

COLONNA  
RESIDENCE

ATA  
ARCHITECTS INC.







**ATA ARCHITECTS**

**COLONNA RESIDENCE**  
**STREETSCAPE**

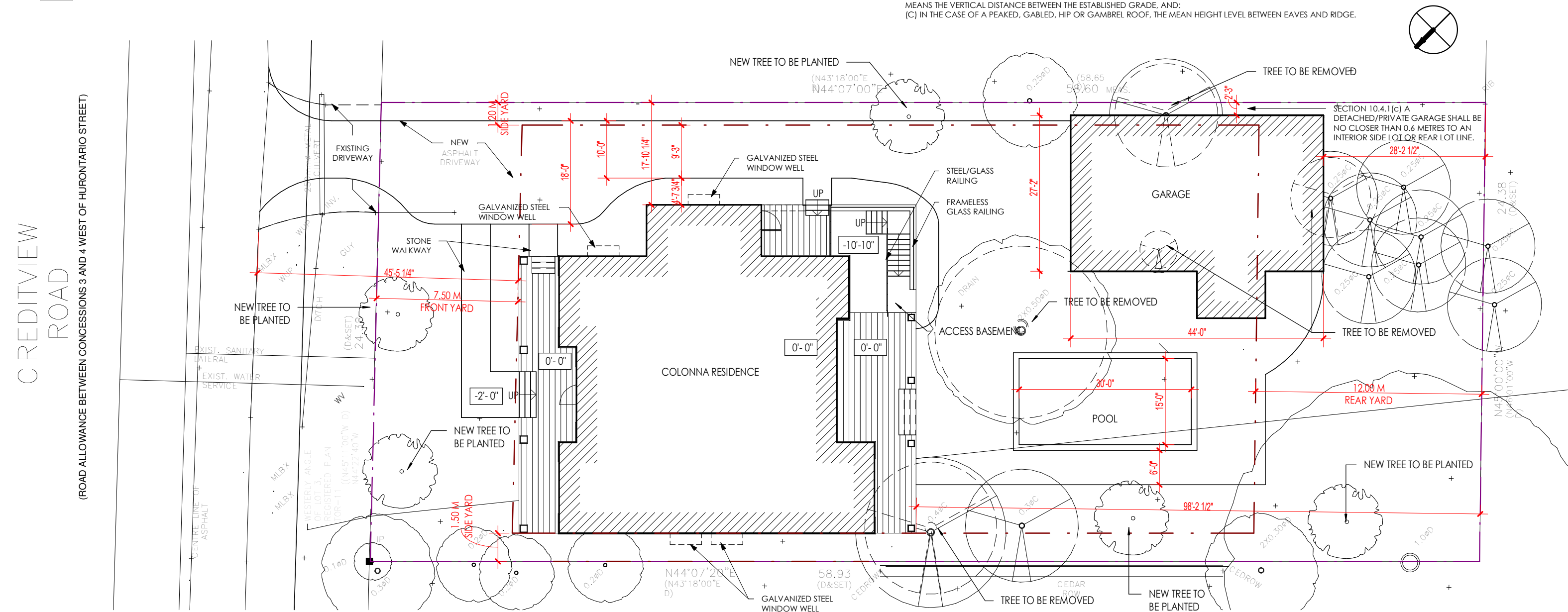




SITE STATISTICS		
CITY OF BRAMPTON		
SITE ADDRESS	7605 CREDITVIEW RD	
SITE ZONING	RHm2 Schedule A	
SECTION 11.5.2	ZONING BY LAW	PROPOSED
MINIMUM LOT AREA	1350 M2	1432 M2
MINIMUM LOT WIDTH	30 M	24 M
MINIMUM LOT DEPTH	45 M	58 M
MINIMUM FRONT YARD DEPTH	7.5 M	10 M
MINIMUM INTERIOR SIDE YARD WIDTH	7.5 METRES, PROVIDED THAT, IN THE CASE OF A LOT HAVING A LOT WIDTH OF MORE THAN 30 METRES, THE COMBINED SIDE YARDS SHALL NOT BE LESS THAN 50% OF THE LOT WIDTH	1.2M

