

30 McLaughlin Road South, City of Brampton

Heritage Impact Assessment and Addendum

10/5/2021

Heritage & Planning Services

Leah Wallace, MA MCIP RPP



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LEAH D. WALLACE, MA MCIP RPP

Heritage Planning Services

15 Brock Street, RR#3, NIAGARA-ON-THE-LAKE, ONTARIO L0S 1J0

Cell/Text: 905-941-1950

Email: leahdw@sympatico.ca

May 10, 2021

Addendum Cover Letter

With reference to the memo dated April 6, 2021 from Pascal Doucet, Heritage Planner to Kelly Henderson, Development Planner, all additions and amendments to the Heritage Impact Assessment for 30 McLaughlin Road South are provided as a response to issues relating to the Heritage Impact Assessment dated January, 2021. These additions and amendments are added to the document in red italics for ease of review.

1. Executive Summary

The mitigation options have been ranked and recommendations are included for a Conservation Plan, Structural Engineer Assessment, Landscape Plan and Interpretive/Commemorative Heritage Plaque are included. ***Pages 7-8***

2. The heritage attributes that exist today have been confirmed and those that that will be retained, removed or replaced have been listed. ***Page 47***

3. The description of the trees has been enhanced and reference has been made to the Arborist's Evaluation and Protection Plan which is Appendix IV of this document. ***Pages 18-19 & 78***

4. Reference to 209 Queen Street has been corrected. ***Page 27***

5. Mitigation options and conservation methods have been updated. A Structural Condition Assessment and Building Protection Plan have been provided. ***Pages 70-72 and Appendix VI, Page 81***

6. Proposed adaptive reuse for the building has been explained. ***Page 33***

7. HIA amended to indicate that the designation by-law must be amended if the development is approved and the building is moved. ***Page 67***

8. Appendix V has been replaced with Appendix VI – Structural Condition Assessment and Building Protection Plan, **Page 81**
9. A Building Protection Plan has been added as Appendix VI, **Page 81**

Respectfully submitted

A handwritten signature in cursive script, reading "Leah D. Wallace".

Leah D. Wallace, MA MCIP RPP

Executive Summary

Leah D. Wallace, Heritage Planner, was contacted by the Blackthorn Development Corp. to prepare a Cultural Heritage Impact Assessment to evaluate the impacts on cultural heritage resources of the proposed development at 30 McLaughlin Road South in the City of Brampton, Ontario. The proposal includes moving the existing farmhouse to the corner of McLaughlin Road South and Bufford Drive and constructing an eight (8) storey commercial/residential building fronting of McLaughlin Road South. The property is designated under Part IV of the Ontario Heritage Act (OHA). There is one additional designated property in the vicinity of the subject property at 8870 McLaughlin Road South. This property is across the road and is located in the grounds of the Flower City Community Campus.

The property is the remnant of the farm owned by the Elliott family and contains the original c.1834, post and beam farmhouse which is located at the terminus of a long farm lane, adjacent to Fletcher's Creek. Remnants of an orchard are also located on the site. John Elliott was an early settler in Chinguacousy Township and is reputed to be the person who named Brampton after his hometown in England. He is also considered to be one of the principal early settlers in the municipality who brought Primitive Methodism to Ontario and, in particular, to Chinguacousy and the County of Peel.

The report provides input into heritage policies in local, regional and provincial planning documents and analyses the impacts of the proposed alterations to the site using the Ministry of Heritage, Sport, Tourism and Culture Industries *Eight Guiding Principles in the Conservation of Historical Properties; the General Standards for Preservation, Rehabilitation and Restoration, the Standards and Guidelines for the Conservation of Historic Places in Canada*; and the Ministry of Heritage, Sport, Tourism and Culture Industries *InfoSheet #5*. The report also briefly considers any possible impacts on nearby heritage resources. A scoped Regulation 9/06 review is also provided to confirm that 30 McLaughlin Road South still meets at least one (1) of the criteria for designation under Part IV of the OHA.

1. Excavation on the site to accommodate a new building and underground parking will result in considerable disturbance of the property. A Temporary Protection Plan will be developed in concert with members of the construction team, the project management team, a structural engineer with a background in heritage conservation, a heritage conservation architect, a heritage consultant and City of Brampton staff to ensure that excavation and other construction work does not adversely impact the significant built heritage and remaining cultural landscape resources. An example of a Temporary Protection Plan is attached and development of the site will not be undertaken until such time as the Temporary Protection Plan is completed and all parties have agreed to the process. **(APPENDIX V).**

The Cultural Heritage Impact Assessment concludes that there are impacts and provides three (3) possible development scenarios for development of the site. These include:

- A do nothing approach – *not recommended*
- An alternate design approach – *possible but not ideal*
- The current development approach with an interpretive strategy – *ensures conservation and restoration of the built heritage resource and interpretation of the site and early history of settlement in Brampton*

The report also provides mitigation and conservation recommendations that include restoration of the farmhouse after it is moved; requirements for a temporary protection plan during construction; and a landscape plan that reflects the original rural agricultural nature of the site.

These mitigation options, some of which have been addressed, include, in order of importance:

- 1. Development of a structural assessment and building protection plan by a qualified structural engineer. (APPENDIX V)*
- 2. Development of a temporary protection plan (APPENDIX V)*
- 3. Before the site plan agreement and plan is finalized the following additional mitigation strategies will be undertaken and addressed.*
 - Development of a conservation strategy and strategy for adaptive reuse.*
 - Review of the building plans by planning and building staff and the municipal heritage committee including the restoration and adaptive reuse of the building and its relocation on the site.*
 - Approval of Heritage Permits by Council for construction of the new commercial/residential building and underground parking and the relocation and restoration of the existing house.*
 - Finalization of a heritage easement agreement to ensure the continued protection of the site and the appropriate restoration and maintenance of the house and provision of financial securities.*
 - Provision of a landscape plan that provides for the conservation and protection of existing healthy specimen trees if possible and reflects a landscape/garden that would normally surround a farmhouse, including fencing, flowers and plants familiar to those planted by settlers in the area.*
- 4. Development of a comprehensive interpretive plan for the property.*
- 5. During excavation, if deeply buried archaeological resources are uncovered, all construction will cease until an archaeological assessment by a qualified archaeologist is completed and resources on the site are either removed or protected to the satisfaction of the Ministry of Culture.*

Introduction

This Heritage Impact Assessment is produced as a requirement for a proposed planning application and site plan application to permit a mixed use development on the property at 30 McLaughlin Road South in the City of Brampton. The assessment provides historical background for both Brampton and the subject property, identifies significant heritage resources and cultural heritage landscapes on, adjacent and near to the property, and analyses the impact of the proposed development on these protected and identified heritage resources and its impact on cultural heritage landscape features and resources on these properties. A draft Statement of Significance for 30 McLaughlin Road South is not provided because it is designated under Part IV of the Ontario Heritage Act (OHA) (**APPENDIX I – Designation By-laws**). A scoped Regulation 9/06 analysis is provided to confirm that the property still meets the Regulation 9/06 criteria.

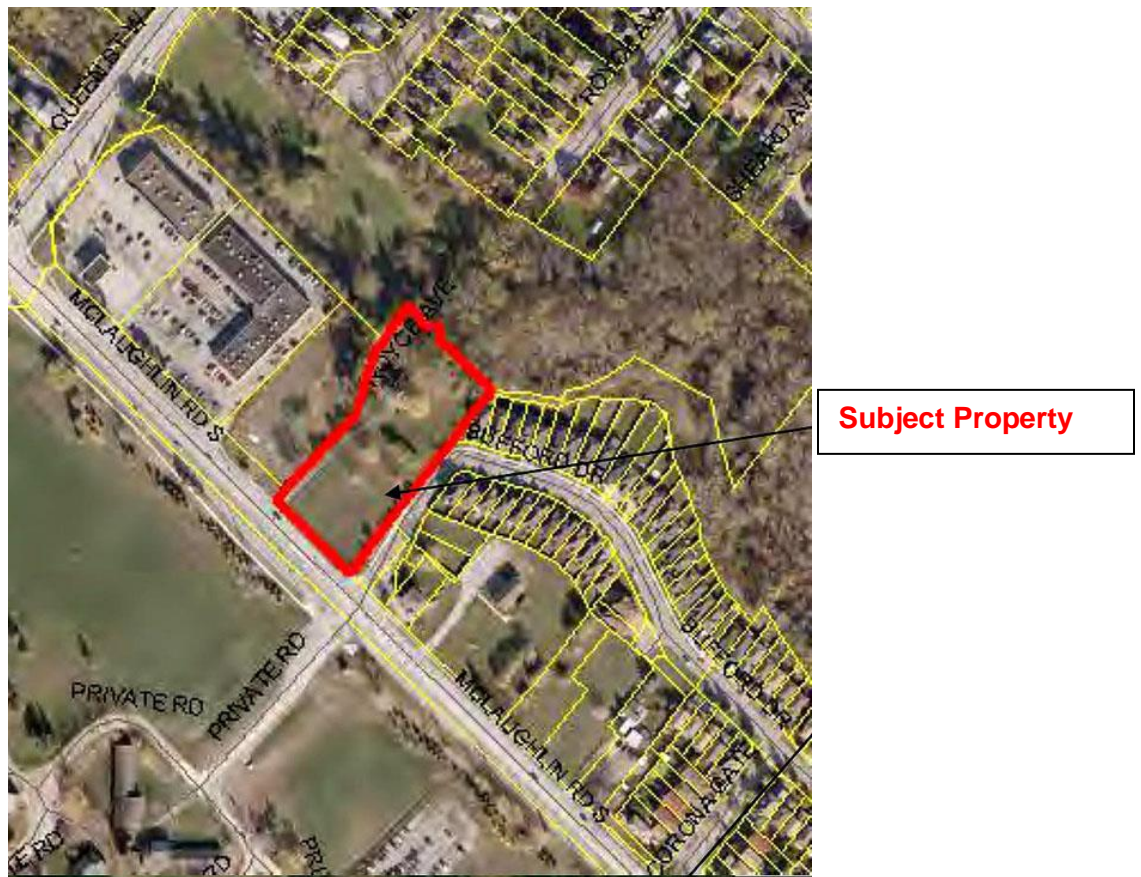


Figure 1: Subject Property, 30 McLaughlin Road South

Subject Lands

The subject property is located on the east side of McLaughlin Road South, south of Queen Street and north of Bufford Drive. The property extends from the road to Woodview Park and backs

onto Fletcher's Creek. The property, known as the Elliot Farmstead, contains a small one and a half storey frame dwelling set well back on the lot. The lot consists of a large open field with remnants of an orchard and a farm lane. The house is vacant and is currently mothballed in accordance with the requirements of the City of Brampton.



Figure 2: Heritage Notice, City of Brampton

Surrounding Land Uses and Heritage Properties

The surrounding land uses are mixed. The property fronts on McLaughlin Road South, a busy urban street with nearby bus service. It is adjacent to a commercial development to the north and a residential subdivision, separated by the signalized entrance to Bufford Drive to the south. To the rear is Woodview Park and Fletcher's Creek. Across the road to the west is the Flower City Community Campus which contains such community facilities as a seniors' recreation centre, a lawn bowling facility, a sports administration centre and playing fields including soccer pitches.



Figure 3: McLaughlin Road Looking South from Subject Property, LDW



Figure 4: Flower City Campus from Subject Property, LDW



Figure 5: Adjacent Commercial Development East of Subject Property, LDW



Figure 6: Fletcher's Creek, Behind Heritage House, LDW



Figure 7: Residential Subdivision, Bufford Drive, LDW

There is one (1) property designated under Part IV of the OHA in close proximity, though not adjacent, to the subject property. This is the former Ontario Provincial Police Administrative building at 8870 McLaughlin Road South which is located across McLaughlin Road in the Flower City Community Campus. **(APPENDIX I – Designation By-laws)**

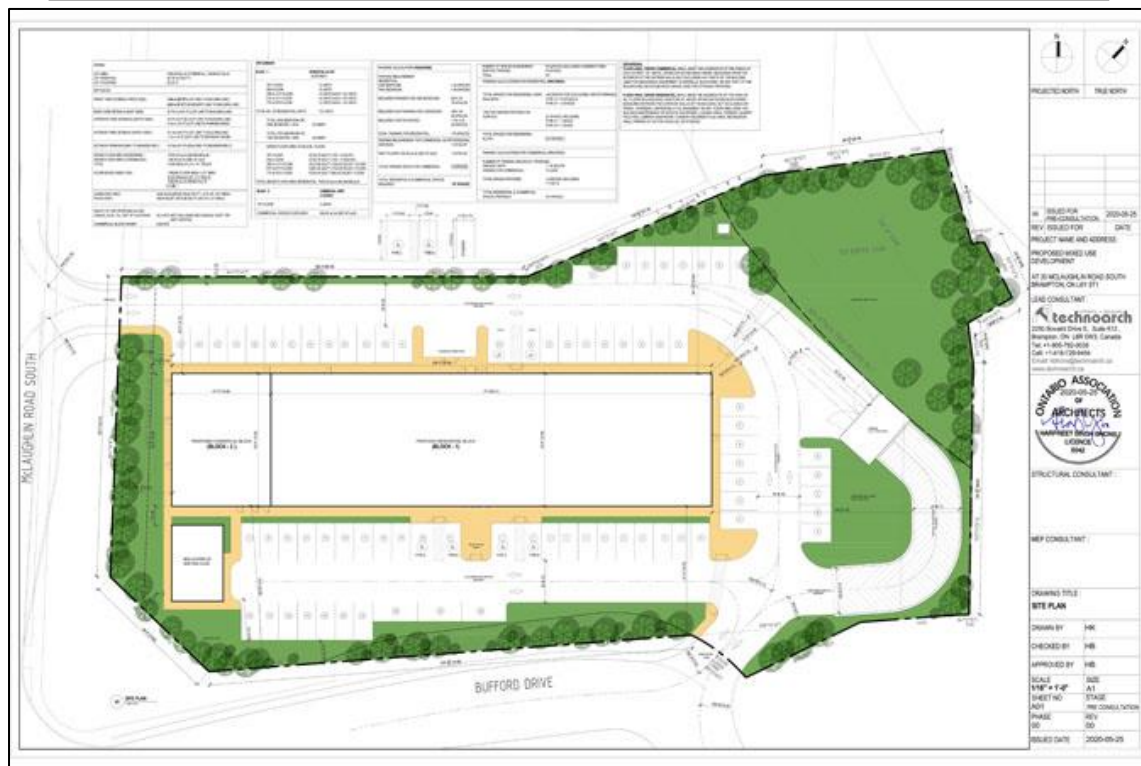
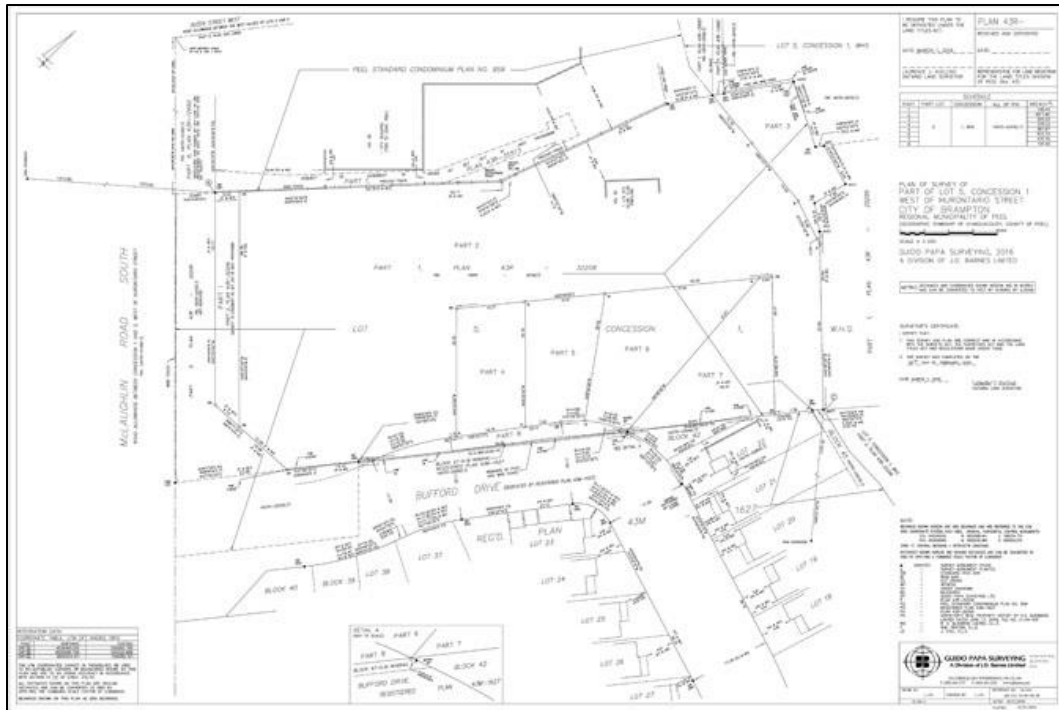
While there are no additional properties designated under Part IV of the OHA nearby, the properties at 1 Royce Avenue (the former Food Equipment Factory); 10 Henderson Avenue (the Charters Litho Company); and 18 Jessie Street are located in the vicinity of 30 McLaughlin Road. They are included on the City's *Cultural Heritage Resources Register* and are subject to limited demolition control. They have a level of cultural heritage value or interest which may make them eligible for designation.

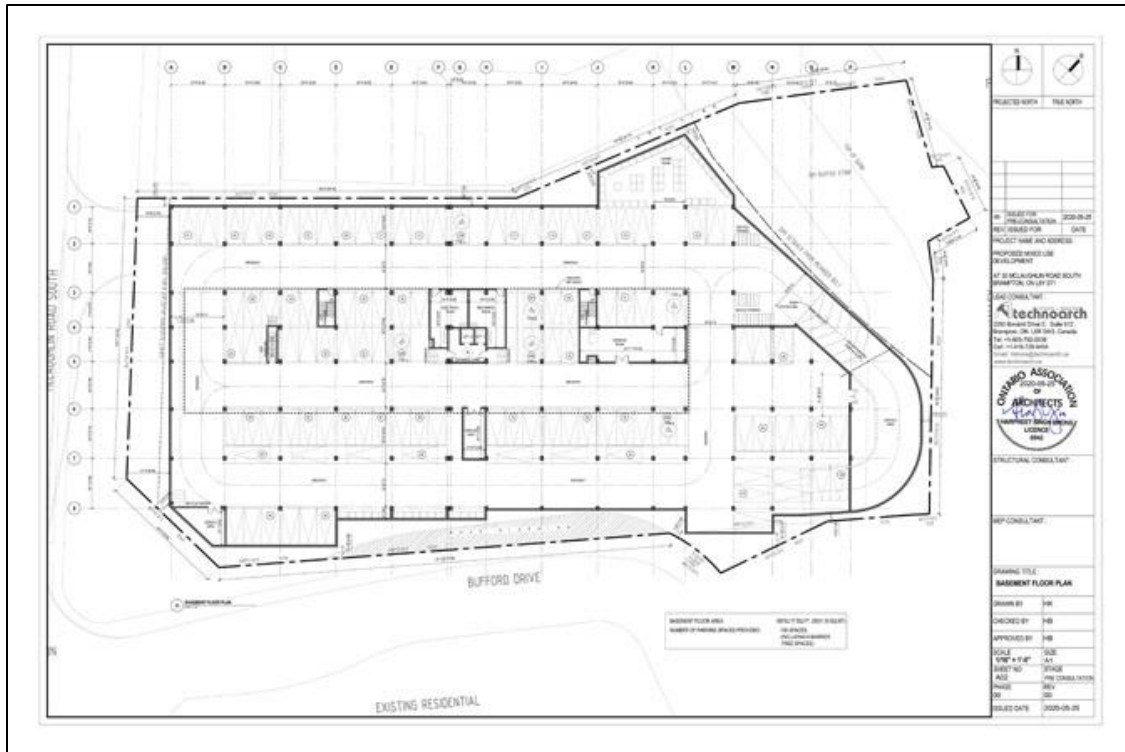


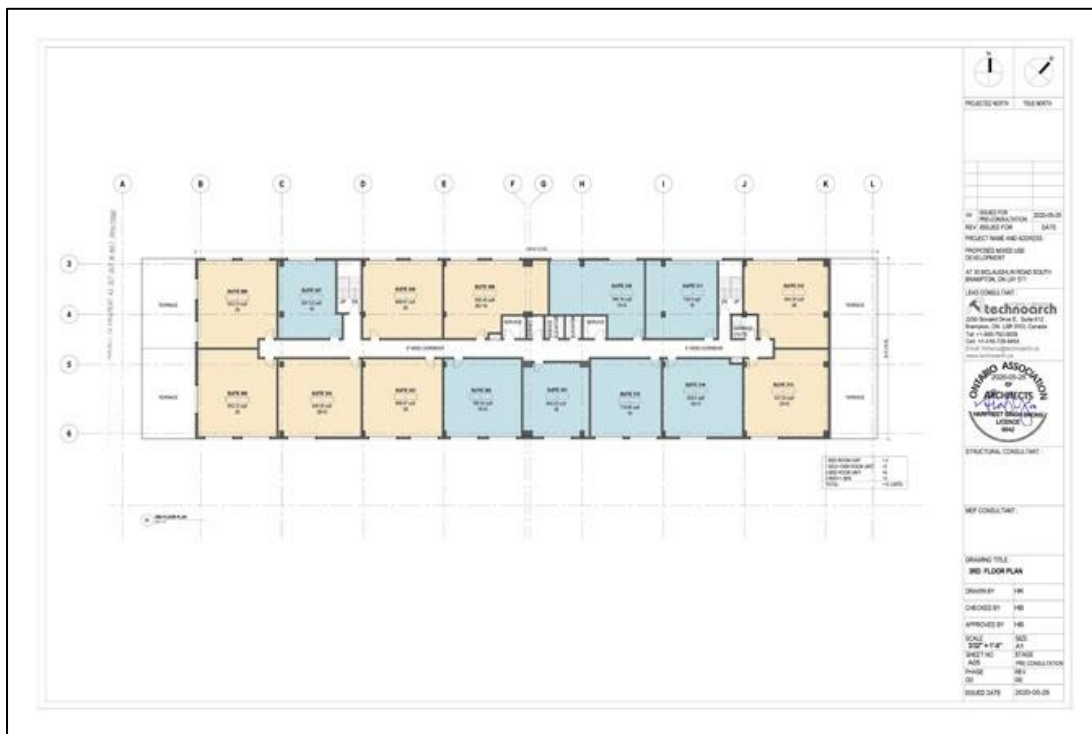
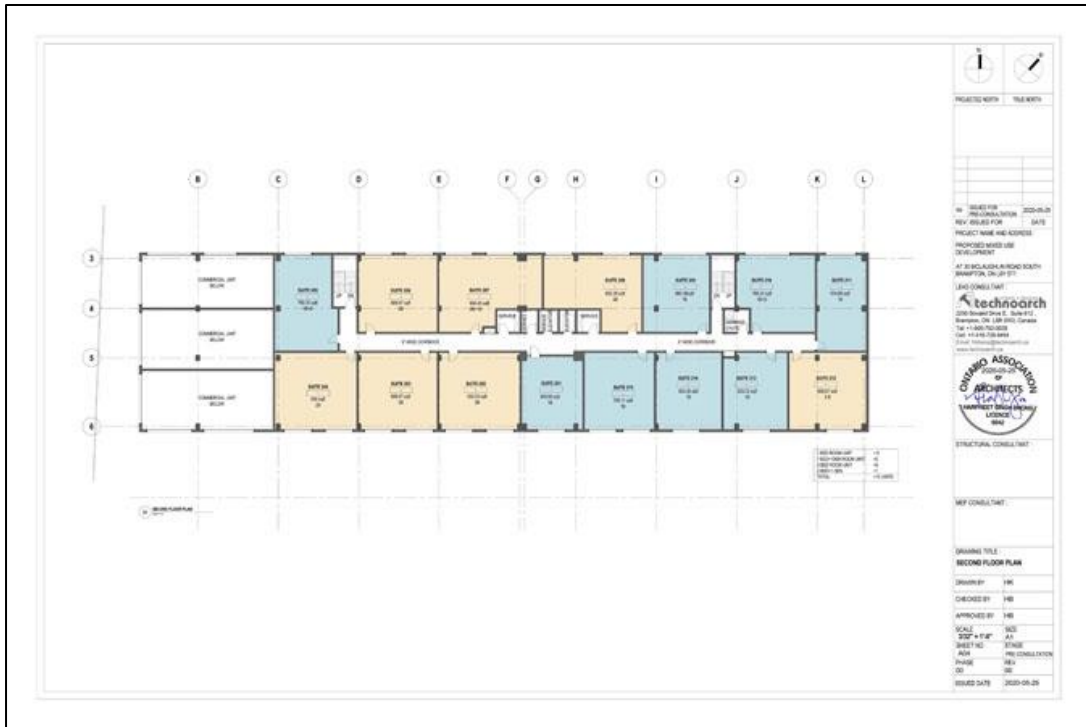
Figure 8: Designated and Non-Designated Properties Listed on the Register, Google Earth Pro, (Green Pin – Designated, Red Pin – Register Only)

