



## Committee of Adjustment

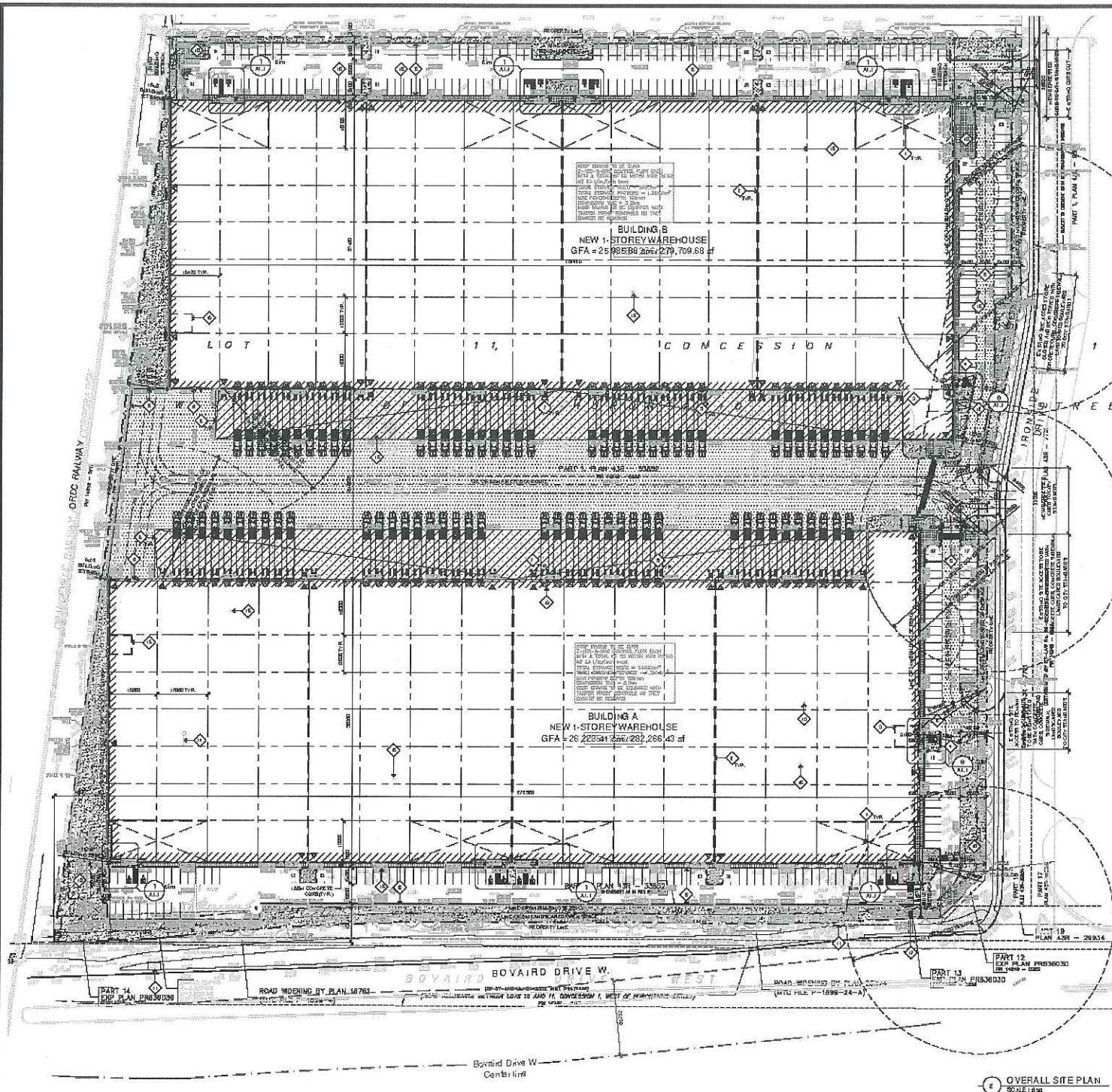
### APPLICATION FOR MINOR VARIANCE

AND WHEREAS the applicant is requesting the following variance(s):

- OTHER PLANNING APPLICATIONS:

Jeanie Myers, Secretary-Treasurer  
Committee of Adjustment, City Clerk's Office,  
Brampton City Hall, 2 Wellington Street West,  
Brampton, Ontario L6Y 4R2  
Phone: (905)874-2117  
Fax: (905)874-2119  
[jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca)



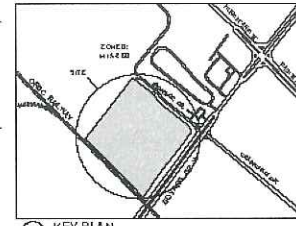
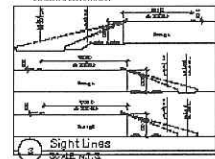


SET BACKS	MINIMUM SET BACKS (m)
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INTERIOR SIDE	REQUIRE TO BE SET BACK TO THE PLAN
REAR	REQUIRE TO BE SET BACK TO THE PLAN

DRAWING LEGEND	SYMBOL
LANDSCAPE AREA	[Symbol]
HEAVY DUTY PARKING	[Symbol]
CONCRETE SIDEWALK	[Symbol]
PAVED DRIVEWAY	[Symbol]
PRINCIPAL ENTRANCE TO MEET ORCA 8	[Symbol]
SECONDARY ACCESS DRIVE	[Symbol]
BARRED FREE ENTRANCE	[Symbol]
PERMISSIBLE TYPICAL PARKING STALL	[Symbol]
PARKING COVERT	[Symbol]
LOADING DOCK OVERHANG DOCK	[Symbol]
CONCRETE CURB	[Symbol]
FLUSH CURB WITH TRUCK INDICATOR	[Symbol]
PAVED ACCESS ROUTE	[Symbol]

- DRAWING NOTES**
- 1. OUTLINE OF OFFICE BUILDING
  - 2. OUTLINE OF OFFICE BUILDING
  - 3. SERVICE ROOMS (ELECTRICIAN'S OFFICE)
  - 4. ELECTRICAL TRANSFORMER WITH TIE-ROD PROTECTION - REFER TO ELECTRICAL
  - 5. CONCRETE CURB
  - 6. ASPHALT DRIVE FROM DRIVE IN DOCKS TO DOCK LEVEL DOOR (HALLWAY)
  - 7. DRIVEWAY TO TRUCKS AND TRAILERS
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- GENERAL NOTES**
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SITE STATISTICS	VALUE
TOTAL SITE AREA	10,000 SQ. METERS
LOT AREA	10,000 SQ. METERS
LOT COVERAGE	100%

