



# ROBERT HALL HOUSE

11687 CHINGUACOUSY ROAD, BRAMPTON, ONTARIO

## SCOPE OF WORK

HERITAGE CONSERVATION PLAN (HCP)  
HERITAGE BUILDING PROTECTION PLAN (HBPP)

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### ARCHITECTS RASCH ECKLER ASSOCIATES LTD.

15 LOLA ROAD  
TORONTO, ONTARIO, M5P 1E5  
TEL. (416) 696-1969 FAX. (416) 696-1966

600-158 Sterling Road  
Toronto, ON M8R 2B7

T +1 416 596 8500  
ZEIDLER.COM

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No.	REVISIONS / ISSUES	DATE	

AREA

ARCHITECTS RASCH ECKLER ASSOCIATES LTD.

15 LOLA ROAD  
TORONTO, ONTARIO, M5P 1E5

TEL. (416) 696-1969  
FAX. (416) 696-1966

ONTARIO ASSOCIATION OF ARCHITECTS  
DAVID M. ECKLER  
LICENSE  
4507

PROJECT TITLE

ROBERT HALL HOUSE  
11687 CHINGUACOUSY ROAD, BRAMPTON, ONTARIO

DRAWING TITLE

COVER PAGE

DRAWN BY AA	SCALE
CHECKED BY DE	DATE SEPT 29, 2021
	DRAWING NO. AH0.0
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<b>C1. Introduction</b>
1. AREA, Architects Rasch Eckler Associates Ltd. ('AREA') was retained by TFP Mayching Developments Ltd. ('owner') (an associate company of Paradise Developments) to prepare Heritage Impact Assessment report (HIA) and Heritage Conservation Plan for the property municipally known as 11687 Chinguacousy Road, Brampton. AREA prepared this Heritage Conservation Plan (HCP) and Heritage Building Protection Plan (HBPP) and its conservation approach with reference to Parks Canada Standardsand Guidelines for the Conservation of Historic Places in Canada, and the Ministry of Culture's Ontario Heritage Tool Kit Procedures.
2. This Conservation Plan has been informed by and is in accordance with Conservation Documents as listed
a. Heritage Impact Assessment (HIA) Report by AREA, February 2021
b. Stage 1&2 Archaeological Assessment of Part of West Half of Lot 17, Concession W.H.S., City of Brampton, Regional Municipality of Peel, (Geographic Township of Chinguacousy, County of Peel), The Archaeologists Inc., January 2011
c. City of Brampton's Cultural Heritage Impact Assessment,
d. Terms of Reference ("HIA-ToR"), (Appendix C)
e. City of Brampton Official Plan ("OP"), 2006 (with September 2020 Office consolidation)
f. City of Brampton's Municipal Register of Cultural Heritage Resources 'Listed' Heritage Properties (2020)
g. Development Concept Plan, Glen Schnarr & Associates Inc. (GSAI) November 2020 (Appendix D)
h. Phase One Environmental Site Assessment (ESA) 11687 Chinguacousy Road, Southern Block Brampton, Ontario, DS Consultants Ltd., December 2020
i. Geotechnical Investigation Lot 17 Concession 2 WHS, 11687 Chinguacousy Road, Brampton, Terraprobe Inc., October 2006
j. Ontario Heritage Act ('OHA');
k. Ontario Heritage Tool Kit (OHTK), Ontario Ministry of Culture (now Tourism, Culture, and Sport), 2006;
l. PRE-Development Consultation Application, Consolidated Comment Report, Planning & Development Services, the City of Brampton (File: PRE-2020-0148), December 2020
m. Provincial Policy Statement ('PPS') of the Planning Act, with revisions up to 2020
n. Urban Design Addendum to Mount Pleasant Block Plan 51-2 CDG, John G. Williams Limited Architect & Strybos Barron King Ltd., Landscape Architecture, January 2021
3. COST ESTIMATE for the Conservation Plan will be calculated to determine the amount of budget as part of overally project cost
4. SCHEDULE/PHASING PLAN for all work on the heritage subject will be provided to Heritage Planning staff as a condition of the approvals.



Figure 1: Map showing the location of the Heritage resource and site boundary of the subject property in red. (Source: Brampton Planning Viewer 2020. Annotated by AREA)

5. VARIANCES & DISCREPANCIES: By variances and discrepancies found on site must be report to AREA by phone. Written communication to be issued by AREA prior to commencement of the various components of Conservation Work.
<b>C2. Description of Resource</b>
1. Location:
11687 Chinguacousy Road, Brampton, Ontario
2. Legal description:
The subject property was originally the West Half of Lot 17, Concession 2, West of Hurontario Street, Chinguacousy Township, Peel County. Its legal description through the Land Registry Office is now: PT LT 17 CON 2 WHS CHINGUACOUSY PART 3, 43R15957; SAVE AND EXCEPT PART 1, PLAN 43R35275; SUBJECT TO AN EASEMENT IN GROSS OVER PARTS 1 & 2, PLAN 43R37101 AS IN PR2947960; SUBJECT TO AN EASEMENT IN GROSS OVER PART 1, PLAN 43R37492 AS IN PR3170995; CITY OF BRAMPTON and PIN No.14251-3645 (LT).
3. Site Area:
The subject property has a site area of approx. 8.8 ha. (approx. 19.92 acres) (north and south blocks combined).
4. Boundaries:
This property is located at the southeast corner of Mayfield Road and Chinguacousy Rd. in the City of Brampton. Access to the Property is via Chinguacousy Road.
5. Boundaries:
While Chinguacousy Road runs in a roughly north-westerly direction, it will, for the sake of convention and clarity, be discussed as if it followed a north/south alignment, much as Mayfield Road and Clockwork Drive is typically described as running east/west.
6. Official Plan Designation:
The subject property is located within the Mount Pleasant Secondary Plan Area within Block 51-2, as defined by the City of Brampton Official Plan, and is designated 'Neighbourhood Retail' and 'Heritage Resource'.
7. Zoning By-law:
The existing zoning on the subject property is 'Agricultural' under the City of Brampton Zoning By-law 204-2010.

8. Property Description:
The subject property is rectangular in shape. Most of the property is currently open and cultivated farmland. The north portion is cultivated agricultural field while the south portion contains the Robert Hall House, later additions and outbuildings. The property is mostly flat and open, with no significant woodlands or wetland features.
The property at 11687 Chinguacousy Road consists of a nineteenth-century limestone residence, also referred to in this report and in other official documents as the Robert Hall House. The south portion of the site previously also included an inferred barn, up to four (4) silos, two (2) buildings inferred to be used for agricultural related purposes, a salt shed, and a drive shed, all of which had been demolished by a previous owner at the time of this assessment.
3. Evolution Over the Time:
The time of the house construction may have occurred under either of the owners of the 1870's, being Charters Nicholl or Robert Hall. Site investigations confirmed the original portions of the house structure as a one-and-a-half storey limestone farm residence.
Several exterior additions/alterations to the building envelope were generally comprised of:
A. Built Form, Mid-1870's (c.1875)
1. Original limestone house, presumably built in the mid-1870's, either by Charters Nicholl or Robert Hall.
2. It is a one-and-a-half-storey farmstead, in an 11x9-metre rectangular plan, with a stone summer kitchen abutting the north facade.
3. Original block chimney on the east wall may have been a flue pipe from a wood burning stove.
4. West facade originally incorporated the main entrance as indicated by its formal, decorated brick quoins, and facing towards the access from Chinguacousy Road.
B. Built Form, 1969
In 1969, the wall of the summer kitchen collapsed and was replaced by the wood porch on the north side.
C. Built Form, 1979
In 1979, a one-storey brick structure was added to the front facade on west side, reconfiguring the entrance to the north side.
D. Built Form, 1979
In 1991, a tall pseudo-Gothic designed addition in wood framing and vertical cladding was incorporated to serve as a living area on the east side.
The latest addition is clearly a poor reinterpretation of historical style(s) because of incongruous combination of classical elements (i.e., semi-circular and oval gable windows) with Carpenter Gothic board-and-batten cladding. So, in assessing the heritage value of the house, only the original c. 1875 house, consisting of the "middle" limestone structure, was determined to have sufficient historical integrity.



Figure 2: Aerial photograph showing the approximate extents of the subject property in red. (Google 2020)

<b>C3. Heritage Significance</b>
1. Designation
The house is "listed" on the City's Heritage Register but without an assigned criteria Class or Score.
The City Heritage Staff's Listing Report identifies primarily the "19th Century stone farmhouse" as providing the property's cultural heritage value. Because 11687 Chinguacousy Road is not a designated property under the terms of the OHA but has been entered on the Clerk's Heritage Register, it will be assessed using the guidelines established by the City of Brampton and the Listing Report of the property prepared by City Staff for and approved by the Brampton Heritage Board (BHB) for the Municipal Register of Cultural Heritage Resources.
2. Statement of Cultural Heritage Value:
The "Robert Hall House" at 11687 Chinguacousy Road sits on a century-and-a-half old, 19.92-acre farmland property in the City of Brampton. Its original, one-and-a-half-storey structure, is a fine, rare example of vernacular Georgian Style expressed in its unique and high-quality rough-stone coursing technique. It is one of the two residential stone structures in the City, and would therefore, contribute to an understanding of the 19th-century rural life in Chinguacousy Township. The house structure is worthy of designation under the OHA. Its higher-valued Robert Hall portion must be conserved and integrated within the development site, with commemorative strategies to the original agricultural context that will substantially be removed with the rezoning of North-West Brampton (NWB) area, and the spiraling future developments resulting from the approval of the City's Mount Pleasant Secondary Plan Sub-Area 51-2.
3. Heritage Attributes
a. Heritage attributes related to the original Robert Hall House's Design or Physical Value, including:
- Gabled form and simple massing;
- Symmetrical composition of the 3-bay entrance;
- Use of rectangular window and door openings throughout
- Redbrick quoins;
- Coursed limestone masonry;
- Dressed stone lintels and sills; &
- Interior elements – paneling, window and door casings, mouldings, flooring.
b. Heritage attributes related to the Robert Hall House's Historic Value, including:
- Location of the c. 1870 limestone farmhouse constructed for the Hall family on Concession 2, Lot 17, Chinguacousy Township.
- Carved Initials of Robert Hall carved into brick.
c. Heritage attributes related to the Robert Hall House's Contextual Value, including:
-The farm may contribute to an understanding of 19th century rural life in Chinguacousy Township & Orientation to Chinguacousy Road.



Figure 3: Farmhouse Exterior, view of east and north facade, 11687 Chinguacousy Road, Brampton, c. 1969.



Figure 4: Farmhouse Exterior, view of east and south facade, 11687 Chinguacousy Road, Brampton, c. 1984.



Figure 5: Farmhouse Exterior, view of east and south facade, 11687 Chinguacousy Road, Brampton, 2009.



Figure 6: Farmhouse Exterior, view of south facade, 11687 Chinguacousy Road, Brampton, 2021.

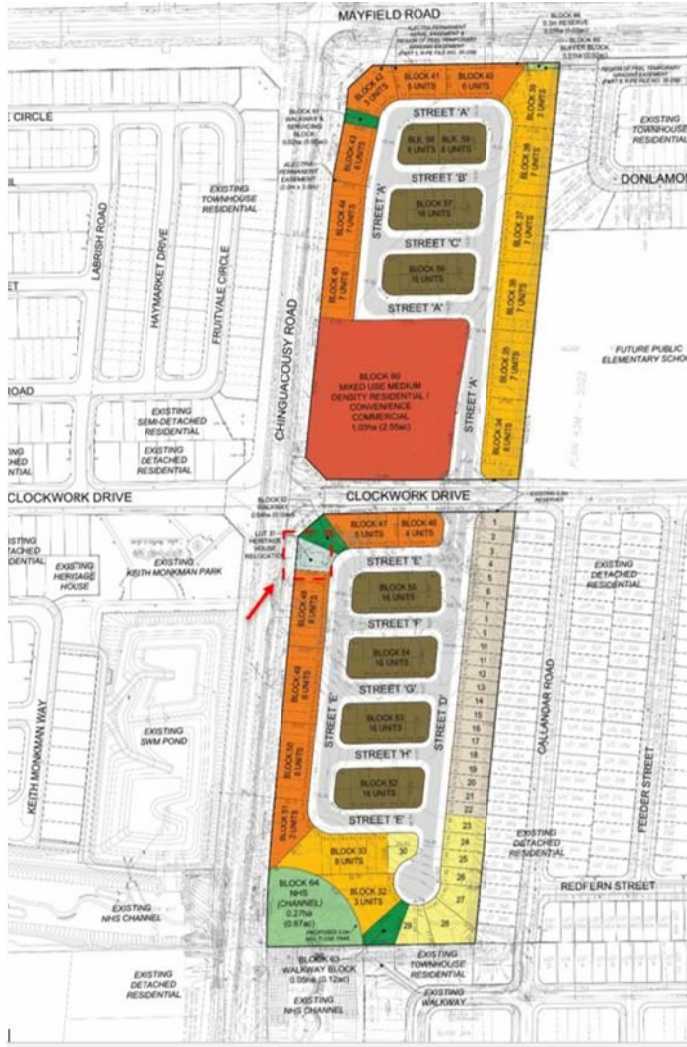


Figure 6: Proposed Draft Plan of Subdivision of the new mixed-use development showing the relocated Heritage Resource (GSAI, 2021. Annotated by AREA)

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<div><div>AREA</div><div>ARCHITECTS RASCH ECKLER ASSOCIATES LTD.</div><div>15 LOLA ROAD TORONTO, ONTARIO, M5P 1E5 TEL: (416) 696-1969 FAX: (416) 696-1986</div></div> <div><div>ONTARIO ASSOCIATION OF ARCHITECTS DAVID W. ECKLER 4507</div></div>		
PROJECT TITLE		
ROBERT HALL HOUSE 11687 CHINGUACOUSY ROAD, BRAMPTON, ONTARIO		
DRAWING TITLE HERITAGE CONSERVATION PLAN (HCP) INTRODUCTION		
DRAWN BY AA	SCALE : NA	
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C4. Planning Policy Conservation Frame Work

1. Conservation Approach:

This HCP proposes rehabilitation and restoration as primary conservation approaches for the Robert Hall.

