



UNLIMITED HEIGHT & DENSITY

Council Workshop
September 27, 2021



Agenda

- Recommendations
- The Economics
- Key Success Factors

Presenters



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Recommendations



Key Message



Brampton does not have a problem attracting development; the more important issue is managing it to fulfill Term of Council Priorities.

Applications – 2019/2020/2021

Total number of applications 2019 (Jan 01 – Aug 13)

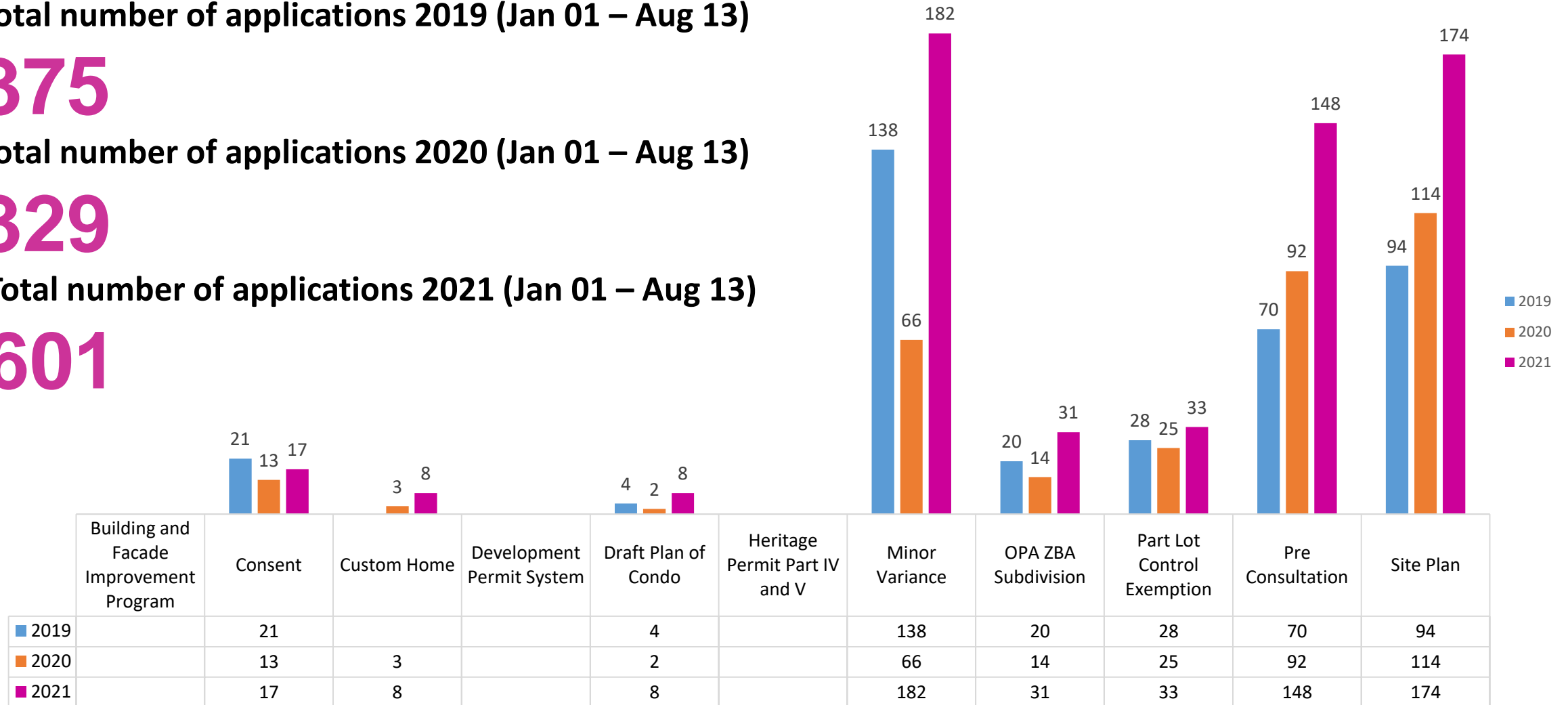
375

Total number of applications 2020 (Jan 01 – Aug 13)