BUILDING CLASSIFICATION	VALUE
BUILDING A	NEW 1-STORY WAREHOUSE
BUILDING B	NEW 1-STORY WAREHOUSE

GROSS FLOOR AREA - INDUSTRIAL	VALUE
BUILDING A	26,228 SQ. METERS
BUILDING B	25,988 SQ. METERS

COVERAGE CALCULATION	VALUE
BUILDING A	26,228 SQ. METERS
BUILDING B	25,988 SQ. METERS

PARKING CALCULATION	VALUE
TOTAL PARKING REQUIRED	100 SPACES
TOTAL PARKING PROVIDED	100 SPACES

LOADING REQUIREMENT	VALUE
LOADING DOCKS	10 DOCKS
LOADING DOCKS	10 DOCKS

**Pearce McClellan Architects**  
2500 Bloor Street West, Suite 100  
Toronto, Ontario M6H 1B5  
416-593-1144

**BOVARD WAREHOUSE**  
100 Bovard Drive W, Unit 100  
Burlington, Ontario L7R 4A1

**SITE PLAN**

**2009**

**A1.0**



**Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency**

**Electronic Hearing Procedures  
How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

**How to Participate in the Hearing:**

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Friday, October 1, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Friday, October 1, 2021**.
  - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, October 1, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:  
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or  
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

September 21, 2021

To: Committee of Adjustment

**RE: APPLICATION FOR MINOR VARIANCE  
2805939 ONTARIO INC.  
PART OF LOT 11, CONCESSION 1 WHS  
PARTS 1 AND 2, PLAN 43R-33852  
A-2021-0215 – 190 BOVAIRD DRIVE WEST**

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Please **amend** application **A-2021-0215** to reflect the following:

1. To permit a front yard setback of 13.65 metres to Ironside Drive whereas the by-law requires a minimum setback of 22.0 metres;
2. To permit 339 parking spaces whereas the by-law requires a minimum of 408 parking spaces;
3. To permit two (2) transformers having setbacks of 17.43 metres and 12.0 metres to the front lot line whereas the by-law requires a minimum front yard setback of 22.0 metres.

  
Applicant/Authorized Agent





SHAPING GREAT COMMUNITIES

September 7, 2021

File No: 20252

Jeanie Myers  
Legislative Coordinator  
Secretary-Treasurer  
Committee of Adjustment  
City of Brampton, Clerk's Office

A-2021-0215

Attention: Jeanie Myers  
Legislative Coordinator

Dear Ms. Myers:

Re: **Minor Variance Application**  
**190 Bovaird Drive West, Brampton**  
**2805939 Ontario Inc.**

---

On behalf of 2805939 Ontario Inc., please accept the enclosed application for Minor Variance for the above-noted property.

The purpose of the enclosed application is to permit a reduced setback of 13.65 meters to Ironside Drive whereas 22 metres is required; and to permit a reduction in the required parking spaces from 408 spaces to 339 spaces under Zoning By-law No. 270-2004.

We note that the proposed Site Plan and Parking Justification Memo states there are 379 parking spaces proposed, however our client would like to propose 339 parking spaces in order to allow for possible changes to the concept plan in the future.

The property at 190 Bovaird Drive West currently contains a mixture of commercial and industrial uses.

The property is designated as "Business Corridor" in the Brampton Official Plan and "Mixed Employment Commercial" under the Snelgrove-Heart Lake Secondary Plan Area 1. The "Mixed Employment Commercial" designation allows for Industrial uses that are not likely to cause impacts in terms of emission of dust, odour, noise and that are wholly contained indoors. This classification includes the use of "Warehousing".

The property is zoned Industrial One A (M1A) with Special Sections 250 and 30 in Zoning By-law No. 270-2004. We have previously spoken with Elizabeth Corazzola (Manager, Zoning and Sign By-law Services) regarding Section 250.2(l) and if it applies to the site or not. We have been provided with written confirmation (attached), that this section does not apply to the site.

PLANNING | URBAN DESIGN | LANDSCAPE ARCHITECTURE

72 Victoria Street South, Suite 201, Kitchener, ON N2G 4Y9 519 569 8883  
162 Locke Street South, Suite 200, Hamilton, ON L8P 4A9 905 572 7477  
gspgroup.ca

## Proposed Minor Variance

The purpose of the proposed Minor Variance application is to provide for the following variances to By-law 270-2004:

- To permit a Front Yard Setback of 13.65 metres to Ironside Drive whereas 22.0 metres is required, in accordance with Section 250.0 (d) of By-law 270-2004; and
- To permit 339 parking spaces whereas 408 parking spaces are required, in accordance with Section 30.5 By-law 270-2004.

## Planning Justification

In accordance with Section 45(1) of the *Ontario Planning Act, R.S.O. 1990, c.P.13*, the Committee of Adjustment may authorize a minor variance from the provision of a zoning by-law provided that the following four tests have been satisfied:

1. The proposed minor variance maintains the intent and purpose of the Official Plan;
2. The proposed minor variance maintains the intent and purpose of the Zoning By-law;
3. The proposed minor variance is desirable for the appropriate development or use of land;
4. The proposed minor variance is minor in nature.

The following provides planning justification for the proposed minor variances based on the above-noted four tests.

### 1. Maintains intent and purpose of the Official Plan.

The property is designated as "Business Corridor" in the Brampton Official Plan and "Mixed Employment Commercial" under the Snelgrove-Heart Lake Secondary Plan Area 1. The "Mixed Employment Commercial" designation allows for Industrial uses that are not likely to cause impacts in terms of emission of dust, odour, noise and that are wholly contained indoors. This classification includes the use of "Warehousing".

The intent of the minor variance is to permit a reduced Front Yard Setback of 13.65 metres and a reduction of required parking spaces. The proposed Minor Variance conforms with the Official Plan as the property will be used for an Industrial use, which is permitted.

### 2. Maintains the intent and purpose of the Zoning By-law.

The property is zoned Industrial One A (M1A) with Special Sections 250 and 30 in Zoning By-law No. 270-2004.

The intent of the 22.0 metre Front Yard Setback is to ensure adequate separation from public street and to provide landscaping. The reduction of 8.35 metres will still provide adequate space for landscaping.

BA Group has reviewed the parking demands for the proposed development and prepared a Parking Justification memo, dated August 24, 2021. BA Group concluded that the proposed number of parking spaces will provide sufficient parking for what is expected for this proposed development.

On this basis, it is our opinion that the proposed variances comply with the intent of By-law No. 270-2004 as the property will be used as a permitted use and all other regulations will be met.

3. Desirable for the appropriate development or use of the land.

The proposed Minor Variance is intended to accommodate the revitalization of the existing property for 2 new warehouse buildings. We understand from our client that some of the existing buildings require updating and maintenance. It is anticipated that the proposed new buildings will provide an improvement to the site and make use of the existing transportation and other infrastructure serving the property.

It is our opinion that the proposed variances are appropriate as they will result in an overall improvement for the site, will make efficient use of existing infrastructure, and in the long-term will not result in any negative effects on neighbouring properties.

4. Minor in nature.

The front yard setback variance is required as the property line cuts in towards the proposed building along Ironside Drive. This significantly decreases the usable space on the property. The applicant is seeking to provide a visual 'screen' using the proposed building to reduce the visual impact of the trucks in the loading bays to those walking and driving past on Ironside Drive. Although the southeaster portion of building would be 8.35 metres closer to the Front Lot Line than the required 20 metres, the applicant will be providing the required landscaped open space strip along Ironside Drive which will minimize the visual impact of the reduced setback.