2. Guiding Principles of Conservation

The Standards and Guidelines for the Conservation of Historic Places in Canada (second edition) defines rehabilitation and restoration as:

Rehabilitation: The action or process of making possible a continuing or compatible contemporary use of a historic place or an individual component, while protecting its heritage value

Restoration: the action or process of accurately revealing, recovering or representing the state of an historic place, or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

3. Conservation Strategy

- The conservation strategy is to conserve the cultural heritage resource through relocation to a new Lot on the same property.
- The proposed new location for the house is the southeast corner of the Chinguacousy Road and Clockwork Drive within the boundaries of Lot 31. The new proposed site will have an area of 0.1 acres.
- The proposed new parcel for the relocated heritage house is close to its original location, preserving its context. The house will enjoy a prominent location at the intersection of Clockwork Drive and Chinguacousy Road on a corner lot, ensuring visibility from the public right-of-way and maintaining its existing visual relationship with Chinguacousy Road.
- The subject property will be preserved and restored for adaptive re-use and will be utilized as a residence for future private owners. The entire portion of the building containing the heritage attributes will be moved. The building will stay on its property throughout construction. The later additional building wings not identified as heritage attributes, currently existing on-site are proposed to be demolished.

4. Approach for Heritage-Compatible Addition

- Following a field verification, and as permitted by the Town and a licensed structural engineer, the heritage structure shall be separated from its utilities and foundations, through the placement typically of steel l-beams directly below the floor framing. This steel cribbing will then be lifted by hydraulic jacks upon the approval of a structural engineer. As part of the moving operations, the exterior and interior bracings of the heritage structure shall be designed and constructed to support the building envelope. Openings shall be boarded up, and water eradicating systems shall be verified as operational. Operations shall cease if the heritage structure appears endangered, and the Heritage Architect, Engineer, and Town Staff should be notified. Moving shall only resume once corrective measures have been undertaken.
- Officially naming the subject building 'Robert Hall House' and installing a plaque in the green space adjacent to the property that will be visible from public right of way but will not impact any heritage attributes of the House.

5. The Heritage Design Strategy for the Robert Hall House:

TFP Mayching Developments Ltd. is proposing to develop the property as a subdivision. The subject heritage property is included in Lot 31 of the subdivision plan and will be protected for adaptive re-use as a residential building. The 19.92 acres new development is designed to front onto Chinguacousy Road with both the residential and mixed use/ medium density residential / convenience commercial block component to be located facing towards this frontage.

a. Landscape Buffers & Commemorative Landscaping

- Landscape buffers may include setbacks to convey internal road allowances, as well as the provision of parkettes.
- Building setbacks may also enable a generous landscaped setting adjacent to the highway to create pedestrian-oriented landscape strips.
- The consideration for landscape buffers will limit and obviate the impacts of the intensified residential use surrounding the Robert Hall House structure. It may also enhance private and public spaces in the proposed residential building. A walkway block is proposed north of the CHR's new lot.

b. Sympathetic Design to New Buildings & Surroundings

It is important that new construction promotes architectural interest, human scale, and sympathetic design to the character-defining attributes of the heritage structure. New, contemporary buildings may be sympathetically designed to incorporate concepts and elements from the heritage structure.

c. Preparation of a Conservation Plan

The Conservation Plan may include components that include, but are not limited to: drawings and "Outline" Specifications, building Material Inventory, cost Estimate, etc.

The Conservation Plan and its components will demonstrate the range of measures that will be undertaken to protect the heritage structure during the approvals and development processes. The Conservation Plan therefore represents a first step in upgrading the building exterior, and discusses the building's conditions on a 'macro' level. It forms the implementing submission intended to guide the future specifications and drawings which will outline the detailed restoration methods.

C5. Assessment & Management

1. Evaluation of Existing Conditions:

The building conditions were observed during a site visit by AREA staff on March 29, 2021 and are identified in detailed photographs of following sections in the Heritage Impact Assessment report ('HIA') issued on February, 2021 and same included in this HCP.

M1. EXTERIOR ORIGINAL LIMESTONE MASONRY WALL:

The exterior stone coursing consists of 'semi-dressed' or rough coursed. The exterior wall appears to be 2ft thick and its center filled with rubble stone.

Some deterioration is observed at the exterior stone facade and needs to be repaired. All existing stone surfaces are required cleaning prior to additional masonry restoration work to eliminate efflorescence & to remove dirt & detritus for further inspection of any loosened stone units & cracked mortar joints.

M2. STONE WINDOW LINTELS SILLS

Two bays of windows on the north and south facades are supported on stone sill. Some of the windows are crowned with large, fully dressed stone lintels. Some cracks and chipped edges are observed at the stone window lintels and sills. All existing stone window lintels and sills require cleaning prior to additional masonry restoration work to remove dirt & detritus for further inspection.

M3. BRICK QUOINS ON SOUTH-WEST CORNER

Formal decorated brick quoins on the South-west corner (missing from the east facade). Some deterioration is observed and need to be repairs.

R1 & R2: GABLED ROOF & ROOF DRAIN ACCESSORIES

Some deterioration is observed at roof cladding on original historic structure. Gutters and flashings are all contemporary refinish metal.

WD1: HORIZONTAL NAILERS BEAM ON WEST FACADE & WOOD CLAD ON SOUTH ELEVATION

Horizontal beam running the width of the West facade at the level of the roof ties which is set into the stone as a "nailer" strip. Some deterioration is observed on the horizontal wood nailer beam.

WD2: WOOD SOFFITS, FASCIA & TRIMS

Wood components are are deteriorated in multiple areas. Chipping, discoloration, swelling, and missing components can be seen throughout and need to be repaired.

WD3: ENTRANCE WOOD PORCH ON NORTH

Wood porch served as an access point since 1969, and as the main entrance since 1979. With its material and architectural form, the wood porch differentiates itself from the rest of the masonry structure. Therefore, Northern wood porch could be replaced with in-kind wood materials as part of house re-use.

WD4: ENTRY STEPS

Severe deterioration is observed at the wood entry steps and need to be replaced.

WN1: ORIGINAL WINDOWS/DOORS FRAMES

Some deterioration is observed at window and door wood frames. Wood elements could be rehabilitated, patched or spliced at selective damages.

WN2: ORIGINAL WINDOWS/DOORS

Severe deterioration is observed at window and door, and need to be replaced by contemporary units.

WN3: SKYLIGHT WITH WOOD FRAME

Severe deterioration is observed at skylight's frame & glazing. The system must be inspected for any deterioration before any restoration work.

2. Objective of Conservation Plan:

To ensure the long-term sustainability and use of the Robert Hall House as a valued built heritage resource, it is recommends to:

Relocate the Robert Hall House to a new location within the site in the proposed development and demolish other structures on the subject property that have no heritage value.

This operation will require the following short-term and long-term actions:

Short-term Conservation Actions:

- Implement a Heritage Building Protection Plan (HBPP) for the cultural heritage resource, in accordance with the City of Brampton Heritage Building Protection Plan Terms of Reference and to the satisfaction of the City of Brampton.
- Prepare a Heritage Conservation Plan (HCP) in accordance with Section 8 of the Heritage Impact Assessment Terms of Reference, detailing the conservation approach (i.e. preservation, rehabilitation or restoration), the required actions and trades, and an implementation schedule to conserve the Robert Hall House prior to, during and after the relocation effort.

Long-term Conservation Actions:

- Designate the Robert Hall House at its associated new location within the property under Part IV of the Ontario Heritage Act;
- Officially name the building 'Robert Hall House' and install a commemorative plaque in a location within the site that will be visible from public right of way but will not impact any heritage attributes of the building to communicate the history and importance of the site.

C6. Demolition and Partial Salvage

a. Preparation

i. Prepare detailed sequence of disassembly and removal work with starting and ending dates for each activity. Inspect structure before dismantling.

ii. Inspection Team: To be comprised of Owner or Representative, Heritage architect and/or Structure Engineer.

iii. Structure Engineer to outline all measures to be undertake to protect the house during demolition.

iv. Photograph details, and existing conditions.

b. Application

i. Apply Building Protection Plan, from note 1-3. During the period between Demolition and Relocation, the subject CHR will be subject to vacancy. Protect building during periods of vacancy.

ii. Protect surrounding areas, including persons, vehicles, and equipment from damages, resulting from disassembly. Erect temporary protection for persons, vehicles, equipment, and the surrounding building site that may be affected by the dismantling work. Allocate a minimum of 4 feet clearances on immediate areas surrounding the site for disassembly. No persons, vehicles, equipment are permitted within the clearances.

iii. Stabilize the structure.

- Provide interior and exterior shoring,bracing, or support to prevent movement, settlement, or collapse of structure.
- Brace existing wall openings, and new wall openings resulting from disassembly. Apply compression-type protection for openings with glazed assemblies (ex. front door).

iv. Carefully dismantle east and west additions.

- Disconnect utilities on front (east) block. Construct new receiving foundations on Relocation Site. Temporarily block route to Relocation Site, as permitted by the City.
- Implement LOFO, Last On First Off procedures. Begin from higher to lower level of structure. Minimize damage on materials and assemblies to remain.

v. Immediately remove debris and materials to avoid excessive loads on supporting walls, floors, and framing.

vi. Cease operations if structure is endangered: Notify Inspection Team.

vii. Clear original site.

- Confirm involvement of archeologist in retrieving historic artifacts from original site.
- Remove from original site all debris, rubbish, and other materials resulting from demolition operations.
- Properly dispose hazardous materials, if found.

3. Demolition and Partial Salvage Notes

D1. RETAIN & RELOCATE ORIGINAL BUILDING

1. Refer to Building Protection Plan.

2. Protect persons, vehicles, and equipment from damages, resulting from partial demolition. Erect temporary protection for persons, vehicles, equipment, and the surrounding building site. Allocate a min. of 4ft. clearance on perimeter of disassembly site. No persons, vehicles, equipment are permitted within clearances.

3. Stabilize original building. Brace existing and new wall openings. Provide exterior and interior shorings as required by Structure Engineer.

4. Construct new receiving foundations. A building permit and an associated heritage permit with complete drawings of details will be required for the heritage building's foundations and relocation. Foundation's measurements must be accurately obtained once the house is lifted on cribbing for its relocation.

5. Review relocation procedures. Prepare a site. Determine route. Build temporary road ramp between bottom of existing foundations and top of new foundations on side of original building.

6. Remove east and west additions.

7. Remove stone foundations

8. Detach main floor and existing foundation. Detach utilities, including electrical, mechanical, plumbing connections, of original building. Install cross loader and needle beams on perimeter of original building. Support beams on jacking cribs. Detach main floor from existing foundations by raising jacking cribs. Replace cribs with steering dollies.

9. Relocate original building by pulling steering dollies with truck. Client representatives, Heritage Architect, Brampton Heritage Staff, and Structural Engineer must be present during relocation.

D2. DEMOLISH NON-ORIGINAL COMPONENTS AND ALL OF THE WEST & EAST ADDITIONS

- Remove non-original materials for off-site disposal, or potential resell, at client discretion. Include non-original concrete block on South elevation.
- Demolish east and west additions. Remove and dispose non-original components, including associated attachments, framing, and hardware. Remove roof, wall, and floor framing. Cease demolition if CHR is endangered. Notify client, City Heritage staff, Heritage Architect & Structure Engineer.

D3. REMOVE EXISTING ROOFING TO UPGRADE ROOFING MATERIAL

Remove existing roof asphalt shingles for replacement with new asphalt shingles.

D4. DEMOLISH EXISTING FOUNDATION

Salvage good units of stone cladding for reuse on the new basement foundation wall. Remove foundation wall off site after relocation.

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15 LOLA ROAD TEL. (416) 696-1969  
TORONTO, ONTARIO, M5P 1E5 FAX. (416) 696-1968



PROJECT TITLE

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DRAWING TITLE

HERITAGE CONSERVATION PLAN (HCP)  
ASSESSMENT & MANAGEMENT  
DEMOLITION NOTES

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CHECKED BY DE	DATE JULY 16, 2021
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C7. Implementation

1. Scope and Phasing of Conservation Work:
Implementation plan including preventative maintenance, stabilization, security plans, and insurance requirements to heritage structure throughout its periods of vacancy.
a. Demolition, Partial Salvage & Relocation <ul style="list-style-type: none"><li>i. Retain the Original Building,</li><li>ii. Demolish Non-original West and East Additions</li><li>iii. Remove and Replace Entrance Wood Porch and Wood steps on North,</li><li>iv. Remove Stone Foundations,</li><li>v. Relocate the Original Building,</li><li>vi. Demolish Non-Original Materials &amp; Components.</li></ul>
b. Selective disassembly for window/ door replacement work
c. Alteration for functional upgrade of the building envelope: <ul style="list-style-type: none"><li>i. Reproduction and thermal upgrade of Exterior Historic Doors,</li><li>ii. Reproduction and thermal upgrade of Historic Windows,</li></ul>
iii. Reproduction of North Wood Porch <ul style="list-style-type: none"><li>iv. New Door &amp; Window at Proposed Additions on West and East side.</li><li>v. Reproduction of Skylight on First Floor,</li><li>vi. Reproduction of the Stone Cladding at Foundation Wall Above the Grade.</li></ul>
d. Retention and restoration of the relocated CHR <ul style="list-style-type: none"><li>i. Refinish &amp; Repair Historic Woodwork (Soffit, Fascia &amp; Nail Beam, etc),</li><li>ii. Preservation of Original Wood Window/Door Frames,</li><li>iii. Preservation of Historic Exterior Stone Façade,</li><li>iv. Preservation of Historic Stone Sills &amp; lintels,</li></ul>
2. Limitation
a. Qualifications for Workmanship: Restoration contractors, trades and suppliers, etc. must be qualified in heritage conservation work, with at least 5 years of relevant experience, including but not limited to the following disciplines: <ul style="list-style-type: none"><li>• Wood repair &amp; repainting</li><li>• Masonry Salvage, and Historic Masonry Supply</li><li>• Masonry re-pointing, cleaning &amp; replacement</li><li>• Steel/metal repair &amp; refurbishing</li><li>• Window &amp; door reproduction</li></ul>
b. Heritage General Review: The work will be reviewed on site by AREA for general conformance with heritage guidelines and conservation notes described in this Conservation Plan.

