

**APPLICATION # A-2021-0204**  
**WARD #8**

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **TARANJIT BHANDOL AND HUNNY GAWRI** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 112, Plan 43M-1629 municipally known as **23 VALLEYSIDE TRAIL**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit four (4) accessory structures (pergola, gazebo/cabana, shed and day bed enclosure) whereas the by-law permits a maximum of two (2) accessory structures;
2. To permit four (4) accessory structures (pergola, gazebo/cabana, shed and day bed enclosure) with a combined gross floor area of 59.31 sq. m (638.41 sq. ft.) whereas the by-law permits a maximum combined gross floor area of 20 sq. m (215.28 sq. ft.);
3. To permit an accessory structure (pergola) having a gross floor area of 22.76 sq. m (245 sq. ft.) whereas the By-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.) for an individual accessory structure;
4. To permit an accessory structure (gazebo/cabana) having a gross floor area of 20.81 sq. m (224. sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.) for an individual accessory structure;
5. To permit an existing accessory structure (shed) having a rear yard setback of 0.19m (0.62 ft.) and a side yard setback of 0.30m (0.98 ft.) whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) to the nearest lot lines.

**OTHER PLANNING APPLICATIONS:**

The land which is subject of this application is the subject of an application under the Planning Act for:

|                                |    |                    |
|--------------------------------|----|--------------------|
| Plan of Subdivision: _____     | NO | File Number: _____ |
| Application for Consent: _____ | NO | File Number: _____ |

The Committee of Adjustment has appointed **TUESDAY, October 5, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT.** This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

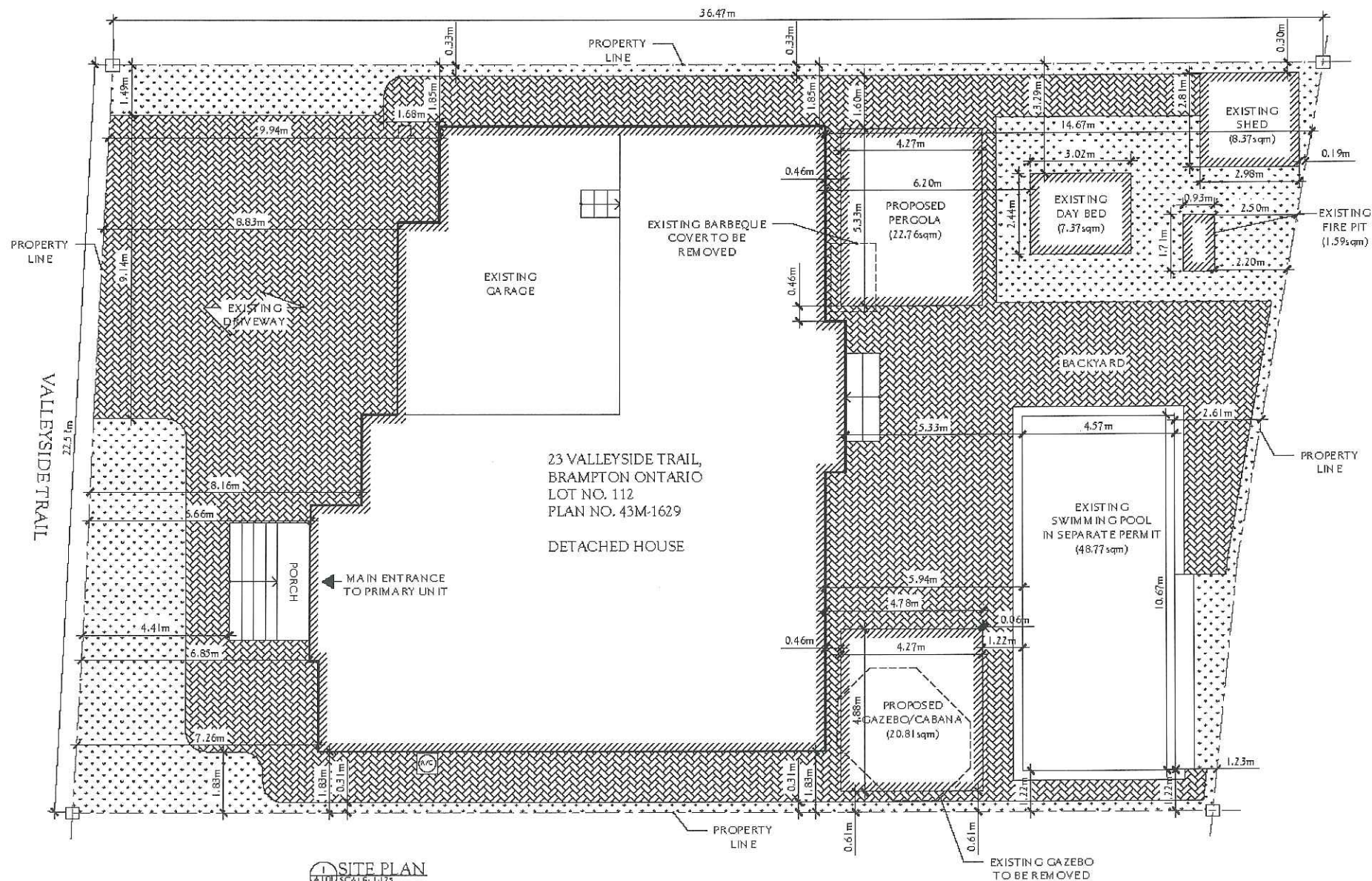
DATED at Brampton Ontario, this 23rd Day of September, 2021.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer  
Committee of Adjustment, City Clerk's Office,  
Brampton City Hall, 2 Wellington Street West,  
Brampton, Ontario L6Y 4R2  
Phone: (905)874-2117  
Fax: (905)874-2119  
[jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca)

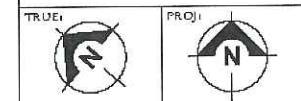


| LEGEND  |               |
|---|---------------|
|  | GRASS         |
|  | STONE WALKWAY |



**SITE PLAN**  
SCALE: 1:125

NOTES:



PROJECT TITLE:  
23 VALLEYSIDE TRAIL

DRAWING/TITLE:  
SITE PLAN

SCALE:  
1:125

DATE:  
2021/09/16

DESIGNED BY:  
SINGH D.  
MARTINS R.