SITE STATISTICS		
MINIMUM EXTERIOR SIDE YARD WIDTH	7.5 METRES, PROVIDED THAT, IN THE CASE OF A LOT HAVING A LOT WIDTH OF MORE THAN 30 METRES, THE COMBINED SIDE YARDS SHALL NOT BE LESS THAN 50% OF THE LOT WIDTH	1.2
MINIMUM REAR YARD DEPTH	12 M	35 M
MAXIMUM BUILDING HEIGHT	8.7 M	7.3 M
MAXIMUM LOT COVERAGE	NO REQUIREMENT	X
MINIMUM LANDSCAPE OPEN SPACE	70% OF THE FRONT YARD	78.8%
MINIMUM GROSS FLOOR AREA	100 SQUARE METRES PER DWELLING UNIT	X
MAXIMUM FLOOR SPACE INDEX	0.17	0.22
MAXIMUM DWELLING SIZE	255 M2	318 M2

**BUILDING HEIGHT DEFINITION:**  
MEANS THE VERTICAL DISTANCE BETWEEN THE ESTABLISHED GRADE, AND:  
(C) IN THE CASE OF A PEAKED, GABLED, HIP OR GAMBREL ROOF, THE MEAN HEIGHT LEVEL BETWEEN EAVES AND RIDGE.





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PERSPECTIVES



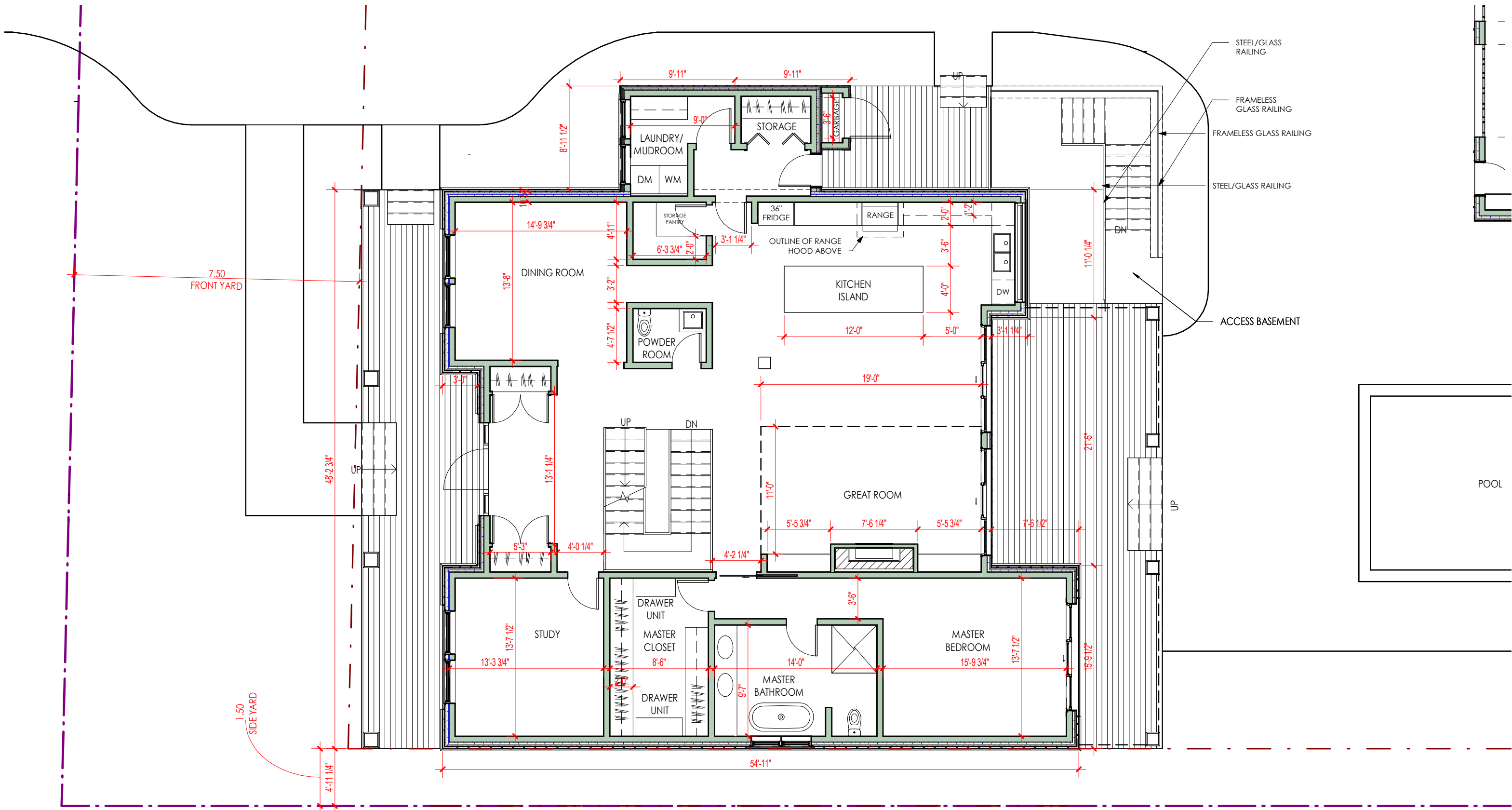




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COLONNA RESIDENCE  
3D ORTHO