C8. Heritage Building Protection Plan (HBPP)
1. Demolition, Partial Salvage & Relocation
D1. Retain the Original Building: <ul style="list-style-type: none"><li>a. Protect persons, vehicles, and equipment from damages, resulting from partial demolition. Erect temporary protection for persons, vehicles, equipment, and the surrounding building site.</li><li>b. Allocate a minimum of 4 ft. clearances on the perimeter of the disassembly site. No persons, vehicles, equipment are permitted within the clearances.</li><li>c. Stabilize the original building. Brace existing and new wall openings. Provide interior &amp; exterior shoring as required by a structural engineer.</li></ul>
D2. Remove Stone Foundations <ul style="list-style-type: none"><li>a. Detach main floor &amp; existing foundation. Detach utilities, including electrical, mechanical, plumbing connections, of the original building. Install cross-loader and needle beams on the perimeter of the original building. Support beams on jacking cribs. Detach the main floor from existing foundations by raising jacking cribs. Replace cribs with cribs with steering dollies.</li><li>b. Salvage good units of stone cladding for reuse on the new basement foundation wall above the grade.</li><li>c. Remove foundation wall off-site after relocation.</li></ul>
D3. Relocate the Original Building <ul style="list-style-type: none"><li>a. Construct new receiving foundations. A building permit &amp; an associated heritage permit with complete drawings of details will be required for the heritage building's foundations &amp; relocation. Foundations' measurements must be accurately obtained once the house if is lifted on cribbing for its relocation.</li><li>b. Review relocation procedures. Prepare site. Determine route. Build a temporary road ramp between the bottom of existing foundations and the top of new foundations on one side of the original building.</li><li>c. Relocate the original building by pulling steering dollies with the truck. Client representative, heritage architect, Brampton heritage staff and structural engineer must be present during relocation.</li></ul>
D4. Demolish Non-Original East & West Additions <ul style="list-style-type: none"><li>a. Demolish east and west additions. Remove and dispose non-original components, including associated attachments, framing, and hardware. Remove roof, wall, and floor framing. Cease demolition if CHR is endangered. Notify client, City Heritage staff, Heritage Architect &amp; Structure Engineer.</li></ul>
D5. Demolish Non-Original Materials & Components <ul style="list-style-type: none"><li>a. Disposal or potential resell, at client discretion.</li></ul>
2. Site Protection & Security

- a. Products
- i. Rigid hoarding with min. height of 2100 mm
  - ii. Water drainage, temporary as needed
  - iii. Storage for salvage materials
- b. Execution
- i. Clear yard from debris: yard, to be comprised of clear and barricaded land areas within 7.5 metres from the exterior side of the heritage structure's building envelope. No forms of waste, dismantled vehicles, unused machinery or parts thereof, holes and excavations, shall be located within the barricaded yard.

- ii. Store salvage materials within yard.

- iii. Install and maintain perimeter fencing, guard rails, and barricades. Install guard rails on any adjacent excavation, exceeding 600 mm, or any temporary exterior stairs with more than three risers with landing or porch exceeding 600 mm distance from ground.

- iv. Provide and maintain access roads including temporary paths during construction. Every access road shall be surfaced with stone, gravel, asphalt, concrete or other materials capable of providing a hard surface. Maintain every access road to afford safe passage for work access, and under normal use and weather conditions. Keep access road clear of snow and ice.

- v. Provide and maintain access roads: Every access road shall be surfaced with stone, gravel, asphalt, concrete or other materials capable of providing a hard surface. Maintain every access road to afford safe passage for Work access, and under normal use and weather conditions. Keep access road clear of snow and ice.

- vi. Maintain drainage of water on site.

- vii. Discharge water into an approved sewage system, away from walkways and access roads, and away from the heritage structure.

- viii. Prevent ponding of water as result of site grading activities. Install additional drainage where excessive ponding recurs.

3. Building Protection During Vacancy

- a. Maintain Foundation & Building Envelope

- i. Maintain structural soundness of foundations
- ii. Maintain waterproofing of foundation supports. Where necessary, correct cracks and/or install subsoil drains at footings
- iii. Retain building in-place until interim foundations, or new foundations on relocation site are secured.

- b. Maintain Foundation & Building Envelope

- i. Maintain structural soundness of the exterior walls
- ii. Fix portions of exterior building envelope that require urgent repair. Exterior building envelope to be comprised of roof, roofing elements, masonry brick wall, windows and doors, exterior decorative trims, gutters and leaders.

- c. Maintain interior spaces and partitions

- i. Maintain minimum temperature above 10c.
- ii. Every interior partition shall be maintained and be freed from holes, large cracks, rot, loose or unsecured materials, and accident hazards.

- d. Enclose Windows, Doors and Wall Openings

- i. Use boarding materials to enclose all window and door rough openings to prevent unauthorized entry, water infiltration, and insect infiltration if required during window/door replacement.
- ii. Cut boarding materials to fit flush with outside of the window or door trims.
- iii. Boarding Materials: Exterior grade, ½” Plywood with 2” x 4” x 8’ construction grade lumber for bracing and applied with one coat primer to CGSB 1.189M and one coat exterior paint to CGSB 1.59.4.

- e. Complete monthly routine inspection checklist during building vacancy

- i. Routine inspection to be conducted by qualified personnel, to be assigned by owner.
- ii. Conduct inspection every month. submit report to owner, heritage consultants, architect, and City Heritage Staff.

- f. If the building is vacant for over 90 consecutive days, owner must: disconnect, terminate, or cap all utilities unless they are essential for the safety of the building.

- g. The owner of any vacant building must:

- i. Secure the building against entry from unauthorized personnel
- ii. Put forth measures that provide protection against accidents, fires, and other potential danger.
- iii. Maintain insurance for the vacant building with respect to liability and against risk of fire, accident and other dangers. the owner's insurance for the property will be provided to the City Heritage Staff.
- iv. If the building has been vacant for the minimum duration of 60 days, owner must comply with by-law, and follow any requested procedures or written requirements from the officer assigned

- v. The officer must be given all documentation regarding the building's heritage designation in order to ensure compliance with all by-laws concerning the property

4. Routine Inspection Checklist for Exterior

- a. Roof and Roofing Elements - Asphalt Shingles: loose and worn off nails, mineral granules, mold and moss, holes, leaks
- b. Projections - loose antennae, weathervane, lightning rods, failing mortar joints, deteriorating flashing
- c. Cornice, Underside of Roof (Eaves) - peeling paint, missing components, cracks, water stains
- d. Flashing, Gutters and Leaders - loose, corroded, or broken flashing, missing and uncaulked openings, debris or ice blockage
- e. Masonry and Mortar on Exterior Wall - horizontal, vertical, diagonal, hairline cracks, location of cracks, loose or missing mortar, stains, efflorescence, bulging or spalling masonry
- f. Wood, Stone, Metal Decorative Elements
- g. Doors and Windows - alignment, damages to sill/lintel, proper operation, hardware components, loose, cracked, missing glazing putty, rotting or deterioration of framing
- h. If any damages are identified, restore in a state of good repair. Use the least intrusive form of restoration techniques

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ISSUED FOR HERITAGE PLANNING REVIEW

2021-08-20

AA

No.

REVISIONS / ISSUES

DATE

AREA

ARCHITECTS RASCH ECKLER ASSOCIATES LTD.

15 LOLA ROAD  
TORONTO, ONTARIO, M5P 1E5

TEL. (416) 696-1969  
FAX. (416) 696-1968

ONTARIO ASSOCIATION  
OF  
ARCHITECTS  
DAVID W. ECKLER  
4507

PROJECT TITLE

ROBERT HALL HOUSE  
11687 CHINGUACOUSY ROAD, BRAMPTON, ONTARIO

DRAWING TITLE

HERITAGE CONSERVATION PLAN (HCP)  
IMPLEMENTATION & PROTECTION PLAN

DRAWN BY  
AA

CHECKED BY  
DE

PROJECT NORTH

SCALE : NA

DATE  
JULY 16, 2021

DRAWING NO.  
AH0.3

PROJECT NO.  
12-576



C9. Conservation Notes

M1. ORIGINAL LIMESTONE MASONRY WALL

a. Cleaning Preparation

All existing masonry surface is to be cleaned prior to other masonry restoration work in order to loosen cracked mortar joints, to eliminate efflorescence & to remove dirt & detritus.

iii. Use the gentlest cleaning method using a solution of water and diluted detergent, applied with low-pressure wash and natural bristle brushes. Ensure the wall is watertight and mortar and caulking joints are sound. Allow min one week of dry weather before frost. Any chemical solution is not to be used when freezing is possible.

ii. Control thriving plants on masonry surface by cutting plants at the roots. Allow to wither prior to gentle removal. Apply Ammonium Sulphamate on roots, if necessary. Avoid further damage to mortar.

iii. Remove paint, parging & other heavy staining to next sound layer, using the gentlest method possible. Determine if paint is oil-based or water-based, and subsequently apply compatible paint removal method on a test patch, located on an inconspicuous area, minimum 4'x4.' determine effectiveness of paint removal method by assessing the extent of damage possibly caused by cleaners and paint removers for stained surfaces that cannot be removed by cleaning, stain incompatibly - coloured stone to match surrounding original masonry. All selective masonry to be cleaned should then be repointed as described below.

b. Mortar Type & Mix: Using lime mortar mix to match width, profile & colour of existing joints. General guidelines for repointing in masonry units:

Limit repointing to areas of deterioration. Only repoint in areas where mortar is loose or crumbling. If the bond is intact on both sides of a joint and the mortar is cohesive and firm, do not repoint as the joint is sound.

ii. Cut out deteriorated mortar before repointing.

iii. Use a mortar mix that is equal, or lower in strength, to the historical mortar.

iv. Point with a porous mortar.

v. Be aware of the mortar specification.

vi. The mortar colour must match the period mortar found onsite. Colour should be obtained from the aggregate.

vii. For repointing, the mortar mix should be very thick and should be able to hold its shape when taken in hand.

viii. Repointing should be done in moderate weather conditions.

ix. The new pointing profile must match the original.

c. Stone Repointing & Tuckpointing: Repoint open & cracked stone and joints, as applicable. Repoint specific areas, shown light toned, but other areas will be identified on site to make up the 30% of each of the wall areas. Allow for 25% of total repointing areas for deep void repointing. Cut out & tuck point using lime mortar mix to match width, profile & colour of existing joints.

i. Mix mortar in proportions specified.

ii. Dampen joints and completely fill with mortar. pack mortar solidly into voids and joints.

iii. Keep masonry damp while pointing is being performed.

iv. Do no pointing in freezing weather.

v. Finish masonry joints to match existing mortar joints. Leave stonework clean and free of mortar droppings.

vi. Repointing is to be done in one layer or two layers, to be confirmed on site depending on depth of joint.

d. Stone Restoration:

Clean exterior stone cladding (see Item 1a) and inspect for any deterioration or damage. Repair masonry surfaces (stone) for 30% of each of the wall areas where damage or deterioration is visible (i.e., significant cracks, holes, etc.). Replace masonry units (stone) where severely damage, altered or significant masonry features are missing. The areas will be identified on-site to make up 30% of each of the wall areas. Use salvaged stone retained on-site or new matching stone from specialized suppliers dealing with historic masonry. Replacement portion to be inserted with dutchman repair technique using in-kind material (like for like). The repair piece should be natural stone, chosen to match the hue and texture of the existing masonry.

M2. RESTORATION OF STONE WINDOW SILLS AND LINTELS

Clean all stone sills & lintels (see M1, item a) and inspect for any deterioration or damage. Replace the missing portion of a chipped or broken stone unit with in-kind materials. Areas will be identified on-site to make up 15% of each. Use salvage stones retained on-site ore replace them with in-kind material using the dutchman method; The repair piece should be natural stone, chosen to match the hue and texture of the existing masonry. Provide reinforcement at the openings as required.

M3. DECORATIVE REDBRICK QUOINS RESTORATION

Remove paint from redbrick quoins on the south-west corner. Inspect for any deterioration or damage. Repair and repoint open & cracked existing bricks and joints for 40% of the area, as applicable. Cut out & tuckpoint using lime mortar mix to match the width, profile & colour of existing joint .

M4. NEW FOUNDATION

- a. Build new foundation walls on approved relocation site to receive relocated CHR.
- b. Foundation detail incorporates modern structural substrate, i.e. concrete.
- c. Clad foundation walls above the grade with sliced stone to match the original stone above. Stone cladding will be comprised of the new stones as in-materials or salvaged materials from the stone foundation.

R1. REPLACE EXISTING SHINGLE ROOF

Emulate the original sloped roofing on the relocated and retained heritage block. Install multi-layer asphalt shingle, with shadow line, as replacement roof cladding, to resemble slate. Specified roofing material 'CertainTeed Grand Manor' shingles (Color - Colonial Slate) or approved equivalent to emulate roofing materials, available during the early 20th century period of construction of the heritage construction.

R2. PROVIDE NEW METAL ROOF DRAINAGE ACCESSORIES

Replace roofing accessories (Gutter, downspouts, flashing, eavestroughs, etc.) with galvanized steel materials. Provide original size, exact profile to consultant approval.