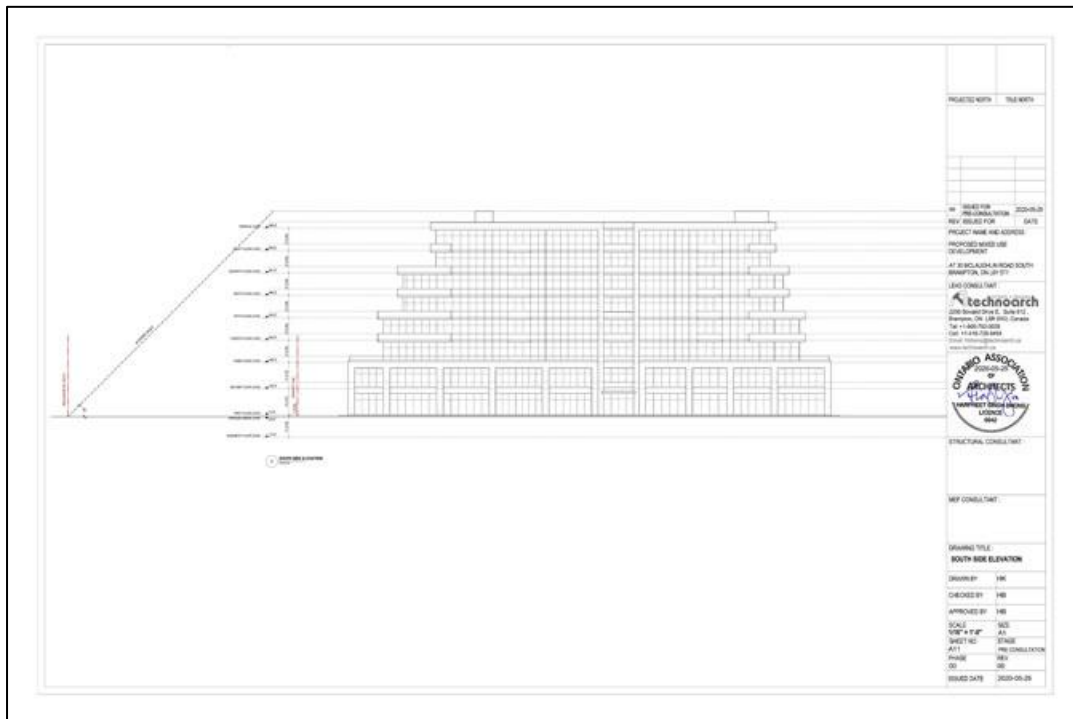
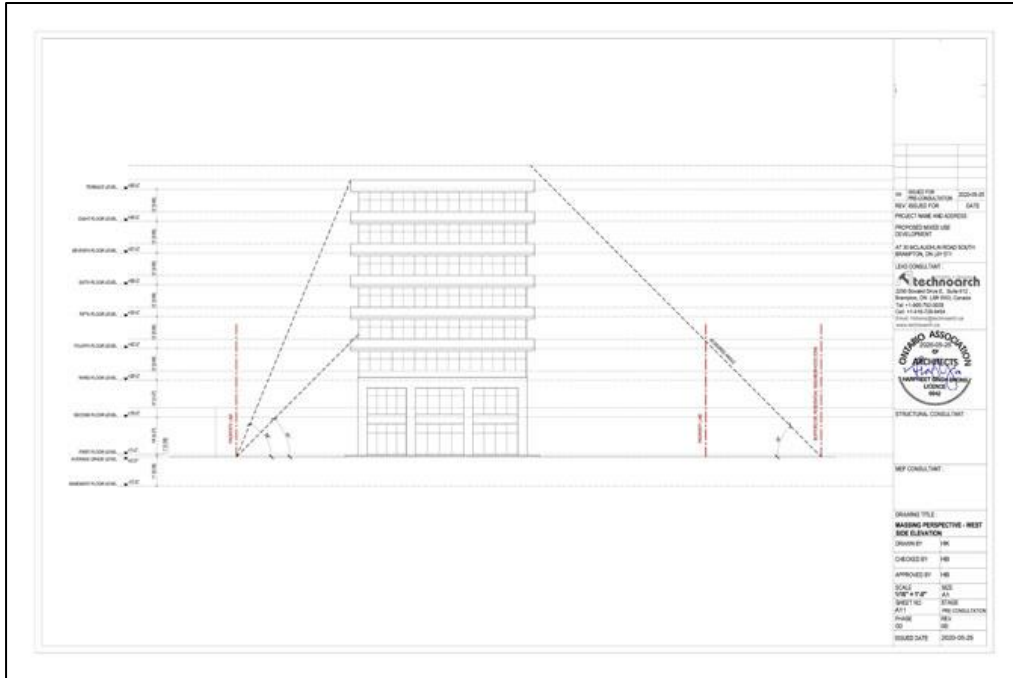
Proposal

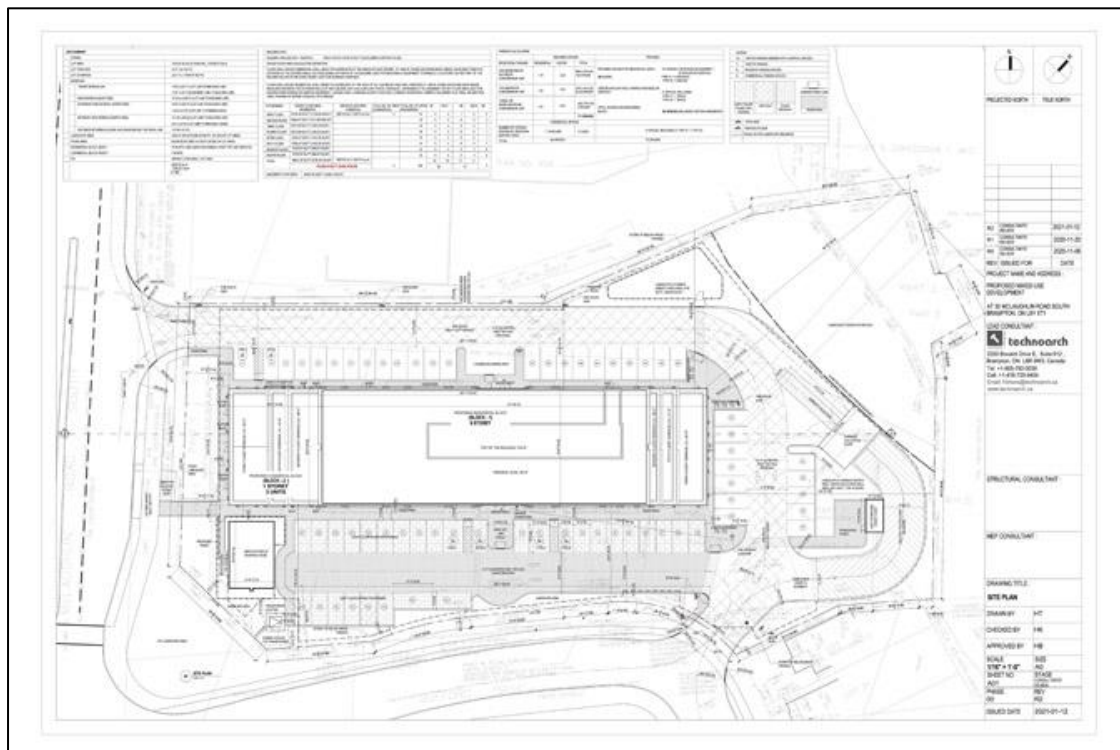
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<p>LIST OF ARCHITECTURAL DRAWINGS</p> <p>SHEET NO. _____</p> <p>COVER SHEET + LIST OF DRAWINGS + KEY PLAN</p> <p>GENERAL SHEETS</p> <p>A00 SURVEY PLAN</p> <p>A01 SITE PLAN</p> <p>A02 ACCESS AND BOUNDARY DETAIL PLAN</p> <p>PROPOSED FLOOR PLAN SHEETS</p> <p>A03 PROPOSED UNDERGROUND P1 PLAN</p> <p>A04 PROPOSED GROUND FLOOR PLAN</p> <p>A05 PROPOSED SECOND FLOOR PLAN</p> <p>A06 PROPOSED THIRD FLOOR PLAN</p> <p>A07 PROPOSED FOURTH FLOOR PLAN</p> <p>A08 PROPOSED FIFTH FLOOR PLAN</p> <p>A09 PROPOSED SIXTH FLOOR PLAN</p> <p>A10 PROPOSED SEVENTH FLOOR PLAN</p> <p>A11 PROPOSED EIGHTH FLOOR PLAN</p> <p>A12 MECHANICAL & ROOF PLAN</p> <p>A13 PROPOSED WEST SIDE ELEVATION</p> <p>A14 PROPOSED SOUTH SIDE ELEVATION</p> <p>A15 PROPOSED NORTH SIDE ELEVATION</p> <p>A16 PROPOSED EAST SIDE ELEVATION</p> <p>A17 SECTION 1-1</p> <p>A18 BUILDING RENDERING PLAN</p>									
<p>KEY PLAN</p> <p>AREA OF WORK</p> <p>MIXED USE DEVELOPMENT AT 30 McLAUGHLIN RD S, BRAMPTON</p> <p>30 McLaughlin Rd S</p> <p>300m</p> <p>North Arrow</p>									
<p>MIXED USE DEVELOPMENT</p> <p>AT 30 McLAUGHLIN ROAD SOUTH, BRAMPTON, L6Y 5T1</p> <p>technoarch</p> <p>8950 Sheppard Ave. E., Suite 619, Scarborough, ON M1S 1T6, Canada</p> <p>Phone: (416) 291-9456</p> <p>Email: info@technoarch.ca</p>									











The proposal is to construct a new eight (8) storey mixed use building consisting of three (3) commercial units located on the first floor fronting on McLaughlin Road and 110 one (1) and two (2) bedroom residential units. Floors three (3) to eight (8) will be stepped back from the base of the building facing the street and the parkland to the rear. There is provision for 167 parking spaces for the residential units and 14 for the commercial units. Of these, 106 will be located in the basement accessed by a driveway and two-way ramp from Bufford Drive. The heritage house will be relocated from its current position at the rear of the property to the south side of the proposed building, facing McLaughlin Road South at the corner of Bufford Drive. **(APPENDIX II)**

*An arborist's evaluation report provides information about the species and health of the trees on the site and indicates those that will be removed and those that will remain **(APPENDIX IV)**. The tree inventory includes all trees within the area to be developed and the area adjacent to it in accordance with the City of Brampton Tree Preservation By-law 317-2012.*

The inventory includes 40 trees and classifies most of the trees within the area to be developed as largely former landscape trees such as Apple, White Spruce and Silver Maple. The adjacent woodlot, which will not be touched when the property is developed, includes largely non-native species including Norway Maple and Manitoba Maple as well as a dense cover of invasive European Buckthorn shrubs. Neither Norway Maple nor Manitoba Maple are desirable tree species. The type and quantity of trees is summarized in Table 1 of the Evaluation Report (p.4)

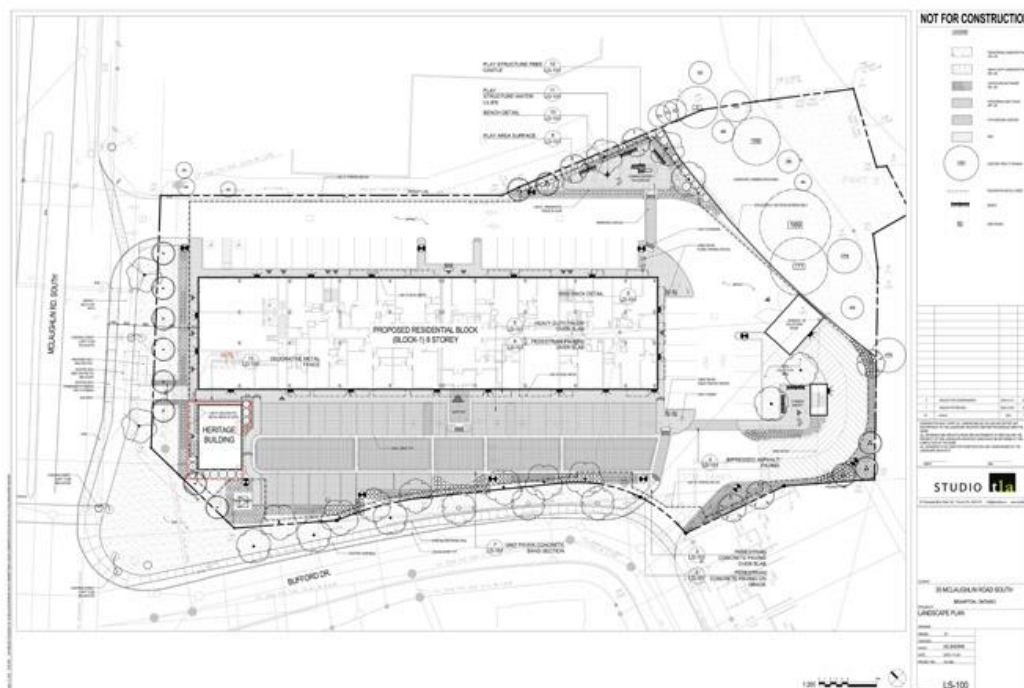
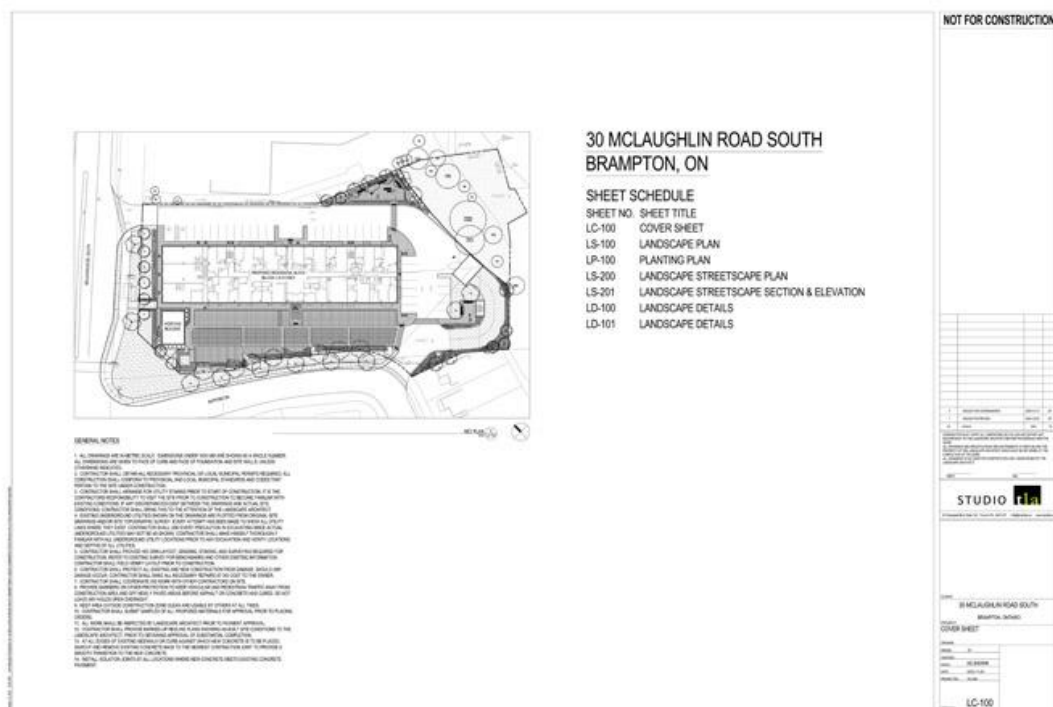
The inventory includes a list of 18 trees to be retained and 22 trees to be removed in Tables 2 and 3 (p.4-5). These are marked on Figure 2 in the report. The map clearly shows that no trees adjacent Fletcher's Creek will be removed or impacted by the proposed development.

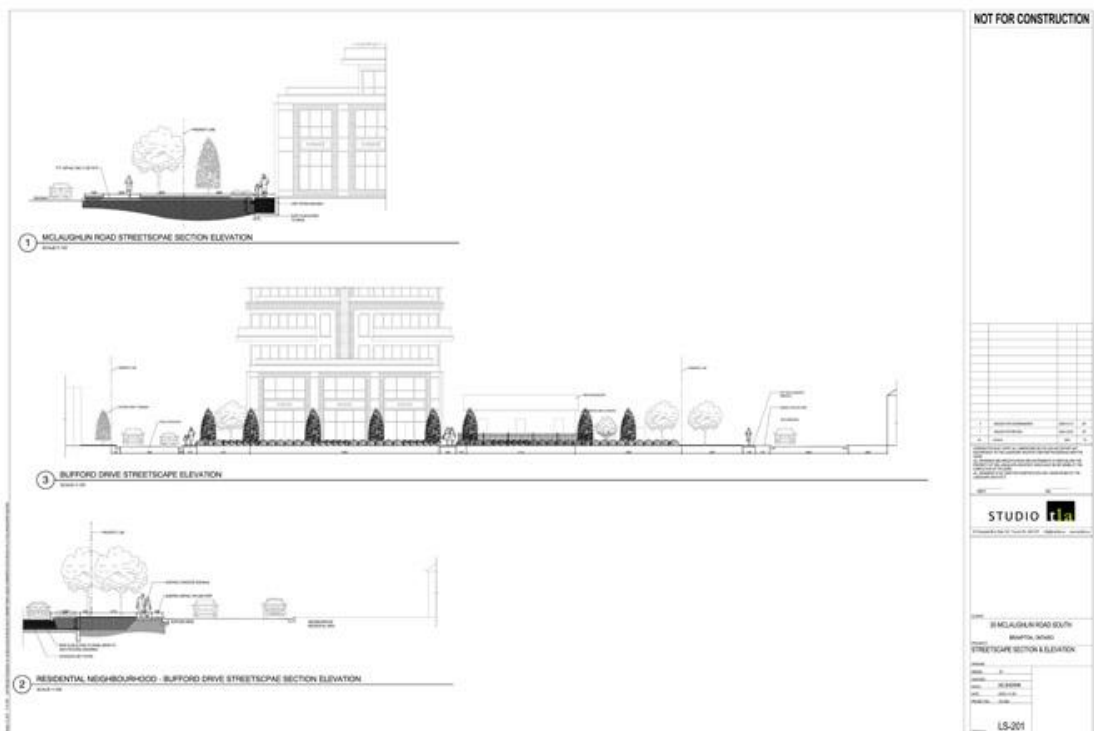
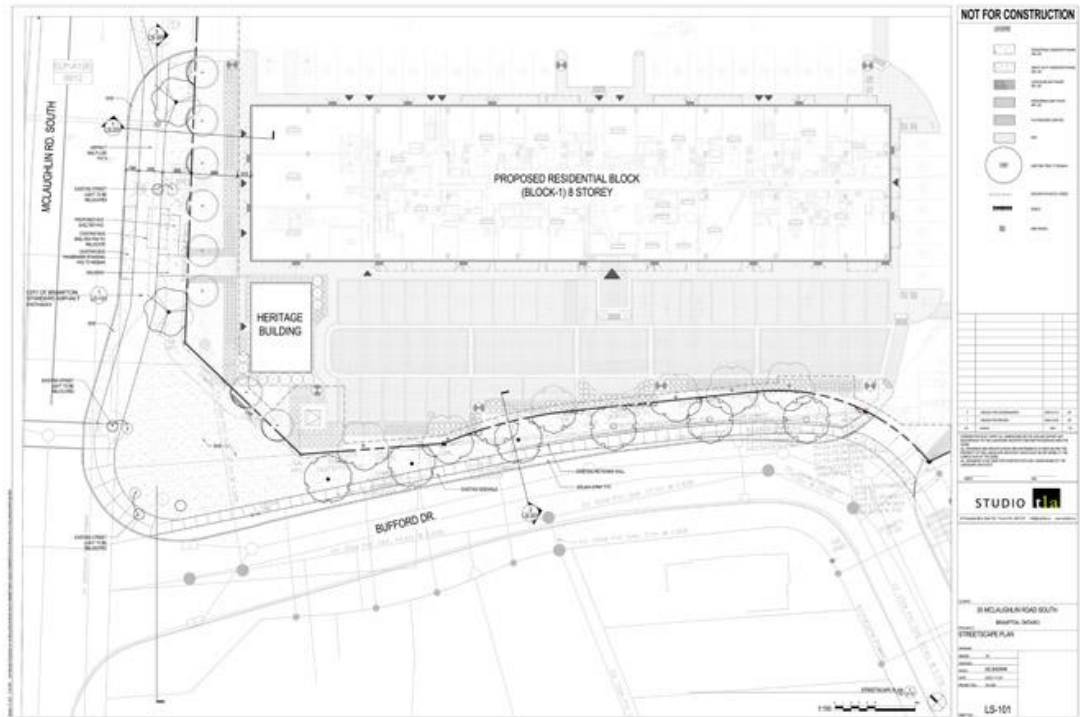
The landscape plan, which also includes a streetscape plan illustrating the appearance of the new building and the relocated house viewed from McLaughlin Road, illustrates the proposed planting plan, plant and tree species and hard surfaces that will be used on the site.