The reduction in parking is not expected to be a negative impact on the property. As stated in BA Group's Parking justification memo dated August 24<sup>th</sup>, 2021, the proposed reduction in parking spaces is justified. Additionally, there are facilities for cyclists and pedestrians including a multi-use trail along the north side of Bovaird Drive West and a multi-use off-road trail (Etobicoke Creek Trail) that runs north/south along the east side of Hurontario/Main Street and sidewalks along Ironside Drive, Bovaird Drive and Hurontario/Main Street. There are also numerous bus stops within walking distance to the Site.

It is our opinion that the requested variance is minor nature as it will have little to no impact on the neighbouring properties.

In support of this application, please find enclosed the following:

- 1 copy of the application,
- Authorization Letter signed by the registered owner;
- Permission to Enter signed by the registered owner;

- 1 copy of the cheque in the amount of \$2,560.00, payable to the City of Brampton to cover the Minor Variance Application fee;
- 1 copy of the site plan and elevation drawings; and,
- BA Group's Parking Justification Memo, dated August 24, 2021.

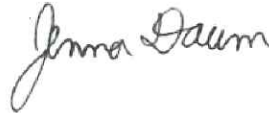
We note that the cheque for the required application fee will be mailed.

If you have any questions, or wish to discuss this application, please contact Jenna Daum or I.

Yours truly,  
**GSP Group Inc.**



Eric Saulesleja, MCIP, RPP  
Senior Associate, Senior Planner



Jenna Daum, CPT  
Planner

/Attachments

c.c. Mr. G. Sabti, Triovest



August 24, 2021

**TO:**

**Smeeta Adiga**

City of Brampton, Traffic Services Review  
smeeta.adiga@brampton.ca

**COPY:**

**Tejinder Sidhu**

City of Brampton, Development Review  
tejinder.sidhu@brampton.ca

**RE: Appropriateness of Parking Supply - Proposed Industrial Development at 190 Bovaird Drive West,  
City of Brampton**

BA Group was retained by Triovest Realty Advisors to provide transportation consulting services related to a proposed industrial development located at 190 Bovaird Drive West in Brampton. BA Group prepared a report entitled *190 Bovaird Drive West, Proposed Industrial Development, Urban Transportation Considerations* dated April of 2021 (referred to herein as the "April 2021 Report") which was submitted as part of Site Plan Approval.

Since submission of the April 2021 Report, comments related to the proposed parking supply were received from the City on August 12, 2021. The attached information in this memo recommends a parking rate of 0.65 spaces per 100 m<sup>2</sup> for the site and confirms that the proposed parking supply is appropriate and will meet the needs of the site.

We trust that the foregoing justification satisfactory.

Sincerely,



**BA Consulting Group Ltd.**

Deanna Green, MSc.P.Eng.  
Senior Transportation Engineer

## 1.0 INTRODUCTION

BA Group has been retained by Triovest Realty Advisors to provide transportation consulting services related to a proposed industrial development on a site municipally known as 190 Bovaird Drive West, in the City of Brampton, in the Region of Peel. The site is bounded by Bovaird Drive West to the south, the Orangeville Rail Development Corporation (ORDC) rail line to the west, industrial land uses to the north and Ironside Drive to the east.

The site is currently occupied by several buildings with a total gross floor area (GFA) of 19,790.84 m<sup>2</sup>, inclusive of a range of uses such as warehouses, automotive repair, retail and a convention centre/banquet hall. Prior to the construction of the proposed industrial buildings, the existing buildings on the site will be demolished.

BA Group prepared a report entitled *190 Bovaird Drive West, Proposed Industrial Development, Urban Transportation Considerations* dated April of 2021 (referred to herein as the "April 2021 Report") which was submitted as part of Site Plan Approval. In the April 2021 Report, the proposed total GFA of the two proposed buildings was 51,630 m<sup>2</sup>. Since submission of the April 2021 Report, revisions have been made to the site plan such that Building A is 26,223 m<sup>2</sup> and Building B is 25,986 m<sup>2</sup> for a site total of 52,209 m<sup>2</sup>. The proposed development of the site is for the construction of two single-storey industrial buildings, with a gross floor area (GFA) of approximately 52,209 m<sup>2</sup>. The proposed uses of the buildings will likely be a warehouse/logistics facility with estimated hours of operation of 6 a.m. to 6 p.m. The buildings will be positioned on the north and south sides of the site and will include a shared shipping court.

It is expected that both buildings will be constructed at the same time, with completion estimated by early 2024 with the buildings being fully leased by 2025. Future access to the site is proposed via three driveways onto Ironside Road. The existing north and south accesses to the property will remain in place for light vehicles, while an existing access to be used for trucks will be shifted northerly to the centre of the property to align with the shared shipping court.

## 2.0 TRANSPORTATION CONTEXT

As noted in the April 2021 Report, in addition to convenient access to the arterial roads Bovaird Drive West (Region of Peel) and Hurontario/Main Street (City of Brampton), the site currently has access to very good transit service with convenient access to both Züm and regular Brampton Transit routes. Several bus stops are located within a short walking distance of the site.

In addition, in the vicinity of the site, there are facilities for cyclists including a multi-use trail along the north side of Bovaird Drive West and a multi-use off-road trail (Etobicoke Creek Trail) that runs north/south along the east side of Hurontario /Main Street. There are also several facilities for pedestrians such as a multi-use trail along the north side of Bovaird Drive West, a multi-use off-road trail (Etobicoke Creek Trail) that runs north/south along the east side of Hurontario /Main Street and numerous sidewalks, including along Ironside Drive, Bovaird Drive and Hurontario/Main Street.

The variety of transportation options in the area will encourage sustainable modes of travel and reduce the need for parking on the site.





### 3.0 ZONING BY-LAW REQUIREMENTS (APRIL 2021 REPORT)

In the April 2021 Report submitted to the City, it was noted that the City's Zoning By-law would require the site to include 404 parking spaces. Based on the August 12, 2021 email from the City, it was noted that due to rounding up, the site would require 405 spaces, based on the gross floor area (GFA) initially proposed. The parking requirement of 405 spaces for the site has been updated in **Table 1**.

**TABLE 1 ZONING BY-LAW MINIMUM PARKING REQUIREMENTS (APRIL 2021 REPORT)**

	GFA (m <sup>2</sup> )	Deduction <sup>3</sup> for Mechanical and Electrical GFA (m <sup>2</sup> )	GFA (m <sup>2</sup> ) <i>with deduction</i>	Office GFA (m <sup>2</sup> )	%Office of GFA <i>with deduction</i>	Minimum Parking Rate	Minimum Parking Spaces Required
Building A	26,279	50	26,229	1,866	7.1%	168 spaces + 1 space/170 m <sup>2</sup> over 20,000	204.9
Building B	25,351	50	25,301	1,765	7.0%		199.5
<b>Total</b>	<b>51,630</b>	<b>100</b>	<b>51,530</b>	<b>3,631</b>	<b>7.1%</b>	<b>--</b>	<b>405</b>

Notes:

1. Site statistics based on site plans provided by Triovest Realty Advisors dated November 2020 and included in April 2021 Report.
2. GFA = Gross Floor Area
3. The Zoning By-law defines gross industrial floor area (GFA) as the aggregate of the area of all floors in a building, whether at, above, or below established grade, measured from the exterior of the outside walls, but excluding any parts of the building used for mechanical equipment related to the operation or maintenance of the building, stairwells or elevators.