R3. NEW ROOF CONSTRUCTION ON NEWLY BUILT WEST AND EAST PORTION OF HERITAGE BLOCK

Emulate the sloped roofing on the newly built west and east portion of retained heritage block. Install multi-layer asphalt shingle, with shadow line, as replacement roof cladding, to resemble slate. Specified roofing material 'CertainTeed Grand Manor' shingles (Color - Colonial Slate) or approved equivalent to emulate roofing materials, available during the early 20th century period of construction of the heritage construction.

WD1: REFINISH EXISTING WOOD WORK (INCLUDING HORIZONTAL NAILERS BEAM & WOOD CLAD ON SOUTH ELEVATION)

- a. Strip & clean off faded, worn, chipped, peeling, blistering or flaking paint to bare wood. sand and level all wood surfaces with fine-grit sandpaper.
- b. Apply 2 coats of primer & 2 coats of paint throughout all wood surfaces. Use water-based, low VOC, exterior primer and paint. Colour match to existing. Apply new caulking at all joints to other materials.

WD2: SPOT REPAIR EXISTING WOOD WORK, (SOFFIT, FASCIA, ETC)

a. Apply epoxy wood consolidant on minor damages, follow manufacture's recommendations. Use epoxy in small quantities to deter heat build-up. Use fine-grit sandpaper to smoothen the surface once the has cured. Spot repair to comprise an estimated 30% of existing woodworks to be identified on site.

b. Spot replace irreparable wood members. New replacement wood members to match species, profile, and detailing of existing original. Install replacement wood members plumb, level, true and straight with no distortions. Abut replacement wood member with existing good wood member by scribing and cutting for accurate fit. Cope at returns, miter at corners, and comply with quality standards for joinery. Spot replacement to comprise an estimated 30% of existing wood work identified on-on site. Replacement portions to be inserted with dutchman repair technique using in-kind material (like for like).

WD3: RECONSTRUCTION OF NORTH PORCH

Reconstruct existing north porch with wood siding.

WD4: REPLACEMENT OF ENTRY STEPS

Remove and replace entry steps with historically compatible entrance steps.

WN1: REHABILITATE ORIGINAL WOOD-FRAMED WINDOWS & DOORS, AND SALVAGE FOR RECONSTRUCTED PORTIONS OF HERITAGE STRUCTURE. IF MISSING OR HEAVILY DETERIORATED, REPRODUCE

- a. Refinish and repair the existing original window and door wood-frames.
- b. Follow procedures wood refinishing (WD1) & repair (WD2).
- c. If missing, or heavily deteriorated, reproduce based on evident form and detailing of original.

WN2: INSTALL REPLACEMENT WINDOWS AND DOORS FOR RELOCATED PORTION OF HERITAGE STRUCTURE

- a. Replace existing windows (sashes inside original frames) in reproduction wood double hung 6-over-6 on ground floor and one-over-one on second floor.
- b. Install replacement windows and doors that would fit the emulated openings of the existing elevations. In terms of form and profile, replacement window and door should match the structure of the original windows.

WN3: INSTALL REPLACEMENT SKYLIGHT OVER HERITAGE STRUCTURE

a. Install replacement skylights that would fit the emulated opening of the existing roof. In terms of form and profile, replacement skylight should match the structure of the original skylight. Framing material of new skylight to consist of compatible materials, such as aluminum, vinyl or fibre glass to accommodate thickness of new thermal-glazing

WN4: INSTALL NEW COMPATIBLE WINDOWS AND DOORS FOR NEW EAST AND WEST ADDITION

a. Install new windows (one-over-one style single hung window), and with a compatible framing material i.e., vinyl, aluminum or wood to accommodate thickness of new thermal-glazing.

b. Install new doors with simplified 2-panels. Framing material of new doors to consist of compatible materials, such as aluminum, vinyl, fibre glass or wood to accommodate thickness of new thermal-glazing.

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AREA

ARCHITECTS RASCH ECKLER ASSOCIATES LTD.