REVISION:  
0

PROJECT NO.  
-

SHEET NO.  
A-101



**Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency**

**Electronic Hearing Procedures  
How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

**How to Participate in the Hearing:**

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Friday, October 1, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Friday, October 1, 2021**.
  - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, October 1, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

## AMENDMENT LETTER

September 21, 2021

To: Committee of Adjustment

**RE: APPLICATION FOR MINOR VARIANCE  
TARANJIT BHANDOL AND HUNNY GAWRI  
LOT 112, PLAN 43M-1629  
A-2021-0204 23 VALLEYSIDE TRAIL**

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Please **amend** application **A-2021-0204** to reflect the following:

1. To permit four (4) accessory structures (pergola, gazebo/cabana, shed and day bed enclosure) whereas the by-law permits a maximum of two (2) accessory structures;
2. To permit four (4) accessory structures (pergola, gazebo/cabana, shed and day bed enclosure) with a combined gross floor area of 59.31 sq. m (638.41 sq. ft.) whereas the by-law permits a maximum combined gross floor area of 20 sq. m (215.28 sq. ft.);
3. To permit an accessory structure (pergola) having a gross floor area of 22.76 sq. m (245 sq. ft.) whereas the By-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.) for an individual accessory structure;
4. To permit an accessory structure (gazebo/cabana) having a gross floor area of 20.81 sq. m (224. sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.) for an individual accessory structure;
5. To permit an existing accessory structure (shed) having a rear yard setback of 0.19m (0.62 ft.) and a side yard setback of 0.30m (0.98 ft.) whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) to the nearest lot lines.

*Dilpreet Singh*

Applicant/Authorized Agent



Flower City



brampton.ca

FILE NUMBER: A-2021-0204

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

**APPLICATION**

**Minor Variance or Special Permission**

(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Taranjit Bhandol & Hunny Gawri  
**Address** 23 Valleyside Trail, Brampton Ontario, L6P 2G2

**Phone #** 647-588-1679 **Fax #** \_\_\_\_\_  
**Email** nimmy\_bhandol@hotmail.com

2. **Name of Agent** Dilpreet Singh  
**Address** 12 Rae Avenue, Brampton Ontario, L6P 0E9

**Phone #** 647-574-0220 **Fax #** \_\_\_\_\_  
**Email** rdarch.designs@gmail.com

3. **Nature and extent of relief applied for (variances requested):**

1. To permit three (3) accessory structures (pergola, gazebo/cabana and shed).
2. To permit three (3) accessory structures (pergola, gazebo/cabana and shed) with a combined gross floor area of 51.94 square metres.
3. To permit an accessory structure (pergola) having a gross floor area of 22.76 square metres.
4. To permit an accessory structure (gazebo/cabana) having a gross floor area of 20.81 square metres.
5. To permit an existing accessory structure (shed) having a rear yard setback of 0.19m and a side yard setback of 0.30m, whereas the by-law requires a minimum setback of 0.6m to the nearest lot lines.
6. To permit Minimum Permeable Landscape Strip On Side Yards. (Proposing 0.33m).

4. **Why is it not possible to comply with the provisions of the by-law?**

1. Whereas the by-law permits a maximum of two (2) accessory structures.
2. Whereas the by-law permits a maximum combined gross floor area of 20 square metres.
3. Whereas the By-law permits a maximum gross floor area of 15 square metres for an individual accessory structure.
4. Whereas the By-law permits a maximum gross floor area of 15 square metres for an individual accessory structure.
5. Whereas the by-law requires a minimum setback of 0.6m to the nearest lot lines.
6. Required minimum setback to property line is to be 0.6m (2 feet).

5. **Legal Description of the subject land:**

**Lot Number** 112  
**Plan Number/Concession Number** 43M-1629  
**Municipal Address** 23 Valleyside Trail, Brampton Ontario, L6P 2G2

6. **Dimension of subject land (in metric units)**

**Frontage** 22.51m  
**Depth** 36.47m  
**Area** 790.12sqm.

7. **Access to the subject land is by:**

|                                    |                                     |                   |                          |
|------------------------------------|-------------------------------------|-------------------|--------------------------|
| Provincial Highway                 | <input type="checkbox"/>            | Seasonal Road     | <input type="checkbox"/> |
| Municipal Road Maintained All Year | <input checked="" type="checkbox"/> | Other Public Road | <input type="checkbox"/> |
| Private Right-of-Way               | <input type="checkbox"/>            | Water             | <input type="checkbox"/> |

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Single Family Dwelling: Approx. 4900sqft (455.22sqm); 2 Story Building

Existing Shed: 90.93sqft/8.45sqm

Existing Gazebo (To Be Removed): 132.37sqft/12.30sqm

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Proposed Pergola: 245sqft/22.76

Proposed Gazebo: 224sqft/20.81sqm

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.66m

Rear yard setback 14.67m

Side yard setback 1.85m

Side yard setback 1.83m

PROPOSED

Front yard setback 6.66m

Rear yard setback 14.67m (Main Dwelling) 0.19m Shed, 14.67m Pergola & Gazebo

Side yard setback 1.85m Main Dwelling, 0.30m Shed, 1.60m Pergola

Side yard setback 1.83m Main Dwelling, 0.61m Gazebo

10. Date of Acquisition of subject land: January 2013
11. Existing uses of subject property: Single Family Dwelling (Residential)
12. Proposed uses of subject property: Single Family Dwelling (Residential)
13. Existing uses of abutting properties: Single Family Dwelling (Residential)
14. Date of construction of all buildings & structures on subject land: 2004
15. Length of time the existing uses of the subject property have been continued: Since Construction
16. (a) What water supply is existing/proposed?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Well ☐
- (b) What sewage disposal is/will be provided?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Septic ☐
- (c) What storm drainage system is existing/proposed?  
Sewers ☒ Other (specify) \_\_\_\_\_  
Ditches ☐  
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

|              |                |              |
|--------------|----------------|--------------|
| File # _____ | Decision _____ | Relief _____ |
| File # _____ | Decision _____ | Relief _____ |
| File # _____ | Decision _____ | Relief _____ |

\_\_\_\_\_  
Signature of Applicant(s) or Authorized Agent

DATED AT THE \_\_\_\_\_ City \_\_\_\_\_ OF \_\_\_\_\_ Brampton \_\_\_\_\_  
THIS 30<sup>th</sup> DAY OF August, 2021.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Taranjit Bhandal Hunny Grewal OF THE \_\_\_\_\_ City \_\_\_\_\_ OF \_\_\_\_\_ Brampton \_\_\_\_\_

IN THE \_\_\_\_\_ Province \_\_\_\_\_ OF \_\_\_\_\_ Ontario \_\_\_\_\_ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton  
IN THE Region OF \_\_\_\_\_  
Peel THIS 30<sup>th</sup> DAY OF  
August, 2021

**Jeanie Cecilia Myers**  
a Commissioner, etc.,  
Province of Ontario  
for the Corporation of the  
City of Brampton  
Expires April 8, 2024.

J. Bhandal  
Signature of Applicant or Authorized Agent

Jeanie Myers  
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R1A-1805

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L. Barbuto

Zoning Officer

September 9, 2021

Date

DATE RECEIVED August 30, 2021



DOCUMENTS RELEASED PURSUANT TO A REQUEST  
UNDER THE  
MUNICIPAL FREEDOM OF INFORMATION AND  
PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56  
COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE  
USE AND REPRODUCTION OF THESE DOCUMENTS



CITY OF PEEL

10m 20metres  
SURVEYING LTD., O.L.S.