## 4.0 ZONING BY-LAW REQUIREMENTS (REVISED SITE PLAN)

Since submission of the April 2021 Report, revisions have been made to the site plan such that Building A is 26,223 m<sup>2</sup> and Building B is 25,986 m<sup>2</sup> for a site total of 52,209 m<sup>2</sup>.

As shown in **Table 2**, application of the Zoning By-law results in the requirement of 408 spaces for the proposed GFA. For comparison purposes, this requirement is equivalent to a minimum parking ratio of 0.78 per 100 m<sup>2</sup> GFA.

**TABLE 2 ZONING BY-LAW MINIMUM PARKING REQUIREMENTS**

	GFA (m <sup>2</sup> )	Deduction <sup>3</sup> for Mechanical and Electrical GFA (m <sup>2</sup> )	GFA (m <sup>2</sup> ) with deduction	Office GFA (m <sup>2</sup> )	%Office of GFA with deduction	Minimum Parking Rate	Minimum Parking Spaces Required
Building A	26,223	50	26,173	1,866	7.1%	168 spaces + 1 space/170 m <sup>2</sup> over 20,000	205
Building B	25,986	50	25,936	2,090	8.0%		203
<b>Total</b>	<b>52,209</b>	<b>100</b>	<b>52,109</b>	<b>3,956</b>	<b>7.6%</b>	--	<b>408</b>

Notes:

1. Site statistics based on site plans provided by Triovest Realty Advisors dated August 20, 2021.
2. GFA = Gross Floor Area
3. The Zoning By-law defines gross industrial floor area (GFA) as the aggregate of the area of all floors in a building, whether at, above, or below established grade, measured from the exterior of the outside walls, but excluding any parts of the building used for mechanical equipment related to the operation or maintenance of the building, stairwells or elevators.

## 5.0 PROPOSED PARKING SUPPLY

The proposed parking supply for the site is summarized in **Table 3** and includes 161 spaces for Building A and 218 spaces for Building B for a site total of 379 spaces. The parking supply is 29 spaces less than what is required by the Zoning By-law. For comparison purposes, this supply is equivalent to an overall site parking ratio of 0.73 per 100 m<sup>2</sup> GFA.

**TABLE 3 PROPOSED PARKING SUPPLY**

	Proposed Number of Parking Spaces	Zoning By-law Requirement	Difference
Building A	161	205	-44
Building B	218	203	+15
<b>Total Site</b>	<b>379</b>	<b>408</b>	<b>-29</b>



## 6.0 JUSTIFICATION FOR PROPOSED PARKING SUPPLY

### 6.1 PARKING DEMAND STUDIES

To gain a better understanding of parking demands at warehouse type developments, BA Group conducted parking demand studies at warehouses located at 8039 Fifth Line in Halton Hills as well as at 6800 Maritz Drive in Mississauga.

#### 6.1.1 Parking Demand Studies at 8039 Fifth Line (Halton Hills)

Parking demand studies were undertaken at 8039 Fifth Line in Halton Hills on Tuesday, October 20, 2015 from 5:00 am to 7:00 pm. The 8039 Fifth Line property includes 2 buildings with a combined GFA of 77,017 m<sup>2</sup>; the north building has a GFA of 40,320 m<sup>2</sup> and the south building has a GFA of 36,697 m<sup>2</sup>.

As shown in **Table 4**, the peak parking demand at the north building is 80 spaces and occurs at 3 pm.

**TABLE 4 8039 FIFTH LINE - NORTH BUILDING PARKING DEMAND (OCTOBER 20, 2015)**

NORTH BUILDING (40,320 m <sup>2</sup> )					
	A	B	C	D	Total
<b>Parking Supply</b>	<b>34</b>	<b>19</b>	<b>33</b>	<b>165</b>	<b>251</b>
<b>Time</b>	<b>Demand</b>				
5:00	0	8	8	0	16
6:00	0	14	12	0	26
7:00	1	17	17	0	35
8:00	1	16	18	0	35
9:00	8	18	29	0	55
10:00	11	18	31	0	60
11:00	9	18	31	0	58
12:00	11	18	32	0	61
13:00	13	18	29	0	60
14:00	15	17	30	2	64
<b>15:00</b>	<b>19</b>	<b>17</b>	<b>32</b>	<b>12</b>	<b>80</b>
16:00	16	12	21	11	60
17:00	13	13	17	9	52
18:00	5	10	10	10	35
19:00	4	9	10	8	31

As shown in **Table 5**, the peak parking demand at the south building is 97 spaces and occurs at 2 pm.

**TABLE 5 8039 FIFTH LINE – SOUTH BUILDING PARKING DEMAND (OCTOBER 20, 2015)**

SOUTH BUILDING (36,697 m <sup>2</sup> )							
	E	F	G	H	I	J	Total
Parking Supply	72	81	37	17	25	57	289
Time	Demand						
5:00	1	19	1	0	1	0	22
6:00	1	49	2	1	0	0	53
7:00	1	49	2	4	0	0	56
8:00	13	49	8	5	0	0	75
9:00	12	50	16	3	0	0	81
10:00	14	50	17	6	0	0	87
11:00	14	49	13	4	0	0	80
12:00	14	51	11	4	0	0	80
13:00	14	55	10	5	0	0	84
14:00	13	64	14	4	0	2	97
15:00	14	46	12	4	0	0	76
16:00	14	43	11	4	0	0	72
17:00	7	31	8	3	0	0	49
18:00	4	30	2	1	0	0	37
19:00	2	25	2	1	0	0	30

As shown in Table 6, in consideration of the peak demand for parking at the South Building of 2 pm (just before shift change) applied to the site, the peak demand is 161 spaces with a total parking supply of 540 spaces. This represents a parking utilization rate of 30% for the site.

The parking supply for the site is equivalent to 0.70 spaces per 100 m<sup>2</sup> GFA with a peak parking demand of 0.21 parking spaces per 100 m<sup>2</sup> of GFA. This demand occurred for a short period of time during the afternoon shift change period. Before and after shift change, the typical parking demand is in the range of 0.18 parking spaces per 100 m<sup>2</sup> GFA.