SCALE 1/8" = 1'-0"

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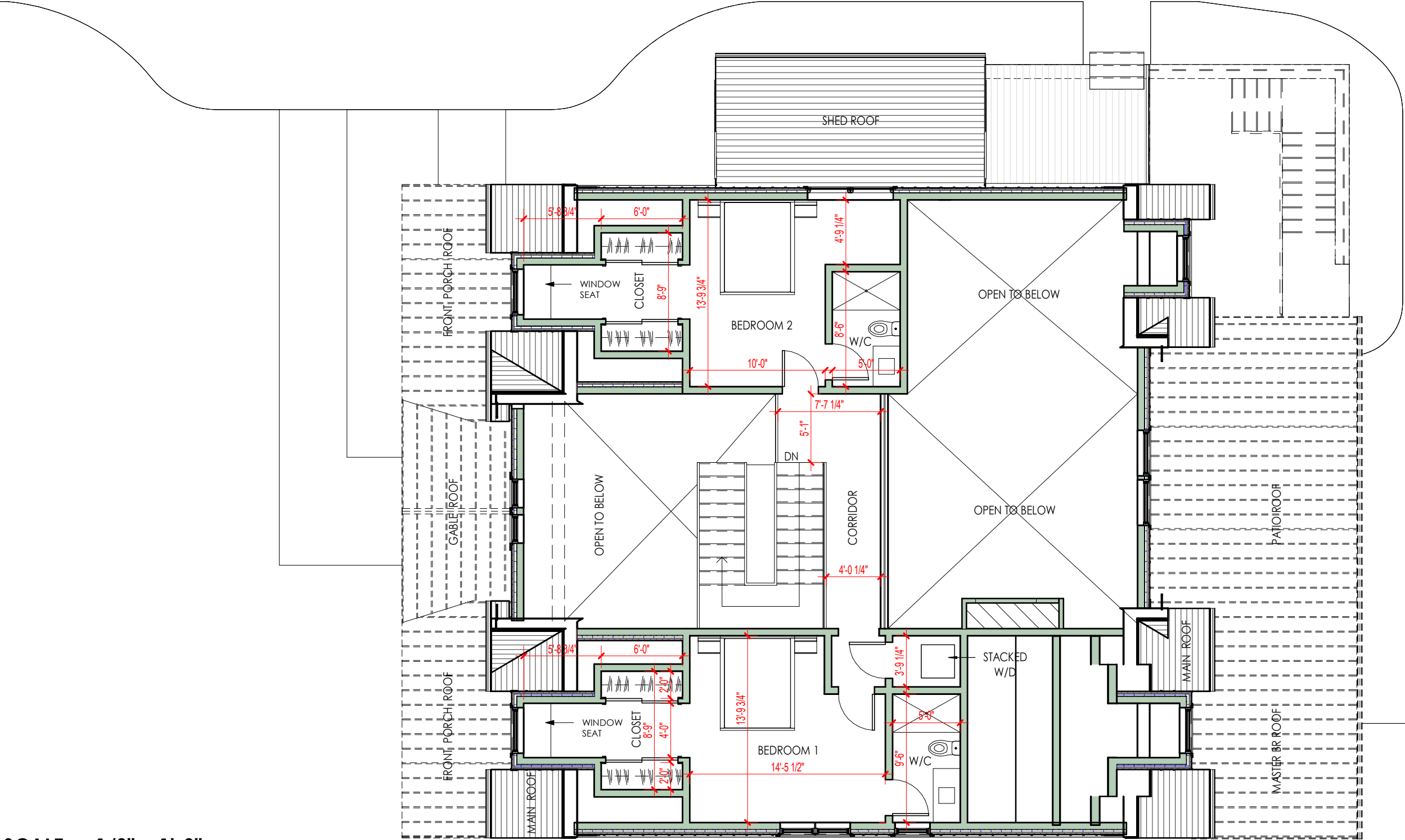
COLONNA RESIDENCE  
MAIN FLOOR PLAN



SCALE 1/8" = 1'-0"

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SECOND FLOOR PLAN







SCALE 3/16" = 1'-0"

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COLONNA RESIDENCE  
WEST ELEVATION