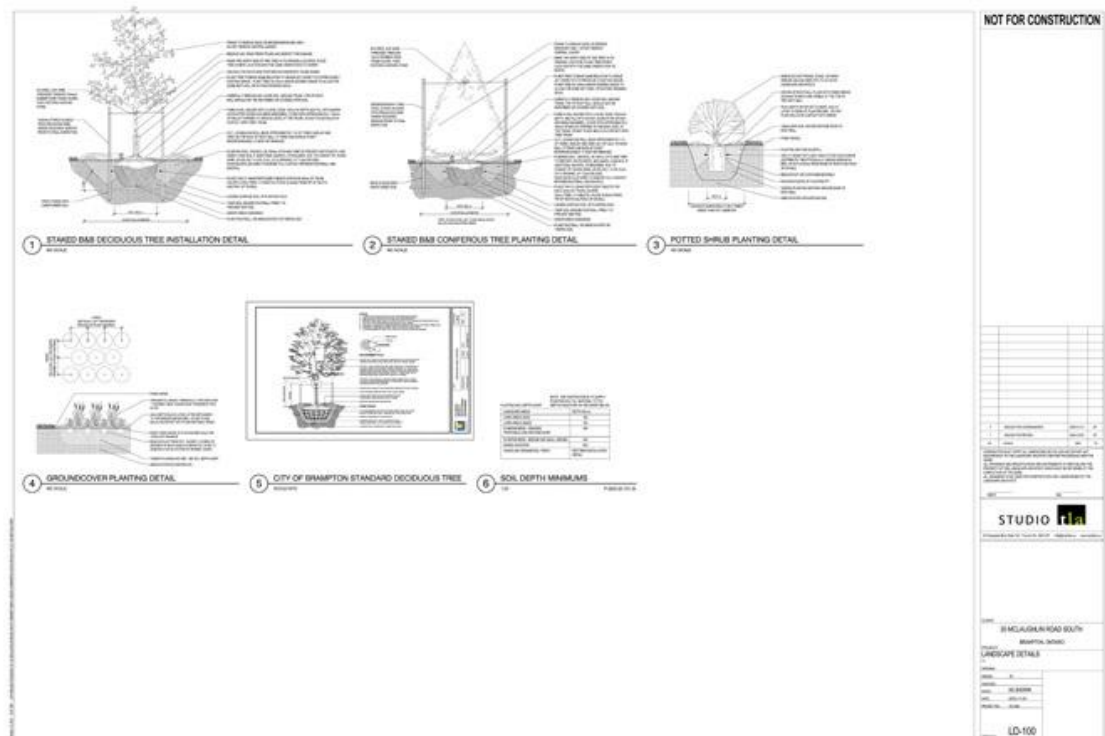
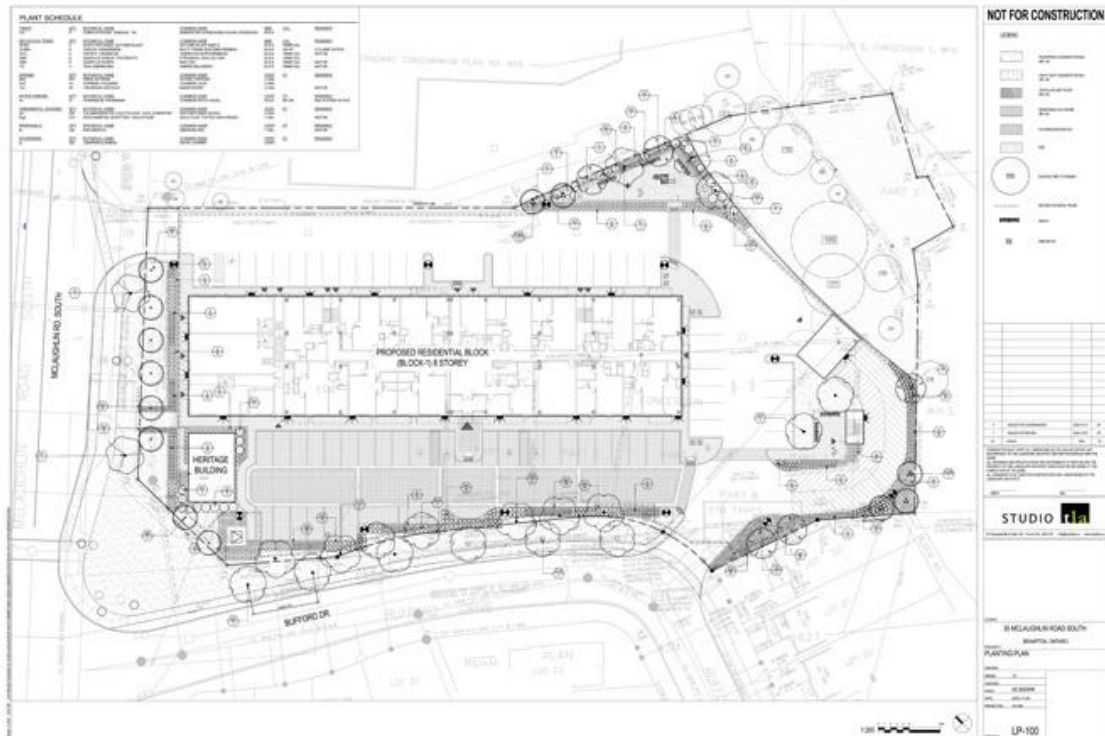
Trees at the rear of the property, adjacent to Fletcher's Creek will remain and this area is relatively untouched by the proposed development. To the west is a childrens' playground which is surrounded by trees and various shrubs and plants. The area to the south, adjacent to Bufford Drive is planted with a series of street trees including Autumn Blaze Maple and American Hornbeam. Shrubs in this area include Alpine Currant enhanced with low plantings of Siberian Iris and Gold Dust Tufted Hair Grass. Street trees along McLaughlin Road include American Linden and Pyramidal English Oak. Immediately around the base of the house are plantings of Common Lilac, Nannyberry, a native species with edible fruit that attracts both wildlife and pollinators, and Siberian Iris.

Hardscaping on pedestrian walkways within the development consists mainly of unit pavers. Heavy duty concrete paving appears to be confined to the driveway and ramp to the underground parking. Landscaping is confined to the rear of the property adjacent to the creek and the park

and to the perimeter of the site. The design also includes a metal fence, approximately 1.22m (4 ft.) in height surrounding the heritage building. **(APPENDIX III)**







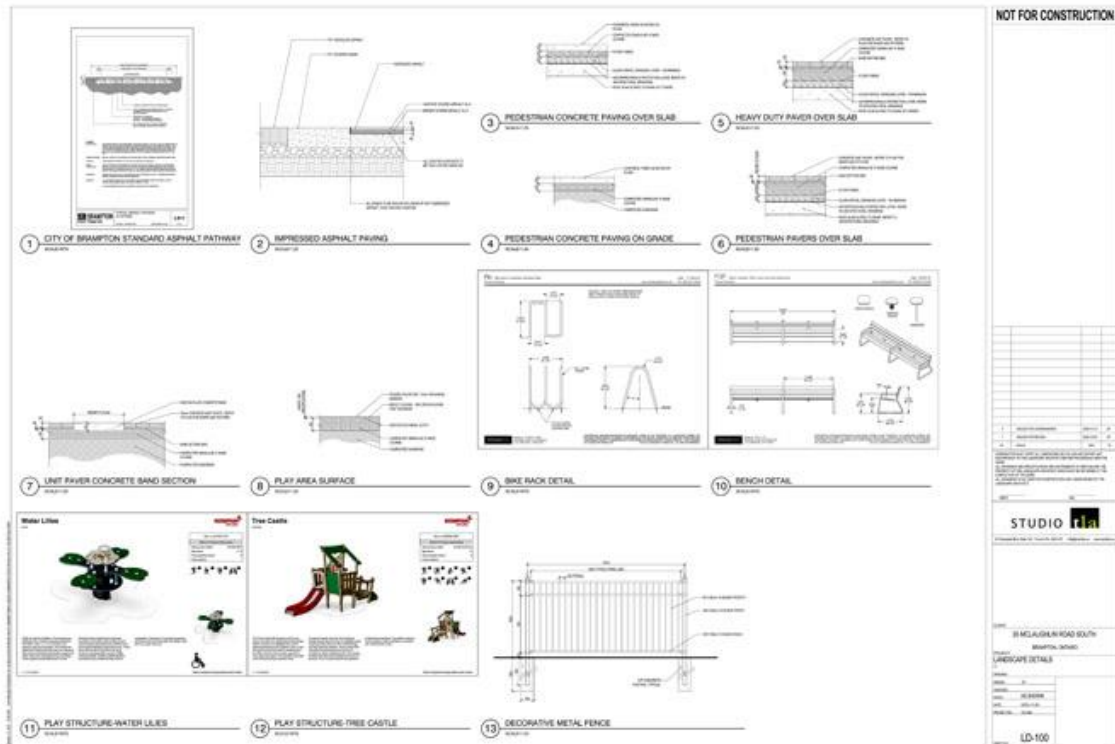


Figure 11: Landscape Plans, Including Streetscape Plan

Existing Heritage Policy Context

The Planning Act

Part 1 of the Planning Act includes a list of matters of provincial interest. Section 2(d) states that the Minister, the council of a municipality and the Ontario Municipal Board, in carrying out their responsibilities shall have regard to:

- The conservation of features of significant architectural, cultural, historical, archaeological or scientific interest.

In 2015, an additional clause, Section 2(r), was added. This clause provides for the promotion of built form that is well-designed, encourages a sense of place, and provides for public spaces that are of high quality, safe, accessible, attractive and vibrant.

Provincial Policy Statement (PPS)

A new Provincial Policy Statement came into force on May 1, 2020. The following policies cultural heritage policies are relevant and in effect.

Section 2.6 of the PPS, Cultural Heritage and Archaeology, contains the following policies for both built heritage resources and cultural heritage landscapes.

Policy 2.6.1: *Significant built heritage resources and significant cultural landscapes* shall be conserved.

Policy 2.6.2: *Development and site alteration* shall not be permitted on lands containing *archaeological resources* or *areas of archaeological potential* unless *significant archaeological resources* have been conserved.

Policy 2.6.3: Planning authorities shall not permit *development and site alteration* on *adjacent lands* to *protected heritage property* except where the proposed *development and site alteration* is evaluated and it has been demonstrated that the *heritage attributes* of the *protected heritage property* will be conserved.

Policy 2.6.4: Planning authorities should consider and promote archaeological management plans and cultural plans in conserving cultural heritage and archaeological resources.

The PPS provides the following definitions which assist in understanding and applying these cultural heritage and archaeology policies.

Significant means in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the OHA.

Criteria for determining significance are recommended by the Province, but municipal approaches that achieve or exceed the same objective may also be used.

Built heritage resource means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on the property that may be designated under Parts IV or V of the Ontario Heritage Act (OHA), or that may be included on local, provincial, federal and/or international registers.

Cultural heritage landscape means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued for their interrelationship, meaning or association. Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the OHA or have been included on federal and/or international registers, and protected through official plan, zoning by-law, or other land use planning mechanisms.

Protected heritage property means a property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the OHA; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for the Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites.

Adjacent lands mean those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan.

Conserved means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.

Development means creation of a new lot, a change in land use, or the construction of buildings and structures requiring approval under the Planning Act.

Site alteration means activities such as grading, excavations and placement of fill that would change the landform and natural vegetative characteristics of a site.

Heritage attributes means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest and may include the property's built, constructed, or manufactured elements as well as natural landforms, vegetation, water features and visual setting (e.g. significant views or vistas to or from a protected heritage property).

Archaeological resources include artifacts and archaeological sites, marine archaeological sites, as defined under the Ontario Heritage Act. The identification and evaluation of these resources are based on archaeological fieldwork undertaken in accordance with the OHA.

The subject property at 30 McLaughlin Road is designated under Part IV of the OHA. **(APPENDIX I)** The property at 8870, located across the road in the Flower City Community Campus, is also designated under Part IV of the OHA **(APPENDIX I)**.

The properties at properties at 1 Royce Avenue (the former Food Equipment Factory); 10 Henderson Avenue (the Charters Litho Company); and 18 Jessie Street are located in the vicinity of 30 McLaughlin are included on the Town's *Cultural Heritage Resources Register* and are considered to be of significant cultural heritage value both for the individual built heritage resources on these sites and their cultural heritage landscape value.

Because of the proximity of significant cultural heritage resources and cultural heritage landscapes and because the subject property and one nearby property are designated under Part IV of the OHA a heritage impact assessment is required in accordance with the policies in the PPS. This requirement is affirmed in the Regional and local Official Plan policies.

Growth Plan for the Greater Golden Horseshoe

A new Growth Plan for the Greater Golden Horseshoe came into effect in May 2019. It contains a number of guiding principles including the conservation and promotion of cultural heritage resources to support the social, economic, and cultural well-being of all communities, including First Nations and Métis communities.

The GGH contains important cultural heritage resources that contribute to a sense of identity, support a vibrant tourism industry, and attract investment based on cultural amenities. The Growth Plan acknowledges that accommodating growth can put pressure on these resources through development and site alteration and recognizes that it is necessary to plan in a way that protects and maximizes the benefits of these resources in order to make communities unique and attractive places to live.

Policy 4.2.7 states that:

Cultural heritage resources will be conserved in order to foster a sense of place and benefit communities, particularly in strategic growth areas.

Municipalities will work with stakeholders, as well as First Nations and Métis communities, in developing and implementing official plan policies and strategies for the identification, wise use and management of cultural heritage resources.

Municipalities are encouraged to prepare archaeological management plans and municipal cultural plans and consider them in their decision-making.

The heritage impacts of the proposed development will be assessed in accordance with Growth Plan policies in the PPS and the Regional and local official plans.

Ontario Heritage Act (OHA)

On June 6 2019, changes were made to the OHA when the More Homes, More Choice Act received royal assent. The public commenting period on a proposed new regulation to accompany the revised Act closed on November 5th, 2020. Amendments to the Act, along with the new regulation were scheduled to come into effect on January 1, 2021. As of January 12, 2021 there is no indication that the amended OHA and the new regulation are in effect.

Despite the considerable changes to the Act, particularly as they relate to hearings before the Local Planning Appeal Tribunal and timing of public notices and Council decisions, the OHA still provides policies and regulations for the protection of built heritage resources, cultural landscapes such as heritage conservation districts, and archaeological resources through the process of identifying, listing and designating those resources. Regulation 9/06 continues to provide criteria for evaluating properties for their cultural heritage value or interest.

Part IV of the Act deals with:

- Designation of individual properties;
- Alterations that are likely to affect the heritage attributes of those properties as specified in designation by-laws;
- Requests to demolish those properties; and
- Listing designated properties on the Register

Section 27(3) of the Act permits Council to include property on the Register that is not designated under Part IV; but that the municipality believes to be of cultural heritage value or interest and provides a process for inclusion and for public consultation.

Part V of the Act deals with:

- Designation of heritage conservation districts;
- Preparation of heritage conservation district plans and their contents;
- Alterations to any part of the property with the exception of the interior of buildings or structures; and
- Requests to demolish buildings or structures on those properties.

Part VI of the Act deals with:

- Archaeological sites including activities of work on those sites; and
- Licensing of archaeologists.

Regulation 9/06 under the OHA provides criteria for determining cultural heritage value or interest. However, there is reference in the revised Act to “prescribed principles” and “prescribed events”. Until such time as the new regulations are established with respect to these principles and events, Regulation 9/06 is the only tool available for establishing cultural heritage value or interest.

Standards and Guidelines for Conservation of Historic Places in Canada

The *Standards and Guidelines for the Conservation of Historic Places in Canada* were first published in 2003 and updated in 2010. These standards and guidelines, while they have no legislative authority, are a tool to help users decide how best to conserve historic places, their heritage value and character defining elements. They are used in partnership with statements of the significance of heritage resources, such as designation by-laws. Anyone carrying out an intervention that may impact the heritage values and character defining elements of a heritage resource must be mindful of the impacts on that resource.

The Standards and Guidelines indicate that it is important to know where the heritage value of the historic place lies, along with its condition, evolution over time, and past and current importance to its community.

Planning should consider all factors affecting the future of a historic place, including the needs of the owners and users, community interests, the potential for environmental impacts, available resources and external constraints. The most effective planning and design approach is an integrated one that combines heritage conservation with other planning and project goals, and engages all partners and stakeholders early in the process and throughout. For historic places, the conservation planning process also needs to be flexible to allow for discoveries and for an increased understanding along the way, such as information gained from archaeological investigations or impact assessments.

Any action or process that results in a physical change to the character-defining elements of a historic place must respect and protect its heritage value. A historic place's heritage value and character-defining elements can be identified through formal recognition, such as designation under the OHA and by nomination to the *Canadian Register of Historic Places*. In assessing a proposed alteration to a designated property or any property of cultural heritage value and interest, the 14 *Standards for the Conservation of Historic Places in Canada* will be addressed. The heritage value and character-defining elements of the property at 30 McLaughlin Road South must be conserved when the new building and underground parking are constructed.

Any physical attributes of the property at 30 McLaughlin Road South will also be analyzed and assessed for its cultural heritage value and interest and the potential impact of proposed development on these attributes.

Peel Regional Official Plan

The Peel Regional Official Plan was consolidated in December 2018. Section 3.6, contains objectives and policies for the protection of cultural heritage resources. The Region supports heritage conservation and recognizes its role in developing the quality of life for residents and visitors.

Objectives include:

- To identify, preserve and promote cultural heritage resources, including the material, cultural, archaeological and built heritage of the Region for present and future generations;
- To promote awareness and appreciation, and encourage public and private stewardship of Peel's heritage; and
- To support the heritage policies and programs of the area municipalities.

Policies in Section 3.6.2 include:

- Directing area municipalities to include in their official plans policies for the definition, identification, conservation and protection of cultural heritage resources in Peel, in cooperation with the Region, the conservation authorities, other agencies and aboriginal groups, and to provide direction for their conservation as required;
- Ensuring that there is adequate assessment, preservation, interpretation and/or rescue excavation of cultural heritage resources as prescribed by the Ministry of Tourism, Culture and Sport's archaeological assessment and mitigation guidelines;
- Directing area municipalities to require, in their official plans, that the proponents of development proposals affecting heritage resources provide for sufficient documentation to meet Provincial requirements and address the Region's objectives with respect to cultural heritage resources;
- Encouraging and supporting area municipalities in preparing, as part of any official plan, an inventory of cultural heritage resources and provision of guidelines for identification, evaluation and impact mitigation activities;
- Directing the area municipalities to only permit development and site alteration on lands containing archaeological resources or areas of archaeological potential if the significant archaeological resources have been conserved by removal and documentation, or by preservation on site; and
- Directing area municipalities to only permit development and site alteration on adjacent lands to protected heritage property where the proposed property has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

City of Brampton Official Plan

The property at 30 McLaughlin Road is designated Residential in the City of Brampton Official Plan and further designated Convenience Retail in Schedule A2 of the Official Plan. The Subject Lands are also designated as Service Commercial and Low Density Residential in Part 7 of the former Secondary Plan Area 16, as shown on Brampton Flowertown Secondary Plan (Area 6).

In the Secondary Plan Area, the Low Density Residential designation permits semi-detached homes, linked townhouses and small lot single-detached homes with a density range of 0-35 units per net hectare (11-14 units per net acre).

In the Official Plan, Convenience Retail is categorized as Local Retail. Local Retail may front on local, collector or arterial roads and shall be easily accessible to the residential areas they are intended to serve. These sites will preferably be located at an intersection with a transit stop. They typically include small scale retail stores, supermarkets or speciality stores, pharmacies, restaurants and service establishments that serve the surrounding area. Convenience Retail specifically consists of one (1) or more retail or service establishments planned and developed as unit not exceeding 3,700 square metres (40,000 square feet).

The applicant intends to apply for an Official Plan Amendment including an amendment to the Secondary Plan, a Zoning By-law Amendment and Site Plan Control, concurrently to permit the eight (8) storey mixed use development.

Heritage Conservation

Section 4.10 of the City of Brampton Official Plan is devoted to objectives and policies for the conservation of cultural heritage resources in the Town.

Objectives of the cultural heritage resource policies in the Official Plan are to:

- Conserve the cultural heritage resources of the City for the enjoyment of existing and future generations;
- Preserve, restore and rehabilitate structures, buildings or sites deemed to have significant historic, archaeological, architectural or cultural significance and, preserve cultural heritage landscapes; including significant public views; and
- Promote public awareness of Brampton's heritage and involve the public in heritage resource decisions affecting the municipality.

Relevant policies in the Official Plan deal with built heritage and archaeological resources.

Built Heritage

Relevant policies include:

- The requirement to compile a Cultural Heritage Resource Register to include both designated and listed properties. The Register includes built heritage, cultural heritage landscapes, heritage conservation districts and heritage cemeteries.
- The requirement to designate significant resources in accordance with the OHA.
- A requirement to develop criteria for assessing the heritage significance of cultural heritage resources.
- The requirement to protect and conserve heritage resources in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada and the Appleton Charter for the Protection and enhancement of the Built Environment. This includes protection, maintenance and stabilization of existing cultural heritage attributes and features over removal or replacement.
- The requirement to avoid removal or demolition of heritage attributes on designated heritage properties. Any proposal to undertake these interventions will require a heritage permit and approval of the City of Brampton.
- The requirement to prepare a Heritage Impact Assessment for any proposed alteration, construction or development involving or adjacent to a designated heritage resource to demonstrate that the resource's heritage attributes are not adversely affected.
- The requirement to exhaust all options for on-site retention of properties of cultural heritage significance before resorting to relocation. Several alternatives can be considered in order of priority.
 - On site retention in original use and integration with surrounding new development;
 - On site retention with adaptive re-use;
 - Relocation to another site within the same development; and
 - Relocation to a sympathetic site within the City of Brampton.

Archaeological Resources

Relevant policies include:

- The requirement for an archaeological assessment if development or alteration work is proposed on a site identified as having archaeological potential. The assessment must be prepared by a qualified and licensed archaeologist.
- The requirement that all archaeological assessment reports be approved by the Province and a copy of the assessment report shall be provided to the City of Brampton for comment to ensure that the scope is adequate and consistent with the conservation objectives of the municipality.

- The requirement that archaeological resources identified in the archaeological assessment be documented, protected, salvaged, conserved and integrated into the new development as appropriate.
- The requirement that contingency plans be prepared for emergency situations to protect archaeological resources on accidental discoveries or under imminent threat.

Implementation

Relevant policies include:

- Creation of the Brampton Heritage Board to provide advice to City Council on all matters pertaining to heritage.
- The power to stop demolition and alteration of heritage properties under the OHA.
- The requirement for preparation of a Heritage Impact Assessment for development proposals
- Using zoning by-law provisions to protect heritage resources by regulating use, bulk, form, location and setbacks.
- Using the site plan control by-law to ensure that new development is compatible with heritage resources.
- Using parkland dedication requirements to conserve significant heritage resources.
- Requiring a Heritage Building Protection Plan to be submitted with a planning application if there are built heritage resources on the lands affected by the application that have been identified by the City of Brampton as having priority for preservation.
- Financial securities from the owner may be required as part of the conditions of site plan or other development approvals to ensure the retention and protection of heritage properties during and after the development process.

The City of Brampton's cultural heritage policies are extensive and robust. This heritage impact assessment will address a number of issues including analysis of the proposal and its impacts using the Standards and Guidelines for the Conservation of Historic Places in Canada and the Ministry of Tourism, Culture and Sport InfoSheet #5. Issues such as relocating the existing house on the property and restoring it and adapting it to a new compatible use will also be discussed as will any archaeological issues that may arise during construction.

City of Brampton Zoning By-law No. 270-2004

The property is zoned 'Service Commercial (*Exception No. 2524*)' per the City's Zoning By-law. Permitted uses include:

- A residential dwelling contained within a designated heritage building
- A bank or financial institution;

A retail establishment;
An office;
Service and personal service shops;
An animal hospital;
A printing or copying establishment;
A dry cleaning/laundry distribution centre;
A community club;
A custom workshop;
A fitness centre;
A day nursery;
A commercial school;
A Laundromat; and
A restaurant and a take-out restaurant.

A garage associated with the residential dwelling/heritage building is also permitted. The total gross floor area for all commercial uses is limited to 970 square metres (10,440.99 square feet). The minimum landscaped open space is 2.5 metres (8.2 feet) along McLaughlin Road South and Bufford Drive.

Heritage Impact Analysis

Description of Proposed Development and Site Alteration (APPENDIX II & III)

As noted above, the proposal is to construct a new eight (8) storey mixed-use building consisting of three (3) commercial units located on the first floor fronting on McLaughlin Road and 110 one (1) and two (2) bedroom residential units. Floors three (3) to eight (8) will be stepped back from the base of the building facing the street and the parkland to the rear.

The preliminary design for proposed building is contemporary. The structure sits on a two (2) storey base. Above this, it is stepped back every two floors for a total of eight (8) storeys and is surmounted with a flat roof. The walls, as represented, consist almost entirely of glass. The residential units on floors three (3) to eight (8) are framed by continuous balconies. There is provision for 167 parking spaces for the residential units and 14 for the commercial units. Of these, 106 will be located in the basement accessed by a driveway and two-way ramp from Bufford Drive.

The heritage house will be relocated from its current position in the northeast corner, at the rear of the property, to the southwest side of the proposed apartment building, adjacent to McLaughlin Road and Bufford Drive. The exterior will be restored and the building will be adapted for *use as a professional office. A detailed restoration and adaptive reuse plan and strategy will be prepared by a qualified architect before the site plan is finalized and the building is moved to its new location.* Landscaping is confined to the rear of the property adjacent to the creek, to the childrens' play area, to the garden surrounding the heritage home, and to the perimeter of the site along McLaughlin Road South and Bufford Drive. (APPENDIX II & III)

Historical Research and Site Analysis

History of the Township of Chinguacousy and the City of Brampton

Early History and First Settlement

The first landowners in Chinguacousy Township were a combination of settlers from New Brunswick and the United States and United Empire Loyalists. The township was formally surveyed in 1818 and the first people to receive land grants from the Crown settled in the area in the same year.²

² Directory of the County of Peel for 1873-74, John Lynch, Brampton
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Chinguacousy was included in the Home District until 1849, when the old Upper Canadian Districts were abolished. The township became part of the United Counties of York, Ontario and Peel. In 1851, Peel became an independent county that included Chinguacousy. However, a provisional council for Peel was not established until 1865 and the first meeting of that council did not occur until 1867.³

Chinguacousy's population was initially small, numbering only 412. Because of this, it was united with the Gore of Toronto Township for administrative purposes. By 1837, the population had grown to 1,921. In 1851, just 14 years later, the population had grown to 7,469, though the population declined after that date.