**TABLE 6 8039 FIFTH LINE PARKING DEMAND SUMMARY (OCTOBER 20, 2015)**

NORTH & SOUTH BUILDINGS (77,017 m <sup>2</sup> )					
8039 Fifth Line	Parking Supply (spaces)	Survey Date	Peak Demand (spaces)	Percent Spaces Occupied at 2:00 pm (peak)	Parking Demand Ratio / 100 m <sup>2</sup>
	540	October 20, 2015	161	30 %	0.21

### 6.1.2 Parking Demand Studies at 6800 Maritz Drive (Mississauga)

Parking demand studies were undertaken at 6800 Maritz Drive in Mississauga on Thursday, November 21, 2013, from 7:00 am to 7:00 pm. The 6800 Maritz Drive property includes a building with a GFA of 107,768 m<sup>2</sup>.

As shown in **Table 7**, the peak parking demand was 561 spaces and occurred at 3 pm (shift change) which represents a parking utilization rate of 79% for the site.

The parking supply for the site is equivalent to 0.66 spaces per 100 m<sup>2</sup> GFA with a peak parking demand of 0.52 parking spaces per 100 m<sup>2</sup> of GFA. This demand occurred for a short period of time during the afternoon shift change period. Outside of shift change, the parking demand is typically 0.43 parking spaces per 100 m<sup>2</sup> GFA.

**TABLE 7 6800 MARITZ DRIVE PARKING DEMAND SUMMARY (NOVEMBER 21, 2013)**

Hour Ending	Number of Parking Spaces Occupied	Occupied %
<i>Parking Supply = 710 spaces GFA of 107,768 m<sup>2</sup></i>		
7:00	404	57%
8:00	434	61%
9:00	465	65%
10:00	481	68%
11:00	480	68%
12:00	475	67%
13:00	474	67%
14:00	510	72%
<b>15:00</b>	<b>561</b>	<b>79%</b>
16:00	400	56%
17:00	363	51%
18:00	333	47%

## 6.2 SUMMARY OF PARKING DEMAND AND SUPPLY

The results of the parking demand studies indicate a peak parking demand at warehouse type sites that ranges from 0.21 to 0.52 parking spaces per 100 m<sup>2</sup>. Application of the highest peak parking demand of 0.52 spaces per 100 m<sup>2</sup> to the 190 Bovaird Drive West development proposal by building, results in the need for 271 parking spaces.

As shown in **Table 8**, based on the results of the parking demand studies, the recommended parking ratio for the 190 Bovaird Drive West site is 0.65 spaces per 100 m<sup>2</sup> GFA, which results in a requirement for 339 spaces. The proposed rate is well below the rate shown in the parking demand studies and also only slightly less than what is required by the City's Zoning By-law.

The current proposed parking supply for the site of 379 spaces exceeds the requirement of the proposed parking ratio of 0.65 spaces per 100 m<sup>2</sup> GFA but will provide flexibility as the site develops.

**TABLE 8 PROPOSED PARKING SUPPLY**

Building	GFA (m <sup>2</sup> ) with deduction	City of Brampton Zoning By-law Requirement (rate of 0.78 spaces per 100 m <sup>2</sup> of GFA) <sup>3</sup>	Parking Demand Studies (rate of 0.52 spaces per 100 m <sup>2</sup> of GFA) <sup>4</sup>	Required number of spaces (proposed rate of 0.65 spaces per 100 m <sup>2</sup> of GFA)	Number of Parking Spaces Proposed
Building A	26,173	205	136	170	161
Building B	25,936	203	135	169	218
<b>Total Site</b>	<b>52,109</b>	<b>408</b>	<b>271</b>	<b>339</b>	<b>379</b>

Notes:

1. Site statistics based on site plans provided by Triovest Realty Advisors August 20, 2021.
2. GFA = Gross Floor Area
3. The equivalent parking rate = The City's Zoning By-law requirement of 168 spaces + 1 space/170 m<sup>2</sup> over 20,000
4. Represents peak demand at 6800 Maritz Drive in Mississauga at 3 pm.



## 7.0 CONCLUSIONS AND RECOMMENDATIONS

Based on a review of parking demand studies undertaken at similar developments, the recommended parking rate for the site is 0.65 spaces per 100 m<sup>2</sup> which results in the requirement for 339 parking spaces.

The proposed parking supply of 379 spaces exceeds the requirement of the recommended parking ratio but will provide flexibility as the site develops.

The parking rate of 0.65 spaces per 100 m<sup>2</sup> is appropriate and will meet the needs of the site based on the following factors:

- The variety of transportation options in the area will encourage sustainable modes of travel and reduce the need for parking on the site.
- The parking demand rates obtained at similar warehouses located in the Greater Toronto Area (GTA) are much less than what is required by the City's Zoning By-law.
- Details of parking demand surveys conducted at other GTA warehouse in November 2013 and October 2015 indicate peak parking demand ranged from 0.21 to 0.52 spaces per 100 m<sup>2</sup> of GFA.

Therefore, the proposed parking supply of 379 spaces and a rate of 0.65 parking spaces per 100 m<sup>2</sup> of GFA, can readily accommodate the parking needs of the site and will provide flexibility as the development progresses.



Flower City



brampton.ca

For Office Use Only  
(to be inserted by the Secretary-Treasurer  
after application is deemed complete)

FILE NUMBER: A-2021-0215

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** 2805939 Ontario Inc.  
**Address** 40 University Avenue, Suite 1200, Toronto, ON M5J 1T1  
  
**Phone #** \_\_\_\_\_ **Fax #** \_\_\_\_\_  
**Email** \_\_\_\_\_

2. **Name of Agent** Eric Saulesleja (GSP Group Inc.)  
**Address** 72 Victoria Street South, Suite 201  
Kitchener, ON N2G 4Y9  
  
**Phone #** 226.243.7292 **Fax #** \_\_\_\_\_  
**Email** erics@gspgroup.ca

3. **Nature and extent of relief applied for (variances requested):**  

- To permit a Front Yard Setback of 13.65 metres to Ironside Drive whereas 22.0 metres is required, in accordance with Section 250.0 (d) of By-law 270-2004; and
- To permit 339 parking spaces whereas 408 parking spaces are required, in accordance with Section 30.5 By-law 270-2004.

4. **Why is it not possible to comply with the provisions of the by-law?**  

The front yard setback variance is required as the property line cuts in towards the proposed building along Ironside Drive. This significantly decreases the usable space on the property. The parking variance is required in to achieve maximum use of the site.