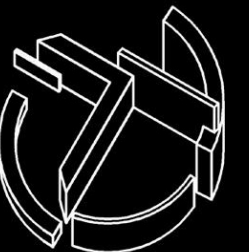




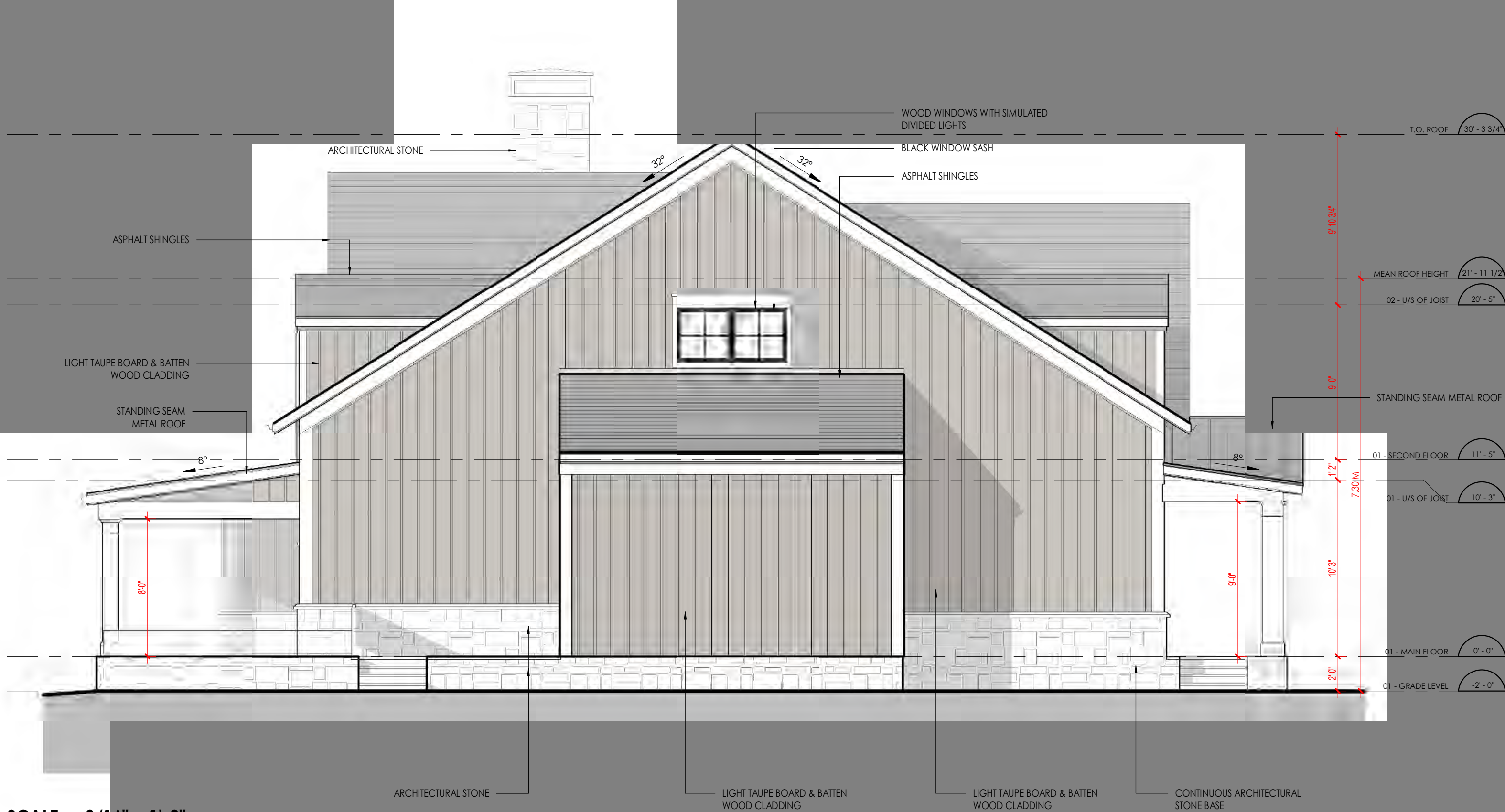
SCALE 3/16" = 1'-0"

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# COLONNA RESIDENCE EAST ELEVATION







SCALE 3/16" = 1'-0"