329

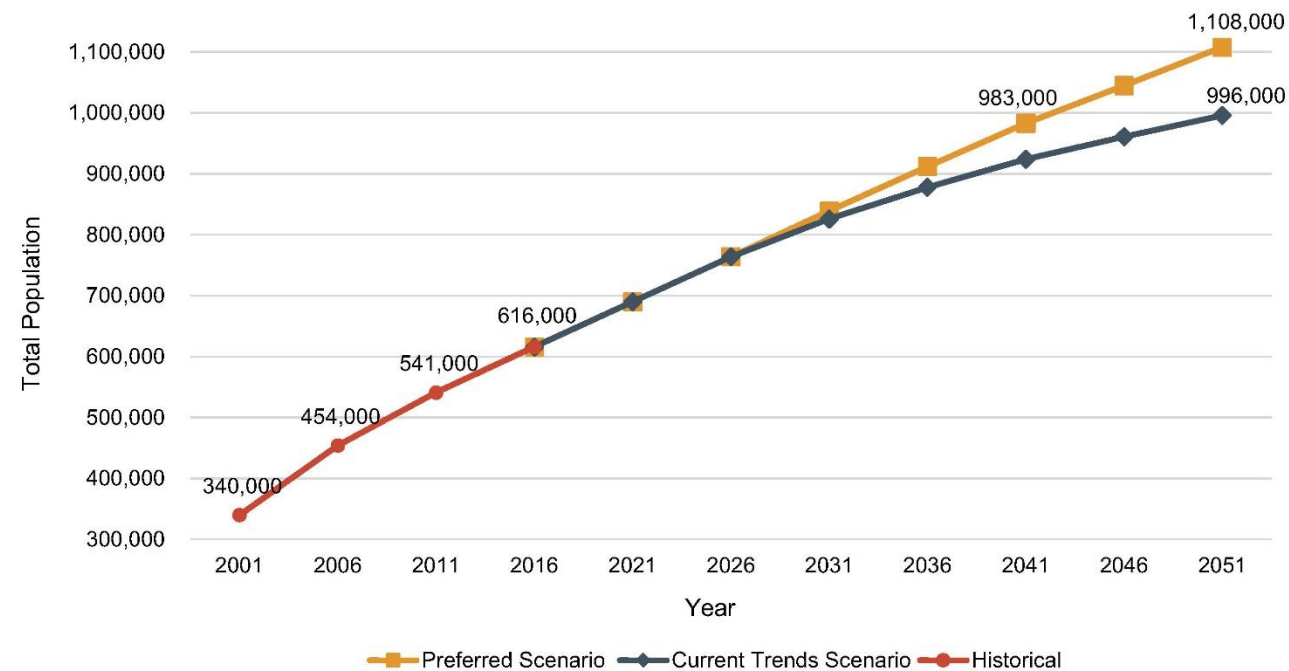
Total number of applications 2021 (Jan 01 – Aug 13)

601



Significant Growth to 2051

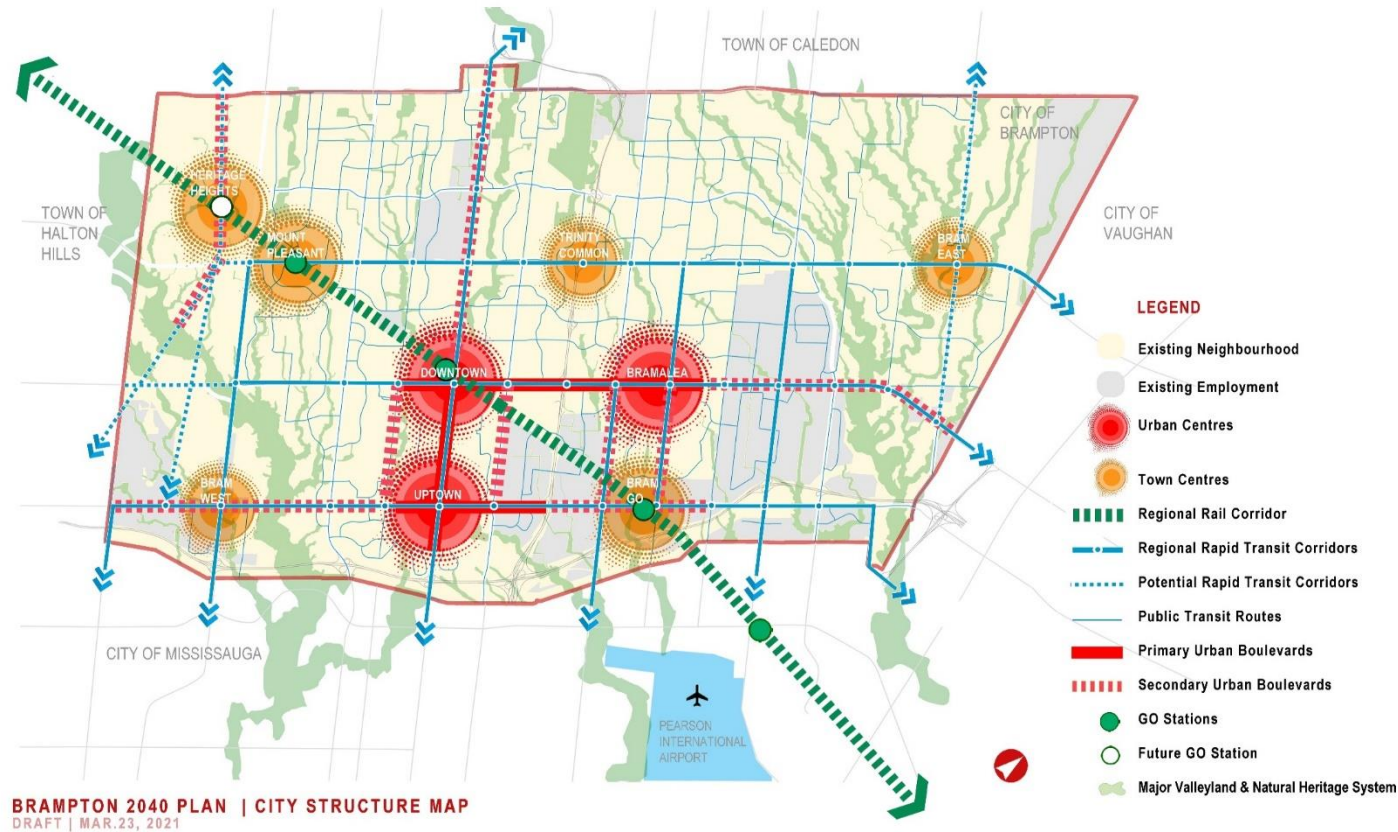
City of Brampton Population Forecast Scenarios,
2016 to 2051