5. **Legal Description of the subject land:**  
**Lot Number** Part of Lot 11  
**Plan Number/Concession Number** 43R33852  
**Municipal Address** 190 Bovaird Drive W

6. **Dimension of subject land (in metric units)**  
**Frontage** 298.37m  
**Depth** 293.29  
**Area** 8.91 ha

7. **Access to the subject land is by:**  

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>



8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

4 separate buildings, 63 units (mixed use)  
Building Area Total: 790.84sqm / 22.2% site coverage

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

2 separate buildings, Building A: 26,223.41sqm, Building B: 25,986sqm  
8 units (warehouse use)

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback	17.96m
Rear yard setback	21.60
Side yard setback	25.23m
Side yard setback	22.25m

**PROPOSED**

Front yard setback	13.65m
Rear yard setback	16.40m
Side yard setback	21.15m
Side yard setback	15.53m (exterior side yard)

10. Date of Acquisition of subject land: February 5, 2021
11. Existing uses of subject property: Industrial/Non-Industrial
12. Proposed uses of subject property: Industrial
13. Existing uses of abutting properties: Commercial (Car dealership)
14. Date of construction of all buildings & structures on subject land: 1980's
15. Length of time the existing uses of the subject property have been continued: Unknown

16. (a) What water supply is existing/proposed?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Well ☐
- (b) What sewage disposal is/will be provided?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Septic ☐
- (c) What storm drainage system is existing/proposed?  
Sewers ☒ Other (specify) \_\_\_\_\_  
Ditches ☐  
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

\_\_\_\_\_  
Signature of Applicant(s) or Authorized Agent

DATED AT THE \_\_\_\_\_ OF \_\_\_\_\_  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Eric Saulesleja, OF THE City OF Kitchener

IN THE Region OF Waterloo SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Kitchener

IN THE Region OF

Waterloo THIS 2 DAY OF

September, 2021

\_\_\_\_\_  
Signature of Applicant or Authorized Agent

Submit by Email

\_\_\_\_\_  
Melissa Lorraine Hamilton, a Commissioner, etc.,  
Province of Ontario, for DSP Group Inc.  
Expires June 22, 2024.

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

\_\_\_\_\_  
Zoning Officer

\_\_\_\_\_  
Date

DATE RECEIVED

September 7, 2021

Date Application Deemed  
Complete by the Municipality \_\_\_\_\_



17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

\_\_\_\_\_  
Signature of Applicant(s) or Authorized Agent

DATED AT THE \_\_\_\_\_ OF \_\_\_\_\_

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Eric Saulesleja, OF THE City OF Kitchener

IN THE Region OF Waterloo SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Kitchener

IN THE Region OF

Waterloo THIS 2 DAY OF

September, 2021

\_\_\_\_\_  
Signature of Applicant or Authorized Agent

Signature of Applicant or Authorized Agent

Submit by Email

Melissa Lorraine Hamilton, a Commissioner, etc.,  
Province of Ontario, for OSP Group Inc.  
Expires June 22, 2024.

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

M1A-250

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

\_\_\_\_\_  
Zoning Officer

Sept 9, 2021

Date

DATE RECEIVED

September 7, 2021

Date Application Deemed  
Complete by the Municipality

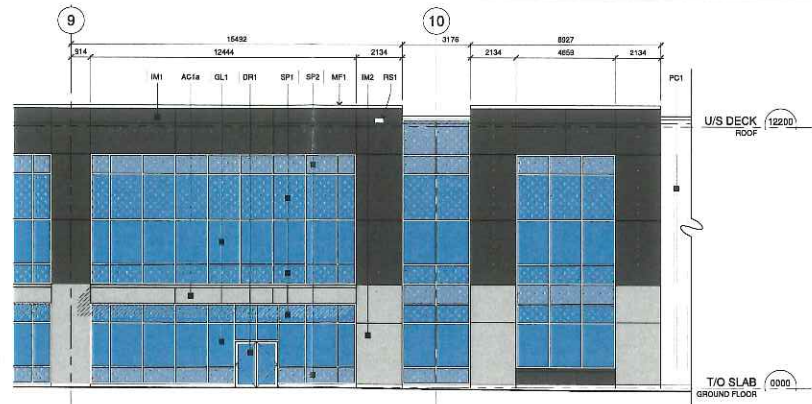
September 10, 2021



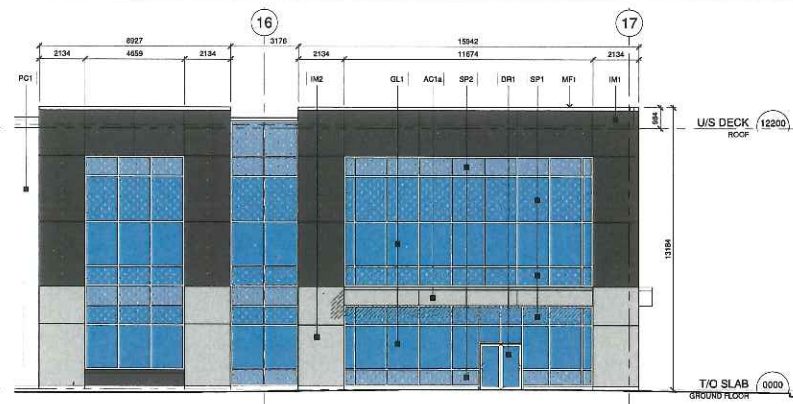


A1.0





5 PARTIAL SOUTH ELEVATION  
SCALE 1:125



5 PARTIAL SOUTH ELEVATION  
SCALE 1:125

CLOUR AND FINISH SAMPLES FOR ALL EXTERIOR COMPONENTS TO BE PROVIDED FOR REVIEW AND APPROVAL BY ARCHITECT.

- DRAWING NOTES**
1. REFER TO SHEET A3.0A FOR O.B.G. MATRIX, O.B.G. NOTES, GENERAL NOTES AND O.B.G. STAIR SIGNAGE SCHEDULE.
  2. REFER TO SHEET A3.0A FOR SYMBOLS, LEGEND AND ABBREVIATIONS.
  3. REFER TO SHEET A3.0A FOR EXTERIOR MATERIALS INCLUDING ASSEMBLY AND PARTITION TYPE SCHEDULES.
  4. REFER TO SHEET A3.0A FOR FIRE RATED ASSEMBLY SCHEDULE.
  5. REFER TO SHEETS A3.0A THROUGH A3.1A FOR LAYOUT AND CONFIGURATION OF ALL EXTERIOR CLADDING COMPONENTS.
  6. COLOUR OF METAL CLOSURES, TRIMS, FLASHINGS, LOUVRES, VENTS AND LIGHTING FIXTURES SHALL MATCH ADJACENT MATERIAL UNLESS NOTED OTHERWISE.
  7. REFER TO ELECTRICAL FOR EXTERIOR WALL MOUNTED LIGHTING FIXTURES.

**Pearce McCluskey Architects**  
2203 DUNDAS STREET WEST, SUITE 102  
TORONTO, ONTARIO M6H 1T1  
416.593.2444  
www.pmccl.us.com

**PROFESSIONAL ASSOCIATION**  
ARCHITECT  
PEARCE MCCLUSKEY  
LICENCE  
E112

This drawing is not to be used for construction unless signed by a professional architect.  
Contractors must verify all dimensions and be responsible for them, report any discrepancies to the architect before commencing the work.  
Prices are not to be included.