15 LOLA ROAD  
TORONTO, ONTARIO, M5P 1E5  
TEL. (416) 696-1969  
FAX. (416) 696-1968



PROJECT TITLE

ROBERT HALL HOUSE  
11687 CHINGUACOUSY ROAD, BRAMPTON, ONTARIO

DRAWING TITLE

HERITAGE CONSERVATION PLAN (HCP)  
CONSERVATION NOTES

DRAWN BY AA	SCALE : NA
CHECKED BY DE	DATE JULY 16, 2021
	DRAWING NO. AH0.4
	PROJECT NO. 12-576



Figure 8: Demolished east and west additions



Figure 9: Stone restoration



Figure 10: Wood-clad west non-original addition



Figure 11: North wood porch to be removed & reconstructed



Figure 12: Brick quoins to be restored



Figure 13: Non-original windows to be replaced



Figure 14: North porch entry steps to be removed & replaced



Figure 14: Stone sill and lintel to be restored

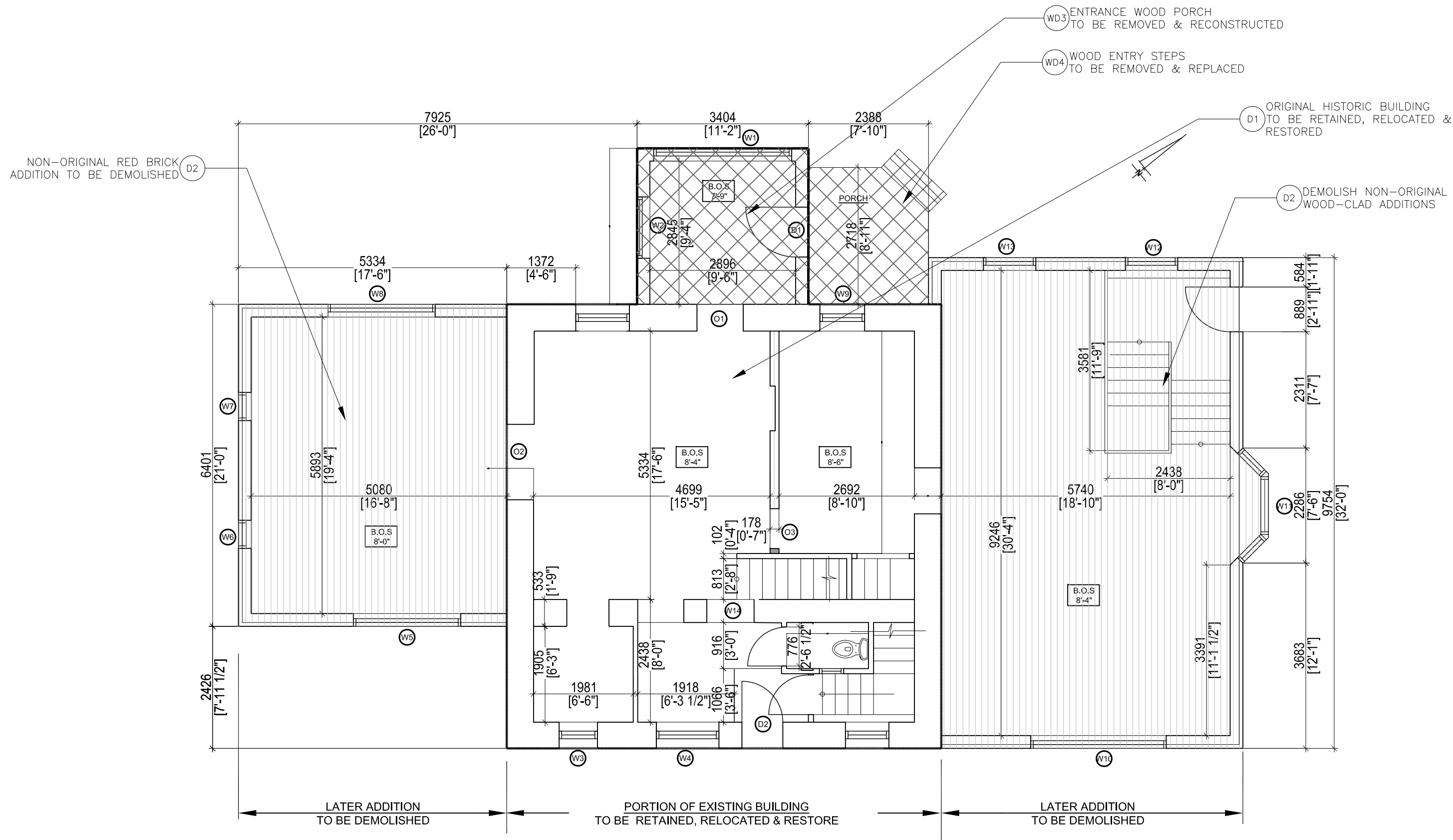


Figure 16: Roof accessories to be replaced

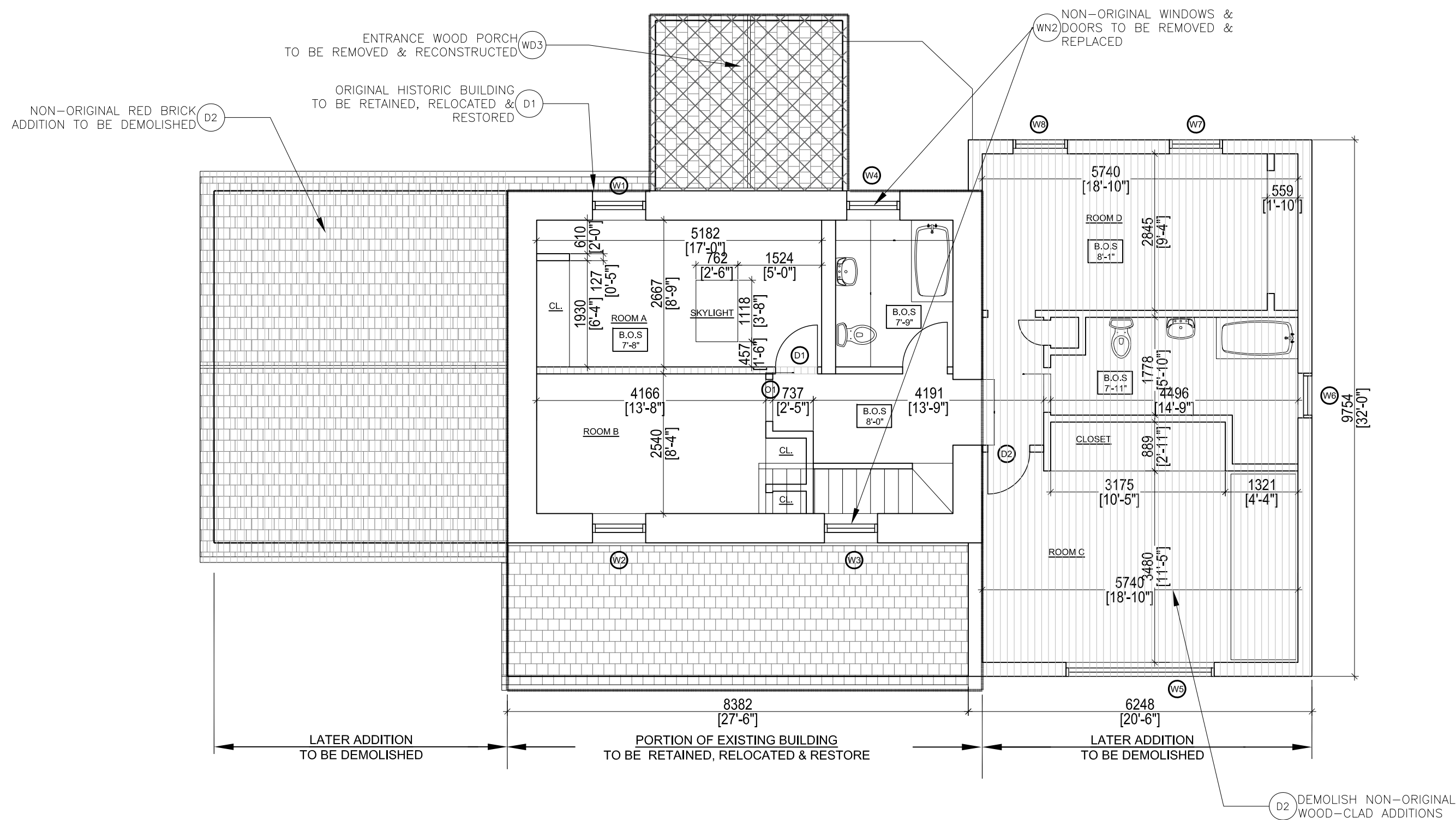




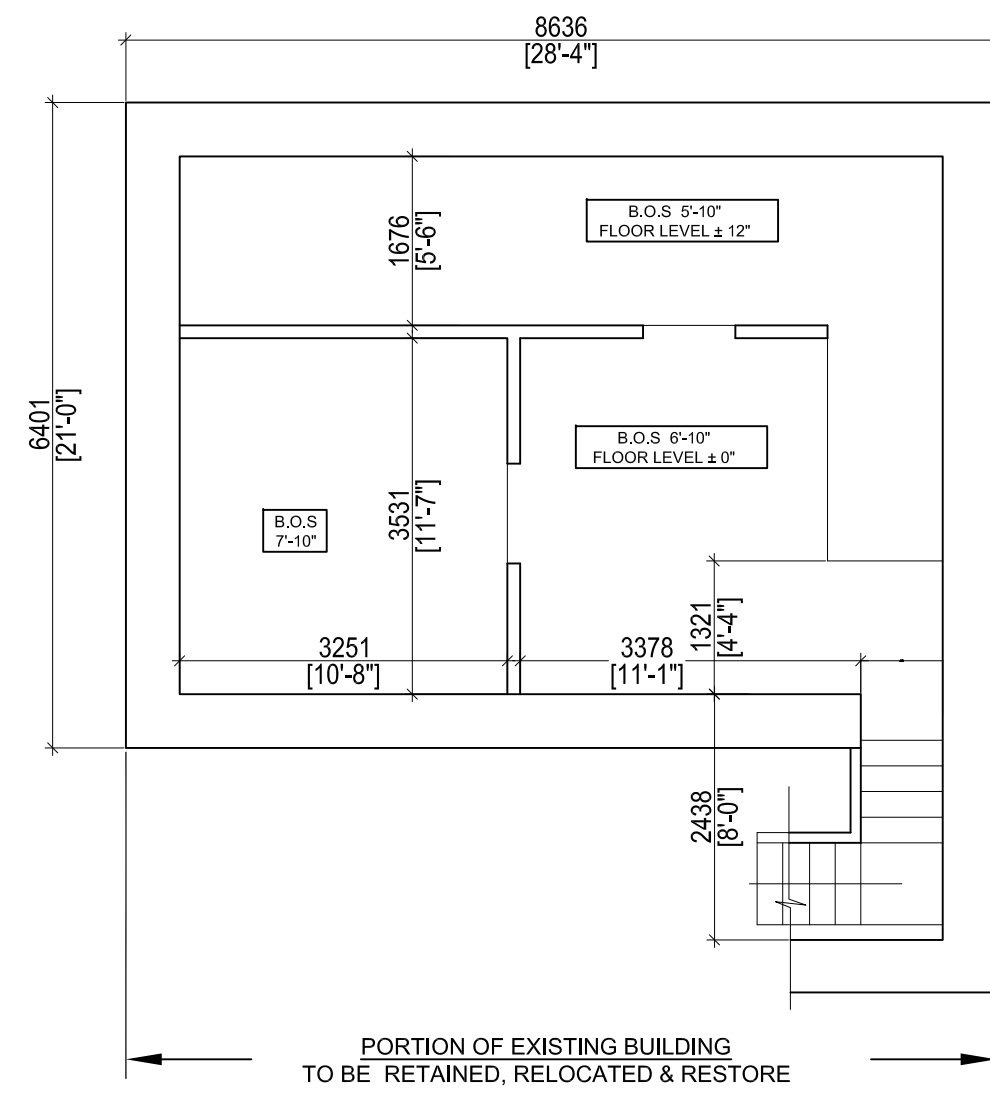




1 DEMOLITION GROUND FLOOR PLAN  
AH1.1D SCALE 1:75



2 DEMOLITION SECOND FLOOR PLAN  
AH1.1D SCALE 1:75



3 DEMOLITION BASEMENT FLOOR PLAN  
AH1.1D SCALE 1:75

**LEGEND**

— EXISTING TO BE REMAINED

EXISTING TO BE DEMOLISH

EXISTING TO BE RECONSTRUCTED

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No	REVISIONS / ISSUES	DATE	

**AREA**

ARCHITECTS RASCH ECKLER ASSOCIATES LTD.

15 LOLA ROAD TEL: (416) 696-1999  
TORONTO, ONTARIO, M5P 1E5 FAX: (416) 696-1966

PROJECT TITLE

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11687 CHINGUACOUSY ROAD, BRAMPTON, ONTARIO

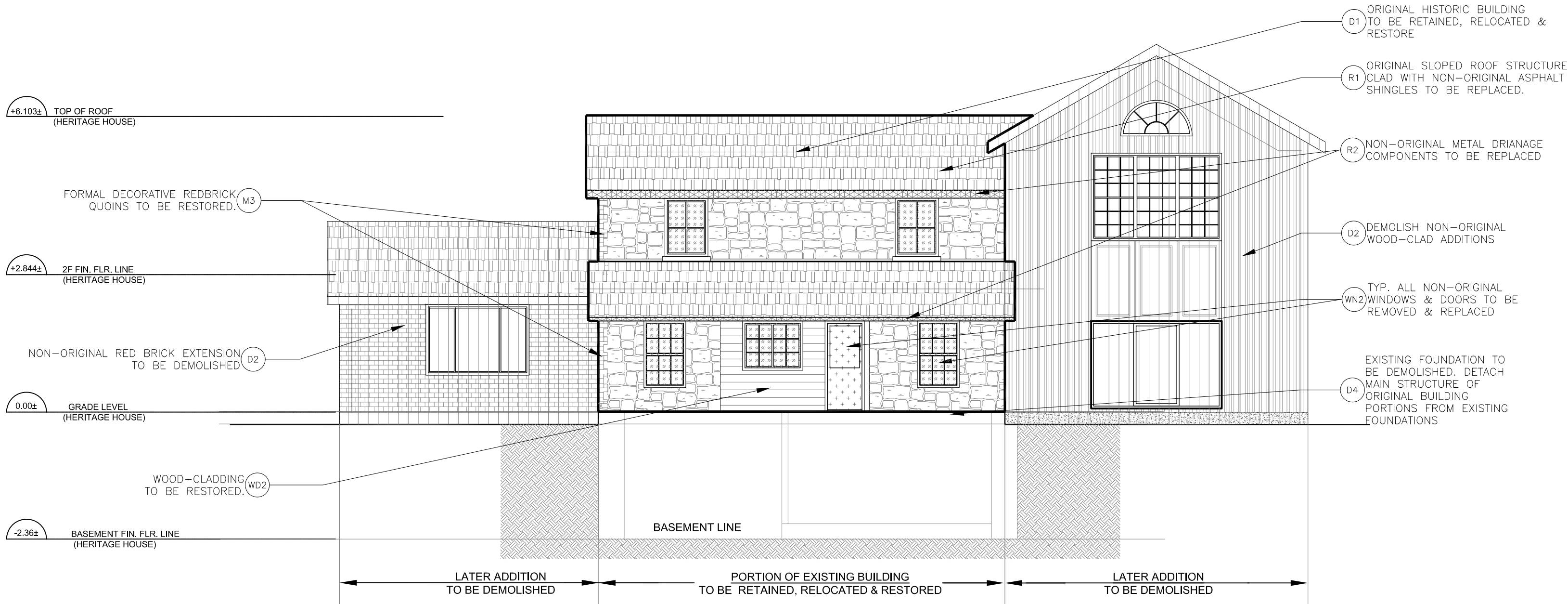
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HERITAGE CONSERVATION PLAN (HCP)  
HERITAGE BUILDING PROTECTION PLAN (HBPP)

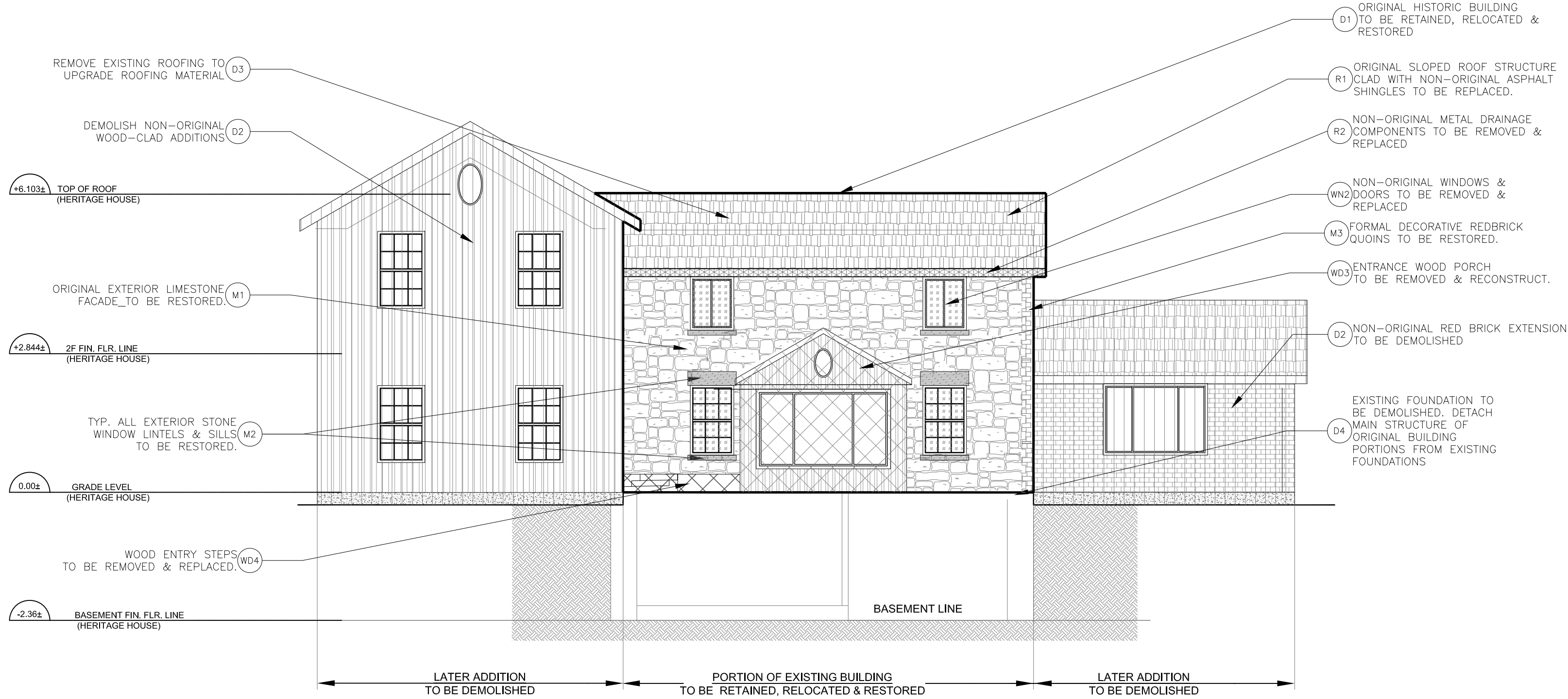
FLOOR PLANS - AS-EXISTING & DEMOLITION

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CHECKED BY DE	DATE AUG 16, 2021
PROJECT NORTH	DRAWING NO. AH1.1D
	PROJECT NO. 12-576

