEATED CRAWL SPACES SHALL BE PROVIDED WITH 0.1m

47

BASEMENT EGRESS WINDOW

MIN. UNOBSTRUCTED OPENING SIZES	
WIDTH	HEIGHT
18"	30"
19"	28.8"
20"	27.36"
21"	26.04"
22"	24.84"
23"	23.76"
24"	22.8"
25"	21.84"
26"	21"
27"	20.16"

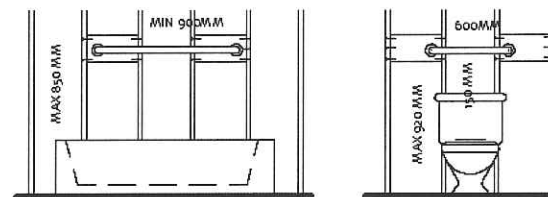
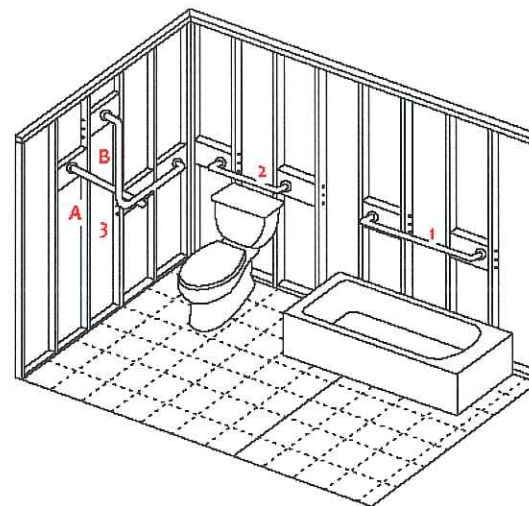
48

MINIMUM ROOM AREAS

ONE BEDROOM APARTMENT		
LIVING AREA	13.5M ²	145.3ft ²
	11.0M ²	118.4ft ² - 6 BATHS ARE TO BE PROVIDED WITHIN UNIT
DINING AREA	7.0M ²	75.3ft ²
	3.25M ²	35.0ft ² - 6 BATHS ARE TO BE PROVIDED WITHIN UNIT
1 BEDROOM	9.8M ²	105.5ft ²
	8.8M ²	94.7ft ² - 6 BATHS ARE TO BE PROVIDED WITHIN UNIT
OTHER BEDROOMS	4.2M ²	45.2ft ² - 6 BATHS ARE TO BE PROVIDED WITHIN UNIT
	7.0M ²	75.3ft ²
OTHER BEDROOMS	6.0M ²	64.6ft ² - 6 BATHS ARE TO BE PROVIDED WITHIN UNIT
	4.2M ²	45.2ft ² - 6 BATHS ARE TO BE PROVIDED WITHIN UNIT

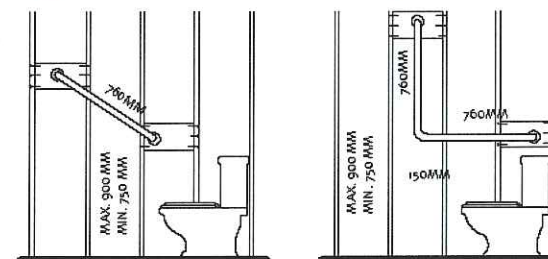
TWO BEDROOM APARTMENT		
LIVING AREA	13.5M ²	145.3ft ²
	13.5M ²	145.3ft ² - 6 BATHS ARE TO BE PROVIDED WITHIN UNIT
DINING AREA	7.0M ²	75.3ft ²
	3.25M ²	35.0ft ² - 6 BATHS ARE TO BE PROVIDED WITHIN UNIT

49

STUD WALL REINFORCEMENT

1 BEHIND BATHTUB OR SHOWER

2 BEHIND WATER CLOSET



3 OPTION A - BESIDE WATER CLOSET (SLOPED)

3 OPTION B - BESIDE WATER CLOSET (L-SHAPED)

LEGEND

	SMOKE ALARM
	CM ALARM
	DUCT SMOKE DETECTOR
	EXHAUST FAN DUCTED DIRECTLY OUTSIDE
	FLOOR DRAIN
	HEAT REGISTER
	AIR RETURN
	LIGHT FIXTURE
	SPRINKLER
	EMERGENCY LIGHT
	ELECTRICAL OUTLET
	LINTEL NOTE
	DOOR TAG
	WALL TAG
	WINDOW TAG
	CEILING TAG
	CONSTRUCTION NOTE
	EXISTING WALL
	DEMOLISHED WALL
	PROPOSED WALL
	COMMON AREA
	UNIT1
	UNIT2
	UNIT3