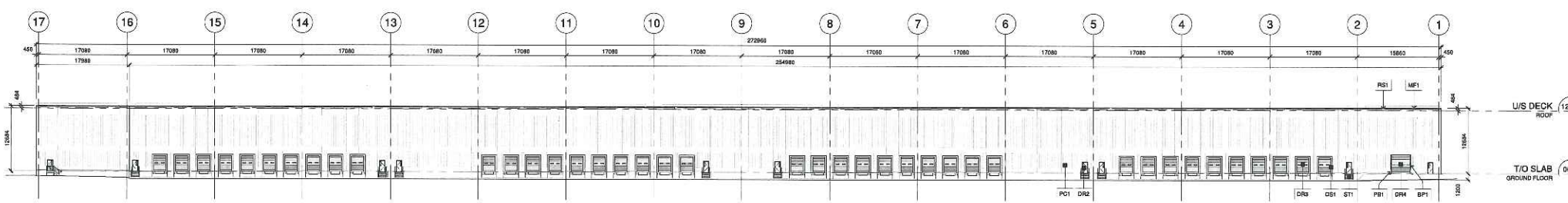
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detail number: sheet number: key to details

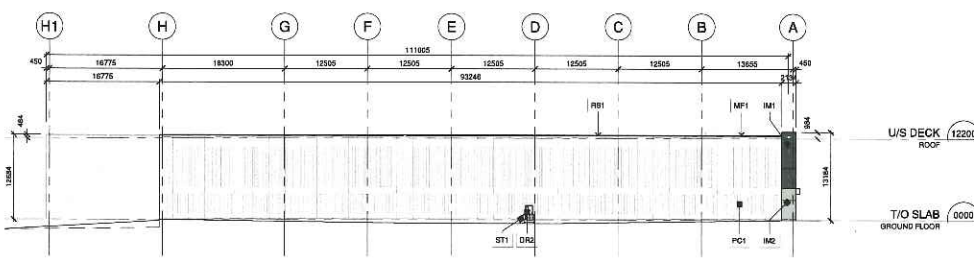
**TRIOVEST**

**OWNER:**  
TrioVest  
1500 Dundas Street West, Suite 102  
Toronto, Ontario M6H 1T1

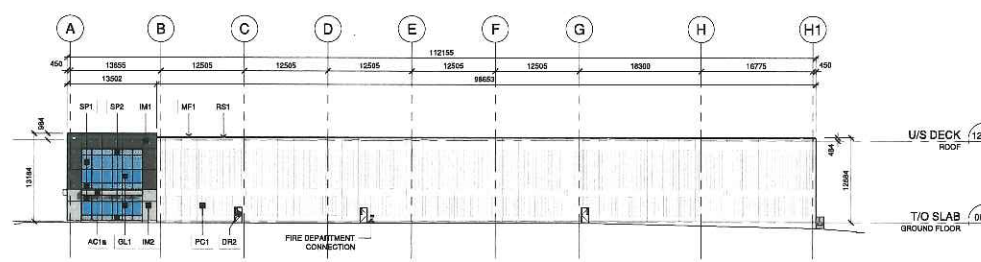
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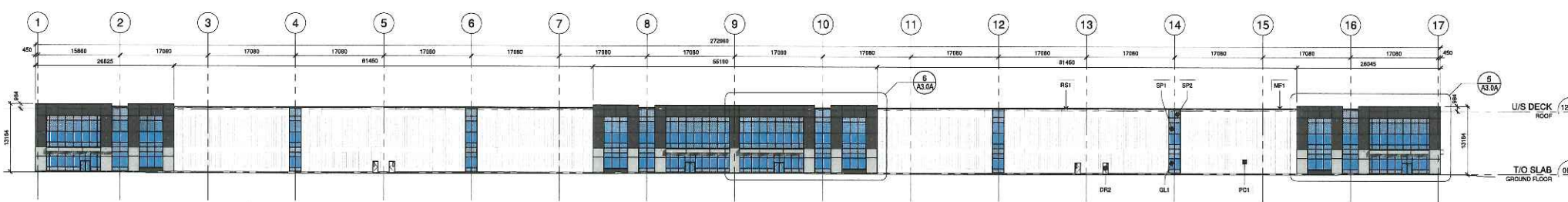
4 NORTH ELEVATION  
SCALE 1:400



3 WEST ELEVATION  
SCALE 1:400



2 EAST ELEVATION  
SCALE 1:400



1 SOUTH ELEVATION  
SCALE 1:400

Issued for City Plan Approval 16 Apr 21

**BOVAIRD WAREHOUSE**  
1500 Dundas Street West  
Toronto, Ontario M6H 1T1

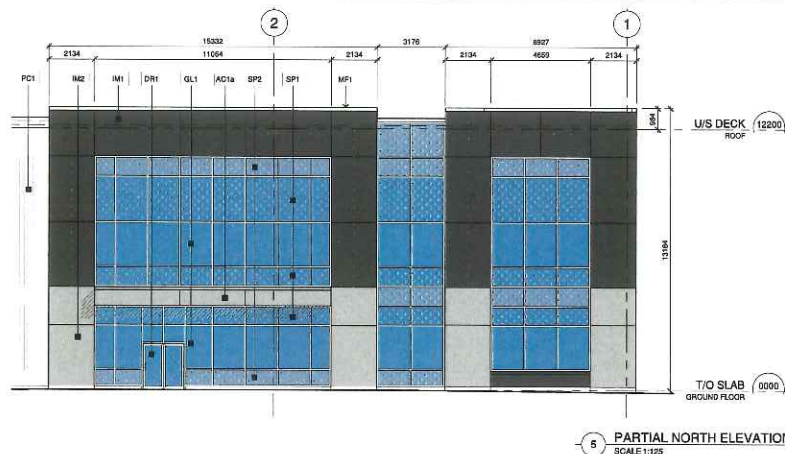
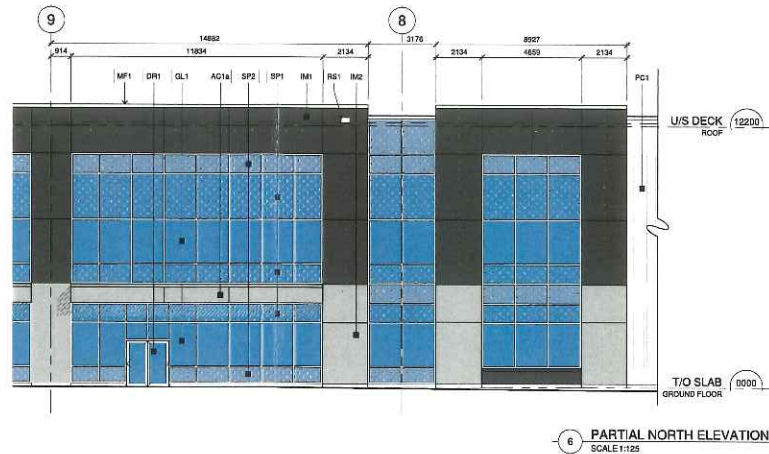
**BUILDING A ELEVATIONS**

Project Number:

20058

Drawn By: LS  
Checked By: HM  
Date: NOVEMBER 2020  
Scale: AS NOTED  
Sheet Number:

**A3.0A**



COLOUR AND FINISH SAMPLES FOR ALL EXTERIOR COMPONENTS TO BE PROVIDED FOR REVIEW AND APPROVAL BY ARCHITECT.

