



Giaimo

HERITAGE IMPACT ASSESSMENT

Snelgrove Baptist Church

12061 Hurontario St.
Brampton, ON L6Z 4P8

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Prepared for:

Church of Archangel Michael & St. Tekla
12091 Hurontario St.
Brampton, ON L6Z 4P8

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EXECUTIVE SUMMARY

Introduction

This Heritage Impact Assessment (HIA) has been prepared by Giaimo Architects for the Church of Archangel Michael & St. Tekla, an Orthodox Coptic church, and considers the impacts of a proposed conservation strategy on the former Snelgrove Baptist Church at 12061 Hurontario Street, Brampton, Ontario. This report also lists conservation considerations previously explored by other parties.

The heritage building is encircled by the Coptic church's existing worship space and upcoming community facility to the north, and the Region of Peel's Snelgrove Place seniors' apartments to the east and south, and Hurontario Street to the West.

Site History & Design

The Baptist church, built in 1904, was an early building in the former village of Snelgrove, and was foundational to the local faith community. It closed in the 1960s, shortly after its centennial anniversary. The current owners bought the property in 1992. In the early 2010s, they severed the property and sold a portion to the Region of Peel. The Coptic church constructed a new worship space and the Region built an affordable housing building for seniors. In spring 2021, the Coptic church started constructing a facility for their community adjacent to their church.

Cultural Heritage Value

The Snelgrove Baptist Church has been designated under Part IV of the *Ontario Heritage Act* since February 2018. While the design isn't unique, it is representative of Ontario vernacular architecture for religious buildings. The building has historic value and can contribute to an understanding of Brampton's history.

Assessment of Existing Condition

The subject building is a one-and-a-half storey building constructed in the Ontario vernacular style typical of mid- to late-19th century religious buildings. The exterior features red brick in the common bond, fieldstone foundations, and stepped brick buttresses. At the time of the review, the exterior masonry, foundation walls, wood roof supports and soffits, and wood window frames appeared to generally be in fair condition with localized areas in poor condition.

Proposed Conservation & Mitigation Strategies

The proposed conservation strategy is the ruinification and symbolic conservation of the heritage building. The proposed strategy would involve the selective removal and salvage of a few components; removing select interior elements and accessories, removing the front concrete stairs and vestibule. The proposed strategy also considers a blind window approach, and recommends an interpretive lighting study.

Assessment of Impact

It is our opinion that the proposed ruinification strategy preserves the cultural heritage value of the heritage property, while allowing for the continued use of the subject and adjacent sites. The proposed strategy represents minimal adverse impact, as most of the building's heritage attributes and character-defining attributes will be preserved.

Past Considerations

Based on discussions with the Church of Archangel Michael & St. Tekla and the City, this section describes conservation strategies that were considered in past years but found infeasible.

1 - INTRODUCTION

1.1 REPORT SCOPE

This Heritage Impact Assessment (HIA) has been prepared by Giaimo Architects for The Church of Archangel Michael & St. Tekla, a Coptic Orthodox church, located at 12091 Hurontario Street, and considers the effects of a proposed intervention on the former Snelgrove Baptist Church at 12061 Hurontario Street, Brampton, Ontario also owned by the Coptic church. The Church of Archangel Michael & St. Tekla's existing worship space and upcoming community facility (under construction) are to the north, while the Region of Peel's Snelgrove Place seniors' apartments surrounds the former church to the east and south. This report documents past considerations and considers the effects of the proposed mitigation strategy.

The purpose of an HIA, according to the City of Brampton's HIA Terms of Reference, is to determine the impacts to known and potential heritage resources within a defined area proposed for future development. The report should identify all heritage resources, provide an evaluation of the significance of the resources, outline any impact proposed development or site alteration will have on the resources, and make recommendations toward conservation methods and/or mitigative measures that would minimize impacts to those resources.