VALLEYSIDE TRAIL

(BY PLAN 43M-1629)

P.I.N 14210-0802  
LGP-2G2

ALL DIMENSIONS ARE IN METRES AND CAN BE ROUNDED BY 0.3048.

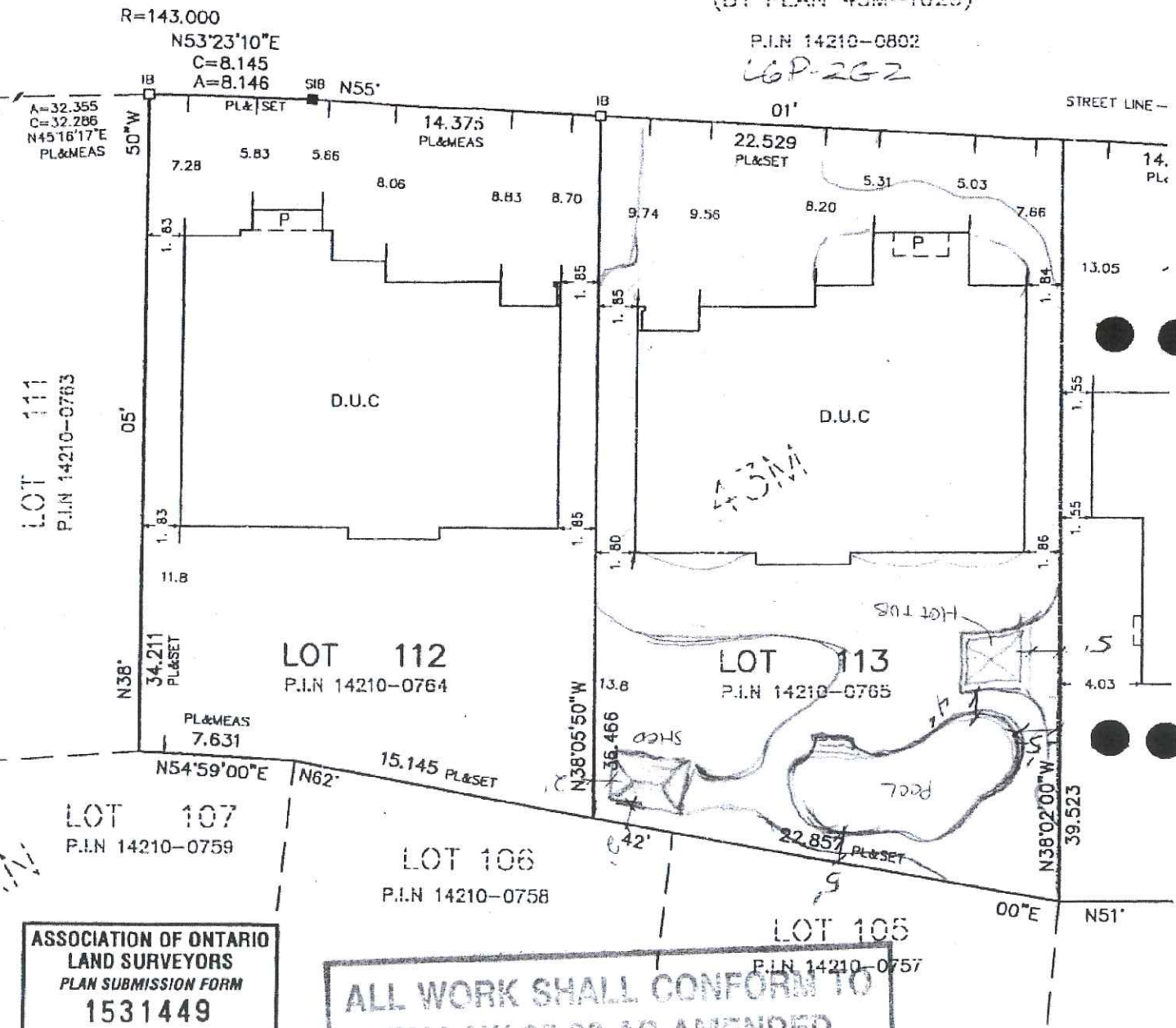
DATE

THIS PLAN IS MADE IN ACCORDANCE WITH THE SURVEY ACT AND THE LAND SURVEY ACT AND THE LAND SURVEY ACT MADE UNDER THEM.  
E 19<sup>TH</sup> DAY OF Aug. 2004

JOSEPH RADY-PENTEK  
ONTARIO LAND SURVEYOR

|   |                 |
|---|-----------------|
| Date: July 19, 2006   | By: [Signature] |
| CITY OF BRAMPTON<br>Planning & Building Department<br>ZONING REVIEWED |                 |
| REFERRED TO THE<br>AS SHOWN ON<br>N55°01'10"E                         |                 |

HYDRO ONE BRAMPTON  
JULY 19/06  
APPROVED - ALL CLEAR  
POOL ONLY  
[Signature]