The township was described as containing excellent rolling land timbered in hardwood. The Directory of the County of Peel for 1873-74 described it as a good agricultural township, watered on the west by the Credit River.⁴ Crops included wheat, oats, peas, potatoes and turnips. By 1851 it contained two (2) grist mills and eight (8) sawmills.

Brampton

In 1820, Brampton, originally known as Buffy's Corners, had only two (2) streets, Hurontario Street and the side road between lots five (5) and six (6), which is now Queen Street. The flow of Etobicoke Creek, which meandered through the village, was stopped by mill dams including one near the mouth of the creek on property owned by the Honourable Samuel Smith.

The first recorded businesses in Brampton were a small store, a distillery and a potashery opened by John Scott. He also opened a small mill for grinding grain for his distillery. In 1834, William Buffy built a tavern in the village. At the same time John Elliott laid out village lots and named the village Brampton after Brampton in Cumbria, England. As the centre of a good agricultural area, Brampton attracted several merchants and mechanics to open businesses in the area. One of the most successful businesses in town was the iron foundry established by the Haggert Brothers. Brampton became the heart of Primitive Methodism in Canada. The first annual conference of Primitive Methodism was held in Brampton and many other conferences were held in the municipality in later years.⁵

In 1837, the population of Brampton was only 18. By 1850, the population increased to 78. Brampton was incorporated as a village in 1852 and as a town in 1873, when the number of residents grew to 550.⁶ In 1867 it became the seat of the County of Peel.

³ Rayburn, Alan, Place Names of Ontario, 1997, p.68

⁴ Directory of the County of Peel for 1873-74, John Lynch, Brampton

⁵ Brampton Centennial Souvenir, 1853-1953, Printed by Charters Publishing Company Limited, p.17

⁶ Directory of the County of Peel for 1873-74, John Lynch, Brampton

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The village had free public schools including one (1) high school and seven (7) public schools. There were eight (8) churches and three (3) newspapers. Brampton also had a station of the Grand Trunk Railway ensuring its continued growth and prominence as an important centre for business and industry.

In 1855 the *Primitive Methodist Magazine* described “Brampton “(so named after Brampton, in England by J. Elliott, Esq., one of the first settlers in the place, and one of our oldest members)” as a large, flourishing village containing 2,000 inhabitants, a steam mill, 22 stores, several taverns, two (2) foundries, furniture manufacturers, a court house, a market house, school buildings and several churches including Presbyterian and Primitive Methodist. The magazine article also noted that the Grand Trunk Railway ran through the town.⁷

At the beginning of the 20th century, the population of Brampton was only 3,000. By 1953 the population of the city was 9,000 and flower growing was a major industry. The municipality had the largest greenhouse in the world with 40 acres of glass greenhouses located at the Dale Estate. Other industries included optical lens manufacturing, brick works, printing, paper products leather tanning, machining and furnace manufacturing.⁸ The population boomed after the Second World War and after 1974, when the City of Brampton was created as a result of the Regional Municipality of Peel Act, it encompassed almost the entire extent of the former Chinguacousy Township.⁹

Primitive Methodist Settlement

The City of Brampton was, in part, founded by immigrants from Brampton in the County of Cumbria (old County of Cumberland) in England. Many of the inhabitants of the English Brampton worked in the coal mines, and brick or lime works. They also had strong spiritual leanings that attracted them to the street preaching of Methodists who rejected elitist associations with the Church of England and its clerics. Methodism emphasized social justice and reform and women’s rights which appealed to the lower classes and the poor. A great many of the first immigrants to Peel County were Methodists. Some, such as William Lawson, a tailor, were Primitive Methodists. This group resisted the sectarianism that began to infiltrate the movement.

William Lawson came to Canada in the late 1820’s after struggling to make a living in his native Cumberland. He built a business in York which he sold. In 1834 he purchased land in Peel and started farming. He opened a general store in what later became Brampton, Ontario and was instrumental in the founding of the community. He left Brampton for Hamilton in 1847 where he continued to be a prominent member of society.¹⁰

⁷ Primitive Methodist Magazine, January, 1855, p.438

⁸ Brampton Centennial Souvenir, 1853 – 1953, Pertinent Facts of Interest, Printed by Charters Publishing Company Limited

⁹ Archives@PAMA, Region of Peel, The Cumbrian Connection

¹⁰ Directory of the County of Peel for 1873-74, John Lynch, Brampton

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John Elliott was also a Primitive Methodist. He is credited with naming Brampton after his Cumberland home. Elliott was born in Bewcastle, County Cumberland in 1794. He arrived in New Brunswick in 1817 with his wife, Mary Jane and five (5) children and moved to Peel County c.1821, settling in what is now Brampton. He had a number of farms in the area. He was a postmaster, pound-keeper, Director of the County Society for Agriculture and Director of the Board of Agriculture for Upper Canada. His house was reportedly a meeting place for local Primitive Methodist preachers and adherents.

The Elliott Family

The property at Lot 5, Concession 1 WHS in the Township of Chinguacousy South was occupied by various members of the Elliott family, including John Elliott, one of the founders of Brampton, from c.1830 until 1899. The house was probably constructed c.1834.

The lot was originally part of the Clergy Reserves Lands. These lands were set aside to provide financial support for the Anglican Church through leases and rents; but they excluded other denominations in Upper Canada. The Clergy Reserves also prevented orderly settlement since they remained uncultivated and roads adjacent to them were not maintained. Reverend Strachan lobbied the British government to permit the sale of some of these lands to increase church revenues and in 1826, the government agreed to sell half of the lands to private owners. In 1840, the Assembly of Upper Canada finally passed an Act to provide for the sale of Clergy Reserves that permitted distribution of the proceeds among the chief Protestant denominations. Complete secularization of the reserves did not occur until 1854.

The *Chinguacousy Township Papers* indicate that John Elliott wanted to purchase Lot 5, Concession 1 W.C.R., a Clergy Reserve, and was willing to pay the estimated value. Elliott was granted a location ticket to reside at that address, though he was not listed at that location in Walton's 1837 *Toronto and Home District Commercial Directory*. However, he was enumerated in the Assessment Rolls for the Township from 1833 to 1844 on various acreages and it is believed that he and his wife Mary built and occupied the existing house at 30 McLaughlin Road c.1834.

John Elliott received the crown patent for Lot 5, Concession 1, WHS in 1832, via the sale of the Clergy Reserve Lands which had been successfully championed by Reverend Strachan in 1826. However, the transaction was not registered until 1841¹¹. He is believed to have given this lot to his son Richard, though the exact date of this transfer is not known.

The 1851 census indicates the John Elliott was 56 years old and lived with his wife Mary and his four (4) children, including Richard, in a two-storey brick house. This is likely a more substantial

¹¹ Ontario Archives Land Record Index, AO, Microfilm of Sale of Clergy Reserves, RG1, Services C1113, Vol.001,p.103

second homestead located on Lot 5, Concession 1, EHS as opposed to the existing frame house on the west half of the lot.¹²

The 1859 Tremaine Map of the County of Peel shows Richard Elliott as the owner of the subject lands, though no structures are depicted on the lot. The 1861 census identifies Richard as a 34 year old farmer living with his wife Elizabeth, their four (4) children and a hired labourer in a one-storey frame house. At the time Richard owned 100 acres. Seventy were under cultivation. Fifty-eight acres were in crops such as wheat, barley, peas and oats. Two acres were garden and 30 acres were wooded. At that time John Elliott was enumerated as living with his second wife Jane and their four (4) children in the same two-storey brick house noted in the 1851 census.¹³



Figure 12: Richard Elliott Lands, East of Urban Area, Tremaine Map, 1859

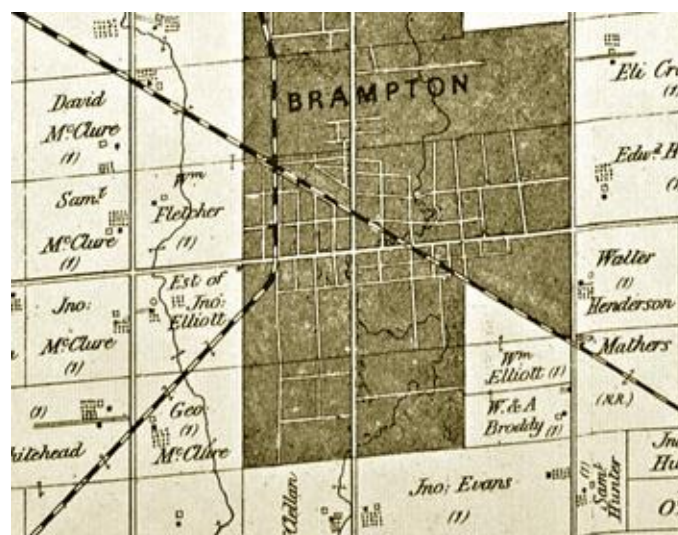


Figure 13: Atlas of Peel County, 1877, Estate of John Elliott

¹² AO, 1851 Census Rolls, Chinguacousy Township, c-11746

¹³ AO, 1861 Census Rolls, Chinguacousy Township, c-1062-1063

John Elliott died in 1871. Most of his property was transferred to his wife. However, the lands at Lot 5, Concession 1 WHS were bequeathed to his son Richard during the rest of his natural life. Richard died the following year and the land passed to his son, Richard Junior. By 1887, Richard had given up his claim to Lot 5 to his sister, Annie Barrett, and her husband. Richard and Annie continued to live on the property owned by Richard Elliott until 1901.¹⁴ The property descended through the Elliott family through six (6) generations until it was sold in 2005.

Identification and Significance and Heritage Attributes of Properties

30 McLaughlin Road South

The property at 30 McLaughlin Road is designated under Part IV of the OHA (**APPENDIX I**). The irregularly shaped lot is a remnant of a larger farm property once owned by John Elliott, one of the founders of Brampton and a prominent member and founder of the Primitive Methodist congregation in the area. The one and a half storey frame dwelling, constructed c.1834, is located on the northeast side of the lot to the rear of the property, at the end of a long farm lane which is currently overgrown and difficult to distinguish from its surroundings. The house backs onto the densely treed green space of the Fletcher's Creek and Woodview Park. Remnants of an orchard, *consisting of five (5) apple trees*, are evident to the southwest.

The house is a simple vernacular building in the Georgian style. Initial inspection indicates that it has none of the Neo-classical refinement often found in early frame residences. The structure is a three-bay dwelling of timber frame construction. It retains its original symmetrical configuration with two small windows on either side of a simple central entrance. Since its construction, the original clapboard or pebble dash exterior has been covered in a layer of insulbrick and vinyl siding.

¹⁴ William Perkins Bull Fonds; Series 5 – Families Research Files; RO20-21.
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Figure 14: Elliott House, Façade



Figure 15: Elliott House, North Elevation



Figure 16: Elliott House, Front Entrance

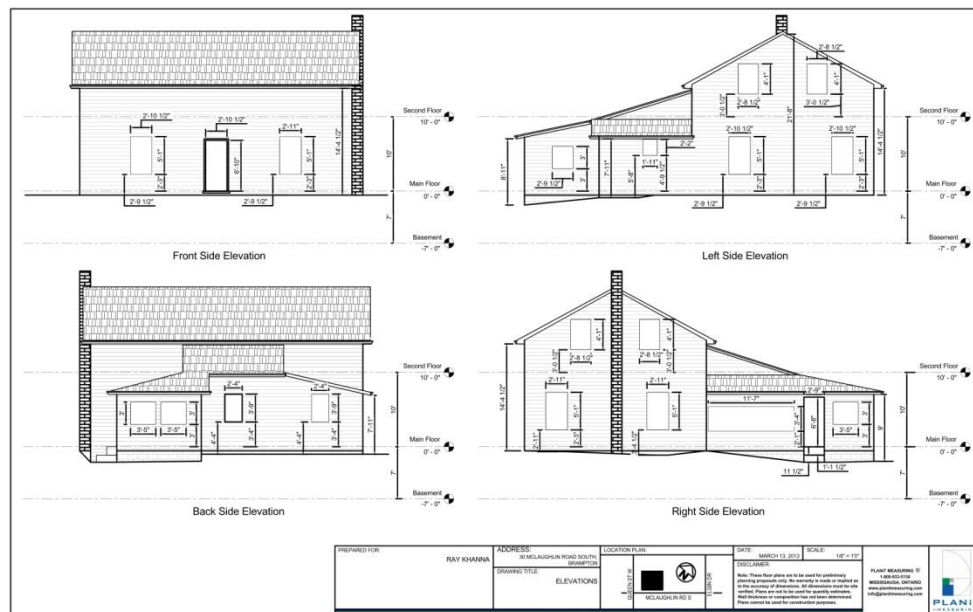


Figure 17: Elliott House, Rear Addition, South Elevation



Figure 18: Elliott House, Detail, Insullbrick & Possible Clapboard Cladding

As-found elevations and plans completed by Planit Measuring in 2008 illustrate the exterior of the house and the original arrangement of rooms in the house and the later addition to the rear. The central boxed staircase leads up from a small vestibule that gives access to the rooms on either side. The two rooms to the right of the vestibule may once have consisted of one large space. (APPENDIX IV)



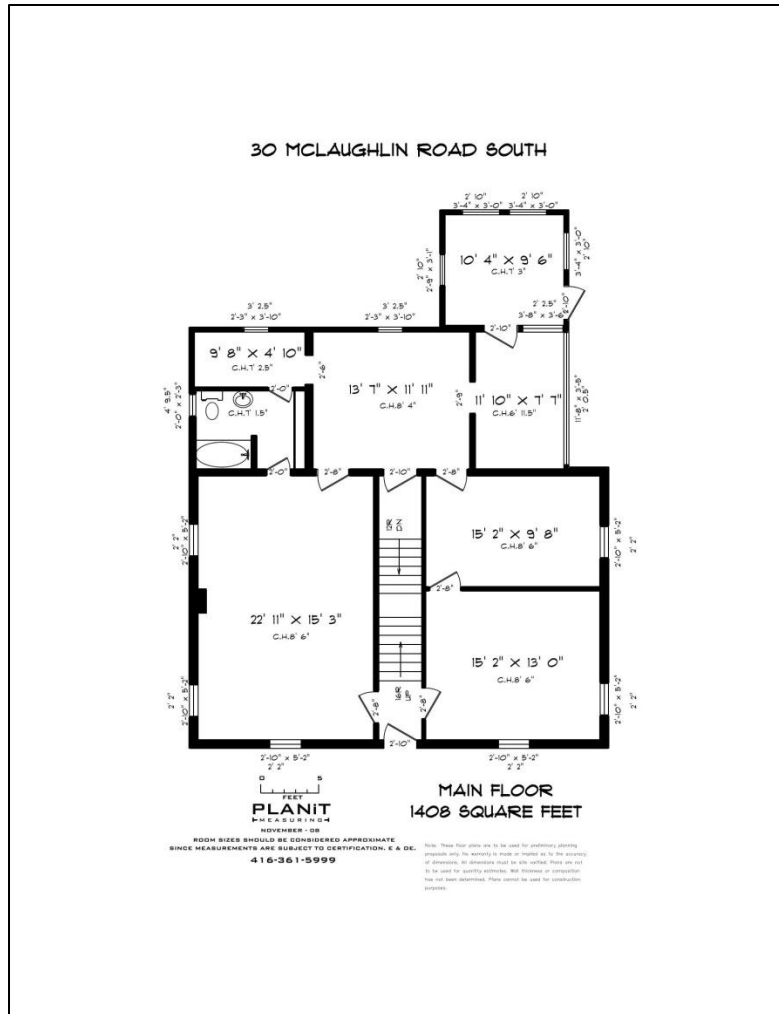


Figure 19: Planit As Found Elevations & Drawings, City of Brampton

Although the house is appropriately mothballed and secured, the interior of the house, when examined in June 2020, was in a neglected state as a result of being empty for a number of years. The walls in the entrance hall and a number of the main floor and second floor rooms were covered in beaver board at some time in the last half of the 20th century. However, there are some rooms that have not been panelled and these have original plaster walls applied directly to the lath beneath. Exposed lath on the first floor appears to be hand-split, indicative of an early date; but on the second floor the lath appears to be sawn. There is no evidence of fireplaces on any floor. However, there are a number of stove holes which indicate that the house, based on the 1830's construction date, was always heated by stoves. The basement and foundations are constructed of rubble stone and appears to be stable and dry. The floor joists in the basement are indicative of post and beam construction. The original wide pine floors, which are covered in vinyl floor on the first floor, can be seen in the basement above the joists. The pine floors on the second floor are visible in areas where the ceiling has collapsed. The later addition on the east side of the house appears to be an early kitchen or scullery with wooden wainscoting of various widths.



Figure 20: Central Staircase at Entrance Vestibule, LDW



Figure 21: Room to Left of Entrance, LDW



Figure 22: Room to Left of Entrance, Plaster Walls & One-over- One Windows, LDW



Figure 23: Hand Split Lath at Entrance to Basement, LDW



Figure 24: Sawn Lath under Modern Framing in Upstairs Space, LDW



Figure 25: Kitchen or Scullery in Rear Addition with Wainscoting, LDW



Figure 26: Stove Hole in Rubble Stone Basement, LDW



Figure 27: Basement with Post & Beam Construction & Main Floor Pine Flooring, LDW



Figure 28: Basement Post & Beam Construction, LDW



Figure 29: Second Floor Hallway with Beaver Board Walls, LDW



Figure 30: Second Floor Post & Beam Construction Viewed from First Floor, LDW

The significant heritage attributes of the property identified in Designation By-law 70-2009 include:

- The important cultural heritage landscape;
- The property's integrity as a pioneer farmstead;
- The link to the earliest period of European settlement in this area;
- The early 1830's date and the direct association with John and Richard Elliott;
- The Elliott families prominence as an early settlement family;
- John Elliott is credited, along with William Lawson for naming Brampton;
- Historical mapping documents all of the feature on the property that remain today namely: the farmhouse on a deep setback, laneway orchard and the meandering Fletcher's Creek to the rear of the lot;
- The original pebble dash stucco which may be underneath;

- The sash windows;
- The one and a half storey, 3-bay home with one window on each side of the central doorway;
- The post and beam or possibly log construction which implies that it is likely the original 1834 farmhouse;
- Six generations of the Elliott's have lived on the property; and
- The interior is characterized by hand-split lath; surviving simple door surrounds; timber framing in basement ceiling joists, and wide pine timbers.

The physical attributes that are extant include:

- *A portion of the cultural heritage landscape including the laneway leading to the house and remnants of an apple orchard;*
- *The house;*
- *Possible pebble dash stucco (to be confirmed); and*
- *Sash windows which are later replacements*

The physical attributes that will be removed or altered to accommodate the proposed development include:

- *Removal of the remnant orchard and laneway;*
- *Moving the house forward on the lot;*
- *Possible removal of the pebble dash stucco if it is in poor condition;*
- *Replacement of the sash windows with similar windows to accommodate adaptive reuse with the exterior of the building is restored.*

Nearby Designated Properties of Cultural Heritage Value or Interest (APPENDIX II)

There is one (1) property located in the vicinity of the subject property on the Flower City Campus at 8870 McLaughlin Road.

8870 McLaughlin Road South (The Ontario Mental Tubercular Hospital Administration Building - Former OPP Administrative Building)

The property at 8870 McLaughlin Road South was designated in 2006 (By-law No.57-2006). **(APPENDIX I)** It was designed by prominent Canadian architect, James Henry Craig in 1938 and was constructed for the Government of Ontario as the first phase of a large hospital complex that was to occupy almost 100 acres of land in the former Chinguacousy Township. The designation by-law indicates that the building exhibits the architectural design elements of Modern Classicism, a variant of Art Deco. The interior rotunda is one of the best-preserved Art Deco/Art Moderne interiors in the Greater Toronto Area.¹⁵

¹⁵ Designation By-law No.57-2006
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Figure 31: 8870 McLaughlin Road South, Former OPP Administrative Building, Google Earth



Figure 32: 8870 McLaughlin Road South, Former OPP Administrative Building, Google Earth

The heritage attributes of the property include those related to the physical building and those associated with historical themes and events and cultural landscapes including:

- The exterior of the building including many architectural and decorative details;
- Interior rotunda and main hallways including decorative details and finishes;
- Direct association with the history of medicine in Ontario;
- Links to WW II as a basic training centre for the army;
- Links of the land to John Elliott and other early settlers of Brampton;
- Expansion of psychiatric healthcare in Ontario in the 1930's;
- Use as a minimum security reformatory or training school after WWII;

- Use as an OPP training and development centre in the 1980's;
- The building and grounds as an important cultural landscape in the city and as a focal point of the 300-acre property;
- The sweeping setback;
- The long laneway or "Grand Avenue";and
- The circular driveway with mixed plantings.¹⁶

Nearby Non-designated Properties Listed on the City of Brampton Municipal Register of Cultural Heritage Resources

While they are not designated under Part IV of the OHA, there are three (3) properties in the vicinity of the subject property that are included on the City of Brampton's *Municipal Register of Properties of Cultural Heritage Value and Interest* and are subject to limited demolition control. As previously indicated, they have a level of cultural heritage value or interest, though a detailed analysis with respect to their cultural heritage value and interest has not been completed. These properties are 1 Royce Avenue (the former Food Equipment Factory); 10 Henderson Avenue (the Charters Litho Company), which are both industrial buildings that date from the early 20th century and appear to be of similar design; and 18 Jessie Street, a concrete block one-storey cottage which is situated on a residential street of modest houses of various styles and materials constructed in the late 19th century and early 20th centuries.

None of these properties is adjacent to the subject property at 30 McLaughlin Road South. All are located on the other side of Fletcher's Creek and Woodview Park, screened by the natural area and densely treed landscape that follows the creek as it meanders through Brampton. They will not be physically or visually impacted by any proposed development on the property at 30 McLaughlin Road.

¹⁶ Designation By-law 57-2006
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Figure 33: 1 Royce Avenue, Google Earth Pro



Figure 34: 10 Henderson Avenue, Google Earth Pro



Figure 35: 18 Jessie Street, Google Earth Pro

Streetscapes

McLaughlin Road South

The streetscape along McLaughlin Road South is no longer a rural country road bordered by farms and fields. The street is a wide and busy thoroughfare developed to urban standards with curb and gutter and signalized intersections and is distinguished by a number of commercial developments, remnants of early 20th century houses; and the Flower City Community Campus, which still exhibits open space characteristics, though these characteristics are no longer related to early agricultural uses.

Immediately to the north of 30 McLaughlin Road South on the east side of the street is a low rise plaza development with street front parking and a tall pylon sign. Further north is the major intersection of Queen Street and McLaughlin Road with additional commercial strip development. To the south is a signalized intersection that provides access to the Flower City Community Campus and Bufford Drive's newer residential development. Older houses of modest size and design face McLaughlin Road further to the south.



Figure 36: Commercial Development Looking North from 30 McLaughlin Road South



Figure 37: McLaughlin Road Looking North to Queen Street from 30 McLaughlin Road South



Figure 38: McLaughlin Road South Looking South from 30 McLaughlin Road South, Intersection with Bufford Drive

The streetscape on the west side of McLaughlin Road South in the immediate vicinity of the subject property consists of a row of coniferous and deciduous trees, a bus stop and the open playing fields of the Flower City Community Campus. Further south there is the large illuminated monument sign marking the entrance to the Campus and a grouping of simple one-storey campus buildings with parking to the front and at the side of the structures. Further south, beyond the signalized intersection at Bufford Drive, the road is bordered by a line of coniferous street trees.



Figure 39: Flower City Community Campus Playing Fields, West Side of McLaughlin Road



Figure 40: Entrance to Flower City Community Campus, West Side of McLaughlin Road

Although there is open space and an expanse of lawn on the west side of McLaughlin Road South, the street is now mainly urban in its design and is the site of continued commercial and newer

residential development. The subject property is the only remnant of the rural agricultural development of land that was originally outside the urban boundary of Brampton.

Bufford Drive

Bufford Drive is a relatively new street designed to provide access to a residential development to the south of 30 McLaughlin Road South. The road curves along the south side of the Elliott property as it enters the subdivision. On the north side it is bordered by a sidewalk and open space and trees that mark Fletcher's Creek. To the south it is bordered by the side wall of a two-storey brick dwelling.