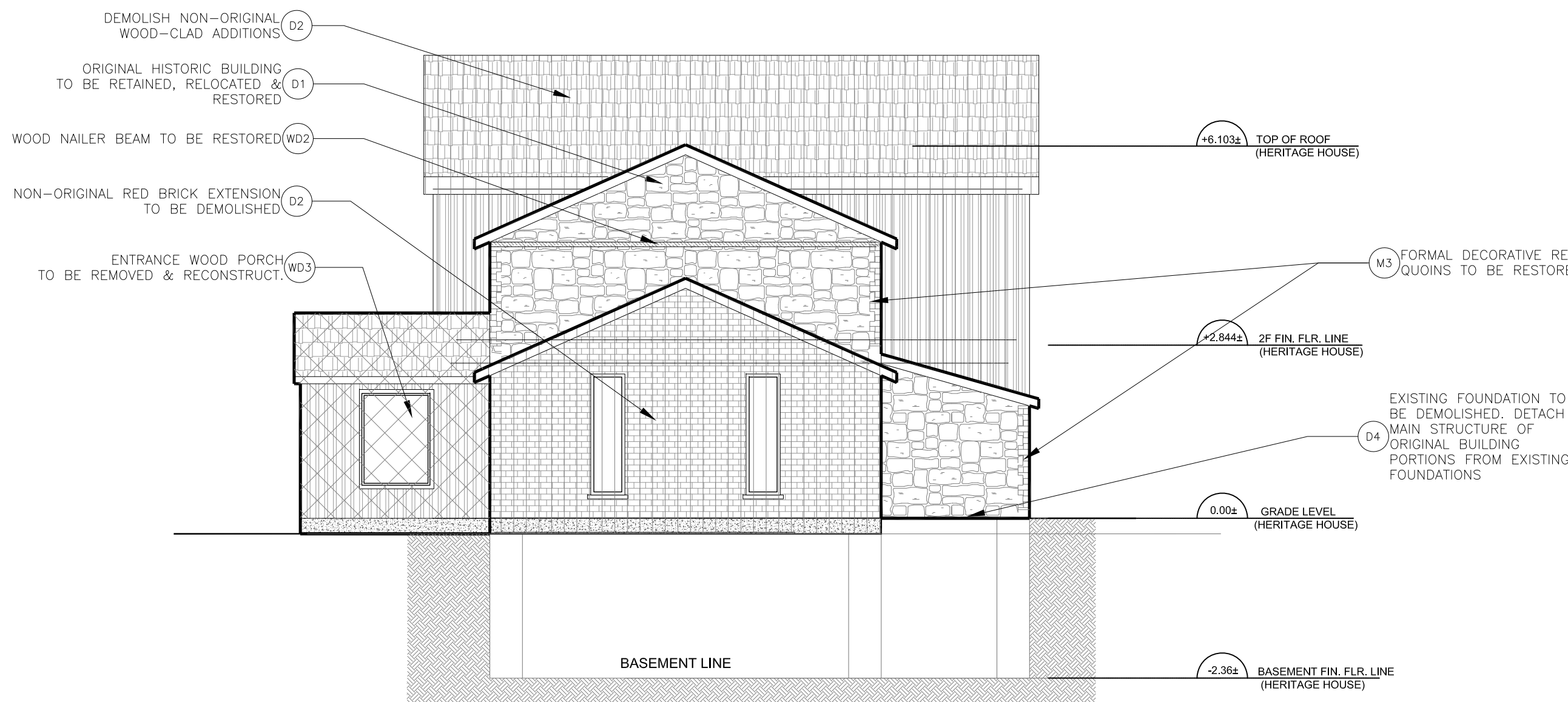




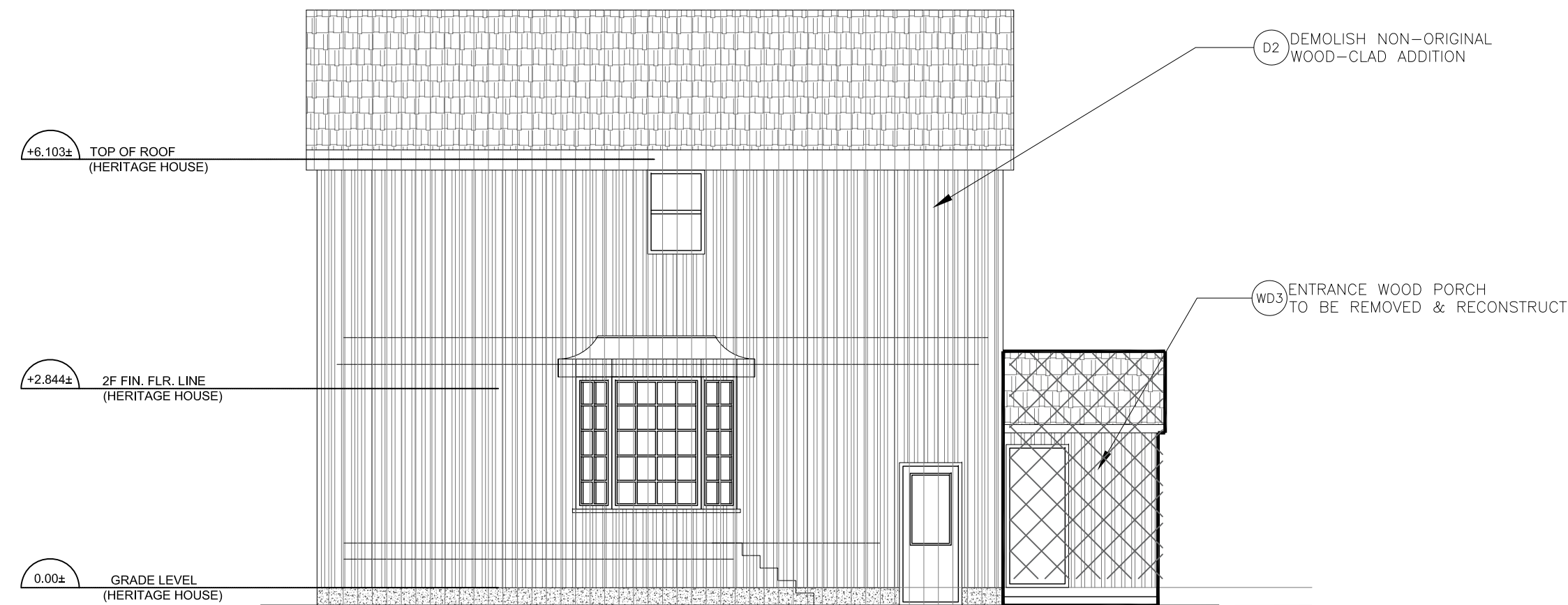
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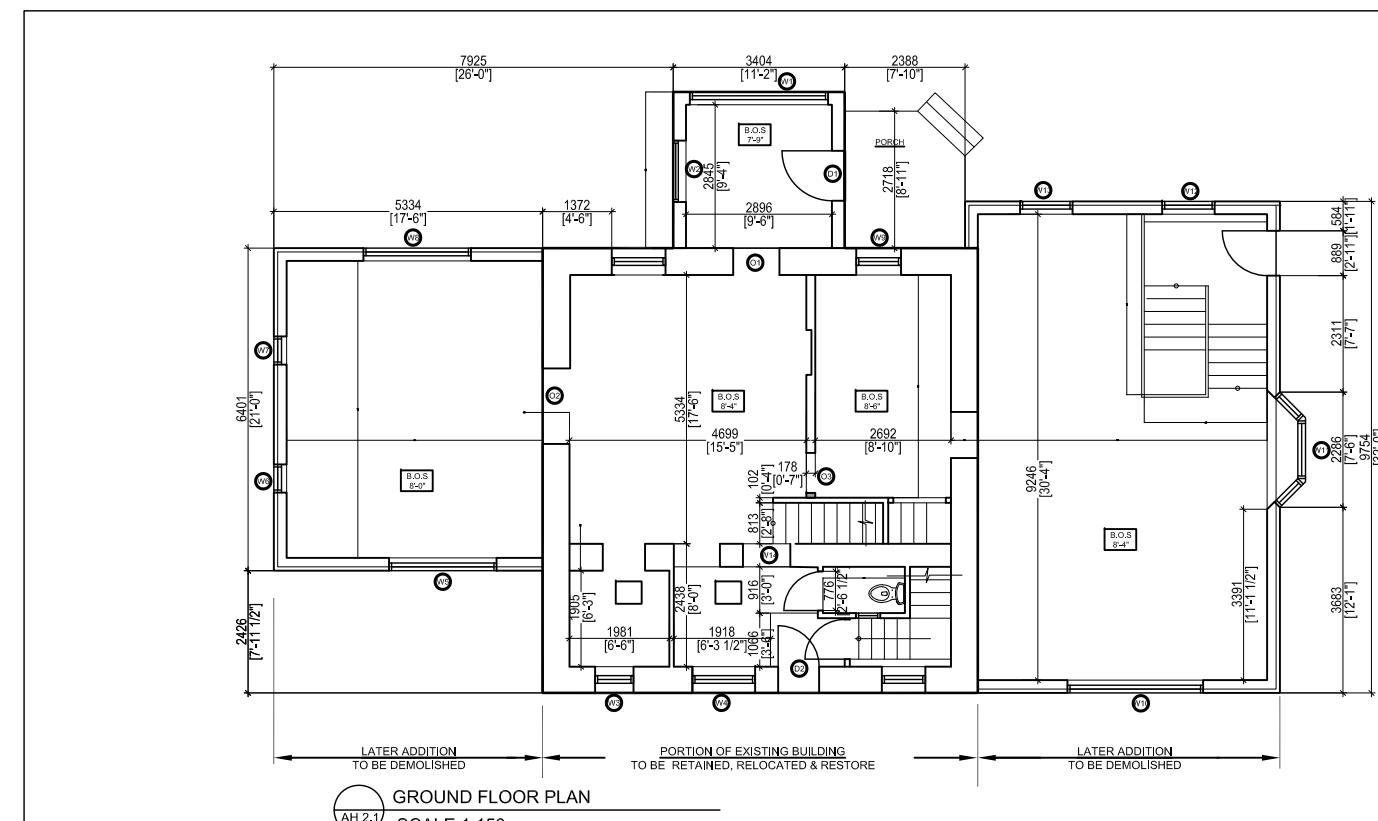
3 DEMOLITION NORTH ELEVATION  
AH2.1D SCALE 1:75



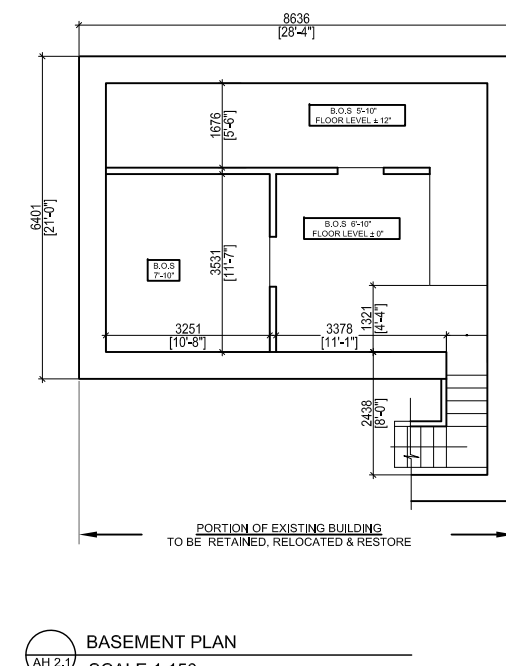
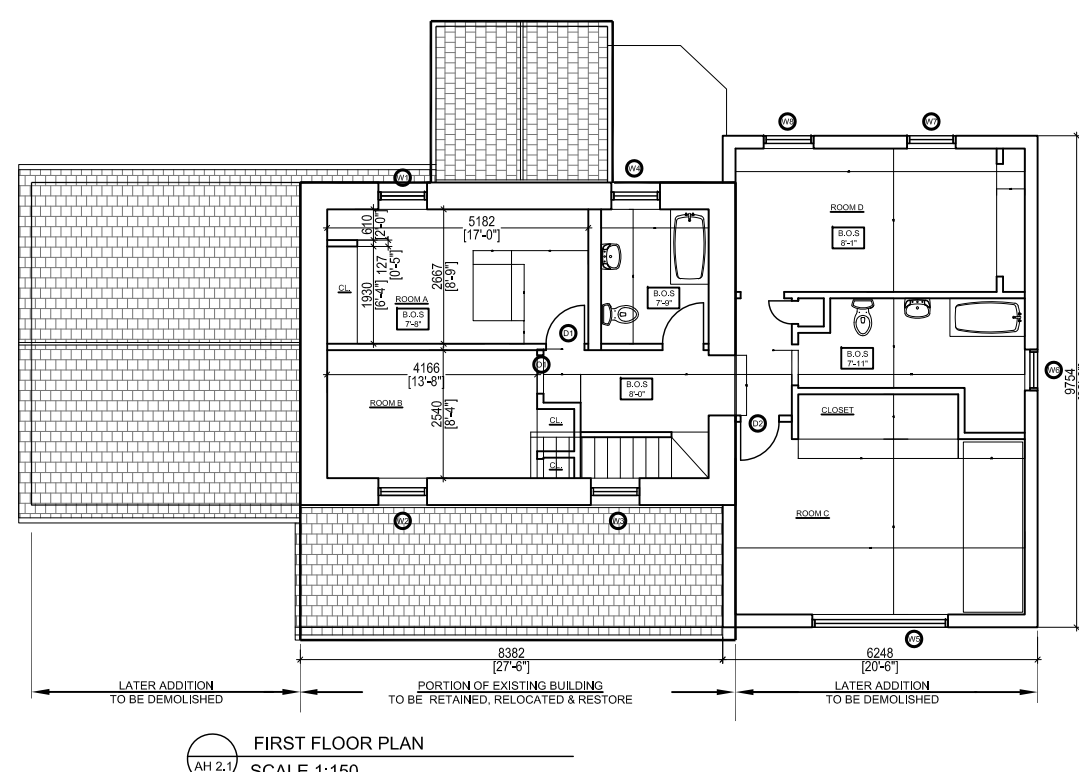
2 DEMOLITION WEST ELEVATION  
AH2.1D SCALE 1:75



4 DEMOLITION EAST ELEVATION  
AH2.1D SCALE 1:75



5 KEY FLOOR PLANS  
AH2.1D SCALE 1:150



LEGEND

- EXISTING TO BE REMAINED
- EXISTING TO BE DEMOLISH
- EXISTING TO BE RECONSTRUCTED
- EXISTING TO BE RESTORED
- BRICK CLADDING
- STONE CLADDING
- WOOD CLADDING
- ASPHALT ROOF
- WOOD PRODUCTS
- DOOR ASSEMBLY
- WINDOW ASSEMBLY
- ROOF ACCESSORIES

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1	ISSUED FOR HERITAGE PLANNING REVIEW	2021-09-30	AA
No. REVISIONS / ISSUES		DATE	

AREA

ARCHITECTS RASCH ECKLER ASSOCIATES LTD.

15 LOLA ROAD  
TORONTO, ONTARIO, M5P 1E5

TEL. (416) 696-1969  
FAX. (416) 696-1966

PROJECT TITLE

ROBERT HALL HOUSE  
11687 CHINGUACOUSKY ROAD, BRAMPTON, ONTARIO

DRAWING TITLE

HERITAGE CONSERVATION PLAN (HCP)  
HERITAGE BUILDING PROTECTION PLAN (HBPP)

DRAWN BY  
AA

CHECKED BY  
DE

PROJECT NORTH

SCALE :  
1:75

DATE  
AUG 16, 2021

DRAWING NO.  
AH2.2D

PROJECT NO.  
12-576







LEGEND

- EXISTING TO BE RESTORED  
EXISTING TO BE REPLACED  
EXISTING TO BE RECONSTRUCTED  
PROPOSED ADDITION

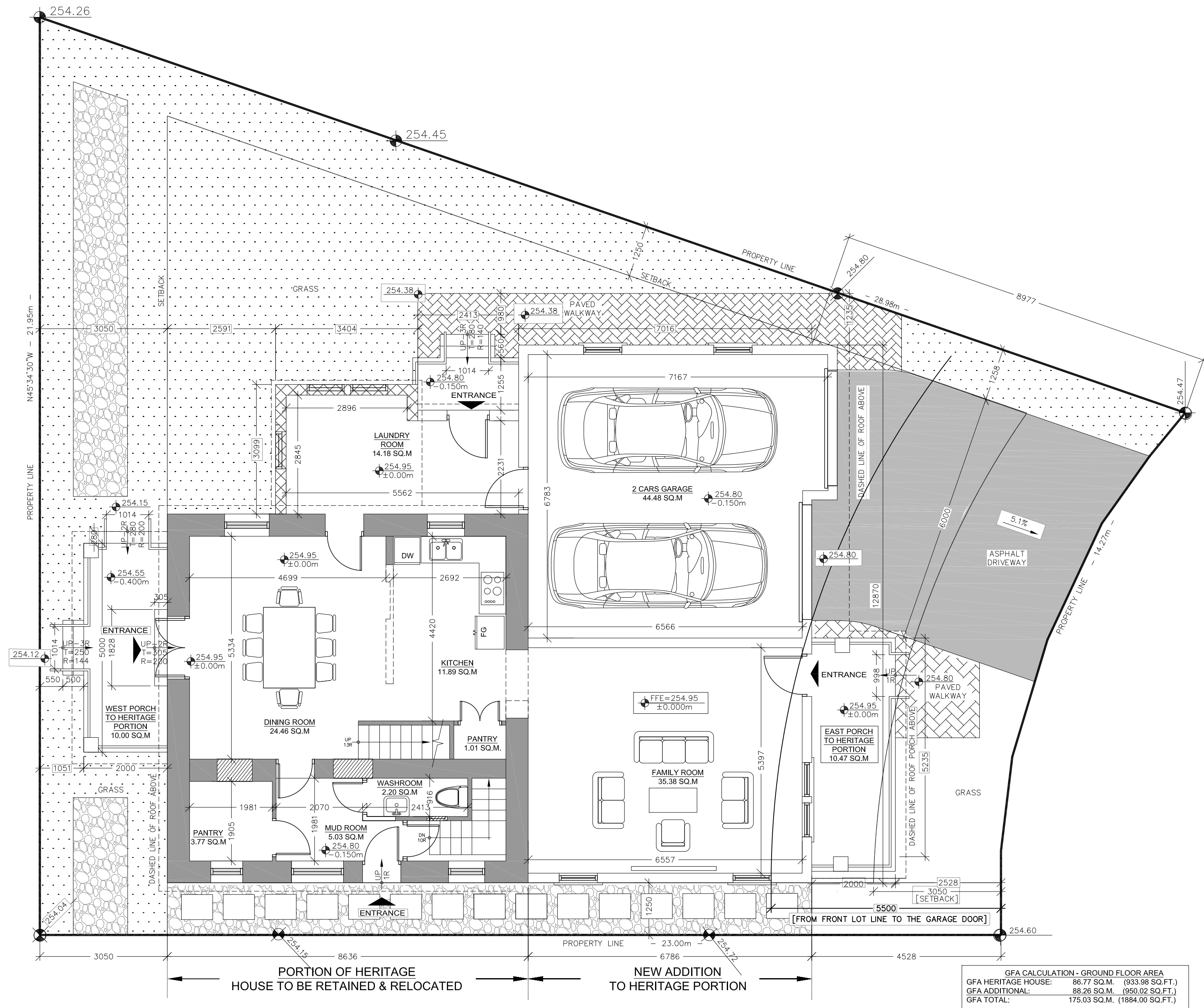
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1