PLAN

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
1531449

ALL WORK SHALL CONFORM TO  
BY-LAW 95-92 AS AMENDED

RADY-DE





# PROPOSED MINOR VARIANCE APPLICATION

23 VALLEYSIDE TRAIL, BRAMPTON, ONTARIO

## DRAWING LIST:

### SURVEY

A101 - SITE PLAN

A102 - REAR ELEVATION

A201 - PERGOLA FOUNDATION AND FRAMING PLAN

A202 - PERGOLA ELEVATIONS

A301 - COVERED PATIO FOUNDATION AND FRAMING PLAN



A302 - COVERED PATIO ELEVATIONS

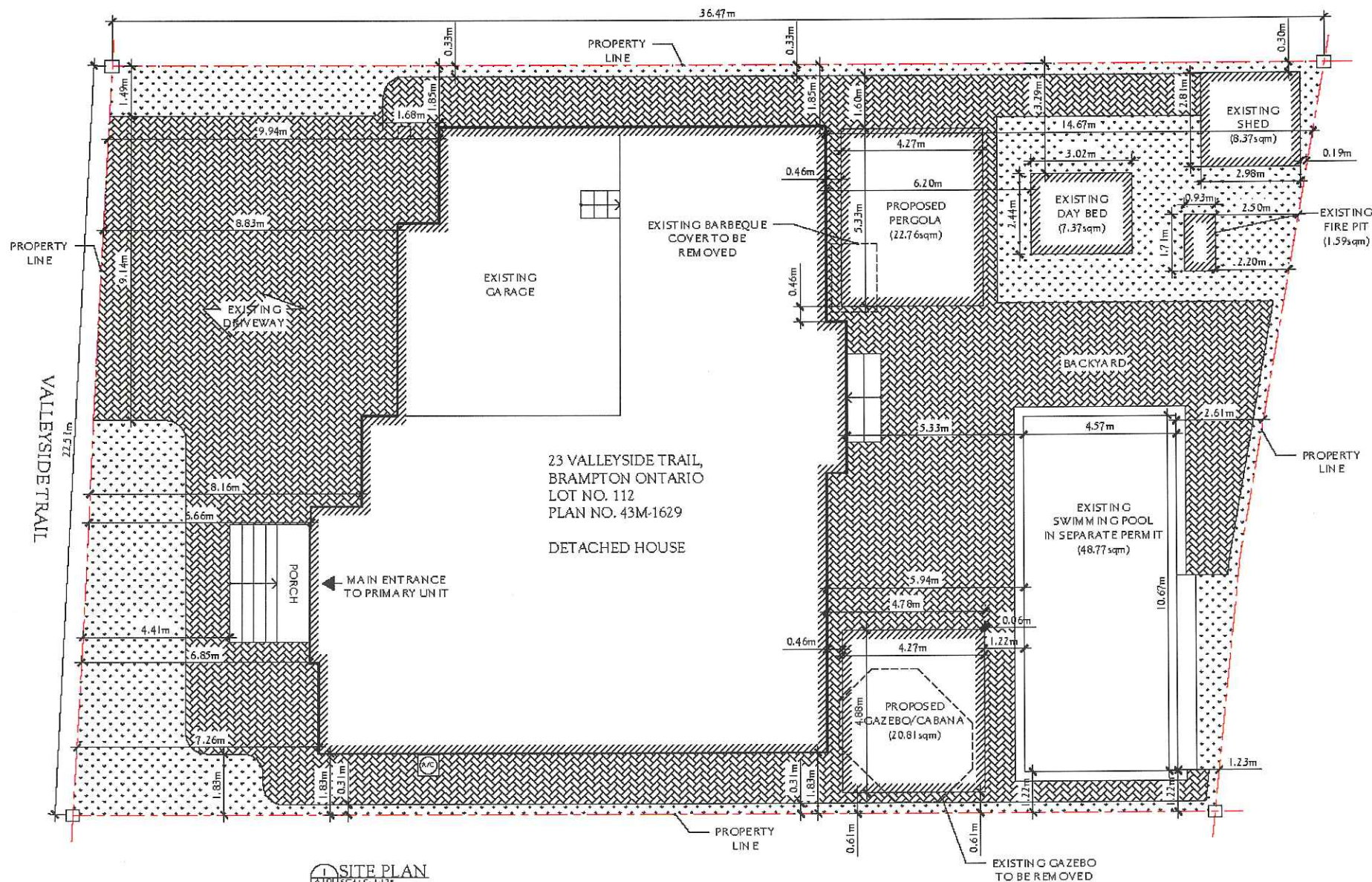
A303 - COVERED PATIO SECTION

tel: 647-574-0220 / 647-518-3376




e-mail: [www.rdarchdesigns.com](http://www.rdarchdesigns.com)

website: [rdarch.designs@gmail.com](mailto:rdarch.designs@gmail.com)

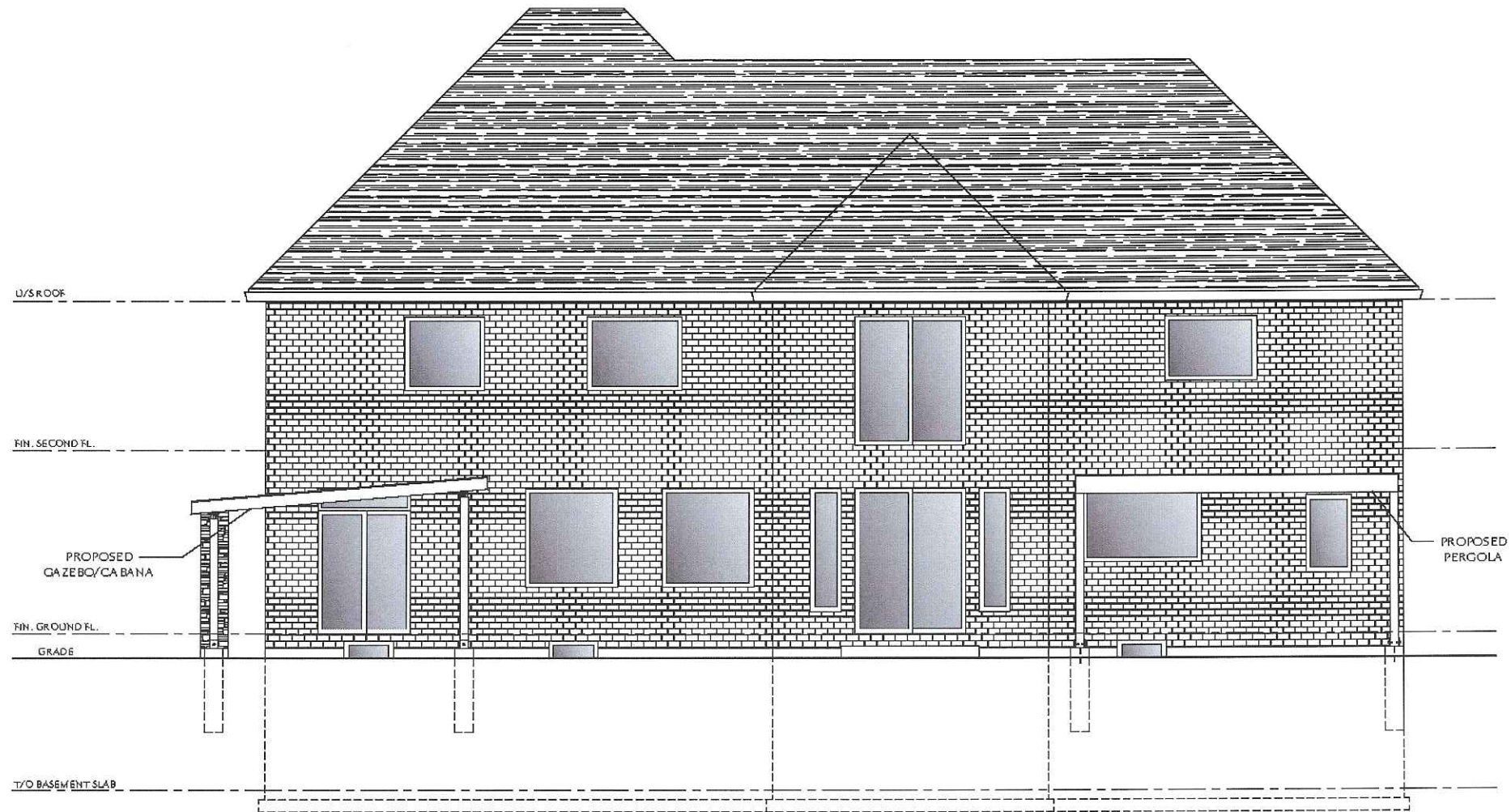
| LEGEND  |               |
|---|---------------|
|  | GRASS         |
|  | STONE WALKWAY |



**SITE PLAN**  
SCALE: 1:125

|  |  |
|--|--|
| NOTES:   |  |
| TRUE    | PROJ  |
|  <b>RDA Designs</b><br>647-574-0220 / 647-518-3376<br>www.rdashdesigns.com<br>rdash.designs@gmail.com |  |
| PROJECT TITLE:<br>23 VALLEYSIDE TRAIL  |  |
| DRAWING TITLE:<br>SITE PLAN  |  |
| SCALE:<br>1:125  | DATE:<br>2021/09/16  |
| DESIGNED BY:<br>SINGH D.<br>MARTINS R.   | REVISION:<br>0   |
| PROJECT NO.<br>-   | SHEET NO.<br>A-101   |





REAR ELEVATION  
SCALE: 1/75

NOTES:



**RDA Designs**  
647-574-0220 / 647-518-3376  
www.rdashdesigns.com  
rdashdesigns@gmail.com

PROJECT TITLE:

23 VALLEYSIDE TRAIL

DRAWING TITLE:

REAR ELEVATION

SCALE:

1/75

DATE:

2021/07/12

DESIGNED BY:

SINGH D.  
MARTINS R.