Figure 41: Bufford Drive Looking East to Fletcher's Creek



Figure 42: Bufford Drive Looking South from 30 McLaughlin Road South

Summary

The property at 30 McLaughlin Road South is designated under Part IV of the OHA and is identified as a significant cultural heritage landscape linked to the earliest European settlement in the area and to the Elliott family who were prominent settlers, credited with naming Brampton and important members of the Primitive Methodist movement. The house with its deep setback, the laneway and the remnants of the orchard remain as they were when the property was first settled, though the original farm has been severely reduced in size over the years. Any alteration to the property must be assessed as it relates to the loss of the open space setting, the laneway and remnants of the orchard and to the potential relocation of the house.

The height, mass, scale and location of the proposed development at 30 McLaughlin Road South suggests that, while there will be no physical impact on the designated property at 8870 McLaughlin, there may be a visual impact which must be considered.

The properties at 1 Royce Avenue, 10 Henderson Avenue and 1 Jessie Street, which are not designated but are listed on the Register, will not be impacted either physically or visually by the proposed development due to their distant location from the subject property and the fact that they are screened by the dense treescape of Fletcher's Creek and Woodview Park.

Evaluation of Heritage Impacts

Policy 2.6.3 of the PPS states that planning authorities shall not permit development and site alterations on adjacent lands to protected heritage property unless the proposed development and any site alteration is evaluated and that evaluation demonstrates that the heritage attributes of the protected property will be conserved.

The Planning Act, the Growth Plan, 2019 and the Region of Peel Official Plan also contain policies that encourage the conservation of significant and protected heritage properties.

While the Region's Official Plan does not include specific policies requiring heritage impact assessments to evaluate the impact of new development on cultural heritage resources, it does contain policies directing municipalities to evaluate the impacts of site alteration on lands adjacent to protected heritage properties if the development has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved. The policies also direct municipalities to require that proponents of development proposals affecting heritage resources provide sufficient documentation to meet Provincial requirements and address the Region's objectives as they relate to cultural heritage resources. Currently there are no specific policies relating to the conservation of cultural heritage landscapes.

The Standards and Guidelines for the Conservation of Historic Places in Canada states that any action or process that results in a physical change to the character-defining elements of an historic

place must respect and protect its heritage value and provides a number of general standards for the preservation, rehabilitation and restoration of historic places in Canada.

The Ministry of Heritage, Sport, Tourism and Cultural Industries has provided InfoSheet #5 to assist in the analysis of heritage impacts including destruction of significant heritage attributes; unsympathetic alterations; alterations that create shadows; isolation of heritage attributes, obstruction of significant views; change in land use; new development in open spaces; land disturbances that may affect archaeological resources.

The impacts of the proposed development on the property at 30 McLaughlin Road and, to a lesser extent, the impacts on the neighbouring property at 8870 McLaughlin Road, which is also designated under Part IV of the OHA, are assessed in relation to these policies and documents.

The City of Brampton's Official Plan contains specific policies requiring preparation of a Heritage Impact Assessment for development proposals and provides additional policies for protection of cultural heritage resources including the use of zoning by-law provisions to regulate bulk, form location and setbacks; the use of site plan control to ensure compatibility; the requirement for Heritage Building Protection Plan; and the possible requirement of financial securities as part of the conditions of development approvals in order to protect cultural heritage properties. The City has produced a Terms of Reference for the preparation of heritage impact assessments and has referenced the *Eight Guiding Principles in the Conservation of Historical Properties* produced by the Ministry of Heritage, Sport Tourism and Cultural Industries which will be used to assess impacts on the property at 30 McLaughlin Road.

Provincial, Regional and Local Policies

With respect to the provincial, regional and local policies relating to the conservation of the heritage attributes of protected heritage property and the conservation of significant heritage properties that may be designated under the OHA or may have archaeological significance; the heritage attributes of 30 McLaughlin Road South will be physically impacted by the proposed development and the views and vistas to and from the site as they relate to the nearby designated property at 8870 McLaughlin Road may also be impacted.

The exterior of the Elliott house at has been altered over the years, not always sympathetically. Several layers of siding, including insulbrick and vinyl siding have been applied to the exterior and a modern entrance door and windows have replaced the originals. The interior has also been altered. Beaver board has been applied to a number of interior walls, particularly on the second floor and the finishes have deteriorated. However the layout of the interior appears to have been maintained with only minor alterations and the rubble stone foundation is original and in relatively good repair. While the house remains in its original location, the laneway referenced in the designation by-law is overgrown and has mostly disappeared. There are only a few remnants of the apple orchard and these have been unpruned and poorly maintained over the years.



Figure 43: View of 30 McLaughlin Road from Street, House and Remnants of Orchard in the Distance



Figure 44: Remnants of Orchard Viewed from the House at 30 McLaughlin Road

Construction of a large eight (8) storey residential/commercial building with underground parking adjacent to McLaughlin Road and relocation of the house to the front of the property will result in considerable alteration of the property. Impacts of the proposed development must be carefully analyzed and the new building, while it is not compatible in either mass or scale with the existing structure, must be designed to mitigate impacts, as much as possible, on the Elliott house, adjacent properties and significant cultural heritage landscapes identified by the City of Brampton.

Analysis of Heritage Impacts Based on the Ministry of Heritage, Sport, Tourism and Culture Industries Eight Guiding Principles in the Conservation of Historical Properties

<p>1. Respect for Documentary Evidence. <i>Do not base restoration on conjecture.</i></p>	<p>There is little documentary evidence relating to the original appearance of the building and the original materials. Later layers of exterior siding will be removed in order to determine the original cladding material (stucco or clapboard). New cladding material, if required, will be similar to the original cladding. If images of the house are discovered during restoration, windows and the entrance door will be copied and replaced in kind. If no images are found, modern replacements will be designed and based the prevailing styles of the period recommended by a qualified restoration specialist.</p> <p>The house will be repurposed for a new use such as office space. The interior will be reconfigured to accommodate this use. Any original interior features will be conserved and restored, if feasible.</p>
<p>2. Respect for Original Location <i>Do not move buildings unless there is no other means to save them.</i></p>	<p>Based on the proposed design for the new commercial/residential development on the property, the building must be moved from its original site at the rear of the lot adjacent to Fletcher's Creek. However, the applicant has indicated that the house will remain on the lot. The designation by-law indicates that the location and setting of the house, at the end of a long laneway, is an integral heritage attribute of the property which was once part of the larger Elliott farm. However, the area has changed over time and is now urbanized. Much of the original farm has been redeveloped and is used for retail and institutional purposes. If the proposed development or any other development is approved for the site, the setting of the house and the general configuration of the lot will be impacted. One possible approach to conserving the cultural heritage of the property would be to move the house to a more prominent location on the lot, restore it and interpret the site as it was settled and developed over time. Currently the property is</p>

	an anomaly in the area. The house is not visible from the street and the history and significance of the site is not discernible. Any decision to move the house could remedy this situation, though it will have an impact on the identified heritage attributes.
3. Respect for Historical Material <i>Repair or conserve rather than replace building materials and finishes, except where absolutely necessary.</i>	Any original materials uncovered during restoration of the house that are in good condition will be conserved. However, the house has deteriorated and many original features and materials have been covered over with inappropriate materials. These will be replaced with appropriate materials as required based on historical evidence. The original post and beam construction will be conserved.
4. Respect for Original Fabric <i>Repair with like materials, to return the resource to its prior condition without altering its integrity.</i>	See comments in #3. Like materials will be used wherever necessary to replace missing or damaged fabric and architectural details based on forensic evidence.
5. Respect for the Building's History <i>Do not restore to one period at the expense of another. Do not destroy later additions solely to restore it to a single time period.</i>	Later additions, including the kitchen/pantry addition at the rear of the house will be remove. Adaptive reuse of the building precludes their retention and/or restoration.
6. Reversibility <i>Alterations should be able to be returned to original conditions. This conserves earlier building design and technique.</i>	Once the interior is redesigned and adapted for a new use, it will not be returned to original conditions. The exterior will be restored and returned to original conditions based on documentary evidence and forensic evidence uncovered as later unsympathetic alterations and materials are removed..
7. Legibility <i>New work should be distinguishable from old. New additions should not blur the distinction between old and new.</i>	The owners do not intend to construct new additions to the building.
8. Maintenance <i>With continuous care future restoration will not be necessary. Avoid major conservation projects in the future.</i>	Once the building is restored and converted to office use, it will be subject to an ongoing maintenance program to ensure that it does not deteriorate.

Analysis of Heritage Impacts Based on Ministry of Heritage, Sport, Tourism and Culture Industries InfoSheet #5

Destruction of any, or part of any, significant heritage attributes or features.	If the proposed development is approved, the cultural heritage landscape will be altered and
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	<p>the location of the farmhouse with its deep setback and laneway and remnants of the orchard will be lost.</p> <p>The property's integrity as a pioneer homestead is already compromised by the urbanization of the area and the commercial, residential and institutional development that has occurred around the lot, which is the last remnant of the Elliott farm. The landscape of the property is overgrown and the laneway is almost non-existent. The orchard exists only as a few remnant trees.</p> <p>The meandering creek will not be compromised, nor will be basic 3-bay configuration of the house with its central entrance, symmetrical design and post and beam or log construction.</p> <p>It is the intention of the developers to conserve the house and its post and beam structure, though not in situ, and to restore the exterior. Any interior features that are salvageable should also be retained and restored and incorporated into the design of the interior when it is adapted for a new commercial use.</p>
Unsympathetic or incompatible alterations	<p>The proposal to construct an eight (8) storey commercial/residential building is potentially incompatible with the existing features on the property due to the size, scale and mass of the new building and its prominent position close to McLaughlin Road South. In order to reduce the impact, the architect has stepped the proposed building back from the road to reduce its mass and is using large expanses of glass to reduce the physical presence of the building. However, it is obvious that the mass and scale of the building in relation to the existing house, creates incompatibility issues which, as much as possible, should be minimized.</p> <p>Moving the house to the front of the lot, while not the preferred choice from a heritage conservation perspective, does give the building more prominence than it currently has and conservation, restoration and adaptive re-use ensures its continued existence. Currently the house is vacant and in poor condition and, due to its hidden location at the rear of the property, is suffering from vandalism that could result in its destruction.</p>

	<p>The cultural landscape of the property will also be impacted though currently that landscape is also in poor, overgrown condition. Sympathetic landscaping should enhance the setting and pay homage to the history of the property.</p>
<p>Alterations that create shadows that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings.</p>	<p>The proposed alterations will create shadows even if the house remains in situ because of its height, mass and scale. The proposed alterations will also impact the viability of the remnants of the orchard which will have to be removed to accommodate the proposed commercial/residential building and parking area. There will not be any alteration of the natural features along Fletcher's Creek.</p> <p>A shadow impact study will determine the extent of the impact of shadows on the building if it remains in situ or is moved to the proposed location at the front of the lot.</p> <p>An arborist's report by Palmer TM has determined that the five (5) remaining apple trees are in generally good condition; but their structure is only fair due to lack of attention and pruning over the years. However, these and 22 other trees, a number of which, such as Manitoba and Norway Maples, are not desirable species, will be removed. Another 18 trees, including some native species, will be retained. If the orchard trees are removed, planting of one (1) or two (2) apple trees near the relocated house would assist in the interpretation of the site. This could be addressed in the landscape plan along with a carefully crafted and appropriately rural landscape adjacent to the farmhouse.</p>
<p>Isolation of a heritage attributes from the surrounding environment or context</p>	<p>No significant heritage attributes will be isolated from the surrounding environment if the house is moved to the front of the lot. However, the laneway will be removed and the general context of the house, its setting and the orchard will be altered when the house is moved or if it remains in situ. Views from McLaughlin Road South into the lot and of the trees that mark the edge of Fletcher's Creek and Woodview Park will be obscured. Limited views from Bufford Drive will remain.</p>
<p>Direct or indirect obstruction of significant views or vistas within, from or of built and natural features</p>	<p>There will be both direct and indirect obstruction of views and vistas into the site as a result of the construction of the new</p>

	<p>commercial/residential building. If the existing house remains in situ, any views of the structure will be severely limited.</p> <p>Views to the treed area at the rear of the property the mark Fletcher's Creek and Woodview Park will still exist on the northwest side of the property, though they will be limited, and from Bufford Drive into the northeast portion of the property. .</p>
Change in land use	<p>The applicant intends to apply for an Official Plan Amendment, including an amendment to the Secondary Plan, Zoning By-law Amendment and Site Plan Control, concurrently to permit the eight (8) storey mixed use development.</p> <p>The property at 30 McLaughlin Road is designated Residential in the City of Brampton Official Plan and Convenience Retail in Schedule A2 of the Official Plan. The Subject Lands are also designated as Service Commercial and Low Density Residential in Part 7 of the former Secondary Plan Area 16, as shown on Brampton Flowertown Secondary Plan (Area 6), permitting. semi-detached homes, linked townhouses and small lot single-detached homes with a density range of 0-35 units per net hectare (11-14 units per net acre).</p> <p>Convenience Retail is categorized as Local Retail. Local Retail may front on local, collector or arterial roads and shall be easily accessible to the residential areas they are intended to serve. These sites will preferably be located at an intersection with a transit stop. Currently zoning is Service Commercial (<i>Exception No. 2524</i>). Permitted uses include a residential dwelling contained within a designated heritage building and other uses related to local services such as banks, retail establishments, restaurants and offices. The proposed development will still have both residential and service commercial components. However, these will be accommodated in an 8 storey building consisting of condominium or rental units with commercial units on the ground floor.</p>
New development or site alteration to fill in formerly open spaces	<p>The proposed new building will fill in a formerly open space at the southwest corner of the property. Additional surface parking will be</p>

	accommodated on both the south and north sides of the property and to the rear. A ramp access to the underground parking will be constructed to the rear to provide access from Bufford Drive at the northeast corner of the property. There will be very little retained open space with the exception of the area adjacent to Fletcher's Creek on the east side of the property.
Land disturbances that may affect an archaeological resource	An archaeological survey has been completed. However, because there will be major excavation to accommodate the underground parking, if deeply buried archaeological resources are discovered during excavation, all work will stop and a licensed archaeologist will be engaged in accordance with Section 48(1) of the <u>Ontario Heritage Act</u> to carry out additional archaeological field work. This survey will be completed before construction recommences.

Analysis of Heritage Impacts Based on the General Standards for Preservation, Rehabilitation and Restoration, Standards and Guidelines for the Conservation of Historic Places in Canada

Conserve the heritage value of an historic place. Do not move, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of an historic place if its current location is a character-defining element.	The designation by-law recognizes the location of the house at the rear of the property adjacent to Fletcher's Creek and at the end of a long farm lane as a character-defining element. The laneway is a cultural heritage attribute as is the house. The current development proposal will result in moving the house to the front of the lot adjacent to both McLaughlin Road and Bufford Drive in order to conserve and interpret it and to provide it with a more prominent location when the lot is redeveloped. While this is not ideal in relation to the Standard and Guidelines, it does provide for conservation and restoration of the house, which is currently vacant and in poor condition and ensures its adaptive reuse and maintenance into the future. Its new position near McLaughlin Road increases its visibility and prominence and provide a focus for interpreting the history of the site and the Elliott family.
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Conserve changes to an historic place that, over time, have become character-defining elements.	The changes to the property such as division of the farm, construction of an adjacent commercial development, removal of the majority of the orchard and construction of a residential subdivision detracts from the character defining elements of the site. These changes have not become character-defining elements and have resulted in the deterioration of the site which has lost its context when evaluated in relation to the more recent surrounding developments.
Conserve heritage value by adopting an approach calling for minimal intervention.	Any proposed development on the site would require considerable intervention. If the development is approved, intervention will be required to accommodate the new building, underground and surface parking, and possible relocation of the house. Intervention is also required to conserve and restore the house which has been empty for a number of years and is in poor condition.
Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never existed.	Not applicable.
Find a use for an historic place that requires minimal or no change to its character-defining elements.	The zoning and official plan designations for the property, which permit both commercial and residential development, imply that some change to the character-defining elements will be required particularly as they relate to the identified cultural heritage landscape features such as the laneway and the orchard. Currently, the house is not habitable. An appropriate adaptive reuse for the building will ensure its survival and continued maintenance.
Protect and, if necessary, stabilize an historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.	Mitigation measures will be used to protect significant built heritage resources during construction. A Temporary Protection Plan and a Conservation strategy will be developed and implemented. An archaeological survey was completed for the property. However, because there will be major excavation for the underground parking, if deeply buried archaeological resources are discovered during excavation, all work will stop and a licensed archaeologist will be engaged in accordance with Section 48(1) of the

	Ontario Heritage Act to carry out additional archaeological field work. This survey will be completed before construction recommences.
Evaluate the existing condition of the character-defining elements to determine the appropriate intervention. Respect heritage value when undertaking an intervention.	A restoration, repair program/ conservation strategy will be undertaken by a qualified restoration architect, qualified landscape architect and a qualified restoration engineer to determine the existing condition of the character-defining elements of the house and the appropriate intervention and to ensure the structural soundness of the buildings during construction of the underground parking and the hotel addition.
Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts where there are surviving prototypes.	The house will be restored using recognized conservation methods and all deteriorated or missing parts that can be identified or documented will be replaced in kind.
Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention.	All interventions will be made to preserve character-defining elements and will be documented before the excavation for the underground parking area and construction of the above ground parking area commences. The existing character-defining structure will be conserved and interventions will be documented. All interventions will be documented by a heritage architect, a landscape architect and a structural engineer with experience in heritage conservation.
Repair rather than replace character-defining elements.	Character-defining elements of the existing house on the site will be repaired rather than replaced unless they are so deteriorated that they cannot be saved. In those cases, they will be replaced in kind. The current design does not anticipate incorporating the laneway or the orchard into the overall development. The cultural heritage landscape will be altered. There may be ways to incorporate new landscape features into the design which echo or make reference to the existing landscape features such as the laneway and the few remaining orchard trees.
Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work	The new commercial/residential building will be physically and visually distinguishable from the historic place. However, it will have an

physically and visually compatible with, subordinate to and distinguishable from the historic place.	<p>impact on the landscape and views and vistas to and from the site.</p> <p>Currently the building, in design and placement dominates the site and the streetscape. Ways to mitigate that dominance should be considered.</p> <p>The new building will be clearly distinguishable from the old and will employ modern materials and details.</p>
Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future.	All new buildings and/or additions will be separate structures. The essential form and integrity of the house will not be impaired if the commercial/residential building and associated surface parking is removed at a later date.

Scoped Regulation 9/06 Analysis Based on Current Conditions

Ontario Regulation 9/06 prescribes criteria set out in subsection (2) for the purposes of determining cultural heritage value or interest. A property may be designated if it meets one or more of the criteria listed in the Regulation. These criteria include:

Design or Physical Value

1. It is rare, unique, representative or early example of a style, type, expression, material or construction method; or
2. Displays a high degree of craftsmanship or artistic merit; or
3. Demonstrates a high degree of technical or scientific achievement.

Historical or Associative Value

1. It has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community; or
2. Yields, or has the potential to yield, information that contributes to an understanding of a community or culture; or
3. Demonstrates or reflects the works or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

Contextual Value

1. Is important in defining the character of an area; or
2. Is physically, functionally, visually or historically linked to its surroundings; or
3. Is a landmark.

The City of Brampton undertook a detailed Regulation 9/06 analysis of the property at 30 McLaughlin Road South before recommending designation under Part IV of the OHA. The following analysis, while not as comprehensive as the original review, is being undertaken to ensure that the property still meets at least one of the criteria listed in the Regulation and to add

any additional information or analysis that arose as a result of this heritage impact assessment or changes in legislation.

Regulation 9/06 Analysis

Design or Physical Value	<ol style="list-style-type: none"> 1. The house displays a unique and early construction method. The structure is post and beam construction. The house may be one of the earliest, buildings in the community. 2. The house does not display a high degree of artistic merit and has suffered from later alterations including installation of insulbrick and vinyl siding, new windows and a new entrance door. Much of the interior is now clad in beaver board obscuring any original architectural details that may exist. 3. The house does not demonstrate a high degree of scientific or technical achievement.
Historical or Associative Value	<ol style="list-style-type: none"> 1. The house is associated with John Elliott, one of the founders of Brampton who may also have been the person who gave the name Brampton to the community. If appropriately interpreted, the house and property would contribute to the understanding of the development of Brampton. 2. The Elliott family continued to occupy the property well into the 20th century. 3. John Elliott had close associations with Primitive Methodism and was instrumental in bringing its teachings to the area. He was an active member of the congregation throughout his life and the property is linked closely with the beliefs of the Methodist community and their cultural significance in the development of the city. 4. The property does not reflect the works of architect, artist, builder, designer or theorist who is significant to a community..
Contextual Value	<ol style="list-style-type: none"> 1. The house is set back from the road at the end of a lone farm laneway and is adjacent to Fletcher's Creek. . This

	<p>location is indicative of early farm houses and farmsteads and there are remnants of an orchard to the southwest of the house.</p> <ol style="list-style-type: none"> 2. However, the property as a whole is no longer defines the character of the area nor is it physically or functionally, visually or historically linked to its surroundings. It is, in fact, an anomaly in an urbanized streetscape. McLaughlin Road is now a major urban street with signalized intersections and transit stops. The surrounding lands have been developed to accommodate local commercial uses, residential subdivisions and a community service centre. 3. The property and the house are not landmarks.
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The brief analysis above clearly shows that the property at 30 McLaughlin Road meets at least two (2) of the Regulation 9/06 criteria for designation under Part IV of the OHA *and is still worthy of designation. However, it will be necessary to amend the designation by-law to delete some of the cultural heritage landscape attributes that will be altered or removed when the property is redeveloped such as the remnant apple orchard and the laneway.* Recent changes to the Act under Bill 108, which were to come into effect on January 1, 2021, and the new Regulation associated with those changes, which is currently open for review by the public, will not impact the criteria in the existing regulation, though the new Regulation does provide more guidance for the required contents of designation by-laws. However, the above review does indicate that the property as a whole has lost much of its contextual value and that, to be understood by the general public in the context of the history of Brampton, it will require some form of interpretive program. As it exists now, in a derelict state, its cultural and historical significance is not apparent.

Alternatives, Mitigation and Conservation Methods

Alternatives

There are a number of alternative approaches that could be considered for the property at 30 McLaughlin Road. Three (3) are presented as possible scenarios in this assessment.

1. Do Nothing Approach

The property would remain in its current condition. The property's historical context is already compromised as a result of the surrounding development. Its cultural heritage significance would not be interpreted if the lot were left in its current condition. The house would be left in situ at the rear of the lot and the existing trees, including the remnants of the orchard would remain. However, the house, which is currently boarded up, would continue to deteriorate and would not be restored. It would also be subject to possible vandalism. The laneway, which is considered to be a defining characteristic of the property, is already disappearing and would be obliterated over time. The remaining orchard trees would also continue to deteriorate if left unattended and would eventually reach the end of their lifespan. Under these circumstances, the cultural heritage significance of the site and its importance place in the evolution of Brampton would not be evident and all cultural heritage attributes would potentially be lost.

2. Development with an Alternate Design Approach

If the proposed commercial/residential building were relocated closer to Bufford Drive, the house could remain in situ at the rear of the property or be relocated close to its original position on the site. It could be restored and provided with an appropriate adaptive reuse. A walkway could be provided leading from McLaughlin Road South to the house that reflects the existing farm lane. However, because of the scale of proposed development, the house would not be visible from McLaughlin Road and would be difficult to interpret effectively. The possible adaptive re-use for the house would also be compromised because the building would lack visibility on the street.

3. Development as Proposed by the Proponent with an Interpretive Strategy

If the development proceeds as designed, the house would be moved to the front of the lot, immediately adjacent to the proposed commercial/residential building. It would be restored and landscaped appropriately and an extensive interpretive scheme would be developed that includes information regarding Brampton's history and evolution and the Elliott family's important part in that evolution. This would ensure an appropriate adaptive reuse for the building and future

residents of the municipality would have easy access to information about the Elliott family and the growth and development of both Chinguacousy and Brampton.

General Mitigation and Conservation Recommendations

Following are the mitigation and conservation recommendations for the proposed development on the property.