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BASEMENT SECOND UNIT

28 LOCOMOTIVE CRES
BRAMPTON, ON L7A 0T7

THE UNDERSIGNED HAS REVIEW AND TAKES RESPONSIBILITY FOR THE DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIREMENT: MINIMUM 5 YEARS EXPERIENCE IN DESIGN OF BUILDING
NAME: AMR ROBAH
PROF. REG. NO.: 42582
BCIN: 42582

**CONSTRUCTION NOTES**

Project number
Date

21RE500-133
2021.06.09

AN-03

Drawn by
Scale

A.R
As indicated

PART 1
PLAN OF LOTS 52, 53, 54, 55,
56, 57 AND 58
PLAN 43M-1878
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.
METRIC

PLAN

LOCOMOTIVE

(BY PLAN 43M-1878)
P.H.N. 14364-1253

CRESCENT

[illegible]

THIS REPORT WAS PREPARED FOR
MATTAMY HOMES
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY OTHER PARTIES.

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PART OF PART 1, PLAN 43R -- 35040

PART OF LOT 12, CONCESSION 4, WEST OF HURONTARIO STREET

IM	DENOTES	MONUMENT FOUND
IB	DENOTES	IRON BAR
SSIB	DENOTES	SHORT STANDARD IRON BAR
D.U.C.	DENOTES	DWELLING UNDER CONSTRUCTION
P.I.N.	DENOTES	PROPERTY IDENTIFIER NUMBER
P	DENOTES	PORCH

ALL FOUND MONUMENTS BY RADY-PENTEK & EDWARD
SURVEYING LTD., O.F.S.
ALL TIES TO CONCRETE FOUNDATION.
BEARINGS ARE GRID AND ARE REFERRED TO THE
SOUTHWEST LIMIT OF LOCOMOTIVE CRESCENT AS SHOWN ON
PLAN 43M-1878 HAVING A BEARING OF N48°14'55"W.

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: NONE
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 7 DAY OF DEC., 2012

DATE DEC. 17, 2012

2. 
I. SINGH
ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1062122



**THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR**
In accordance with
Regulation 1026, Section 24(3).

1997

RADY-PENTEK & EDWARD SURVEYING LTD.
ONTARIO LAND SURVEYORS
643 Chrislea Road, Suite 7
Woodbridge, Ontario L4L 8A3
Tel. (416) 635-5000 Fax (416) 635-5001
Website: www.r-pe.ca
DRAWN: V.K. CHECKED: T.S.
CAD FILE No. 1878-52 JOB No. 12-090

CHECKED: T.S.
JOB No.12-090

PROJECT TWO UNIT DWELLING

ADDRESS 26 LOCOMOTIVE CRES,
BRAMPTON ON

CLIENT KIM DO

DWG TITLE SITE SURVEY

SCALE

PROJECT NO 190158

A101

Mississauga Rd

Wanless Dr

Vanetta Dr

Trinity Dr

Pangmore Rd

Gills Rd

Pellegrino Rd

Monument

Gastonia Rd

Robert Post Park

Folgate

Kempford

Veterans Dr

Farm Dr

Ivor

Hoxton

Cres

Princess Point Valley

Princess Point Pond

Miracle Pond

Miracle Trail

Kinick Rd

Hester Rd

Gibbs Rd

Moody Family Park

Tab and St

Vanhorne

Close

Vanhome

Tribune Dr

Mercedes Rd

Buick Blvd

Cadillac Cres

Cadillac Cres

El Camino

Victoria

Roadmaster Lane

Sudebake

Vauxhall

Cres

Crown

Princess Point Valley

Princess Point Pond

Miracle Pond

Miracle Trail

Kinick Rd

Hester Rd

Gibbs Rd

Moody Family Park

Tab and St

Vanhorne

Close

Vanhome

Tribune Dr

Pkwy

Sandalwood

Creditview Sandalwood Park

CN HALTON RAILWAY

Lagerfeld Dr

Lagerfeld

Bovaird Dr

Creditview Rd

Creditview Rd

Creditview Rd

Salvation Rd

Salvation Rd

D2

A-2021-0191

Anthony Channel

Ted Beckford Pond

K W Mullings Channel

Angus Morrison Park

Barberis Cres

Aylesbury P.S.

Henneberry Lane

Meadowcroft Lane

Signature Lane

Belmont

Donmore

Haverty Trail

Bevington Rd

Latour St

Clanville Rd

Stead St

Klemscott Rd

Rowland

Unsworth St

Anthony Channel

Ted Beckford Pond

K W Mullings Channel

Angus Morrison Park

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