REVISION:

0

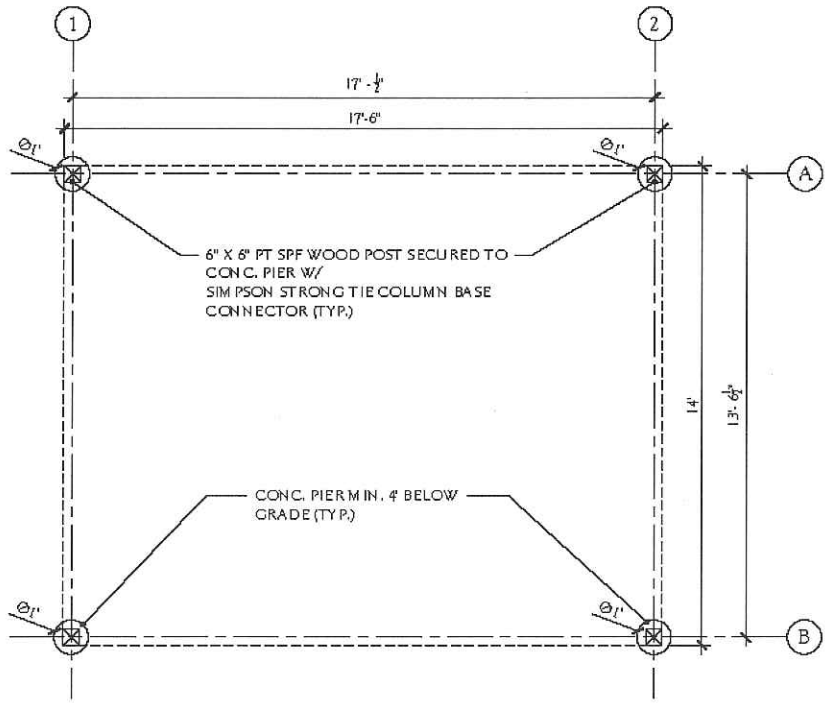
PROJECT NO.

-

SHEET NO.

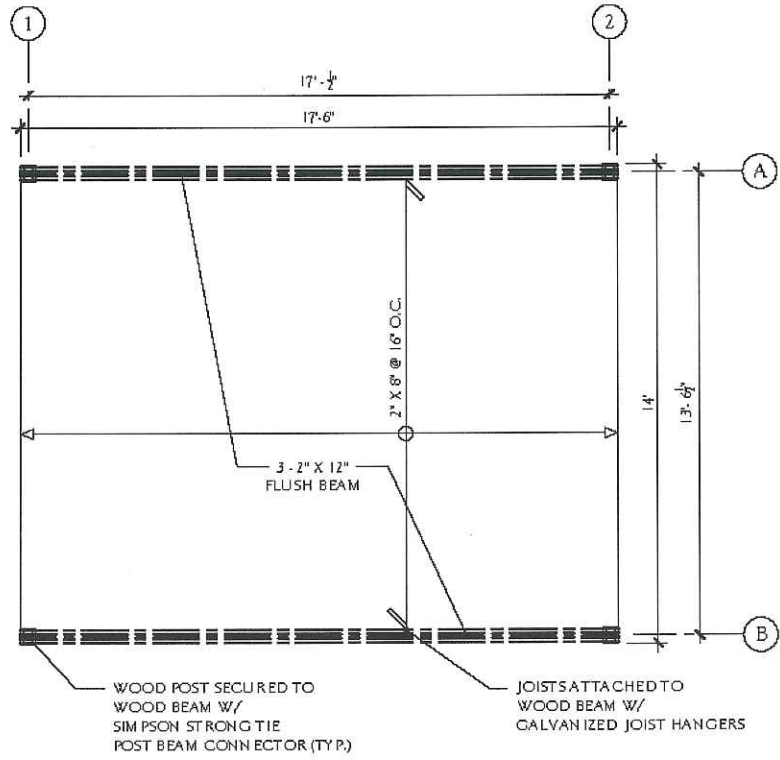
A-102

NOTE:  
CONTRACTOR MAY USE HELICAL PILES IN LIEU OF CONCRETE PEDESTAL FOOTINGS.  
HELICAL PILES MANUFACTURER'S ENGINEER TO ENSURE HELICAL PILES CAN BEAR  
MIN. 35 KN FACTORED COMPRESSION LOAD. MANUFACTURER TO SUPPLY SHOP  
DRAWINGS AND P.Eng. STAMP LETTER OF COMPLIANCE FOR THE HELICAL PILES.




1 PERGOLA FOUNDATION PLAN  
A-201 SCALE: 1:30

- GENERAL NOTES:
- 1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH ONTARIO BUILDING CODE 2012.
  - 2. ALL WOOD STRUCTURAL MEMBERS TO BE PRESSURE TREATED.
  - 3. READ THIS DRAWING IN CONJUNCTION WITH STRUCTURAL NOTES DRAWING A-100



2 PERGOLA FRAMING PLAN  
A-201 SCALE: 1:30

NOTES:



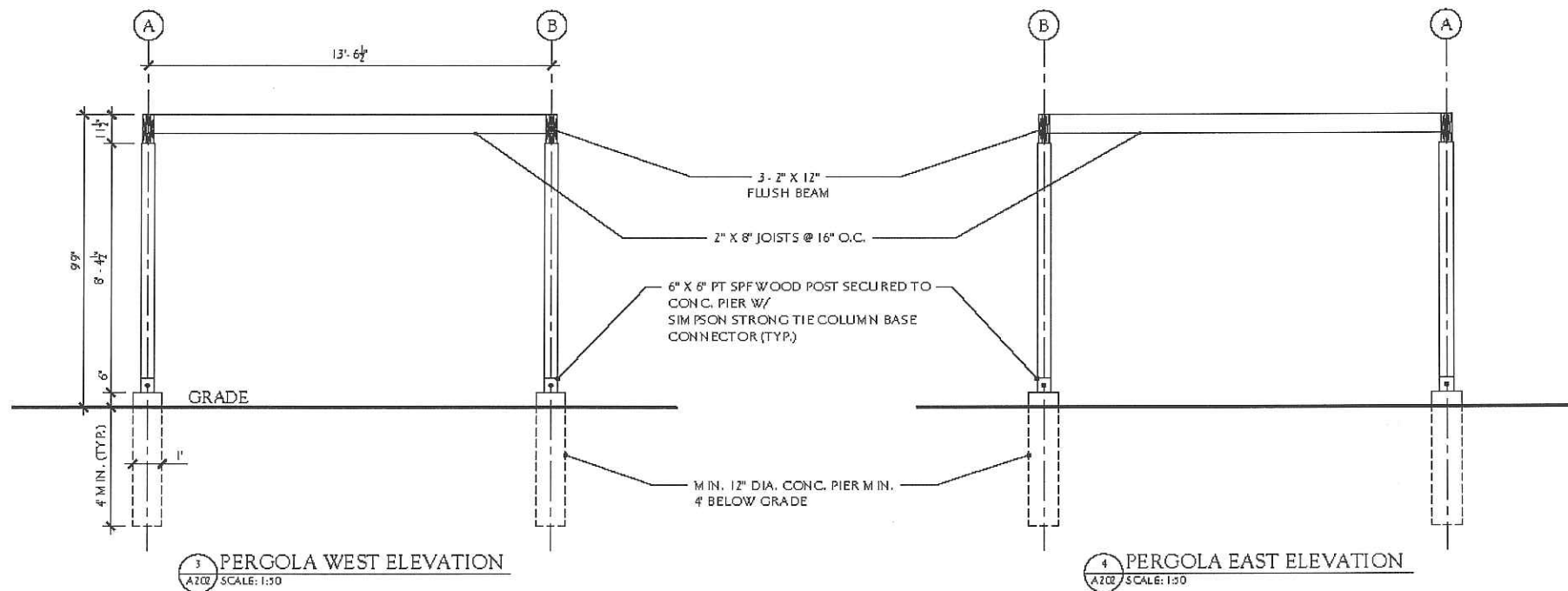
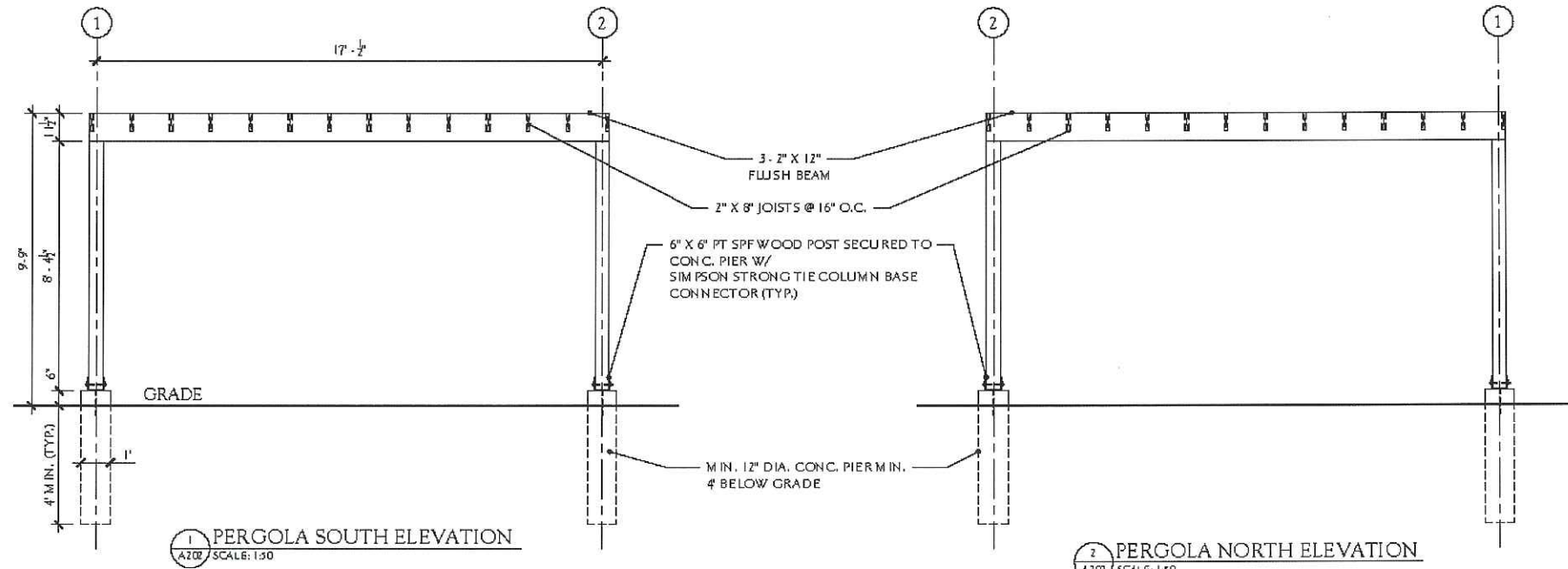
RDA Designs  
647-574-0201 / 647-518-3376  
www.rdaarchitects.com  
rdaarchitects@gmail.com

PROJECT TITLE:  
23 VALLEYSIDE TRAIL

DRAWING TITLE:  
PERGOLA PLANS

|                                       |                     |
|---------------------------------------|---------------------|
| SCALE:<br>1:30                        | DATE:<br>2021/07/12 |
| DESIGNED BY:<br>SINGH D.<br>MARTINSR. | REVISION:<br>0      |
| PROJECT NO.<br>-                      | SHEET NO.<br>A-201  |





NOTES:



PROJECT TITLE:

23 VALLEYSIDE TRAIL

DRAWING TITLE:

PERGOLA ELEVATIONS

SCALE:

1:50

DATE:

2021/07/12

DESIGNED BY:

SINGH D.  
MARTINS R.

REVISION:

0

PROJECT NO.:

-

SHEET NO.:

A-202

CONTRACTOR MAY USE HELICAL PILES IN LIEU OF CONCRETE PEDESTAL FOOTINGS. HELICAL PILES MANUFACTURER'S ENGINEER TO ENSURE HELICAL PILES CAN BEAR MIN. 35 KN FACTORED COMPRESSION LOAD. MANUFACTURER TO SUPPLY SHOP DRAWINGS AND D.P. Eng. STAMP LETTER OF COMPLIANCE FOR THE HELICAL PILES.