1. An archaeological survey is required for all the properties subject of the application for the official plan and zoning by-law amendment to ensure that any archaeological resources are properly identified and appropriate mitigation is completed as required. An archaeological survey was completed for the property. However, if during excavation, deeply buried archaeological resources are uncovered, all construction will cease until an archaeological assessment by a qualified archaeologist is completed and resources on the site are either removed or protected to the satisfaction of the Ministry of Culture.
2. Heritage Permits and the approval of Council are required for construction of the new commercial/residential building and underground parking and the relocation and restoration of the existing house. The building plans and site plan must be reviewed by planning and building staff and the municipal heritage committee. Any comments or recommendations provided by staff and the committee should be carefully considered and, if feasible, incorporated into the site plan application and the building design. This includes the restoration and adaptive reuse of the building and its relocation on the site.
3. A heritage easement agreement should be required to ensure the continued protection of the site and the appropriate restoration and maintenance of the house. The provision of financial securities should also ensure that the relocation of the house and its restoration and adaptive reuse are completed as approved by the municipality.
4. A structural engineer with heritage conservation experience must be engaged to assess the structural integrity of the house in order to determine if it is structurally sound and if it can be safely moved to a new location on the property.
5. Excavation on the site to accommodate a new building and underground parking will result in considerable disturbance of the property. A Temporary Protection Plan will be developed in concert with members of the construction team, the project management team, a structural engineer with a background in heritage conservation, a heritage conservation architect, a heritage consultant and City of Brampton staff to ensure that excavation and other construction work does not adversely impact the significant built heritage and remaining cultural landscape resources. An example of a Temporary Protection Plan is attached and development of the site will not be undertaken until such time as the Temporary Protection Plan is completed and all parties have agreed to the process. **(APPENDIX V).**
6. A Conservation *and Adaptive Reuse Plan will be developed.* As with the Temporary Protection Plan, it will be developed in concert with the project management team, a structural engineer with a background in heritage conservation, a heritage conservation architect, a heritage consultant and City of Brampton staff and will include:

- Documenting both the interior and exterior features and character-defining elements of the building.
- Assessing the structural integrity of the existing structures on the site.
- Balancing conservation of the character-defining elements with utility upgrades including plumbing, sprinkler systems and HVAC
- Developing a plan and design for universal accessibility that has minimal impact on the buildings' heritage attributes
- Working with the chief building official to ensure that the Building Code requirements are met with minimal impact on the character-defining elements of the building
- Working with a qualified arborist to ensure the health and retention of the as many trees and other cultural heritage landscape features as possible.
- Developing an ongoing maintenance program in order to avoid extensive repair or rehabilitation costs later

The Conservation and Adaptive Reuse Plan will contain the following as required by the City of Brampton.

- *Preliminary recommendations for adaptive reuse;*
- *Critical short-term maintenance required to stabilize the building fabric and prevent further deterioration;*
- *Measures to ensure interim protection of the house during phases of construction;*
- *Security requirements;*
- *Restoration and replication measures as required;*
- *Appropriate conservation principles and practices using qualified contractors;*
- *Longer term maintenance and conservation work to preserve existing heritage attribute;*
- *As found drawings;*
- *An implementation strategy outlining phases of conservation;*
- *Cost estimates for various components of the plan; and*
- *Compliance with recognized Standards and Guidelines for the Conservation of Historic Places in Canada and the Appleton Charter.*

7. When the house is restored, the owner will ensure that only qualified restoration experts are employed including a qualified restoration architect and/or engineer and qualified trades to both document the building and undertake the work.
8. The landscape design should respect the overall character of the site and the street.
9. The landscape design should provide for the conservation and protection of existing healthy specimen trees if possible. A Tree Protection Plan has been developed (**APPENDIX IV**). Where new vegetation is required, species complimentary to existing and historical vegetation types should be planted. Any plantings around the house should reflect landscape that would normally surround a farmhouse, including fencing, flowers and plants familiar to those planted by settlers in the area. The current landscape plan for the area surrounding the house includes some native species such as Nannyberry; but

would benefit from inclusion of other native plants and flowers associated with rural farms and farmhouses in Southern Ontario. A more rustic fencing style and materials should be considered.

10. A comprehensive interpretive/*commemorative* plan for the property must be developed including documentation and signage for the site. City staff, the heritage committee and other local historians must be consulted during the development of the plan.
11. Every effort should be made to conserve and enhance views and vistas to and from the property to conserve the character defining elements of the area.



Figure 45: Rural Ontario Farmhouse, Cambridge Area

Implementation and Monitoring

A Heritage Permit will be required before construction begins. The proposed development will be assessed, reviewed and monitored by local and Regional agencies and by the heritage committee throughout the planning and building process. The Temporary Protection Plan and the Conservation Strategy, which must be completed before construction commences, will ensure that the significant cultural heritage resources are conserved and appropriately interpreted..

The Temporary Protection Plan and the Conservation Strategy will be monitored by the professional consultants involved and by City of Brampton staff to ensure that proper mitigation and protection is carried out during construction and restoration and that any surviving landscape features are appropriately protected and restored and the views and vistas are maintained to the greatest extent possible. In addition, a heritage easement agreement registered on title ensures that the house and any other heritage attributes are conserved and maintained.

An interpretive plan and signage, including research, design of signage and placement of interpretive plaques, will be vetted by the heritage committee and city staff to ensure that interpretation is accurate and complete.

Conclusion and Conservation Recommendations

The PPS states that planning authorities shall not permit development and site alterations on adjacent lands and protected heritage property unless the development and site alterations have been evaluated and the heritage attributes of the property have been conserved.

The objectives in the City of Brampton Official Plan include conservation of cultural heritage resources for future generations; preservation, restoration and rehabilitation of structures or sites of cultural significance; and preservation of cultural heritage landscapes including significant public views.

Relevant policies in the Official Plan include:

- The requirement to protect and conserve heritage resources in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada and the Appleton Charter for the Protection and enhancement of the Built Environment. This includes protection, maintenance and stabilization of existing cultural heritage attributes and features over removal or replacement.
- The requirement to avoid removal or demolition of heritage attributes on designated heritage properties
- The requirement to prepare a Heritage Impact Assessment for any proposed alteration, construction or development involving or adjacent to a designated heritage resource to demonstrate that the resource's heritage attributes are not adversely affected.
- The requirement to exhaust all options for on-site retention of properties of cultural heritage significance before resorting to relocation. Several alternatives can be considered in order of priority.
 - On site retention in original use and integration with surrounding new development;
 - On site retention with adaptive re-use;
 - Relocation to another site within the same development; and
 - Relocation to a sympathetic site within the City of Brampton.

The property at 30 McLaughlin Road South is a significant cultural heritage resource and is designated under Part IV of the OHA. However, the property is vacant, the laneway is overgrown, only a few remnants of the orchard remain and the house is boarded up; is in poor condition; and has seen a number of unfortunate alterations over the years including the application of insulbrick and vinyl siding, window and door replacement and removal of any original trim detail. The interior is not listed as a heritage attribute *and contains no architectural details of significance*, has been altered and neglected as images in this document illustrate. The house is post and beam construction; is subject to deterioration at a faster rate than a solid brick or stone house; and is in need of renovation, restoration and an appropriate adaptive reuse in order to ensure its continued existence.

Clearly moving the house and constructing the new commercial, residential building on the site will have an impact on the cultural heritage landscape and the built heritage resources on the site. Building the new apartment building, constructing surface parking areas and moving the house are changes that will result in major changes to the landscape setting. There will also be impacts on views and vistas into the property.

Based on the analysis of the significant heritage attributes of this property and surrounding properties, the impact of the proposed development and relocation of the house has been assessed. There are no other significant heritage resources adjacent to the property. Those that have been identified as being nearby will not be unduly or adversely physically impacted. Impacts are confined to the property and views and vistas into the property. Some of these impacts are negative while others are beneficial and provide an avenue for long term of conservation of significant heritage resources.

Three (3) possible alternative development approaches are presented in this report. These are:

- Do nothing which will result in the continued deterioration of the site and the significant cultural heritage attributes on the site.
- An alternate design approach which will result in leaving the house in situ and retaining a laneway of walkway to the house. In this case the house will not be visible from the street and would be difficult to effectively interpret or to adapt for an alternate use.
- Development as proposed which will result in improved views of heritage house; allow for appropriate restoration of the structure and provide interpretation of the significant heritage value and interest of the site.

Recommendations

None of these approaches is ideal. However, if the development proceeds as proposed the house will be incorporated into the proposed development; it will maintain its relationship with McLaughlin Road South; it will be restored and provided with an appropriate adaptive reuse that will ensure its continued existence and maintenance; and it will provide an excellent and highly visual opportunity for interpretation of the history of Brampton, the Elliott family, and the subject property while permitting redevelopment of a neglected site that is no longer compatible with the surrounding development.

A Temporary Protection Plan and Conservation Strategy will ensure that the restoration, renovation and redevelopment processes are monitored in order to protect and maintain the cultural heritage resources on and adjacent to the site. If required, the city could also impose additional long-term protection by securing an easement agreement and financial securities for the cultural heritage resources on the site.

APPENDICIES

APPENDIX I – Designation By-laws



An agency of the Government of Ontario



Un organisme du gouvernement de l'Ontario

This document was retrieved from the Ontario Heritage Act Register, which is accessible through the website of the Ontario Heritage Trust at **www.heritagetrust.on.ca**.

Ce document est tiré du registre aux fins de la *Loi sur le patrimoine de l'Ontario*, accessible à partir du site Web de la Fiducie du patrimoine ontarien sur **www.heritagetrust.on.ca**.



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 10-2009

To designate the property at 30 McLaughlin Road South as being of cultural heritage value or interest.

WHEREAS Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, Chapter O. 18 (as amended) authorizes the Council of a municipality to enact by-laws to designate real property, including all the buildings and structures thereon, to be of cultural heritage value or interest;

WHEREAS the Brampton Heritage Board supports the designation of the properties described herein;

WHEREAS a Notice of Intention to Designate has been published and served in accordance with the Act, and there has been no Notice of Objection served on the Clerk;

NOW THEREFORE the Council of the Corporation of the City of Brampton HEREBY ENACTS as follows:

1. The property at 30 McLaughlin Road South more particularly described in Schedule "A" is hereby designated as being of cultural heritage value or interest pursuant to Part IV of the *Ontario Heritage Act*.
2. The City Clerk shall cause a copy of this by-law to be registered against the property described in Schedule "A" to this by-law in the proper Land Registry Office.
3. The City Clerk shall cause a copy of this by-law to be served upon the owners of the property at 30 McLaughlin Road South and upon the Ontario Heritage Trust and to cause notice of this by-law to be published in a newspaper having general circulation in the City of Brampton as required by the *Ontario Heritage Act*.
4. The City Clerk shall serve and provide notice of this by-law in accordance with the Act.
5. The short statement of the reason for the designation of the property, including a description of the heritage attributes are set out in Schedule "B" to this by-law.
6. The affidavit of Peter Fay attached, as Schedule "C" hereto shall form part of this by-law.

READ A FIRST, SECOND AND THIRD TIME AND PASSED IN OPEN COUNCIL
THIS 16th DAY OF March 2009.

Approved as
to form

Feb 12/09


SUSAN FENNELL - MAYOR


PETER FAY - CLERK


Approved as to Content:

Karl Walsh, Director, Community Design, Parks Planning and Development

SCHEDULE "A" TO BY-LAW *70-2009*

LEGAL DESCRIPTION

PT. LOT 5, CON. 1 WHS.
DESIGNATED AS PARTS 1 & 2 ON PLAN 43R-32208;
BRAMPTON

14070-0314 (LT)

SCHEDULE "B" TO BY-LAW 70-2009

SHORT STATEMENT OF THE REASON FOR THE DESIGNATION 30 MCLAUGHLIN ROAD SOUTH:

The property at 30 McLaughlin Road South is worthy of designation under Part IV of the Ontario Heritage Act for its cultural heritage value or interest. The property meets the criteria for designation prescribed by the Province of Ontario under the three categories of design or physical value, historical value and contextual value.

The cultural heritage value of 30 McLaughlin Road South is related to its design or physical value as a one and half storey pioneer farmstead. The home, believed to be built in 1834, has architectural value because: the exterior which is currently vinyl covers insulbrick from the 1920s or so and presumably underneath that is either wooden clapboard or pebble-dash stucco; the interior has hand split lathe, surviving simple door surrounds, timber framing in the basement ceiling joists, and wide pine timbers. Although the home has been recovered over the years it is likely the original house was built in the early 1830s.

The property also has historical or associative value as it reflects the work of the Elliott family. John Elliott and his wife Mary emigrated to Canada in March 1821. John Elliott is usually held to be the founder of Brampton. In the late 1820s he began selling lost from his land around the corner of the present Main and Queen Streets. Later he laid this area in town lots and by 1834 he had a store, a wagon maker and several shoe makers located on his land and started to advertise for more settlers to live in the village he had created. At that time, the Hamlet was known as Buffy's Corners after Buffy's Tavern located there. However, John Elliott, a keen Primitive Methodist and non-drinker renamed it Brampton, possibly with encouragement from his fellow enthusiast William Lawson, after the town near Bewcastle in Cumberland. Lawson himself had been born just outside Brampton, Cumberland. John Elliott also played an integral role in the establishment of the Primitive Methodist congregation in Brampton. The Elliott family gave land for a church, contributed two acres of land for Brampton's municipal buildings, John himself was a member of the first village council and at various times was Warden, postmaster, pound keeper, and director of the Upper Canada Board of Agriculture. His sons and daughters were well known and involved in commercial activities in Brampton.

John Elliott died a wealthy man on April 1, 1871; as part of the distribution of his assets, it was recorded that he left a farm to his son Richard. The subject property located at 30 McLaughlin Road South is believed to have been built in 1834 and at this time was occupied by John and Mary Elliott. After which the farm was given to Richard. The 1861 census records shows Richard Elliott and his wife Elizabeth living in a frame house; they are listed as Primitive Methodists and farmers. Six generations of Elliott's have owned this house since; it was sold in 2005 for the first time to a non-Elliott.

The property is illustrative of the broad patterns of Brampton's social history and its physical development since the Elliott's were so influential in the creation and settlement of Brampton.

The cultural heritage value of the property is also connected to its contextual value as it maintains, supports and defines the character of streetscape and Brampton more

BL 70-2009

generally indicating that this area was once predominantly farm land occupied by early settlers. The property has significant historic and associative value because of its connection to the Elliott family. Moreover, many of the street names in Brampton, including Mary, John, Frederick, Isabella, Jessie and Elizabeth Streets are all streets named after the Elliott's.

This property retains its integrity as a pioneer farmstead and as such it presents a considerably important cultural heritage landscape. The farmstead, its setback from the street, the intact laneway, and the mature trees are also indicative of the once rural qualities of the area. The laneway, orchard, and farmhouse remain in the same location as recorded in the 1877 Historical Atlas of Peel.

DESCRIPTION OF THE HERITAGE ATTRIBUTES OF THE PROPERTY:

Unless otherwise indicated, the reason for designation apply generally to all exterior elevations, facades, foundation, roof and roof trim, all doors, windows, other structural openings and associated trim, all architectural detailing, construction materials of wood, stone, brick, plaster parging, metal and glazing and related building techniques, fencing, all trees, shrubs, hedgerows, other vegetation and the grounds and vistas generally.

To ensure that the cultural heritage value of this property is conserved, certain heritage attributes that contribute to its value have been identified specifically and they include:

- Important cultural heritage landscape
- Retains its integrity as a pioneer farmstead
- Linked to the earliest period of European settlement in this area
- Property dates to the early 1830s and is directly associated with John and Richard Elliot
- The Elliott's were one of Brampton's most prominent early settlement families
- John Elliott and William Lawson are credited with naming this community Brampton
- Historical maps document all features of the property that remain today, namely: the farmhouse on a deep setback, laneway, orchard and the meandering Fletcher's Creek to the rear of the lot
- Farmhouse is currently clad in metal siding and it is believed that pebble dash stucco is underneath
- Sash windows
- One and half storey, three bay home – one window on each side of a central doorway

BL 70-2009

- House is constructed in post and beam or possibly log and it is likely the original farmhouse built in 1834
- The home remained within the Elliott family from 1834 to 2005
- Six generations of Elliott's have called this property home
- The interior is characterized by hand-split lath; surviving simple door surrounds; timber framing in basement ceiling joists, and wide pine timbers

GENERAL PROPERTY DESCRIPTION:

The lot is rectangular in shape and covers approximately two acres. The plan of the principle structure is a simple rectangle that has been added on to over the years.

The principle elevation (main façade) is emphasized by the following elements: a three-bay farmhouse with symmetrical elevations with one window on each side of a central doorway, a side gable roof and sash windows.

Landscaping elements include: original orchards, long driveway, mature trees, and a dense park and Fletcher's Creek to the East and the open vista to McLaughlin Road.

Adjacent property features include: a commercial development to the North, Fletcher's Creek to the East, a residential subdivision to the South and the City of Brampton's Flower City Campus to the West.

SCHEDULE "C" TO BY-LAW 10-2009

AFFIDAVIT OF PETER FAY

I, PETER FAY, of the City of Mississauga in the Region of Peel, MAKE OATH AND SAY:

1. I am the Clerk for the Corporation of the City of Brampton and as such I have knowledge of the facts herein contained.
2. The public notice of intention to designate 30 McLaughlin Road South was served on the owner of the property and was advertised, in the form attached as Exhibit A to this my affidavit, in the Brampton Guardian, a newspaper having general circulation in the City of Brampton, on Wednesday, November 12 2008.
4. The by-law to designate the 30 McLaughlin Road South came before City Council at a Council meeting on March 11, 2009 and was approved.
5. A copy of the by-law, including a short statement of the reason for the designation has been served upon the owner of the property and the Ontario Heritage Trust and notice of such by-law was published in the Brampton Guardian on _____ 2009.

SWORN before me at the City)
of Brampton, in the Region)
of Peel, this)
day of ,)

A Commissioner for Taking Affidavits, etc.



An agency of the Government of Ontario



Un organisme du gouvernement de l'Ontario

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BRAMPTON
Flower City

Planning & Development Services
Policy Planning

April 8, 2019

Registrar - Ontario Heritage Trust
10 Adelaide Street East
Toronto, ON M5C 1J3

ONTARIO HERITAGE TRUST
APR 15 2019
RECEIVED

Re: Notice of Passing of Designation By-law 57-2006

Dear Erin Semande,

Please find enclosed a copy of the municipal by-law passed by City Council designating 8870 McLaughlin Road South under Part IV, Section 29 of the *Ontario Heritage Act*.

The by-law has been registered against the property affected in the land registry office, and the City has also published the Notice of the Passing of the By-law.

Please feel free to contact me for any further information.

Regards,

Erin Smith
Assistant Heritage Planner
905.874.3825
ErinC.Smith@brampton.ca



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 57-2006

To designate the property at 8870 McLaughlin Road South ("Ontario Mental Tubercular Hospital Administration Building - Former OPP Administration Building") as being of cultural heritage value or interest.

WHEREAS Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, Chapter O. 18 (as amended) authorizes the Council of a municipality to enact by-laws to designate real property, including all the buildings and structures thereon, to be of cultural heritage value or interest;

WHEREAS the Brampton Heritage Board supports the designation of the properties described herein;

WHEREAS a Notice of Intention to Designate has been published and served in accordance with the Act, and there has been no Notice of Objection served on the Clerk;

NOW THEREFORE the Council of the Corporation of the City of Brampton HEREBY ENACTS as follows:

1. The property at 8870 McLaughlin Road South ("Ontario Mental Tubercular Hospital Administration Building - Former OPP Administration Building") more particularly described in Schedule "A" is hereby designated as being of cultural heritage value or interest pursuant to Part IV of the *Ontario Heritage Act*.
2. The City Clerk shall cause a copy of this by-law to be registered against the property described in Schedule "A" to this by-law in the proper Land Registry Office.
3. The City Clerk shall cause a copy of this by-law to be served upon the owners of the property at 8870 McLaughlin Road South ("Ontario Mental Tubercular Hospital Administration Building - Former OPP Administration Building") and upon the Ontario Heritage Trust and to cause notice of this by-law to be published in a newspaper having general circulation in the City of Brampton as required by the *Ontario Heritage Act*.
4. The City Clerk shall serve and provide notice of this by-law in accordance with the Act.
5. The short statement of the reason for the designation of the property, including a description of the heritage attributes are set out in Schedule "B" to this by-law.
6. The affidavit of Leonard J. Mikulich attached, as Schedule "C" hereto shall form part of this by-law.

READ A FIRST, SECOND AND THIRD TIME AND PASSED IN OPEN COUNCIL
THIS 27 DAY OF February 2006.

Approved as
to form

[Signature]
02/10/06

[Signature]
SUSAN FENNELL - MAYOR

[Signature]
LEONARD JOSEPH MIKULICH - CLERK

Approved as to Content:

[Signature]

Karl Walsh, Director, Community Design, Parks Planning and Development

ONTARIO HERITAGE TRUST
APR 15 2019
RECEIVED

SCHEDULE "A" TO BY-LAW 57-2006

LEGAL DESCRIPTION

Part of Lots 4 and 5, Concession 2 WHS, designated as Parts 1, 2, 3 and 4 on Plan 43R-23285.

PIN 14071-2580

SCHEDULE "B" TO BY-LAW 57-2006

**SHORT STATEMENT OF THE REASON FOR THE DESIGNATION OF "8870
MCLAUGHLIN ROAD SOUTH ("ONTARIO MENTAL TUBERCULAR
HOSPITAL ADMINISTRATION BUILDING - FORMER OPP ADMINISTRATION
BUILDING)"**

The former Administration Building of the "Ontario Mental Tubercular Hospital" is a noteworthy landmark located at McLaughlin Road South and Queen Street West. The building is a remarkably well-preserved example of civic architecture in the early modernist form. It was built in 1938 for the Government of Ontario, and was to be the first phase of a large hospital complex that was to occupy almost 100 acres of land in the former Chinguacousy Township.

The exterior of the building exhibits the distinctive architectural design elements of Modern Classicism, a variant of Art Deco, favoured by government for public building projects in the Great Depression era. The Brampton building is highly illustrative of this important architectural form. Art Deco and its variants such as Art Moderne and Modern Classicism are quite rare in the City of Brampton.

The one storey hospital administration building retains most of its original exterior detailing such as: buff brick masonry walls trimmed with coursed ashlar stone, stepped-back symmetrical profile, flat roof and metal industrial casement windows in steel frames.

The interior rotunda of the building stands as one of the best-preserved Art Deco / Art Moderne interiors in the Greater Toronto Area (outside of Toronto itself).

The building was designed by prominent Canadian architect, James Henry Craig (1889-1954). Craig's works include several well-known Toronto landmarks: Connaught Laboratory in Downsview Park (1917), Earl Haig High School (1929), the Dominion Public Building on Front Street (1935) and the "Hollywood Bowl" band shell on the CNE grounds (1936). Craig also designed the Thomas Foster Memorial in Uxbridge (1936). The Brampton Administration building is a good example of the work of this noted architect.

The site is directly associated with a variety of historical themes and events. It has many tangible links to the history of medicine through the "Ontario Hospital" program, social and penal reform through its use as an Adult Training Centre or "Training School". It also has important links to Canada's participation in the Second World War.

The Ontario Mental Tubercular Hospital Administration Building (Former OPP Administration Building) possesses considerable cultural heritage value. Heritage designation under Part IV of the Ontario Heritage Act is recommended for architectural, historical and contextual reasons.

Certain attributes contribute to the cultural heritage significance of the subject property and should be preserved. They include the following:

Architectural Heritage Attributes:

Exterior architectural elements include: symmetrical, stepped-back front façade; central pavilion where the main entrance is situated; abstracted fluted pilasters flanking the recessed entrance; large, square transom topping double leaf wooden doors; Coat of Arms for the Province of Ontario rendered in cast concrete over main entrance; central pavilion capped with a two-storey octagonal shaped rotunda lit with a series of glass block windows (clerestory); cut stone knee wall, with gently angled Rama limestone coping which lends additional distinction to the central pavilion; buff masonry smoke stack at central portion of rear elevation; coursed ashlar Rama limestone dressing; basement windows with metal railings.

Interior architectural elements include: Art Deco/Art Moderne design elements in octagonal rotunda and main hallways; terrazzo flooring with colours rendered in emerald green, burgundy red and speckled beige; polished chrome grilles over air vents; chrome hand rails and other original door hardware; lobby reception wickets with stone surrounds; marble wainscoting; acoustical tiles on rotunda ceiling in repeating geometric motif of diamond lozenges and squares; clerestory glass block windows in rotunda ceiling; a scalloped stone frieze band and early "sea foam" green walls in rotunda; concrete block construction designed to enhance its fireproofing properties.