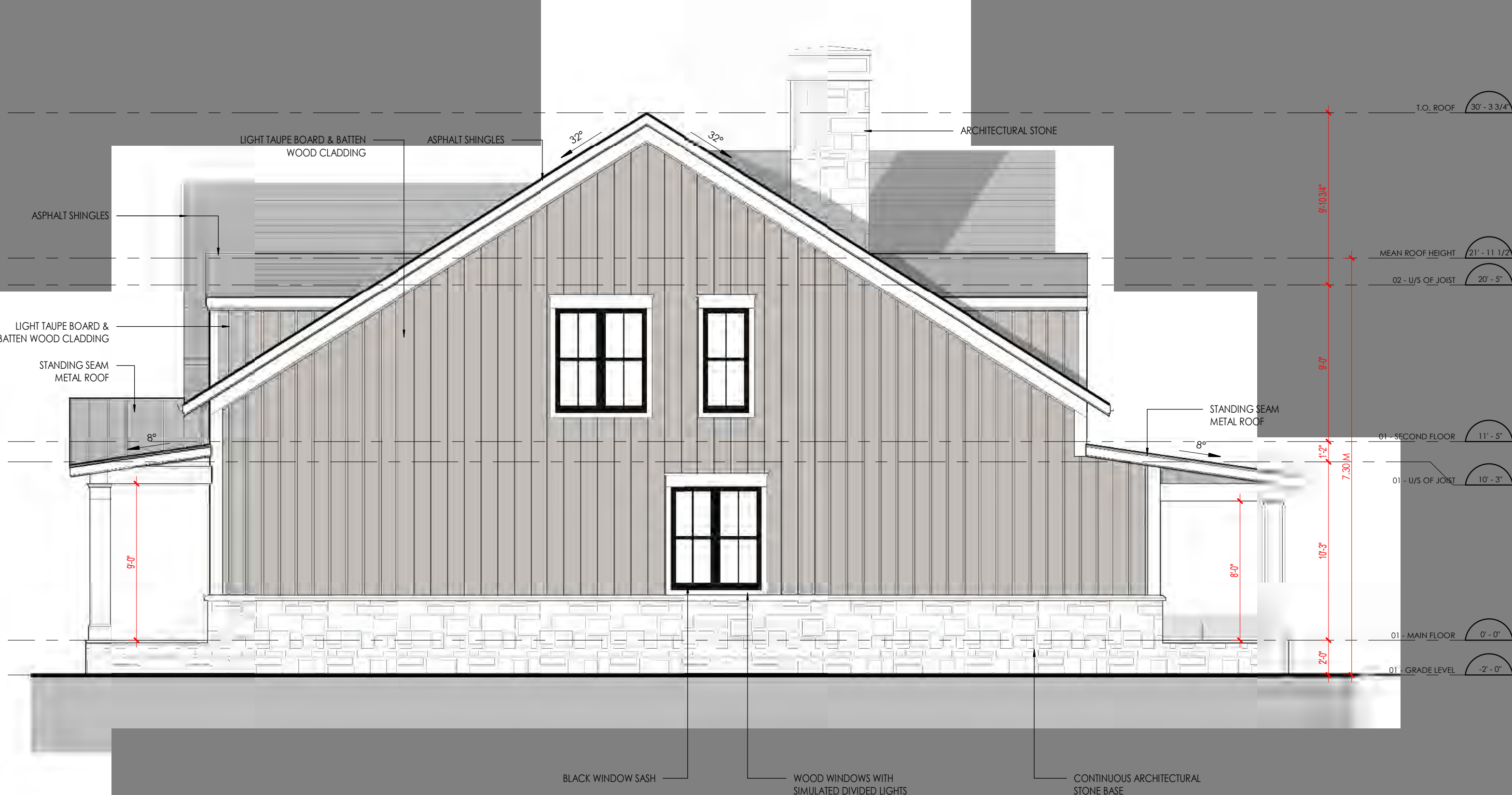
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# COLONNA RESIDENCE