PROPOSED GROUND FLOOR PLAN

AH1.1P

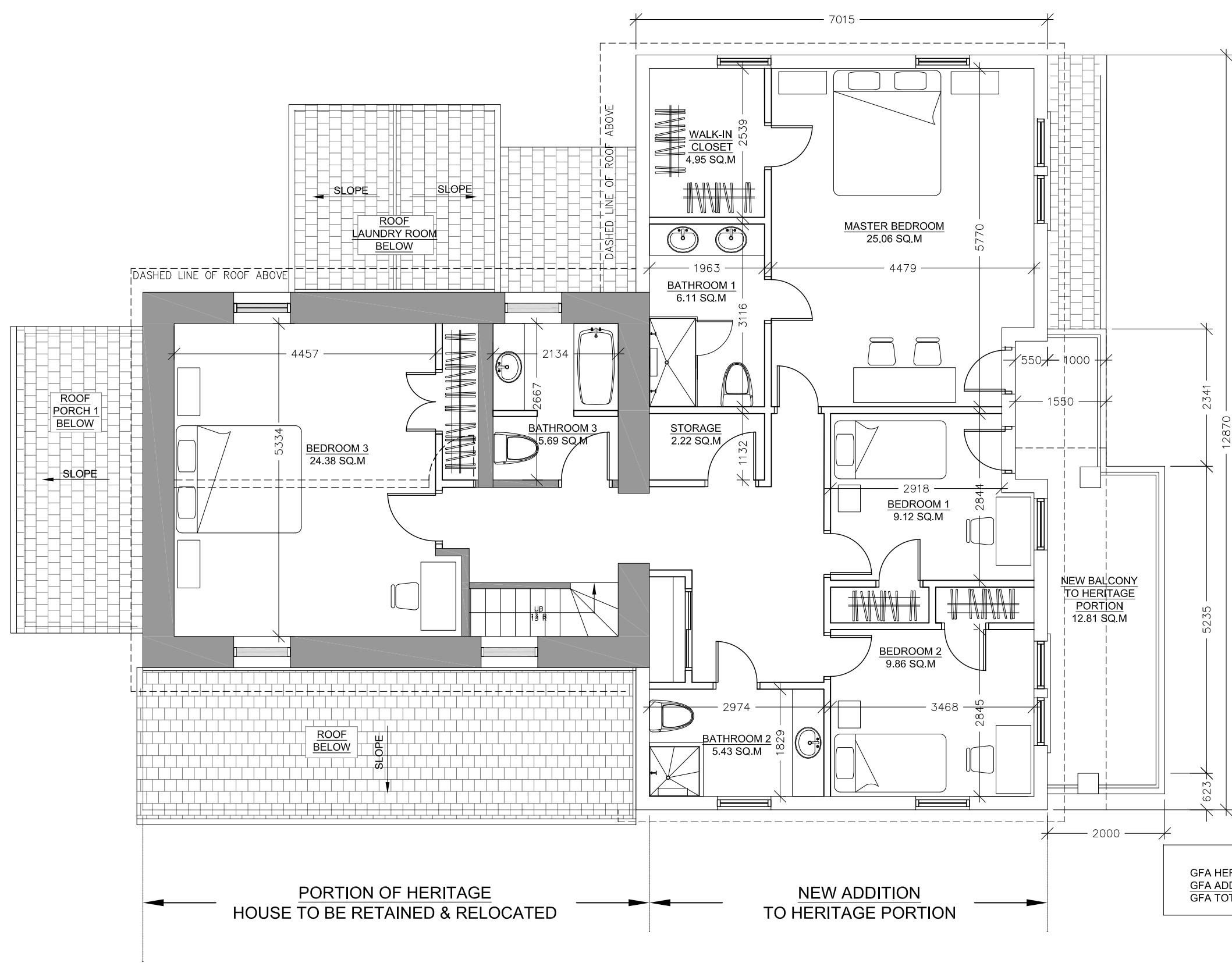
SCALE 1:75

2

PROPOSED SECOND FLOOR PLAN

AH1.1P

SCALE 1:75



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AREA

ARCHITECTS RASCH ECKLER ASSOCIATES LTD.

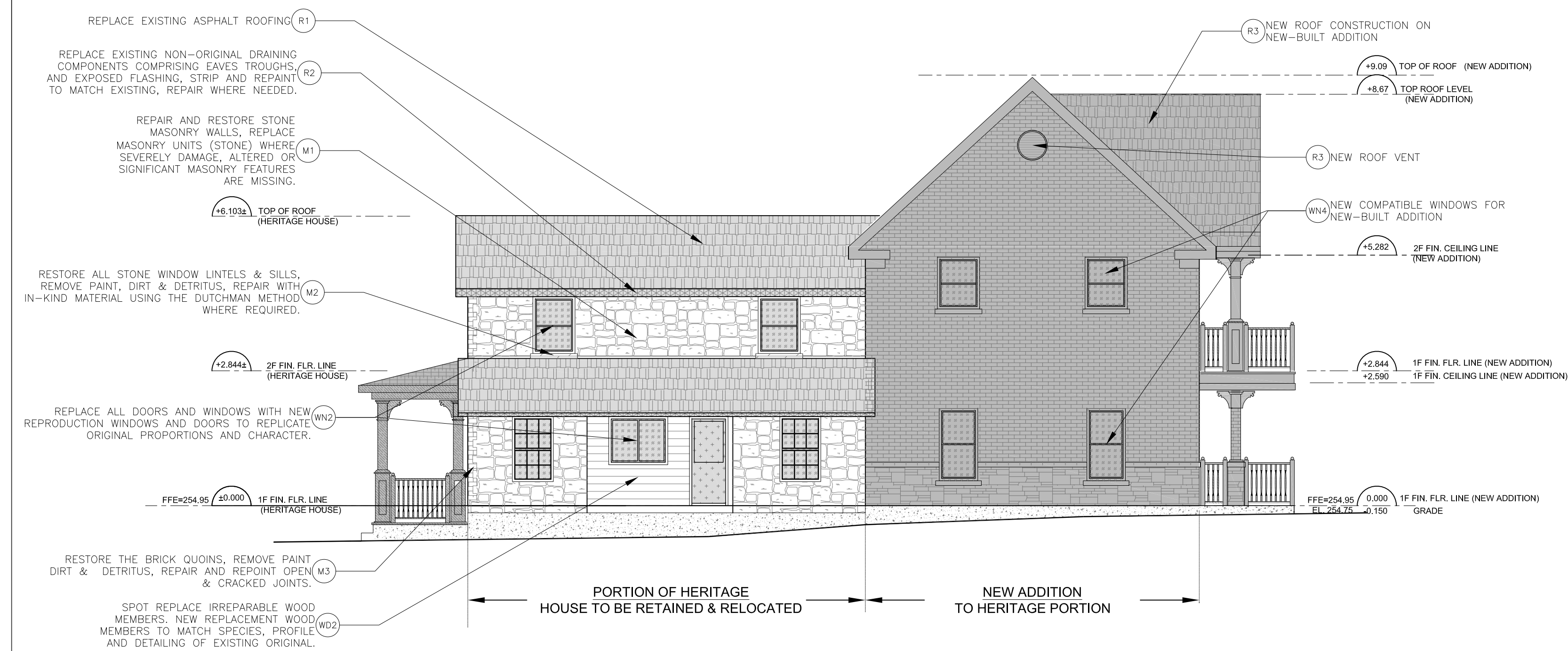
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PROJECT TITLE  
  
ROBERT HALL HOUSE  
11687 CHINGUACOUSY ROAD, BRAMPTON, ONTARIO

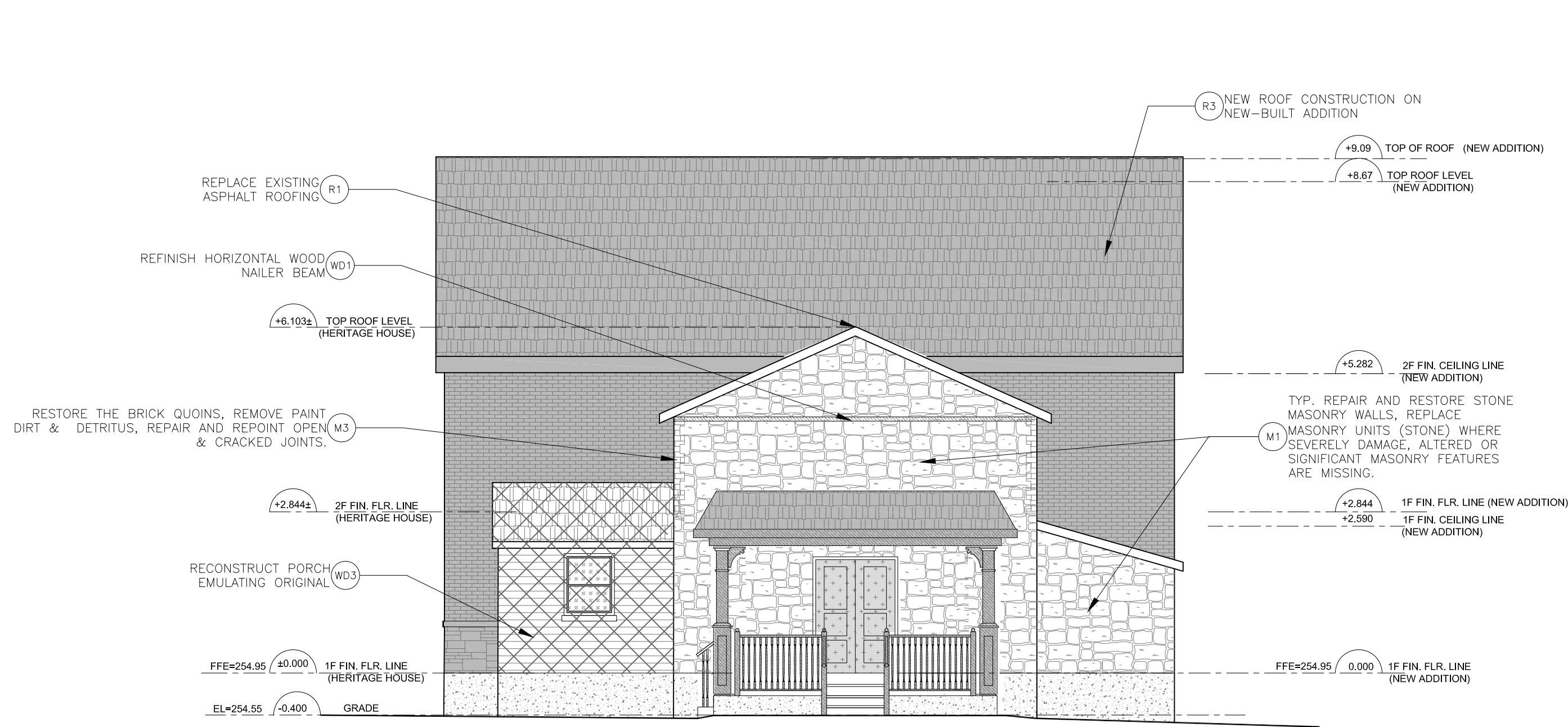
DRAWING TITLE  
HERITAGE CONSERVATION PLAN (HCP)  
HERITAGE BUILDING PROTECTION PLAN (HBPP)  
FLOOR PLANS - PROPOSED