The City of Brampton requested that the Church of Archangel Michael and St. Tekla provide an HIA because the owner applied for a demolition permit to demolish the Snelgrove Baptist Church heritage resource. Under the *Ontario Heritage Act*, Part IV, Section 34 (1) and through the City of Brampton's Terms of Reference for Heritage Impact Assessments, an HIA is required for "any property listed or designated in the municipal heritage register, pursuant to Section 27 (1.1) or (1.2) of the *Ontario Heritage Act* that is facing possible demolition." The intervention proposed

in this report is not to demolish the building.

Additionally, addressing the conservation strategy for this heritage resource is a site plan condition for this property. Preparing this report and subsequently carrying out the recommendations is intended to satisfy a long-standing site plan condition.

1.2 METHODOLOGY

Preparing the HIA included archival research, policy review, an assessment of the existing building, designing & evaluating a conservation approach, and understanding past conservation considerations. This work was completed from January to March 2022.

The report was initially submitted to Brampton heritage staff on March 7, 2022. This version is a reissuance based on staff comments.

This report was prepared with reference to the following:

- *Heritage Impact Assessment - Terms of Reference*, City of Brampton;
- *The Corporation of the City of Brampton By-Law Number 30-2018*, City of Brampton, February 2018;
- Ontario Regulation 9/06 Criteria for Determining Cultural Heritage Value or Interest;
- *Heritage Report: Reasons for Heritage Designation, 12061 Hurontario Street, Former Snelgrove Baptist Church*, City of Brampton, January 2014;
- *Snelgrove Baptist Church Condition Assessment*, Tacoma Engineers, January 2021.

Archival research was mostly conducted through the Peel Art Gallery Museum and Archives (PAMA) and Brampton Library. Due to the temporary closure of PAMA for a renovation,

physical access to the archives was not possible and some information was inaccessible in storage. Information was requested and then available records were provided digitally by an archivist. Historic maps were available digitally through the Brampton Library's local history collection. Historic aerial photography was requested from then provided by the Peel Data Centre Team. Additional background research was based on information gathered from Peel Land Registry Office (LRO) and accessed online.

The heritage resource was evaluated through Ontario Regulation 9/06 Criteria for Determining Cultural Heritage Value or Interest and was based on the building's designation by-law and our professional expertise.

The building condition assessment was completed through a site visit and subsequent field report. Members of the Gaiimo Architects team visited the Snelgrove Baptist Church building on February 2, 2022 to make exterior and interior observations. Further details are provided in Section 5.2.

Several conservation considerations have been explored over the years. Gaiimo prepared a preliminary conservation proposal with reference to the ruinification option available in the City's HIA Terms of Reference.

Previous conservation considerations were discussed through virtual meetings and e-mails with the client and City of Brampton heritage staff. Documents such as previous conservation plans, slideshows, reports, and e-mails were provided by these two parties.

1.3 SITE & CONTEXT

The former Snelgrove Baptist Church was built in 1904 and is located at 12061 Hurontario Street in Brampton, Ontario.

The subject heritage building is south of the Church of Archangel Michael & St. Tekla (north), a Coptic Orthodox church, and the

Church's upcoming community facility (also north). The former church sits on the southeast area of the property, facing onto Hurontario Street, a five-lane Regional Road.

The former church is surrounded to the east and south by Snelgrove Place, a four-storey seniors apartment building owned by the Region of Peel.

The surrounding area is mostly single-family residences, though there is St. Rita Elementary School, a Dufferin-Peel Catholic District School Board school, directly to the east and two commercial plazas nearby on Mayfield Road to the south.



Fig. 1.1. Former Snelgrove Baptist Church
February 2022



Fig. 1.2. Property map
Brampton Planning. Annotated by Giaino Architects.