REGION OF PEEL PROJECTIONS	
2016	615,670
2021	696,340
2026	789,430
2031	858,640
2036	892,810
2041	923,690
2046	954,950
2051	985,090

Source: Forecasts by Watson & Associates Economists Ltd., 2020.
Note: Population includes the Net Census Undercount estimated at 3.5%.

We can Accommodate Tall Buildings



- Direct tall buildings to key growth nodes – e.g. Downtown, Uptown and along key higher order transit spines – Hurontario and Queen Street, where there is adequate hard and soft infrastructure to deliver a high quality of life for residents.
- Can accommodate height without having to give up potential community benefits.
- Predictable planning regime will allow us to better plan hard and soft infrastructure.
- In the process of identifying where tall buildings are appropriate.

Integrated Neighbourhood Building

- Quality of life and good neighbourhood building, not just height and density, is the key to attracting and retaining new economy employment and skilled knowledge workers.
- Instead of priming the development pump in an overheated market, it is better to leverage this wave of development to ensure an enviable quality of life as envisioned by the 2040 Vision and Council's priorities – this can help Brampton's competitive position.
- Importance of integrated neighbourhood building not just individual developments, as well as environmental sustainability, complete communities, public realm and social infrastructure.



Establish a Predictable Regime

- Brampton is in the process of establishing a very good planning structure that will bring more clarity/predictability for the City, residents and the development community – particularly in relation to the review of tall buildings.
- Will allow us to better plan for hard and soft infrastructure.
- Will enable the use of Section 37 and CBC as necessary.
- Flexibility to respond to context and unique situations.
- Brampton is on a good path and does not need to implement Unlimited Height and Density.



The Economics



Factors that Impact Land Value

- Market Conditions: Supply, Demand, Macro Economic factors such as Employment and Interest Rates.
- Physical Aspects of the Site: Surrounding Uses, Soil Conditions, Natural Features, Developable Land.
- Cost of Construction: Hard and Soft Costs.
- Legal Aspects: Provincial and City Planning Regime.