Historical Heritage Attributes:

The site is directly associated with a variety of historical themes and events. It has many tangible links to the history of medicine through the "Ontario Hospital" program, social and penal reform through its use as an Adult Training Centre or "Training School". It also has important links to Canada's participation in the Second World War.

The lands that the Administration Building occupies are located in the former Township of Chinguacousy. As early as 1859 settler John Elliott has title to the land. By 1877 it was owned by John McClure. McClure had structures on the property. As recently as the mid 1930's foundations of an earlier structure were noted on the property directly adjacent to the present location of the Administration Building. The McClure family sold the property to Robert Sterritt in June 1926. The Province of Ontario purchased the entire 300-acre property in August 1937.

In 1937 the Ontario Government launched an expansion and reform program of its psychiatric healthcare facilities. In Brampton the Government planned a large scale "Ontario Hospital" complex specializing in the treatment of mentally ill patients suffering from tuberculosis. Construction began in the winter of 1938 and was near completion by June 1938. According to the Toronto Star (March 19, 1938) the Brampton facility would be "the first hospital of its kind on this continent". It was to be known as the "Ontario Mental Tubercular Hospital". The subject building was to serve as the Administration Building for the new healthcare facility. It was to provide office space for doctors and administrators, outpatient facilities, the admissions centre and a pre-admission screening centre. Full-scale construction of the hospital was halted however with the outbreak of the Second World War in September 1939.

In 1939 the entire 300-acre site was loaned to the Department of National Defense and used as a basic training centre (#24 Basic Training Centre) for the Royal Canadian Army. The Army erected barracks, drill halls and other support buildings. The administration building served as a 'detention facility'. The basic training centre opened in June 1942 and was designed to accommodate 1200 soldiers. R.V. Conover was the first commanding officer. After the War the lands reverted to the Government of Ontario.

In January 1947 the property was incorporated into a new provincial minimum-security reformatory or "training school". The government of Ontario had established an operational blueprint for penal reform known as "the Ontario Plan" that promoted education over incarceration. This site became the first such facility in Ontario. It was built as an "open facility" - where inmates were not under constant supervision. By 1967 there were five similar "Training School" correctional facilities operating in Ontario. There were no security fences or other barriers. The facility operated from 1947 to 1979.

In the summer of 1981 the Ontario Provincial Police (OPP) converted the property into the Ontario Provincial Police Training and Development Centre. Premier William Davis officially opened the facility on October 16, 1981. The OPP intended to use the property on a temporary basis of no longer than five years. However their occupancy extended over fifteen years. They relocated to a permanent training academy in Orillia in May 1997.

In August 1997 the City of Brampton acquired the entire property including the Administration Building.

Early in the 20th century the Government of Ontario acquired the property. The City of Brampton assumed ownership in the 1990s.

Contextual Heritage Attributes - Cultural Heritage Landscape:

The administration building and grounds form an important cultural landscape in the City. The building has always been the physical and architectural focal point of the entire 300-acre property. Symmetrical, stepped-back massing, sweeping setback, long laneway or "Grand Avenue", a circular driveway with various mixed plantings intended to create an ordered setting for the building. The setting is integral to the cultural heritage significance of this property as a whole.

The short statement of reason for the designation, including a description of the heritage attributes along with all other components of the full Heritage Report: Statement of Reason for Heritage Designation, constitute the "reason for heritage designation" required under the Ontario Heritage Act. The full Heritage Report is available for viewing in the City Clerk's office at City Hall, during regular business hours.

Unless otherwise indicated, the reason for designation apply generally to the central pavilion and wings, all other elevations, roof and roof trim, all entrances, windows, structural openings and associated trim, all architectural detailing, all

interior stylistic elements of the Art Moderne, construction materials of wood, stone, brick, plaster parging, metal and glazing and their related building techniques.

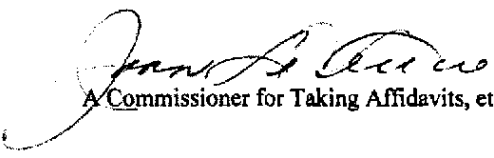
SCHEDULE "C" TO BY-LAW 57-2006

AFFIDAVIT OF KATHRYN ZAMMIT

I, KATHRYN ZAMMIT, of the Town of Caledon in the Region of Peel, MAKE OATH AND SAY:

1. I am the ~~Acting~~ Clerk for the Corporation of the City of Brampton and as such I have knowledge of the facts therein contained.
2. The public notice of intention to designate "Ontario Mental Tubercular Hospital Administration Building - Former OPP Administration Building, 8870 McLaughlin Road South" was served on the owner of the property and was advertised, in the form attached as Exhibit A to this my affidavit, in the Brampton Guardian, a newspaper having general circulation in the City of Brampton, on January 18, 2006.
3. No notice of objection was served upon the Clerk.
4. The by-law to designate the "Ontario Mental Tubercular Hospital Administration Building - Former OPP Administration Building, 8870 McLaughlin Road South" was passed by City Council at its meeting on February 27, 2006.
5. A copy of the by-law, including a short statement of the reason for the designation has been served upon the owner of the property and the Ontario Heritage Trust and notice of such by-law was published in the Brampton Guardian on March 3, 2006.

SWORN before me at the City)
of Brampton, in the Region)
of Peel, this TH)
day of March 2006)


A Commissioner for Taking Affidavits, etc.



PUBLIC NOTICE

IN THE MATTER OF THE ONTARIO HERITAGE ACT, R.S.O. 1990, CHAPTER O.18, AND THE MATTER OF THE LANDS AND PREMISES KNOWN AS "ONTARIO MENTAL TUBERCULAR HOSPITAL ADMINISTRATION BUILDING" (FORMER OPP ADMINISTRATION BUILDING) AT 8870 McLAUGHLIN ROAD SOUTH IN THE CITY OF BRAMPTON, IN THE PROVINCE OF ONTARIO:

NOTICE OF INTENTION TO DESIGNATE

TAKE NOTICE that the Council of the City of Brampton intends to designate property, being the "Ontario Mental Tubercular Hospital Administration Building" (Former OPP Administration Building) at 8870 McLaughlin Road South and lands upon which the building is situated, in the City of Brampton, in the Province of Ontario, as a property of cultural heritage value or interest under Part IV of the Ontario Heritage Act, R.S.O. c. O. 18.

SHORT STATEMENT OF THE REASON FOR THE DESIGNATION

The former administration building of the "Ontario Mental Tubercular Hospital" is a noteworthy landmark located at McLaughlin Road South and Queen Street West. The building is a remarkably well-preserved example of civic architecture in the early modernist form. It was built in 1938 for the Government of Ontario, and was to be the first phase of a large hospital complex that was to occupy almost 100 acres of land in the former Chinguacousy Township.

The exterior of the building exhibits the distinctive architectural design elements of Modern Classicism, a variant of Art Deco, favoured by government for public building projects in the Great Depression era. The Brampton building is highly illustrative of this important architectural form. Art Deco and its variants such as Art Moderne and Modern Classicism are quite rare in the City of Brampton.

The one-storey hospital administration building retains most of its original exterior detailing such as: buff brick masonry walls interspersed with coursed ashlar stone, stepped-back symmetrical profile, flat roof and metal-inset casement windows in steel frames. The interior columns of the building stand as one of the best-preserved Art Deco / Art Moderne interiors in the Greater Toronto Area (outside of Toronto itself).

The building was designed by prominent Canadian architect, James Henry Craig (1888-1954). The Brampton Administration building is a good example of the work of this noted architect.

The site is directly associated with a variety of historical themes and events. It has many tangible links to the history of medicine through the "Ontario Hospital" program, social and penal reform through its use as an Adult Training Centre or "Training School". It also has important links to Canada's participation in the Second World War.

DESCRIPTION OF HERITAGE ATTRIBUTES:

To ensure that the cultural heritage significance of this property remains intact, certain heritage attributes are to be conserved, and they include:

Architectural Heritage Attributes:

Exterior architectural elements include: symmetrical, stepped-back front facade; central portion where the main entrance is situated; abutted fluted pilasters flanking the recessed entrance; large, square transom topping double leaf wooden doors; Coat of Arms for the Province of Ontario rendered in cast concrete over main entrance; central portion capped with a two-storey octagonal shaped rotunda lit with a series of glass block windows (clerestory); cut stone frame wall, with gently angled Roma limestone coping which lends additional distinction to the central portion; buff masonry smoke stack at central portion of rear elevation; coursed ashlar Roma limestone dressing; basement windows with metal ratings.

Interior architectural elements include: Art Deco/Art Moderne design elements in octagonal rotunda and main hallway; terrazzo flooring with colours rendered in emerald green, burgundy red and speckled beige; polished chrome grille over air vents; chrome hand rails and other original door hardware; lobby reception alcove with stone surrounds; marble wainscoting; acoustical tiles on rotunda ceiling in repeating geometric motif of diamond lunettes and squares; clerestory glass block windows in rotunda ceiling; a scalloped stone brass band and early "tee beam" green walls in rotunda; concrete block construction designed to enhance its fireproofing properties.

Historical Heritage Attributes:

In 1927 the Ontario Government launched an expansion and reform program of its psychiatric healthcare facilities. Brampton was to be center of large scale "Ontario Hospital" complex specializing in the treatment of mentally ill patients suffering from tuberculosis; construction began in the winter of 1938; subject building was to serve as the Administration Building for the new healthcare facility.

In 1939 the entire 300-acre site was loaned to the Department of National Defense and used as a basic training centre (R24 Basic Training Centre) for the Royal Canadian Army. The Administration building served as a "detention facility".

In January 1947 the property was incorporated into a new provincial minimum-security reformatory or "training school". Facility operated from 1947 to 1979. In summer of 1981 the Ontario Provincial Police (OPP) converted the property into the Ontario Provincial Police Training and Development Centre. Premier William Davis officially opened the facility on October 18, 1981. OPP relocated to a permanent training academy in Oakville in May 1997. In August 1997 the City of Brampton acquired the entire property including the Administration Building.

Contextual Heritage Attributes:

Subject property forms an important cultural heritage landscape in the City; building has been the focal point of the entire property that once spanned over 300 acres.

The short statement of reason for the designation, including a description of the heritage attributes along with all other components of the detailed Heritage Report, Statement of Reason for Heritage Designation, constitutes the "reason for heritage designation" required under the Ontario Heritage Act.

Please contact Jim Leonard, Heritage Coordinator in Urban Design Section, Planning, Design and Development Department at (905) 874-3825 to view this document, and for further information.

Notice of objections to the proposed designation may be served on the Clerk no later than 4:30 p.m. on Monday, February 20th, 2006 (within 30 days of the publication of this notice).

Dated at the City of Brampton on this 18th day of January, 2006.

L. J. Miskin, City Clerk, City of Brampton.

THIS IS EXHIBIT A TO THE AFFIDAVIT
OF Kathryn Kamnit SWORN BEFORE
ME THIS TH DAY OF March 2006
[Signature]
A COMMISSIONER, ETC.

APPENDIX II – Conceptual Plans and Elevations

LIST OF ARCHITECTURAL DRAWINGS

SHEET NO.

COVER SHEET + LIST OF DRAWINGS + KEY PLAN

GENERAL SHEETS

A00	SURVEY PLAN
A01	SITE PLAN

PROPOSED FLOOR PLAN SHEETS

A02	PROPOSED BASEMENT FLOOR PLAN
A03	PROPOSED FIRST FLOOR PLAN
A04	PROPOSED SECOND FLOOR PLAN
A05	PROPOSED THIRD FLOOR PLAN
A06	PROPOSED FOURTH FLOOR PLAN
A07	PROPOSED FIFTH FLOOR PLAN
A08	PROPOSED SIXTH FLOOR PLAN
A09	PROPOSED SEVENTH FLOOR PLAN
A10	PROPOSED EIGHT FLOOR PLAN
A11	PROPOSED WEST SIDE ELEVATION
A12	PROPOSED SOUTH SIDE ELEVATION
A13	MASSING PERSPECTIVE

KEY PLAN



MIXED USE DEVELOPMENT
AT 30 McLAUGHLIN ROAD SOUTH, BRAMPTON, L6Y 5T1

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE: MARCH 1, 2016

LAURENCE J. KUELLING
ONTARIO LAND SURVEYOR

PLAN 43R-

RECEIVED AND DEPOSITED

DATE: - - - - -

REPRESENTATIVE FOR LAND REGISTRAR
FOR THE LAND TITLES DIVISION
OF PEEL (No. 43)

SCHEDULE				
PART	PART LOT	CONCESSION	ALL OF PIN.	AREA(m ²)
1	5	1, WHS	14070-0314(LT)	230.15
2				4917.80
3				333.03
4				370.12
5				367.67
6				573.73
7				470.76
8				134.42

PLAN OF SURVEY OF
PART OF LOT 5, CONCESSION 1
WEST OF HURONTARIO STREET
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
(GEOGRAPHIC TOWNSHIP OF CHINGUACOUSY, COUNTY OF PEEL)

5 0 5 10 15metres

SCALE = 1:250

GUIDO PAPA SURVEYING, 2016
A DIVISION OF J.D. BARNES LIMITED

METRIC DISTANCES AND COORDINATES SHOWN HEREON ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SURVEYOR'S CERTIFICATE:

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 29th DAY OF FEBRUARY, 2016.

DATE: MARCH 1, 2016

LAURENCE J. KUELLING
ONTARIO LAND SURVEYOR

NOTE:

BEARINGS SHOWN HEREON ARE GRID BEARINGS AND ARE REFERRED TO THE UTM GRID COORDINATE SYSTEM, NAD-1983, ORIGINAL, HORIZONTAL CONTROL MONUMENTS:
STA: 042050242 N: 4835588.441 E: 598234.775
STA: 042900090 N: 4835530.460 E: 600510.070

ZONE 17, CENTRAL MERIDIAN = 81°00'00" W LONGITUDE.

DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID BY APPLYING A COMBINED SCALE FACTOR OF 0.9996905

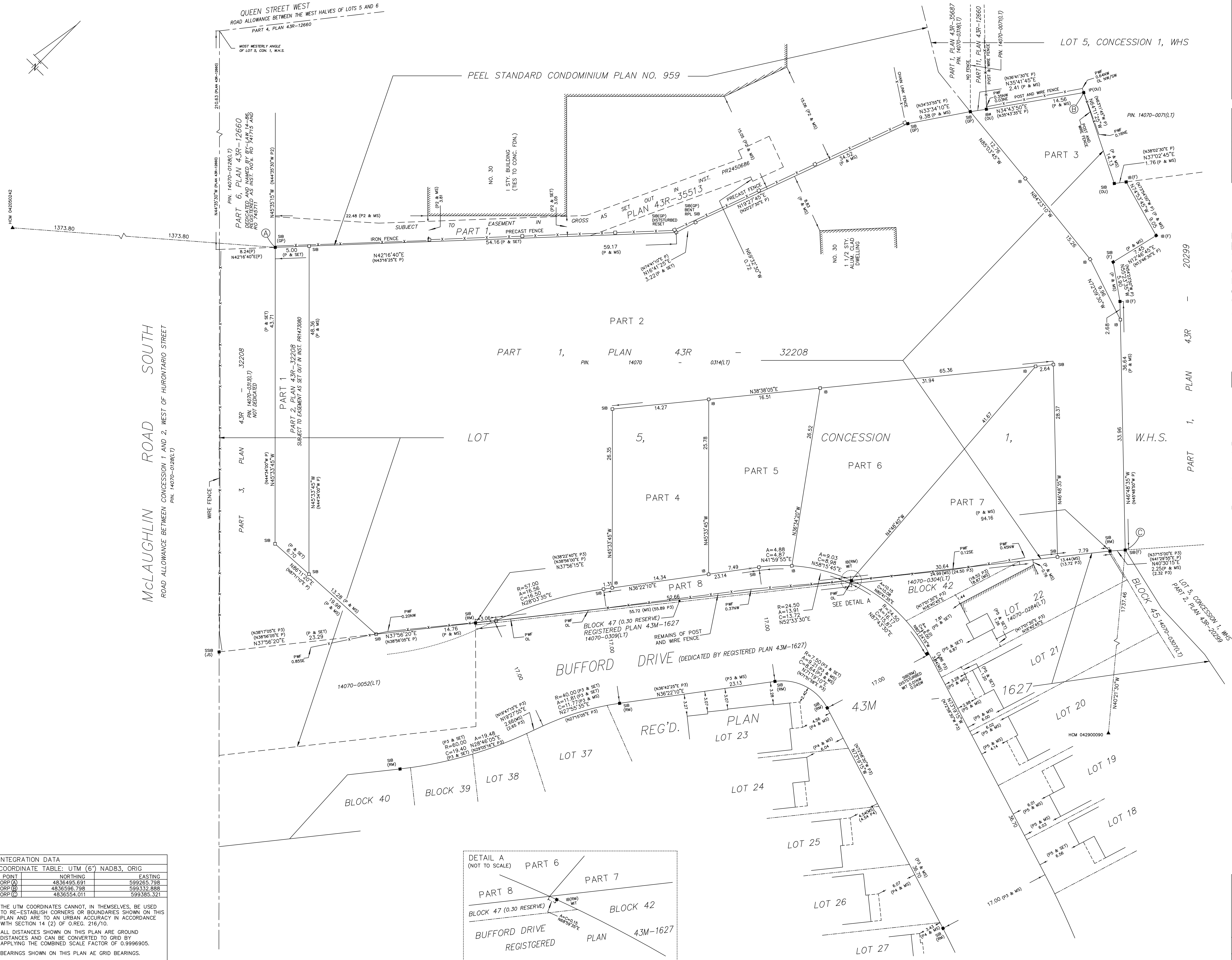
■	DENOTES
■	SURVEY MONUMENT FOUND
□	SURVEY MONUMENT PLANTED
SIB	STANDARD IRON BAR
IB	IRON BAR
CC	CUT CROSS
WIT	WITNESS
OU	ORIGIN UNKNOWN
Ms	MEASURED
OP	GUIDO PAPA SURVEYING LTD.
P	PLAN 43R-32208
P2	PEEL STANDARD CONDOMINIUM PLAN NO. 959
P3	REGISTERED PLAN 43M-1627
P4	PLAN 43R-29589
P5	SURVEYOR'S REAL PROPERTY REPORT BY R.G. MCKIBBON LIMITED DATED JUNE 17, 2004, FILE NO. C-04-05F
RM	R. G. MCKIBBON LIMITED, O.L.S.
F	W.M. FENTON, O.L.S.
JS	J. STEL, O.L.S.

GUIDO PAPA SURVEYING
A Division of J.D. Barnes Limited
216 CHRISLEA RD, WOODBRIDGE, ON L4L 8S5
T: (905) 264-2727 F: (905) 264-2728 www.jdbarnes.com

DRAWN BY: L.J.K. CHECKED BY: L.J.K. REFERENCE NO.: 15-541

15-541-C DATED: 01/21/2016 JOB FILE 15-18-156-00

PLOTTED: 01/21/2016



INTEGRATION DATA			
COORDINATE TABLE: UTM (6°) NAD83, ORIG			
POINT	NORTHING	EASTING	
ORP (A)	4836495.691	599265.798	
ORP (B)	4836596.798	599332.888	
ORP (C)	4836554.011	599365.321	

THE UTM COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN AND ARE TO AN URBAN ACCURACY IN ACCORDANCE WITH SECTION 14 (2) OF O.REG. 216/10.

ALL DISTANCES SHOWN ON THIS PLAN ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID BY APPLYING THE COMBINED SCALE FACTOR OF 0.9996905.

BEARINGS SHOWN ON THIS PLAN ARE GRID BEARINGS.

SITE SUMMARY:	
BLOCK - 1:	RESIDENTIAL BLOCK (8 STOREY)
1ST FLOOR:	15 UNITS
2ND FLOOR:	15 UNITS
3RD & 4TH FLOOR:	15 UNITS EACH = 30 UNITS
5TH & 6TH FLOOR:	14 UNITS EACH = 28 UNITS
7TH & 8TH FLOOR:	12 UNITS EACH = 24 UNITS
TOTAL NO. OF RESIDENTIAL UNITS	110 UNITS
- TOTAL ONE BEDROOM OR ONE BEDROOM + DEN	62 UNITS
- TOTAL TWO BEDROOM OR TWO BEDROOM + DEN	48 UNITS
GROSS FLOOR AREA OF BLOCK / FLOOR:	
1ST FLOOR:	12732.78 SQ.FT (1181.14 SQ.MT)
2ND FLOOR:	12732.78 SQ.FT (1181.14 SQ.MT)
3RD & 4TH FLOOR:	13515.98 SQ.FT (1252.63 SQ.MT) / FLOOR
5TH & 6TH FLOOR:	12391.84 SQ.FT (1142.39 SQ.MT) / FLOOR
7TH & 8TH FLOOR:	10704.34 SQ.FT (994.82 SQ.MT) / FLOOR
TOTAL GROSS FLOOR AREA RESIDENTIAL	9153.33 sq mt (98,499.88 sq ft)
BLOCK - 2:	COMMERCIAL UNITS (1 STOREY)
1ST FLOOR:	3 UNITS
COMMERCIAL GROSS FLOOR AREA	246.45 sq mt (2651.87 sq ft)

PARKING CALCULATION (REQUIRED)	
PARKING REQUIREMENT	
RESIDENTIAL	
ONE BEDROOM:	1.25 SPACES
TWO BEDROOM:	1.40 SPACES
REQUIRED PARKING FOR ONE BEDROOM:	62X1.25 78 SPACES
REQUIRED CAR PARKING FOR 2 BEDROOM:	48X1.40 68 SPACES
REQUIRED VISITOR SPACES	110X 0.25 28 SPACES
TOTAL PARKING FOR RESIDENTIAL	174 SPACES
PARKING REQUIREMENT FOR COMMERCIAL AS PER PERSONAL SERVICES:	
FIRST FLOOR+ 245.45 sq ft (2651.87 sq ft)	13 SPACES
TOTAL PARKING SPACE FOR COMMERCIAL	<u>13 SPACES</u>
TOTAL RESIDENTIAL & COMMERCIAL SPACES REQUIRED:	187 SPACES

NUMBER OF SPACES IN BASEMENT SURFACE PARKING:	106 SPACES (INCLUDING 6 BARRIER FREE) 75 SPACES
TOTAL	181
PARKING CALCULATIONS FOR RESIDENTIAL (PROVIDED):	
TOTAL SPACES FOR RESIDENTIAL UNITS INCLUDING	146 SPACES FOR (EXCLUDING VISITOR PARKING) TYPE 'A' = 5 SPACES & TYPE 'B' = 4 SPACES
VISITOR PARKING PROVIDED ON SURFACE:	22 SPACES, INCLUDING TYPE 'A' = 1 SPACE TYPE 'B' = 4 SPACE
TOTAL SPACES FOR RESIDENTIAL BLOCK:	167 SPACES
PARKING CALCULATIONS FOR COMMERCIAL (PROVIDED):	
NUMBER OF PARKING SPACES AS / PERSONAL SERVICE UNITS.	1719 SQMITS
PARKING FOR COMMERCIAL:	14 CARS
TOTAL SPACES PROVIDED:	14 SPACES, INCLUDING 1 TYPE 'A'
TOTAL RESIDENTIAL & COMMERCIAL SPACES PROVIDED:	181 SPACES

DEFINITIONS:
FLOOR AREA, GROSS COMMERCIAL SHALL MEAN THE AGGREGATE OF THE AREAS OF EACH STOREY, AT, ABOVE, OR BELOW ESTABLISHED GRADE, MEASURED FROM THE EXTERIOR OF THE OUTSIDE WALLS, BUT EXCLUDING ANY PARTS OF THE BUILDING USED FOR MECHANICAL EQUIPMENT, STAIRWELLS, ELEVATORS, OR ANY PART OF THE BUILDING BELOW ESTABLISHED GRADE USED FOR STORAGE PURPOSES.