GENERAL NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH ONTARIO BUILDING CODE 2012.
2. ALL WOOD STRUCTURAL MEMBERS TO BE PRESSURE TREATED.
3. READ THIS DRAWING IN CONJUNCTION WITH STRUCTURAL NOTES DRAWING A-100



NOTE B:  
THIN STONE VENEER FINISH GROUTED IN  
PLACE AS PER MANUFACTURER'S SPECIFICATIONS  
TYPE K AS PER MANUFACTURER  
3/8" EXTERIOR GRADE SHEATHING  
2" X 4" P.T. WOOD STUD WALL AT 16" O.C.  
BTM. PLATE FASTENED TO SLAB W/ 1/2" Ø BOLTS AT 24" O.C.  
PROVIDE POLY FLASHING 6" UP EXTERIOR SHEATHING (BEHIND TYPE K)  
TURN POLY UNDER BTM. PLATE  
PROVIDE SILL GASKET AT OP POLY

|        |
|--------|
| NOTES: |
|--------|



**RDA Designs**  
647-374-0220 / 647-518-3376  
www.rdashdesigns.com  
rdash.designs@gmail.com

|                |
|----------------|
| PROJECT TITLE: |
|----------------|

23 VALLEYSIDE TRAIL

DRAWING TITLE:

### GAZEBO/CABANA PLANS

SCALE:

1:50

DATE: \_\_\_\_\_

2001/07/12

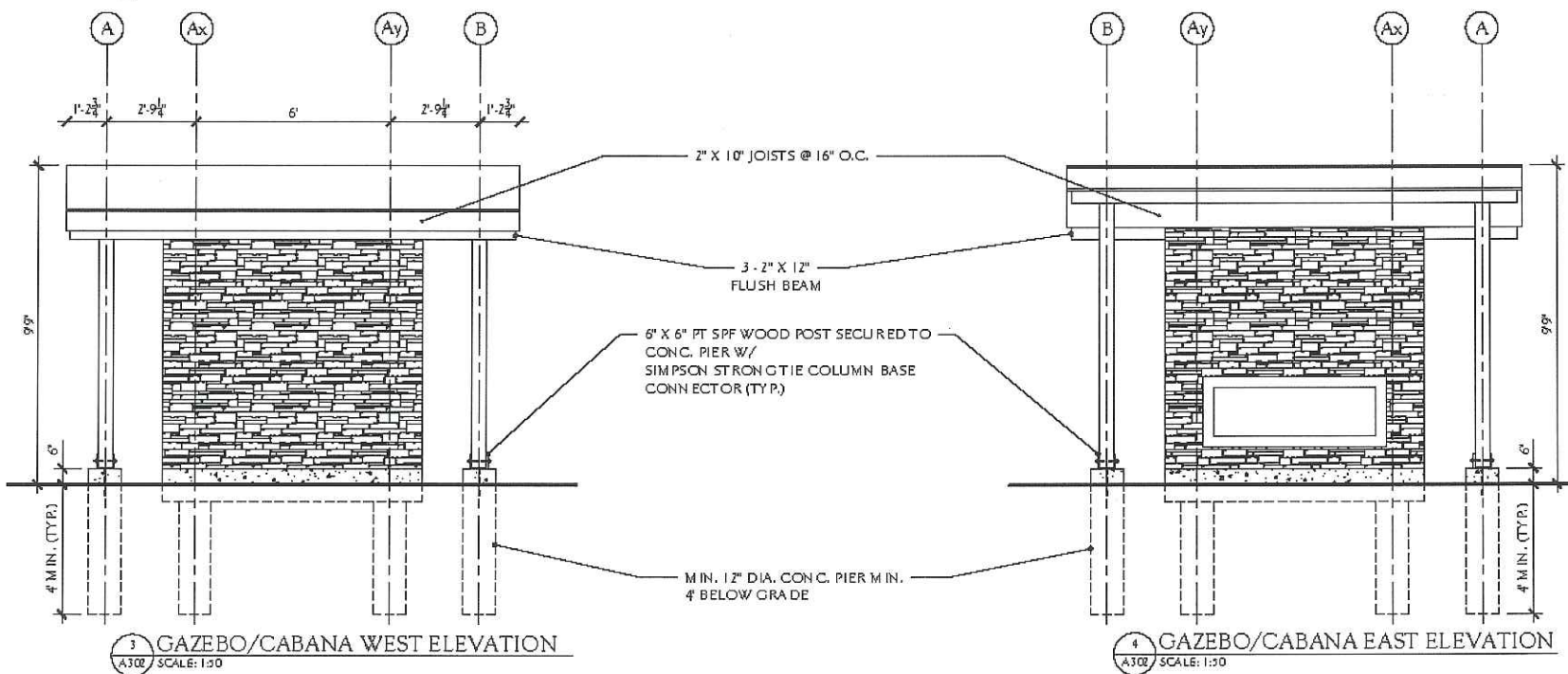
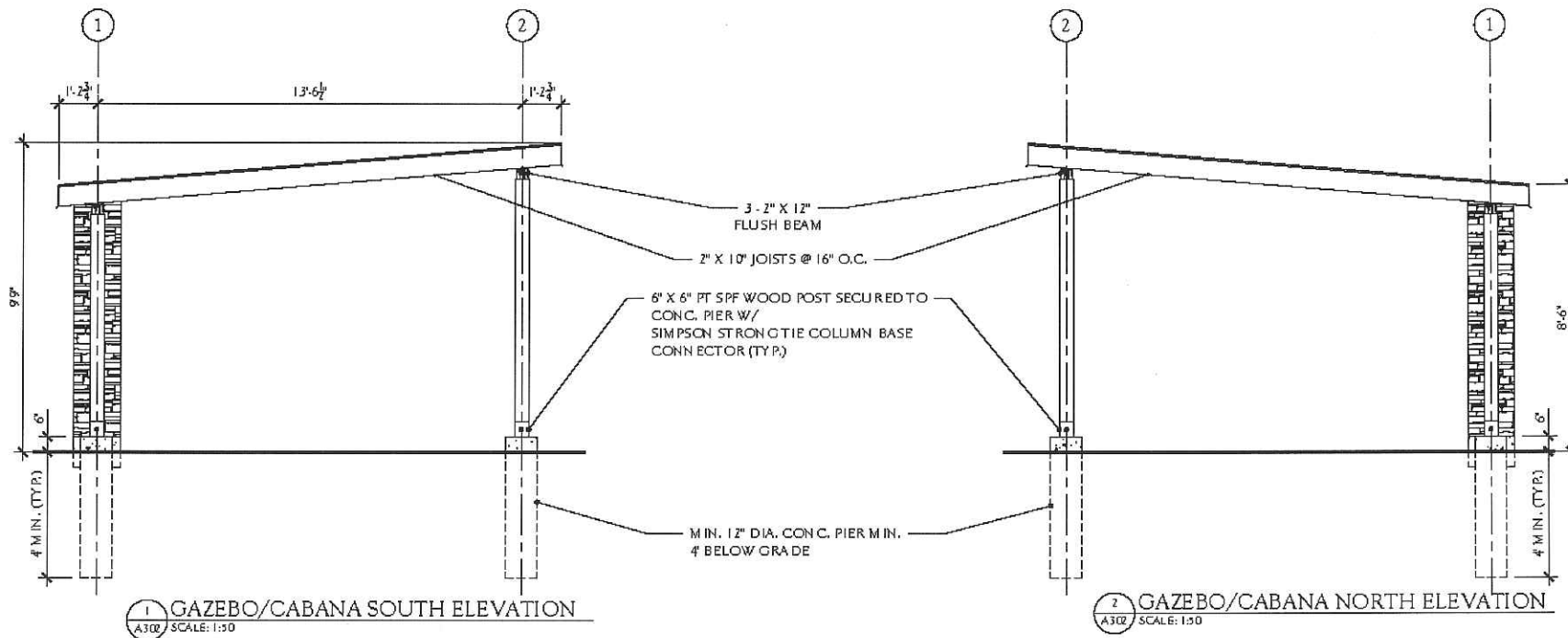
DESIGNED BY:  
SINGH D.  
MARTINS R.