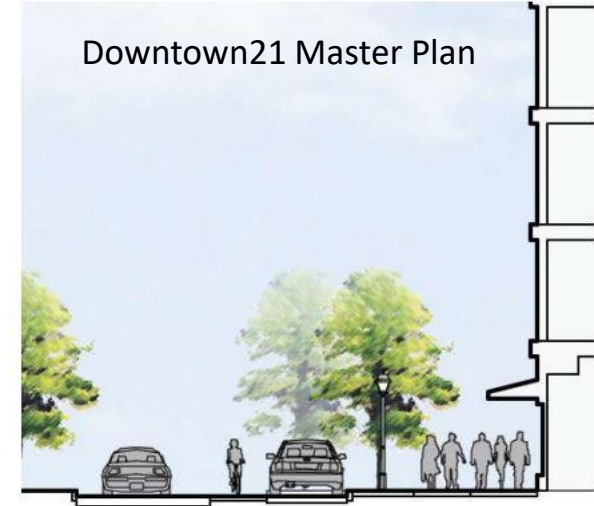
Unpredictable Planning Regime

- Potential to accelerate near-term investment.
- But ... significant long-term disadvantages.
- Land values increase therefore:
 - Buildings will all need to be tall
 - Little diversity in building types
 - Housing will be predominately Investor owner units
 - Very sensitive to market shifts
 - Leads to extremes – low density to extremely high with little in between.
- Emphasis of development is on height – not achieving Community Planning Objectives.
- Council loses leverage in negotiating Community Benefits.
- Council will need to assume the most expensive infrastructure scenario.
- Creates a highly speculative land market - discourages investment.
- Potential for delayed build out.



Predictable Planning Regime

- Clarity around height/density and planning vision = certainty and predictability.
- Reduces Speculation – Encourages investment.
- Highest around transit where infrastructure can support it.
- Land values are aligned with Council's vision of height and density.
- Developer knows what next door is more likely to build.
- Can plan infrastructure and community amenities appropriately.
- More innovative/diverse typologies built.
- More diversified product = less sensitive to market shifts.



Create a Development Framework with Predictability

The current development policy framework lacks necessary guidance, is an unpredictable planning regime, and does not direct the kind of coordinated urban development necessary to create a vibrant and walkable Downtown.

Recommendations:

- Establish a Framework Plan that defines future streets and connections that can be incrementally built over time;
- Identify locations for future parks and open spaces;
- Define specific street design standards to guide public and private investment;
- Incent and direct desired land uses (office/employment) in key locations and districts;
- Establish a high quality public realm with regard to securing human comfort (sun, wind); and
- Define new building frontage and urban design standards that strengthen the pedestrian and public realm and which nurture a true urban character.



Market Demand

- Market needs to be very strong to justify one building;
- One building could consume market demand for several years – slowing “build out” of the community;
- A community of a diverse housing types, heights and density is more likely to appeal to broader markets; and
- Midrise = better scale/more vibrant.



Developers/Builders/Speculators

- Land Speculator – buys land hoping it will go up in value over time or through changing use (rezoning , etc.).
- Developers – take land and obtain necessary entitlements and permits to create lots, put in water, sewers, streets, curbs, etc.
- Builders – Build the buildings.
- Important to be clear about who we are trying to attract and which policies favour which activities.
- Goal – maximize quality development and minimize land speculation.



Key Success Factors



The Vision is Working



There is excitement in Brampton, the private sector is buying in.

Rio Can

- Significant goods news story for Brampton.
- The kind of urban development we are trying to attract.
- Working within existing entitlements.



Brampton's Community Hub is an **adaptable and expandable** "walk-to" and "cycle-to" model that meet changing demographic needs.

HEALTH HUB SOCIAL HUB LIBRARY HUB EDUCATION HUB RECREATION & FOOD HUB ARTS, CULTURE & DESIGN HUB TECHNOLOGY & INNOVATION HUB GREEN & ECOLOGY HUB OPERATION HUB



Sporadic Height & Density

- Popping up sporadically all over the place.
- Can generate significant community opposition.
- May be out of place with the context.
- Difficult to plan infrastructure this way – need to plan for worst case which can be expensive.



Tall Towers

- Tall buildings in the 905 can perpetuate suburban lifestyles.
- Often do not contribute to vibrant places as well as midrise buildings.
- Often have marginal ground floor activation.
- Cumulative impact of tall buildings – not a great place.
- Shadows/wind – microclimate issues.
- Scale issues.



Quality of Life

- To maintain a high quality of life in these urban neighbourhoods, the implementation of these high-density developments require resources to build and maintain both hard and soft infrastructure including community facilities, parks and open space, public realm, etc.



Recommendations

- Create a clear & predictable planning regime.
- Midrise building typologies creates a more vibrant city with diverse housing options.
- Predictable planning regime makes it easier to plan infrastructure.
- Identify locations where tall buildings are appropriate.
- Preserve the ability to collect community benefits through Section 37 and CBC.
- Unlimited Height & Density is not recommended.





UNLIMITED HEIGHT & DENSITY

QUESTIONS?