## NORTH ELEVATION







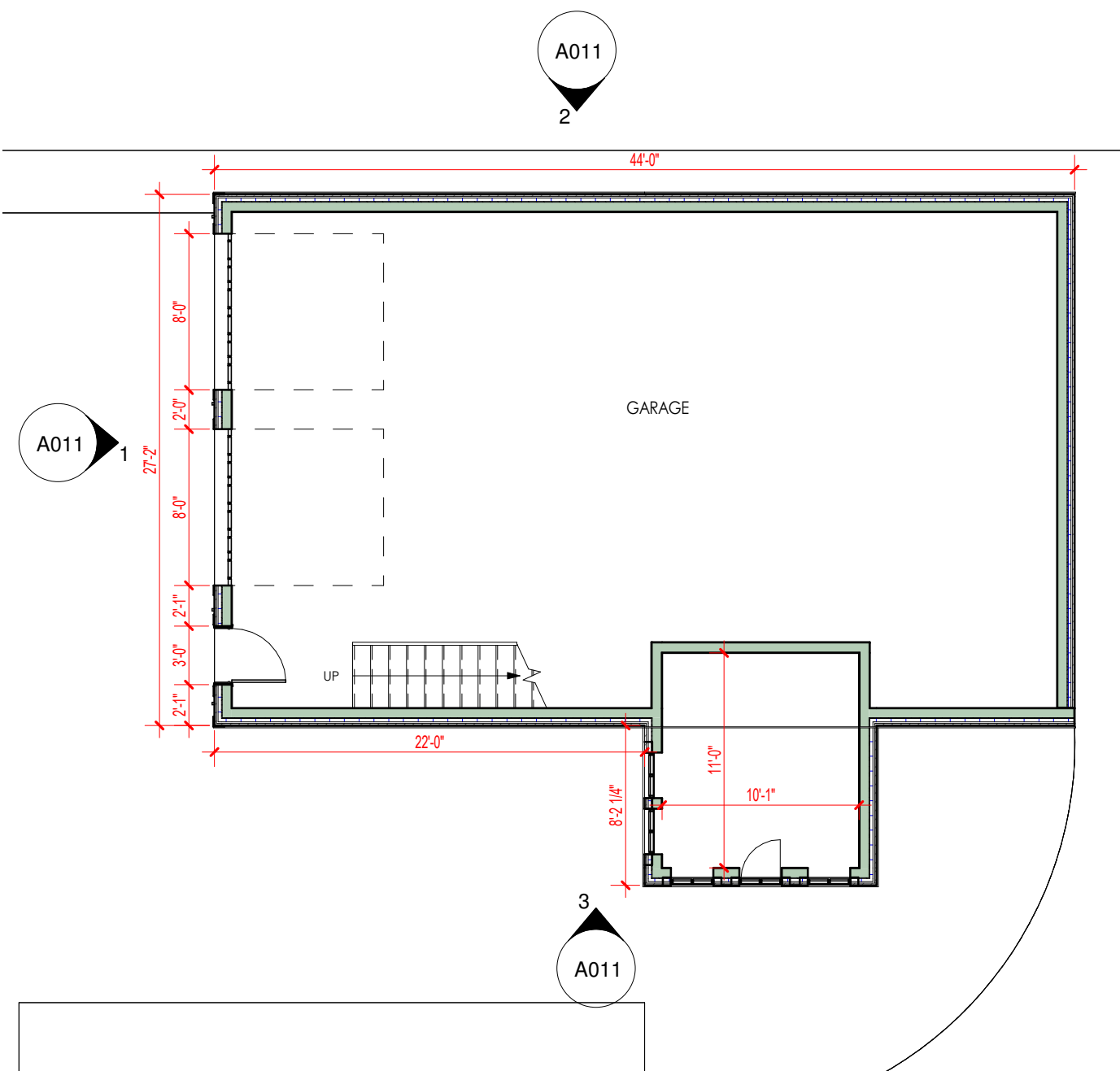
SCALE 3/16" = 1'-0"

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COLONNA RESIDENCE  
SOUTH ELEVATION