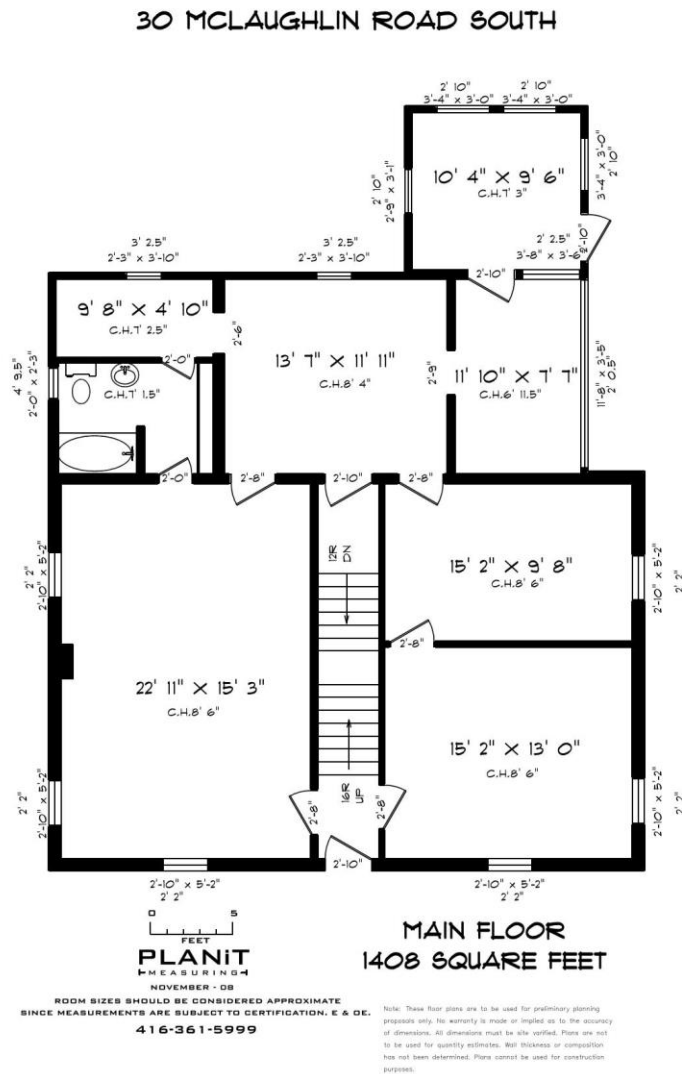
FLOOR AREA, GROSS RESIDENTIAL SHALL MEAN THE AGGREGATE OF THE AREA OF ALL FLOORS IN A BUILDING, WHETHER AT, ABOVE OR BELOW ESTABLISHED GRADE, MEASURED BETWEEN THE EXTERIOR WALLS OF THE BUILDING, BUT EXCLUDING ANY PORCH, VERANDAH, UNFINISHED ATTIC, BASEMENT OR ANY FLOOR AREA USED FOR BUILDING MAINTENANCE OR SERVICE EQUIPMENT, LOADING AREA, COMMON LAUNDRY FACILITIES, COMMON WASHROOM, COMMON CHILDREN'S PLAY AREA, RECREATION AREA, PARKING OF MOTOR VEHICLES, OR STORAGE

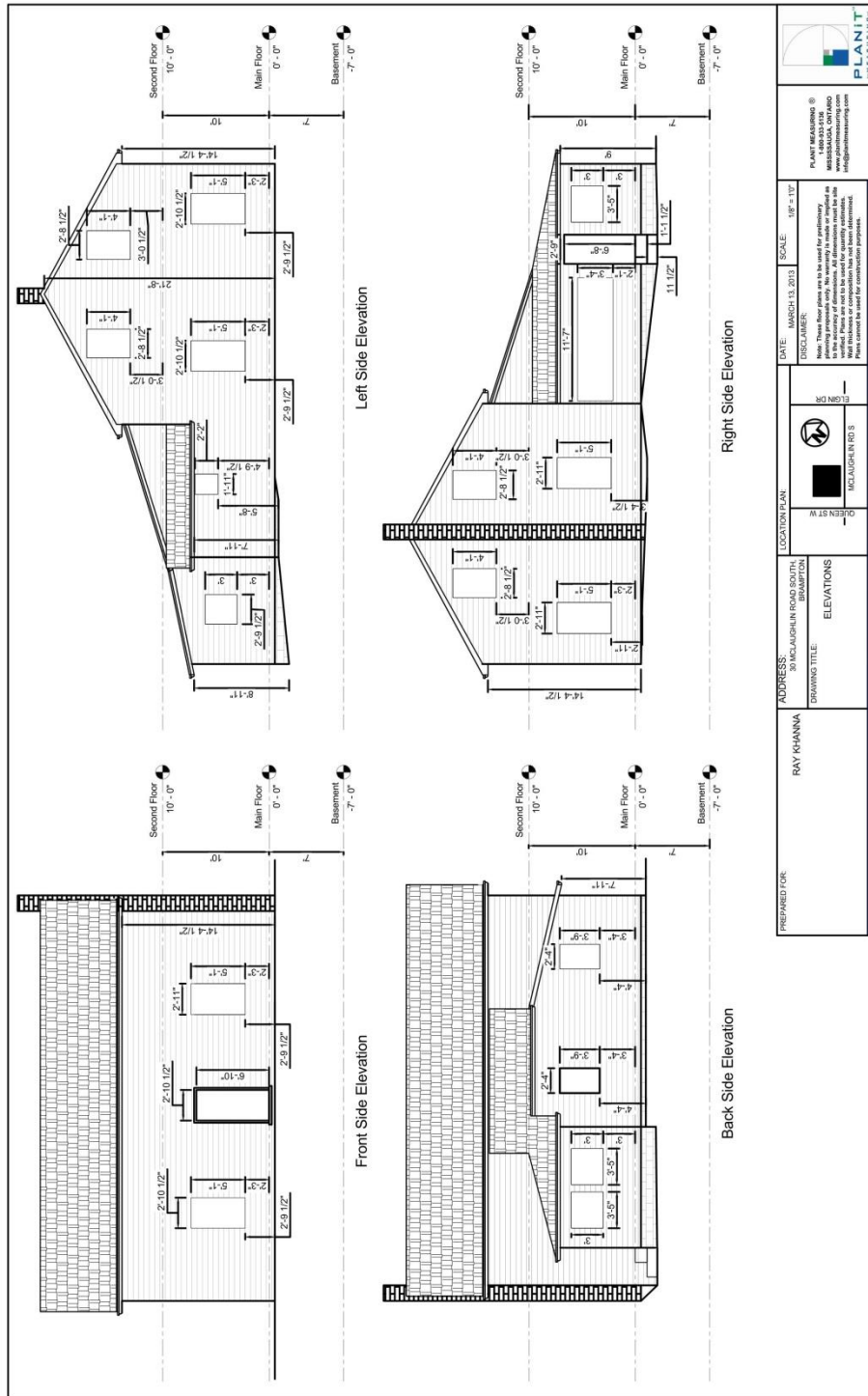


APPENDIX III Landscape and Streetscape Plans

APPENDIX IV – Arborist's Evaluation Report (Palmer TM)


APPENDIX V – Planit Measuring As Found Drawings and Plans





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| PREPARED FOR: | RAY KHANNA | | ADDRESS: | | 30 McLAUGHLIN ROAD SOUTH, BRAMPTON | | LOCATION PLAN: | | DATE: MARCH 13, 2013 | | SCALE: 1/8" = 1'-0"

 | 
PLANIT
CONSULTING INC.
1480-933-1518
info@planitmeasuring.com
www.planitmeasuring.com
info@planitmeasuring.com |
| | DRAWING TITLE: | | ELEVATIONS | | DISCLAIMER: | | McLAUGHLIN RD S | | McLAUGHLIN RD S | | <p>Note: These floor plans are to be used for preliminary design purposes only. They are not to be used for construction or other purposes without the written consent of the architect. All dimensions must be checked on the ground and verified by the contractor. The architect is not responsible for any errors or omissions in these drawings.</p> <p>These floor plans are to be used for preliminary design purposes only. They are not to be used for construction or other purposes without the written consent of the architect. All dimensions must be checked on the ground and verified by the contractor. The architect is not responsible for any errors or omissions in these drawings.</p> <p>These floor plans are to be used for preliminary design purposes only. They are not to be used for construction or other purposes without the written consent of the architect. 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***APPENDIX VI – Structural Condition Assessment and
Recommendations and Heritage Building Protection Plan
(Mark Shoalts, P.Eng.)***

APPENDIX VII – Images



Fig. 1 – Façade, Elliott House



Fig. 2 – North Elevation, Elliott House



Fig. 3 – South Elevation, Elliott House



Fig. 4 – Rear Addition, Elliott House



Fig. 5 – Elliott House Looking Northeast



Fig. 6 – Elliott House View from North Side Looking East to Fletcher's Creek



Fig. 7 – Front Door, Elliott House



Fig. 8 – Detail, Insulbrick and Vinyl Siding



Fig. 9 – Interior, Entrance Vestibule with Boxed Staircase and Beaverboard Walls



Fig. 10 – Interior, Room, North Side Looking East

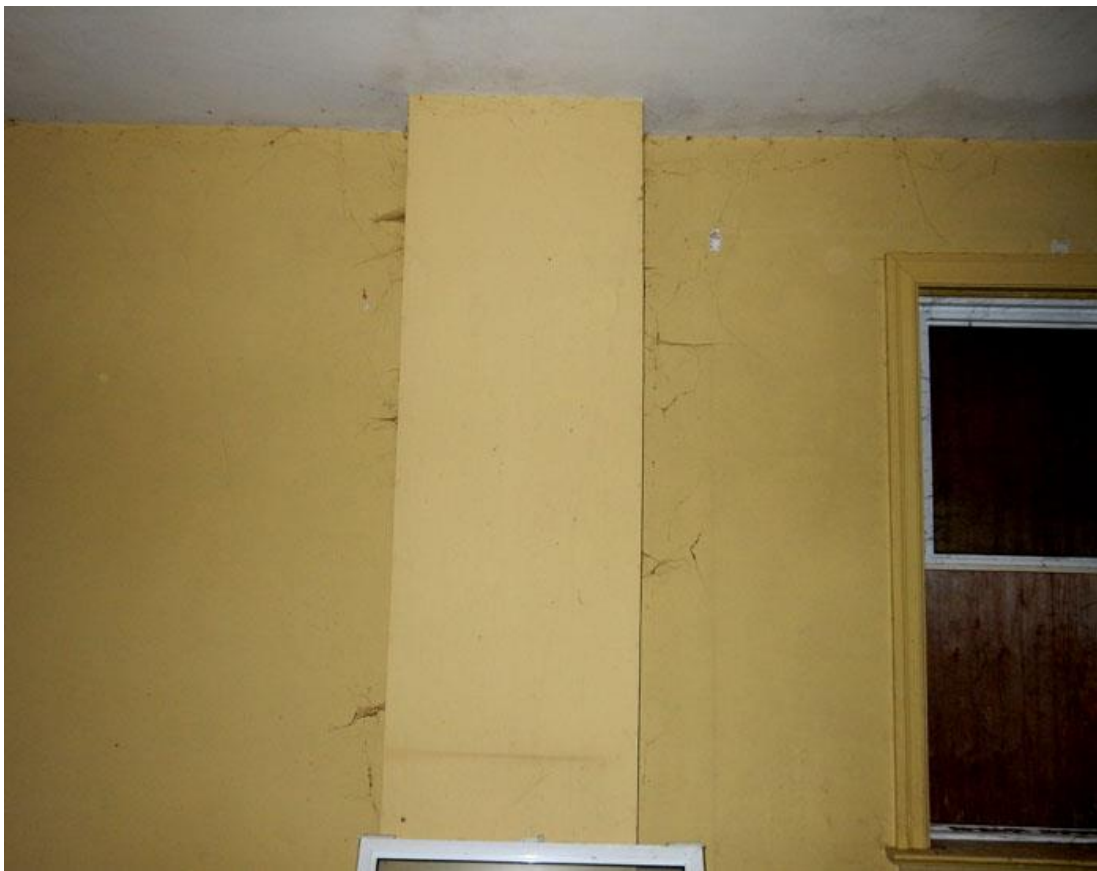


Fig. 11, Possible Chase for Stove Flue Pipe, Room on North Side of House



Fig. 12, Chase for Stove Flue Pipe



Fig. 13 – Rear of House, Wainscoting in Possible Kitchen Area



Fig. 14 – Rear Addition

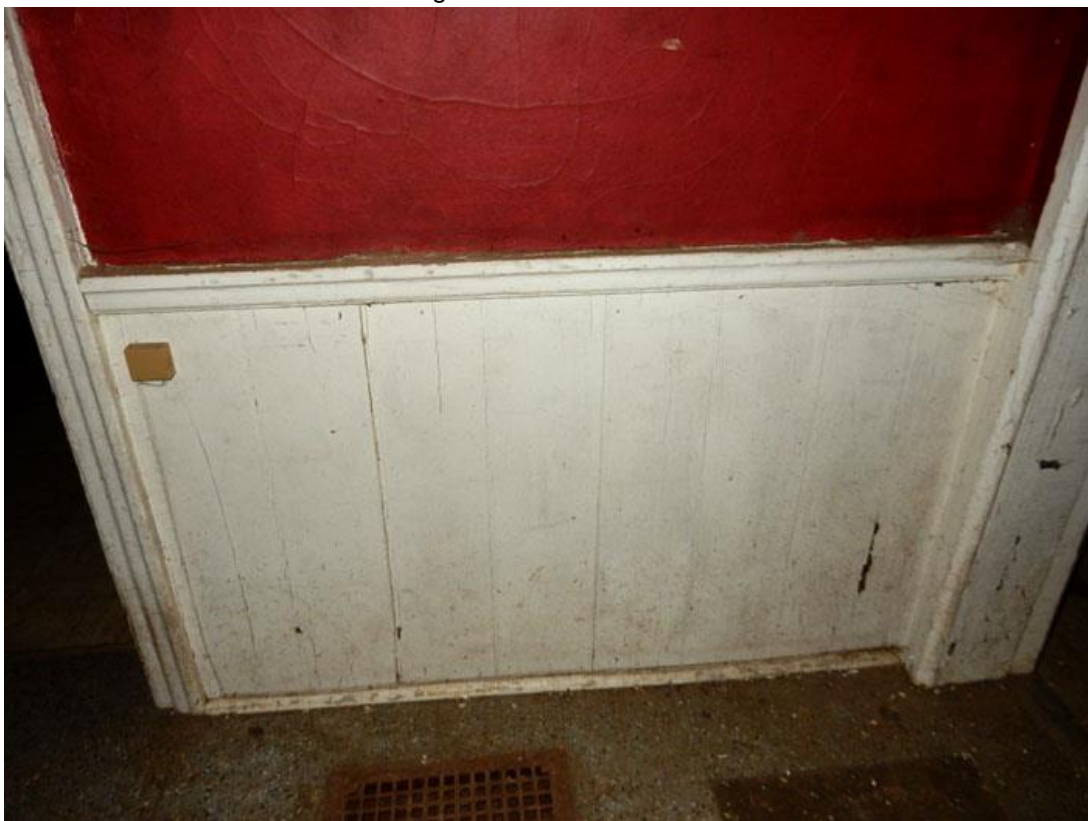


Fig. 15 – Wainscoting and Trim Detail



Fig. 16 – Wainscoting and Trim Detail



Fig. 17 – Early Split Lath – Entrance to Basement Stairs



Fig. 18 – Basement Rubble Stone Foundation Walls with Stove Hole



Fig. 19 – Basement Ceiling Joists Detail



Fig. 20 – Basement Ceiling Joists with Flooring Above



Fig. 21 – Basement Ceiling Joist Detail



Fig. 22 – Basement Rubble Stone Wall



Fig. 23 – Basement Ceiling Beam



Fig. 24 – Second Floor – Sawn Lath and Posts



Fig. 25 – Second Floor Beaver Board Cladding



Fig. 26 – Second Floor Landing from Staircase, Beaverboard Cladding



Fig. 27 – View of 30 McLaughlin Road South from Bufford Drive Looking Northeast



Fig. 28 – View of 30 McLaughlin Road South Looking Due North at Adjacent Commercial Plaza



Fig. 29 – Remnant Apple Orchard, 30 McLaughlin Road South



30 McLaughlin Road South, Brampton,
Addendum, May 2021
Leah D. Wallace, MA MCIP RPP

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Fig. 30 – Open Space at Rear of Elliott House Looking East to Fletcher’s Creek



Fig. 31 – Bufford Drive Looking East to Fletcher’s Creek



Fig. 32 – 30 McLaughlin Road South from Bufford Drive Looking East to Fletcher's Creek



Fig. 33 – Subdivision Looking South from Bufford Drive



Fig. 34 – Signalized Intersection at Bufford Drive and McLaughlin Road South Looking Southwest at Flower City Campus



Fig. 35 – McLaughlin Road South Looking Due North at Bufford Drive



Fig. 36 – Signalized Intersection at Bufford Drive and McLaughlin Road South Looking Northwest at Flower City Campus with Bus Shelter



Fig. 37 – McLaughlin Drive Looking Due South to Intersection at Bufford Drive



Fig. 38 – Remnant of Apple Orchard looking North from Bufford Drive, Commercial Plaza in Distance

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Web Sites

<http://Peelarchivesblog.files>

Archives@ PAMA, Region of Peel, The Cumbrian Connection

Curriculum Vitae – Leah D. Wallace, MA MCIP RPP

15 Brock Street, RR#3, Niagara-on-the-Lake, Ontario LOS 1J0

PRESENT POSITION	Consulting Heritage Planner Niagara-on-the-Lake
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EDUCATION	University of British Columbia Master of Arts, 1978 (Architectural History) University of Guelph Honours B.A., 1973
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PROFESSIONAL MEMBERSHIPS	Ontario Professional Planners Institute (OPPI) Canadian Institute of Planners (MCIP)
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CAREER HISTORY

2016 – Present	Consulting Heritage Planner
2012 – 2016	Senior Planner, Town of Niagara-on-the-Lake
2000 – 2012	Planner, Heritage & Urban Design, Town of Niagara-on-the-Lake
1994 – 2000	Contract Heritage Planner Hynde Paul Associates Incorporated, St. Catharines
1984 – 1994	Planning Consultant Robert J. Miller & Associates Ltd., Mississauga
1979 – 1984	Editor and Division Manager Longmans Canada, Toronto

APPOINTMENTS AND AWARDS

2017 - Present	Member, Board of Directors, Lower Grand River Land Trust, Cayuga Ontario (Ruthven Park)
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2007 - 2014	Member, Niagara-on-the-Lake Citizens' War of 1812 Bicentennial Committee and the Niagara Region Bi-national Bicentennial Working Group
2006 – 2018	Faculty Member, Willowbank School of Restoration Arts, Queenston
2002 – 2004	Municipal Sector Focus Group on Changes to the Ontario Heritage Act, Provincial Consultations, Ministry of Culture
2002	Member, Bi-national Coordinating Committee, First Bi-national Doors Open, Niagara Region
2000 – Present	Chair, Ruthven Park Building Conservation Committee Lower Grand River Land Trust
1999	Heritage Community Program Recognition Award, Ontario Heritage Foundation
1997 – 2000	Member, Ruthven Park Building Conservation Committee Lower Grand River Land Trust, Cayuga
1997 – 2002	Member, Bay Area Artists for Women's Art Hamilton-Burlington
1989 – 2000	Member and Chair (1991–1997), Local Architectural Conservation Advisory Committee Town of Flamborough

PUBLICATIONS AND PRESENTATIONS

Presenter, Ontario Heritage Conference (Ottawa), Municipal Grant Programs and Bill C323, Ontario Heritage Trust Session

Article, *Up in Flames*, Ontario Planning Journal, January/February 2015

Session Manager, National Trust for Historic Preservation (Buffalo, New York National Conference), Mobile Workshop – Adaptive Re-use of Culturally Sensitive Properties, Canadian Experiences

CIDA Sponsored Walking Tour and Public Planning Session, Niagara-on-the-Lake for Visitors from Xi'an, China Studying the Reconstruction of an Ancient Urban Area

Article, *Heritage Conservation Districts*, Heritage Matters Journal, March 2010

Presenter, Heritage Planning in Niagara-on-the-Lake in association with the Ministry of Culture and the Regional Municipality of Niagara, Association of Municipal Clerks and Treasurers of Ontario Conference

Restoration Case Study: Ruthven Park National Historic Site – Course Presented to Students at the School of Restoration Arts, Willowbank

Presenter, Heritage Conservation Districts – The Good, the Bad & the Ugly Canadian Association of Professional Heritage Consultants Conference

Presenter, Protecting Special Places: Tax Relief Incentives for Heritage Properties, OPPI/OALA Conference – Power of Place

Presenter, Co-curator, The Sacred Sites Tour, Art Gallery of Hamilton, An Architectural Evaluation of the Sacred Sites, The Art Gallery of Hamilton, Lecture Series

The Sacred Site Project, Research Project Exploring the Contemporary and Historical Relationships between Artists and Faith Communities in Hamilton-Wentworth, Art Gallery of Hamilton

Presenter, ARCHINET, An Interactive Guide to Canadian Building Styles Paper presented at Continuity with Change, the 1997 Community Heritage Ontario Conference, Huronia

Presenter, Flamborough and Its Community Identity, Wentworth North Riding Association Town Hall Meeting

Presenter, Suitable Housing for Arts Groups: The Planning Process, The Art of Coming Together Conference, Hamilton Artists Inc.

PROJECTS

ARCHINET, An Interactive Guide to Canadian Building Styles

Architectural and Historical Appraisal of the National Fireproofing Company of Canada (Halton Ceramics Limited) Burlington, Ontario, Architectural Conservancy of Ontario and the Burlington Local Architectural Conservation Advisory Committee

Municipal Register of Properties of Cultural Heritage Value or Interest (inclusion of non-designated properties), Town of Niagara-on-the-Lake, Project Manager,

Community Vision Statement, Town of Niagara-on-the-Lake, Project Manager

Queen-Picton Streets Heritage Conservation District Expansion Study and Draft of Revised District Plan, Town of Niagara-on-the-Lake

Dock Area Public Realm and Urban Design Master Plan, Project Manager

Official Plan Review; Community Engagement Sessions, Background Reports, Heritage Policies, Third Draft of Official Plan, Project Manager

Heritage Impact Assessment, Plan of Subdivision, 1382 Decew Road, City of Thorold

Heritage Impact Assessment, Hotel Expansion, 124 on Queen Hotel and Spa, Old Town, Town of Niagara-on-the-Lake

Heritage Permit and Minor Variance Application, 7 Queen Street (Exchange Brewery), Town of Niagara-on-the-Lake

Heritage Impact Assessment, Randwood Estate, Hotel Development, 144-176 John Street, Old Town, Town of Niagara-on-the-Lake

Heritage Impact Assessment, 200 John Street & 588 Charlotte Street, Proposed Plan of Subdivision, Old Town, Town of Niagara-on-the-Lake

Heritage Impact Report, 1317 York Road, Consent Application, St. Davids, Town of Niagara-on-the-Lake

Heritage Impact Assessment, 240-246 Main Street East, Plan of Subdivision Application, Town of Grimsby

Heritage Impact Report, 705 Nashville Road, Proposed Demolition, (Kleinburg-Nashville Heritage Conservation District)City of Vaughan

Heritage Impact Assessment, 6320 Pine Grove Avenue, Severance Application, City of Niagara Falls

Built Heritage Assessment and Recommendations, 133 Main Street East (Nelles House), Town of Grimsby

Heritage Impact Assessment, 133 Main Street East, Application for Official Plan and Zoning By-law Amendments, Town of Grimsby

Heritage Impact Assessment, 95 Cline Mountain Road, Niagara Escarpment Commission Development Permit Application, Town of Grimsby

Peer Review, Proposed Development, Guelph Avenue (Forbes Estate), City of Cambridge

Heritage Designation Evaluation, 4105 Fly Road, Campden, Town of Lincoln

Heritage Impact Assessment, 4918 King Street, Townhouse Development, Beamsville, Town of Lincoln

Conservation Plan, 9-11 Queen Street, Town of Niagara-on-the-Lake

Heritage Impact Assessment Report, 3627 Campden Road, Town of Lincoln

Heritage Attribute Assessment, 1389 Progreston Road, Carlisle (Former Town of Flamborough), City of Hamilton

Heritage Impact Report, 17 Peel Street, City of St. Catharines (Port Dalhousie Heritage Conservation District)

Heritage Impact Assessment, 31 Queen Street South, Site Plan Application, City of Mississauga (Streetsville)

Heritage Impact Assessment, 262 Main Street West (Nixon Hall), Plan of Subdivision, Town of Grimsby

Heritage Impact Assessment, 4918 King Street, Townhouse Development, Town of Lincoln

Heritage Impact Report 4918 King Street, Heritage Permit Application, Garage, Town of Lincoln