|           |   |
|-----------|---|
| REVISION: | 0 |
|-----------|---|

PROJECT NO.

|           |       |
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| SHEET NO. | A-301 |
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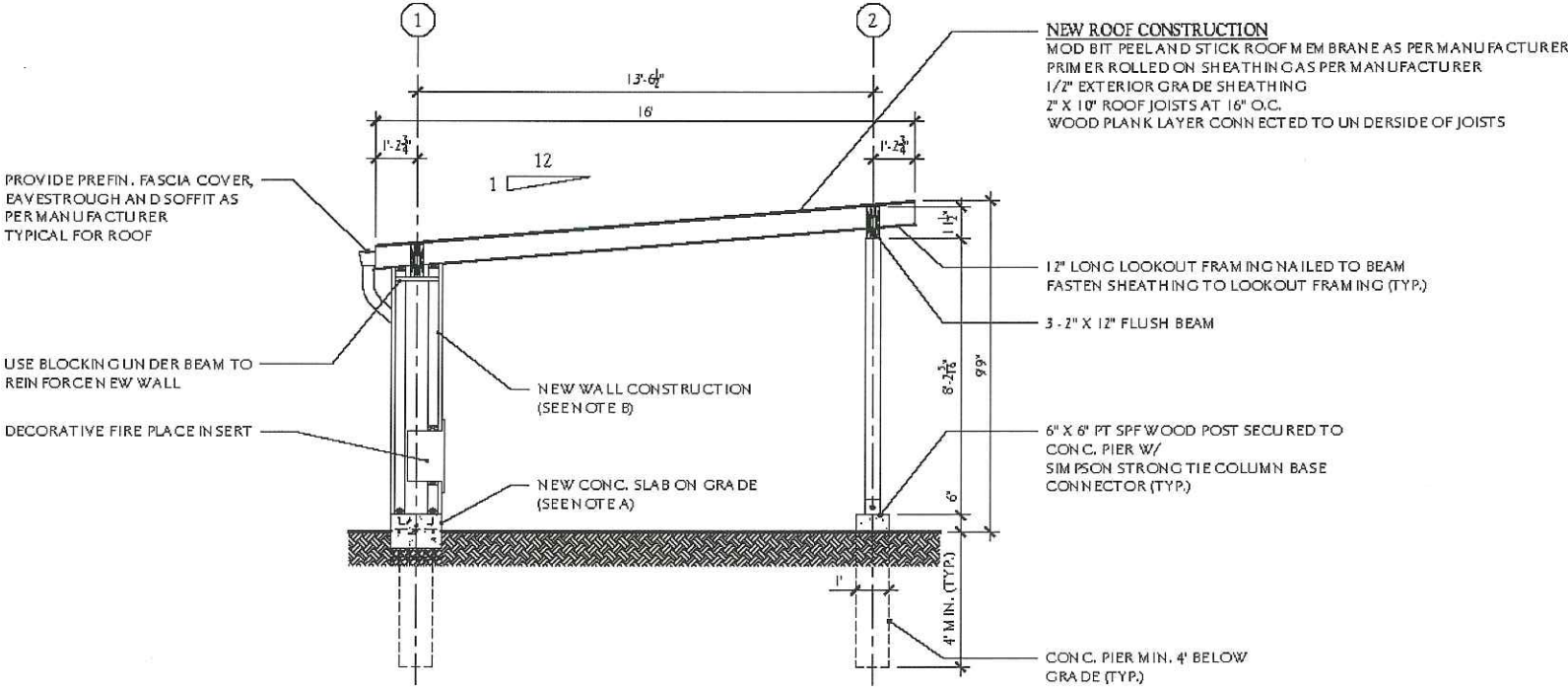




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| NOTES:   |            |
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|  <b>RDA Designs</b><br>647-574-0220 / 647-318-3376<br><a href="http://www.rdashdesigns.com">www.rdashdesigns.com</a><br><a href="mailto:rdashdesigns@gmail.com">rdashdesigns@gmail.com</a> |            |
| PROJECT TITLE:   |            |
| 23 VALLEYSIDE TRAIL  |            |
| DRAWING TITLE:   |            |
| GAZEBO/CABANA ELEVATIONS   |            |
| SCALE:   | DATE:      |
| 1:50   | 2021/07/12 |
| DESIGNED BY:   | REVISION:  |
| SINGH D.<br>MARTINS R.   | 0          |
| PROJECT NO.  | SHEET NO.  |
| -  | A-302      |

**NOTE A:**  
CONC SLAB MIN. 12" X 18" X 96"  
MIN 32 MPA, 5 - 8% AIR ENTRAINMENT  
3 - 15M CONTINUOUS REBAR @ 6" O.C. IN CENTER OF SLAB  
PERPENDICULAR 15M REBAR @ 18" O.C. & MIN. 2" CONC. COVERING  
SUPPORTED BY CONC. PIERS MIN. 4' BELOW GRADE  
SLAB TO BE ON 6" COMPACTED GRANULAR FILL ON UNDISTURBED SOIL

**NOTE B:**  
THIN STONE VENEER FINISH GROUTED IN  
PLACE AS PER MANUFACTURER'S SPECIFICATIONS  
TYVEK AS PER MANUFACTURER  
3/8" EXTERIOR GRADE SHEATHING  
2" X 4" P.T. WOOD STUD WALL AT 16" O.C.  
BTM. PLATE FASTENED TO SLAB W/ 1/2" Ø BOLTS AT 24" O.C.  
PROVIDE POLY FLASHING 6" UP EXTERIOR SHEATHING (BEHIND TYVEK)  
TURN POLY UNDER BTM. PLATE  
PROVIDE SILL GASKET ATOP POLY



**1 GAZEBO/CABANA SECTION**  
A-308 SCALE: 1:50

NOTES:



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|------------------------|------------|
| PROJECT TITLE:         |            |
| 23 VALLEYSIDE TRAIL    |            |
| DRAWING TITLE:         |            |
| GAZEBO/CABANA SECTION  |            |
| SCALE:                 | DATE:      |
| 1:50                   | 2021/07/12 |
| DESIGNED BY:           | REVISION:  |
| SINGH D.<br>MARTINS R. | 0          |
| PROJECT NO.            | SHEET NO.  |
| -                      | A-308      |