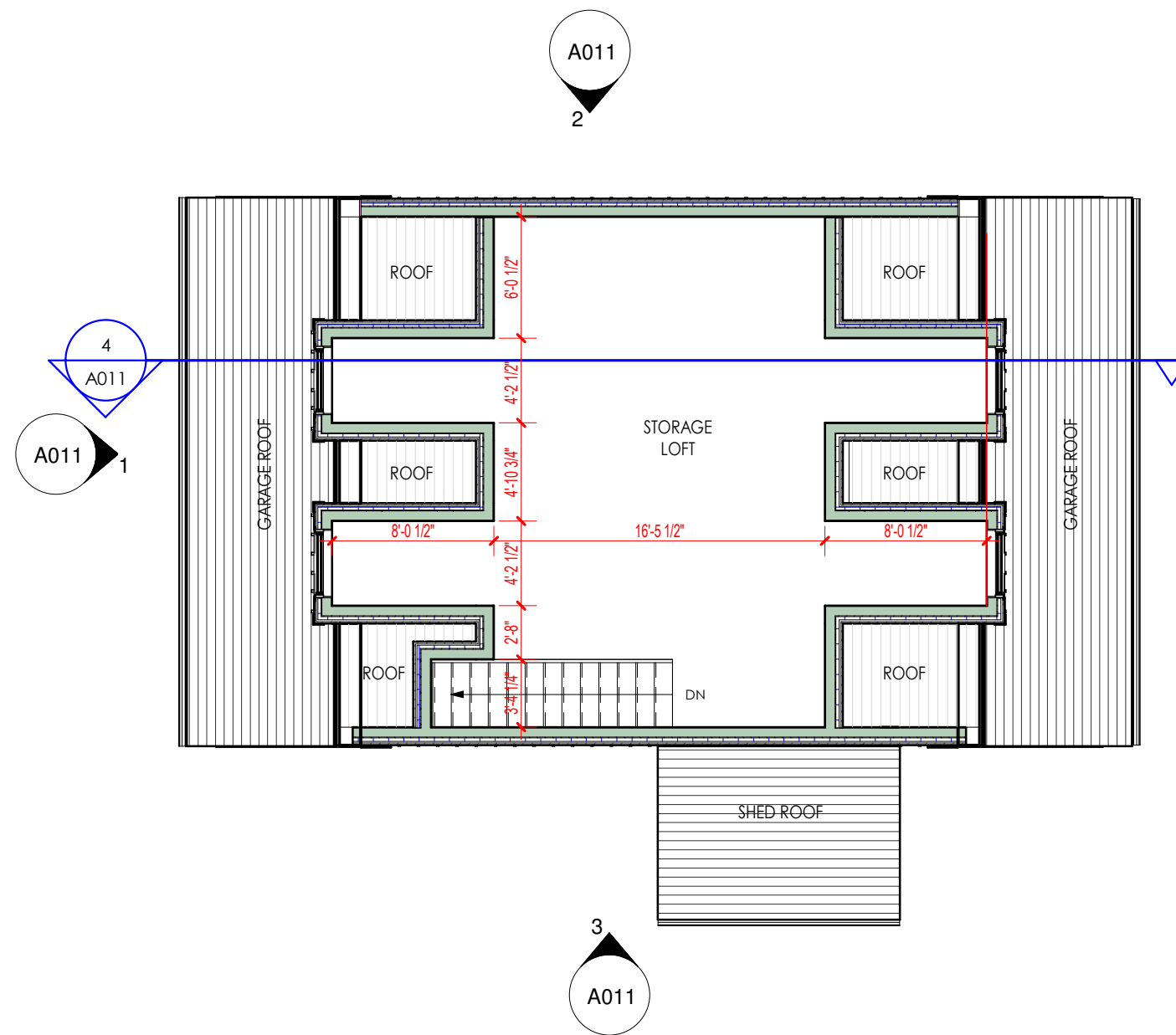






1  
A010

01 - MAIN FLOOR - PVT. GARAGE  
1/8" = 1'-0"



2  
A010

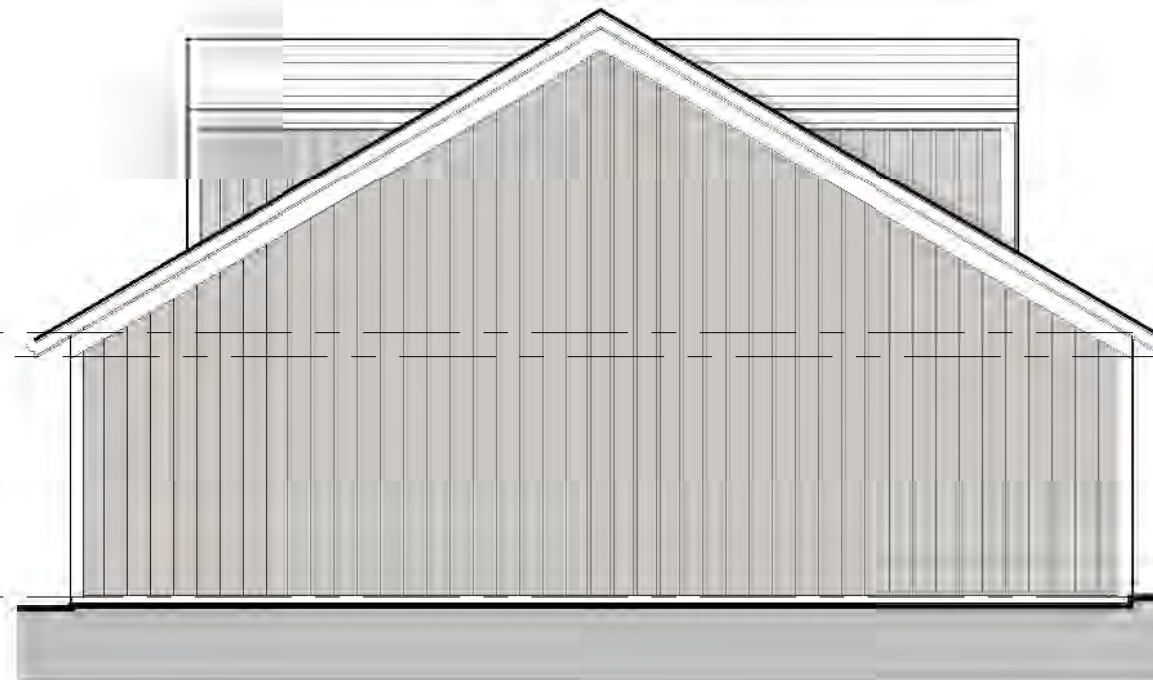
00 - GARAGE SECOND FLOOR  
1/8" = 1'-0"