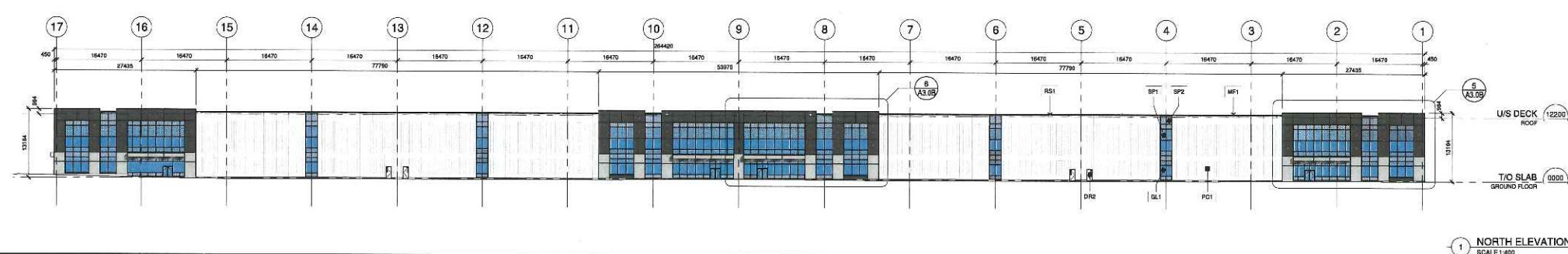
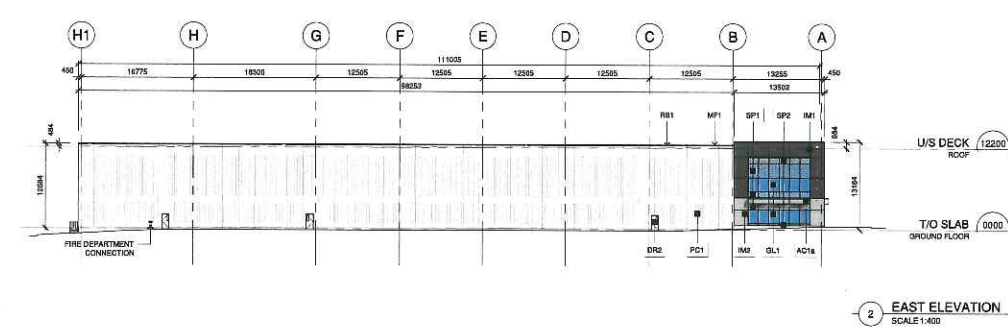
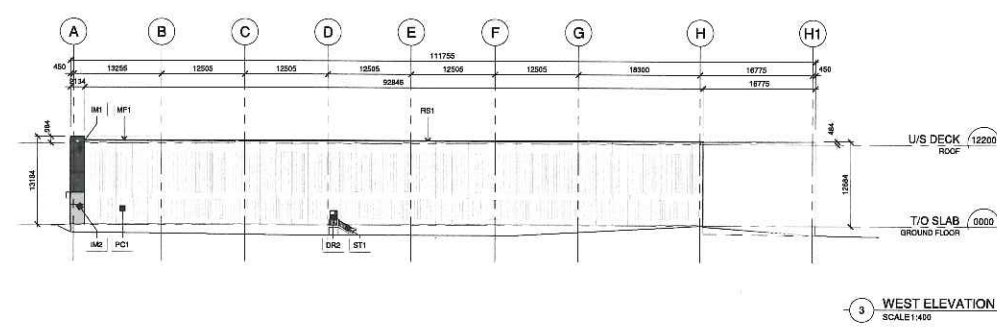
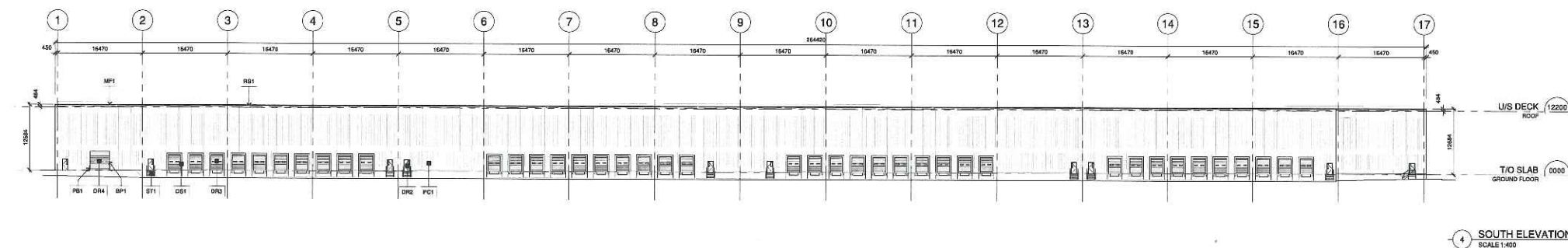
- DRAWING NOTES**
1. REFER TO SHEET A3.0B FOR O.B.G. MATRIX, O.B.G. NOTES, GENERAL NOTES AND O.B.G. STAIR SIGNAGE SCHEDULE.
  2. REFER TO SHEET A3.0B FOR SYMBOLS, LEGEND AND ABBREVIATIONS.
  3. REFER TO SHEET A3.0B FOR EXTERIOR MATERIALS INCLUDING ASSEMBLY AND PARTITION TYPE SCHEDULES.
  4. REFER TO SHEET A3.0B FOR FIRE RATED ASSEMBLY SCHEDULE.
  5. REFER TO SHEETS A3.0B THROUGH A3.1B FOR LAYOUT AND CONFIGURATION OF ALL EXTERIOR GLAZING COMPONENTS.
  6. COLOUR OF METAL CLOSURES, TRIMS, FLASHINGS, CLOSURES, VENTS AND LIGHTING FIXTURES SHALL MATCH ADJACENT MATERIAL UNLESS NOTED OTHERWISE.
  7. REFER TO ELECTRICAL FOR EXTERIOR WALL MOUNTED LIGHTING FIXTURES.

**Pearce McCluskey Architects**  
2303 Dundas Street West, Suite 1000  
Toronto, Ontario M6H 1T1  
416.597.2444  
www.pmcarchitects.ca

**TRIOVEST ASSOCIATES**  
Professional Engineer  
Licence 5512

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detail number  
sheet number  
key to details



**TRIOVEST**

OWNER:  
TrioVest  
155 Bayview Avenue, Suite 1000  
Toronto, Ontario M5S 1T1

SITE PLAN APPROVAL FILE NUMBER:  
\_\_\_\_\_

Issued for Site Plan Approval 18 Apr 21

**BOVAIRD WAREHOUSE**  
155 Bayview Ave W  
Toronto, Ontario

**BUILDING B ELEVATIONS**

Project Number:  
20058

Drawn By: LS  
Checked By: KM  
Date: NOVEMBER 2020  
Scale: AS NOTED  
Sheet Number:

**A3.0B**