DRAWN BY AA	SCALE : 1:75
CHECKED BY DE	DATE AUG 16, 2021
PROJECT NORTH	DRAWING NO. AH1.1P
	PROJECT NO. 12-576

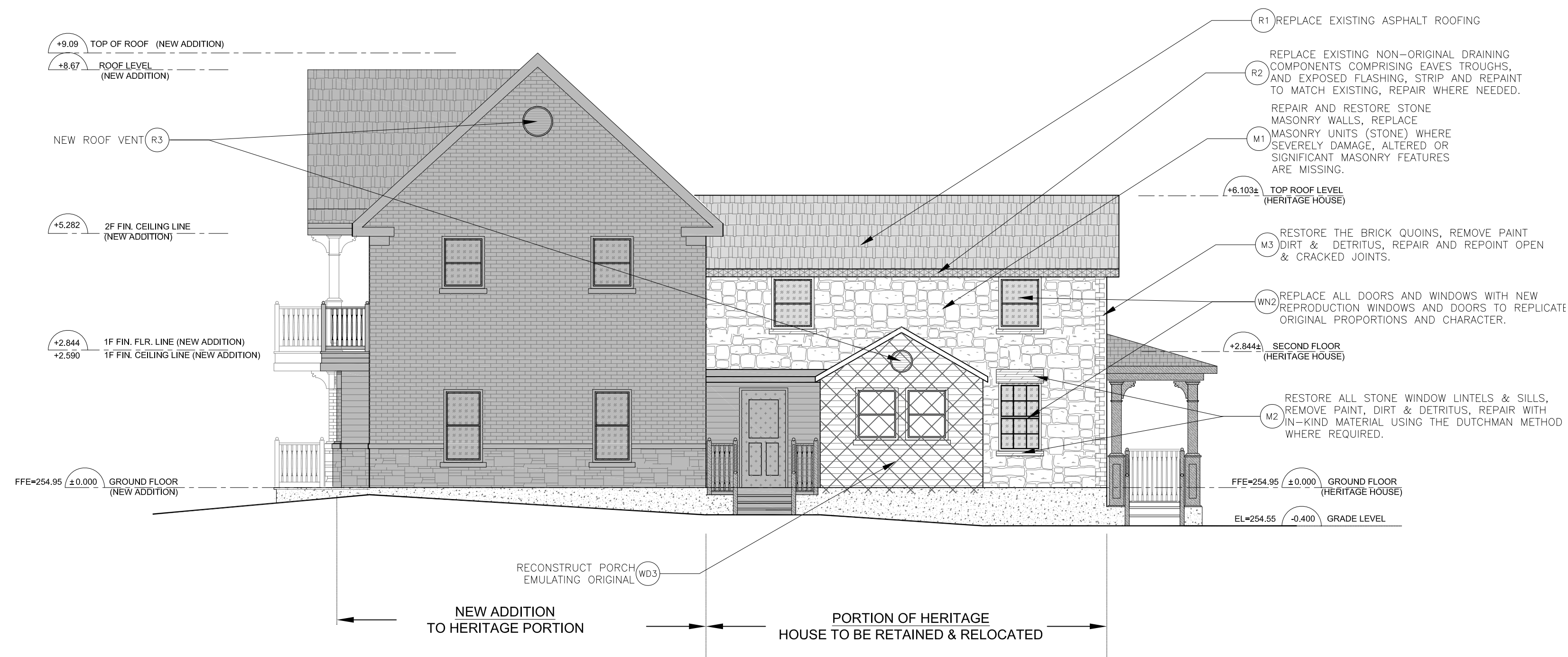




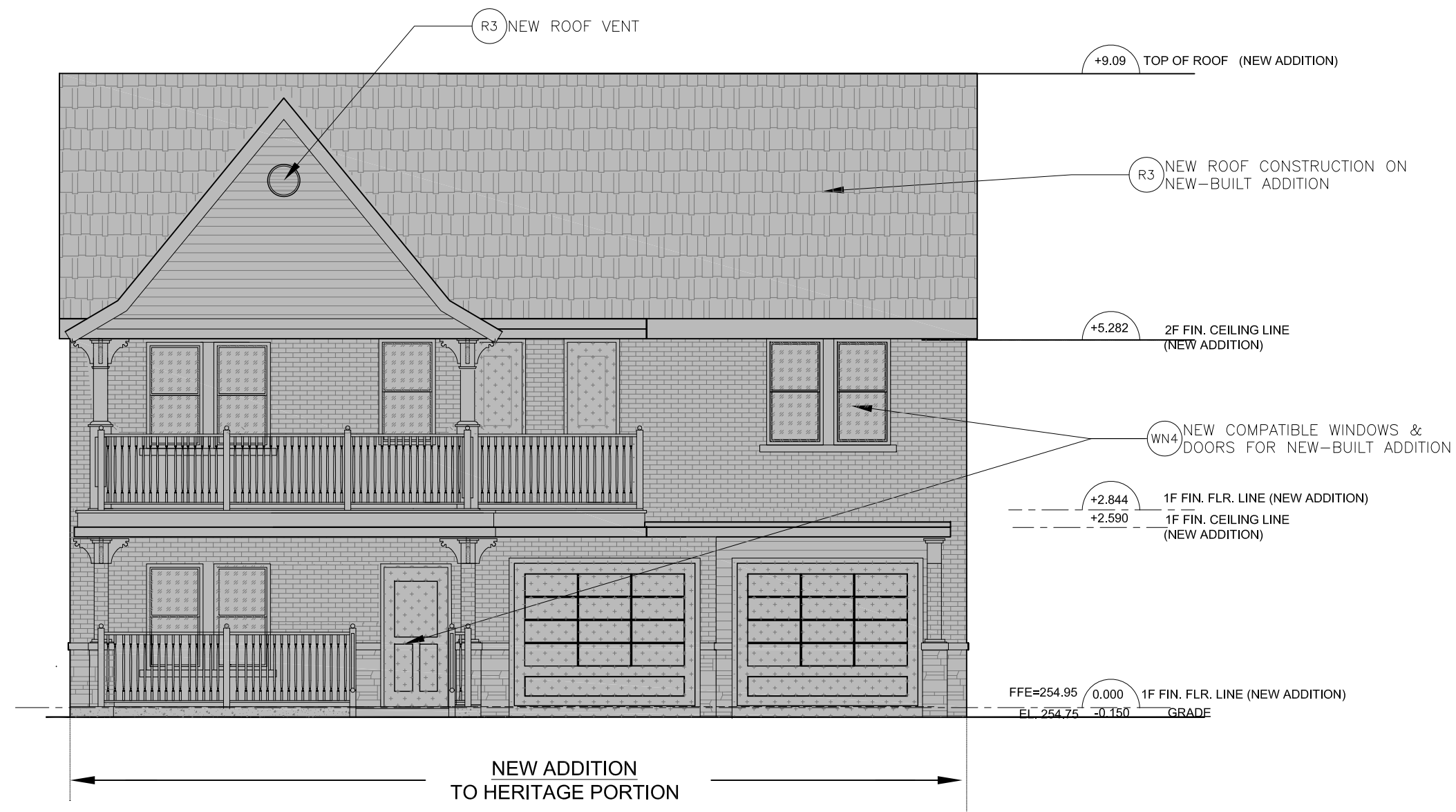
1 PROPOSED SOUTH ELEVATION  
AH2.1P SCALE 1:75



2 PROPOSED WEST ELEVATION  
AH2.1P SCALE 1:75



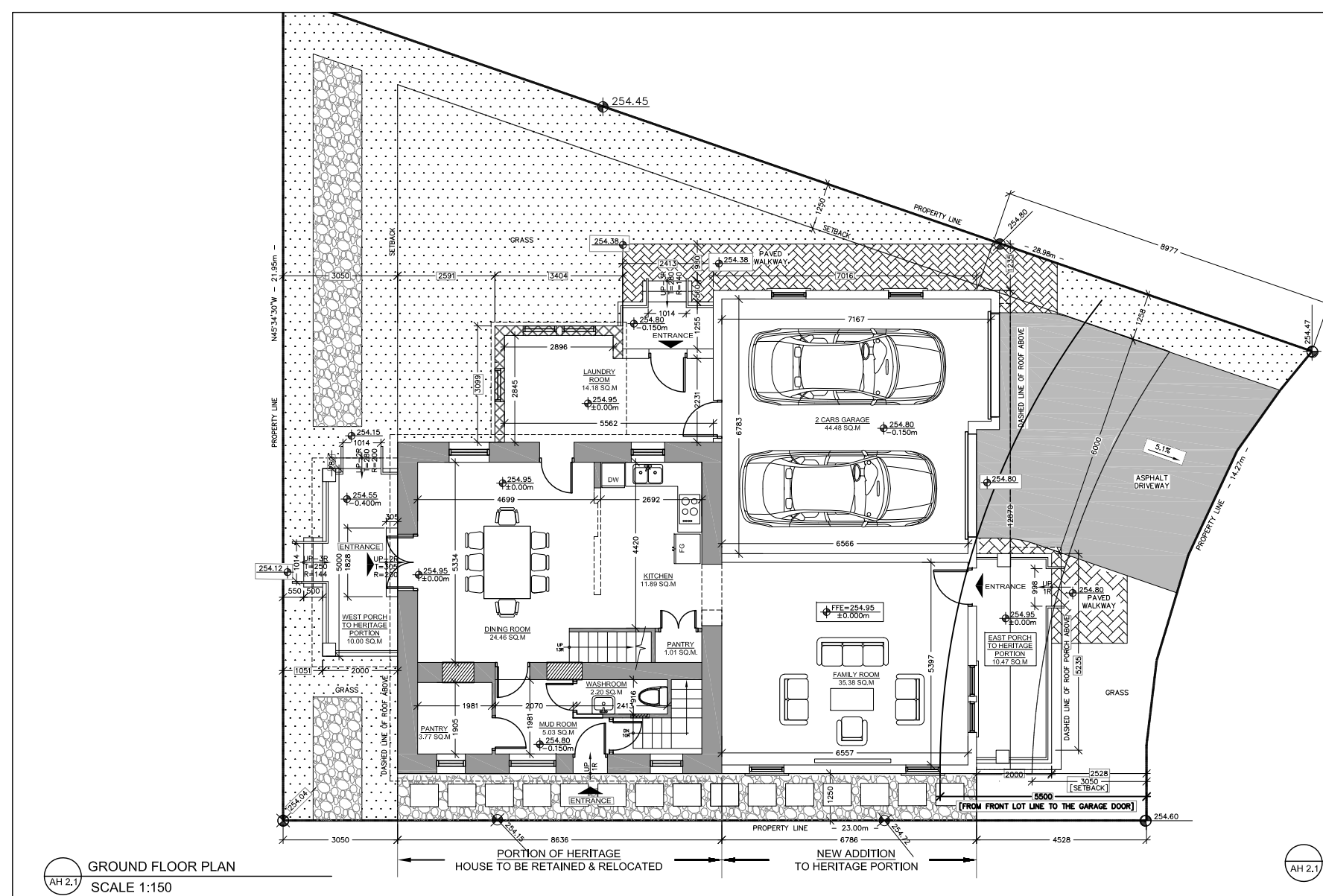
3 PROPOSED NORTH ELEVATION  
AH2.1P SCALE 1:75



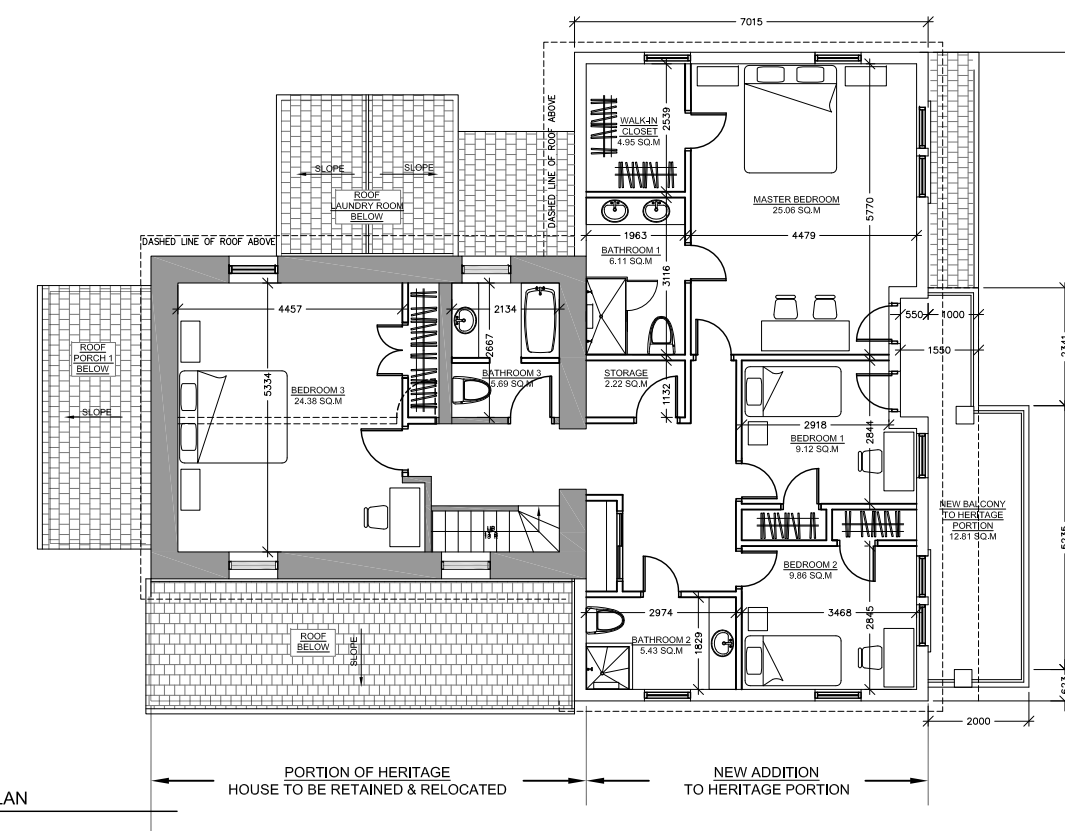
4 PROPOSED EAST ELEVATION  
AH2.1P SCALE 1:75



3 PROPOSED NORTH ELEVATION  
AH2.1P SCALE 1:75



5 KEY PLAN  
AH2.1P SCALE 1:150



FIRST FLOOR PLAN  
SCALE 1:150

LEGEND	
	EXISTING TO BE REMAINED
	PROPOSED ADDITION
	EXISTING TO BE REPLACED
	EXISTING TO BE RECONSTRUCTED
	EXISTING TO BE RESTORED
	BRICK CLADDING
	HISTORIC STONE CLADDING
	NEW STONE CLADDING
	STONE WINDOW SILLS
	WOOD CLADDING
	ASPHALT ROOF
	ROOF ACCESSORIES
	WOOD PRODUCTS
	DOOR ASSEMBLY
	WINDOW ASSEMBLY

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