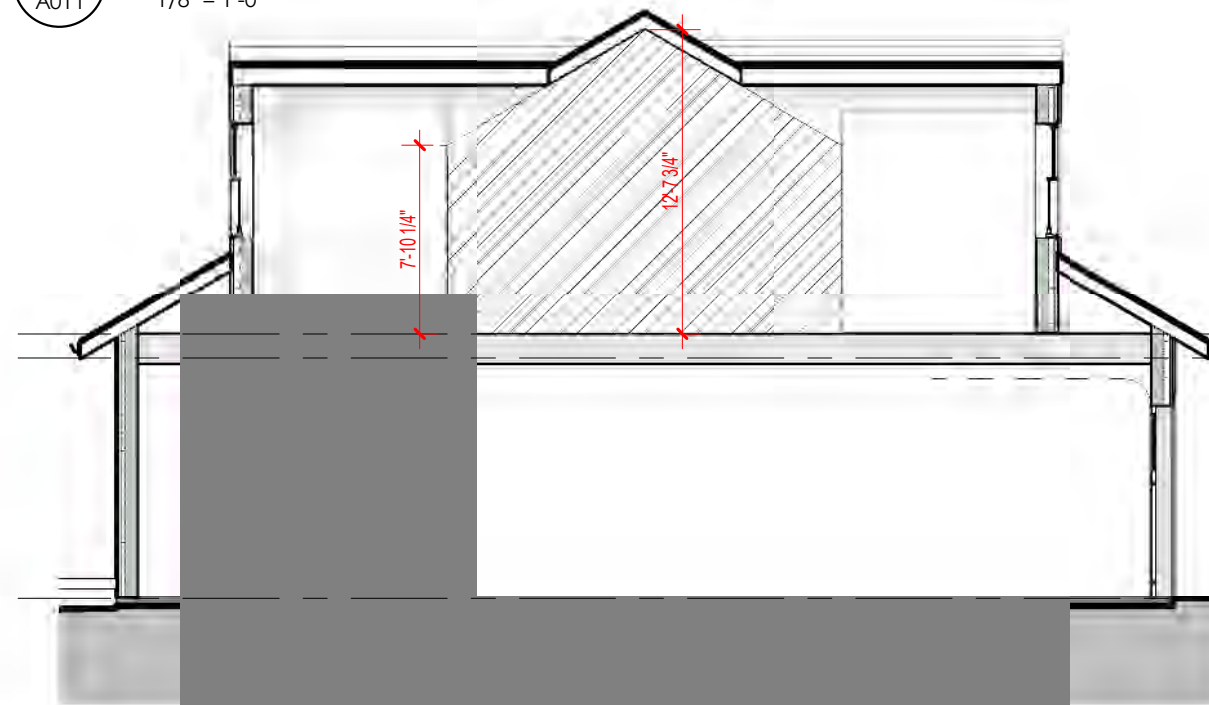




1 PVT. GARAGE WEST ELEVATION  
1/8" = 1'-0"



2 PVT. GARAGE NORTH ELEVATION  
1/8" = 1'-0"



4 PVT. GARAGE SECTION  
1/8" = 1'-0"



3 PVT. GARAGE SOUTH ELEVATION  
1/8" = 1'-0"

00 - GARAGE SECOND FLOOR 8' - 1 3/4"

00 - GARAGE U/S OF JOIST 7' - 1 3/4"

00 - GARAGE GRADE LEVEL -2' - 10 1/4"

00 - GARAGE SECOND FLOOR 8' - 1 3/4"

00 - GARAGE U/S OF JOIST 7' - 1 3/4"

00 - GARAGE GRADE LEVEL -2' - 10 1/4"