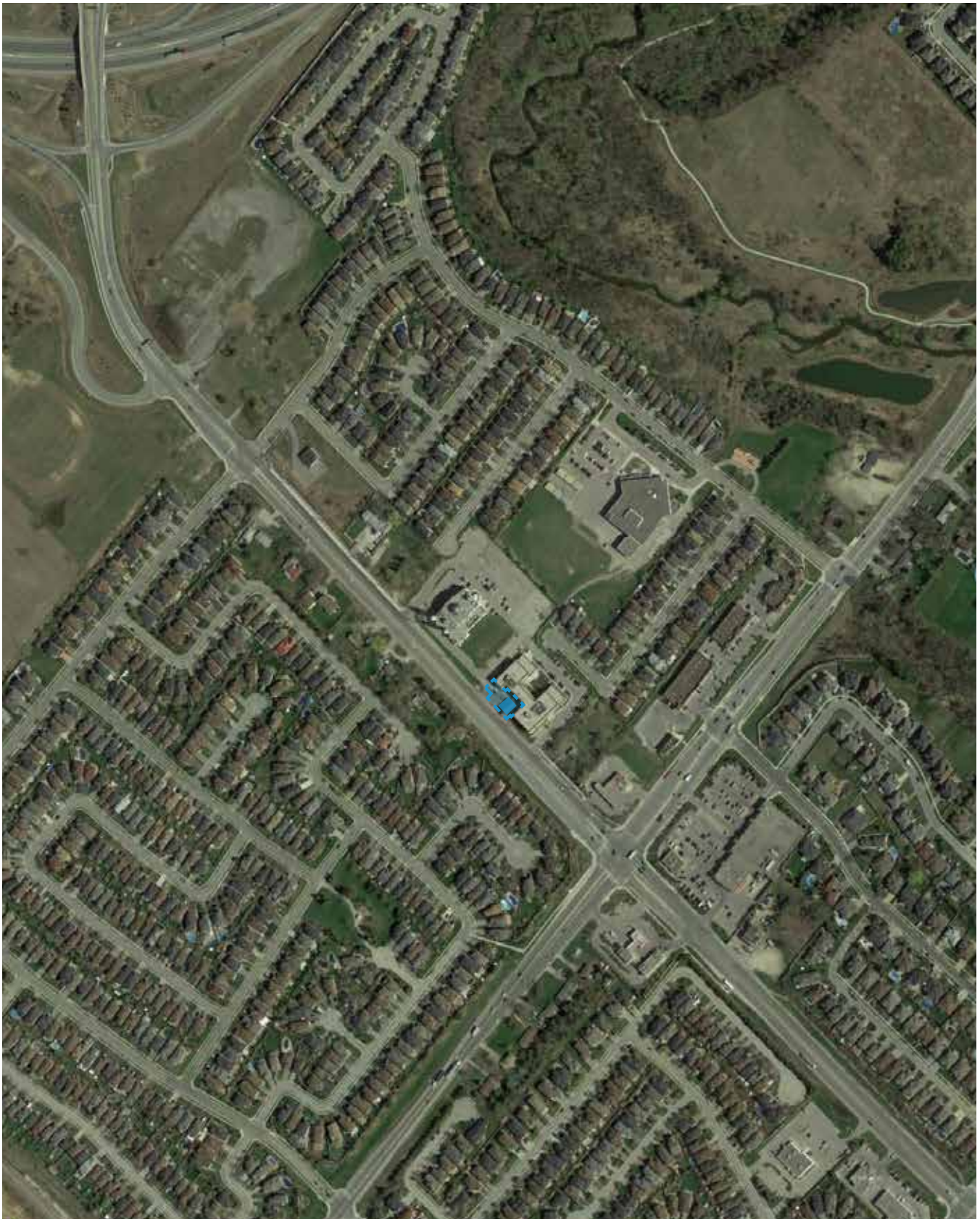


Fig. 1.3. Aerial view, site in blue

Google Earth. Annotated by Gaiimo Architects.



Fig. 1.4. Bird's eye view looking north, site in blue
 Google Earth. Annotated by Giaino Architects.



Fig. 1.5. Bird's eye view looking east, site in blue
 Google Earth. Annotated by Giaino Architects.



Fig. 1.6. North elevation
February 2022



Fig. 1.7. East elevation
February 2022



Fig. 1.8. South elevation
February 2022



Fig. 1.9. West elevation
February 2022

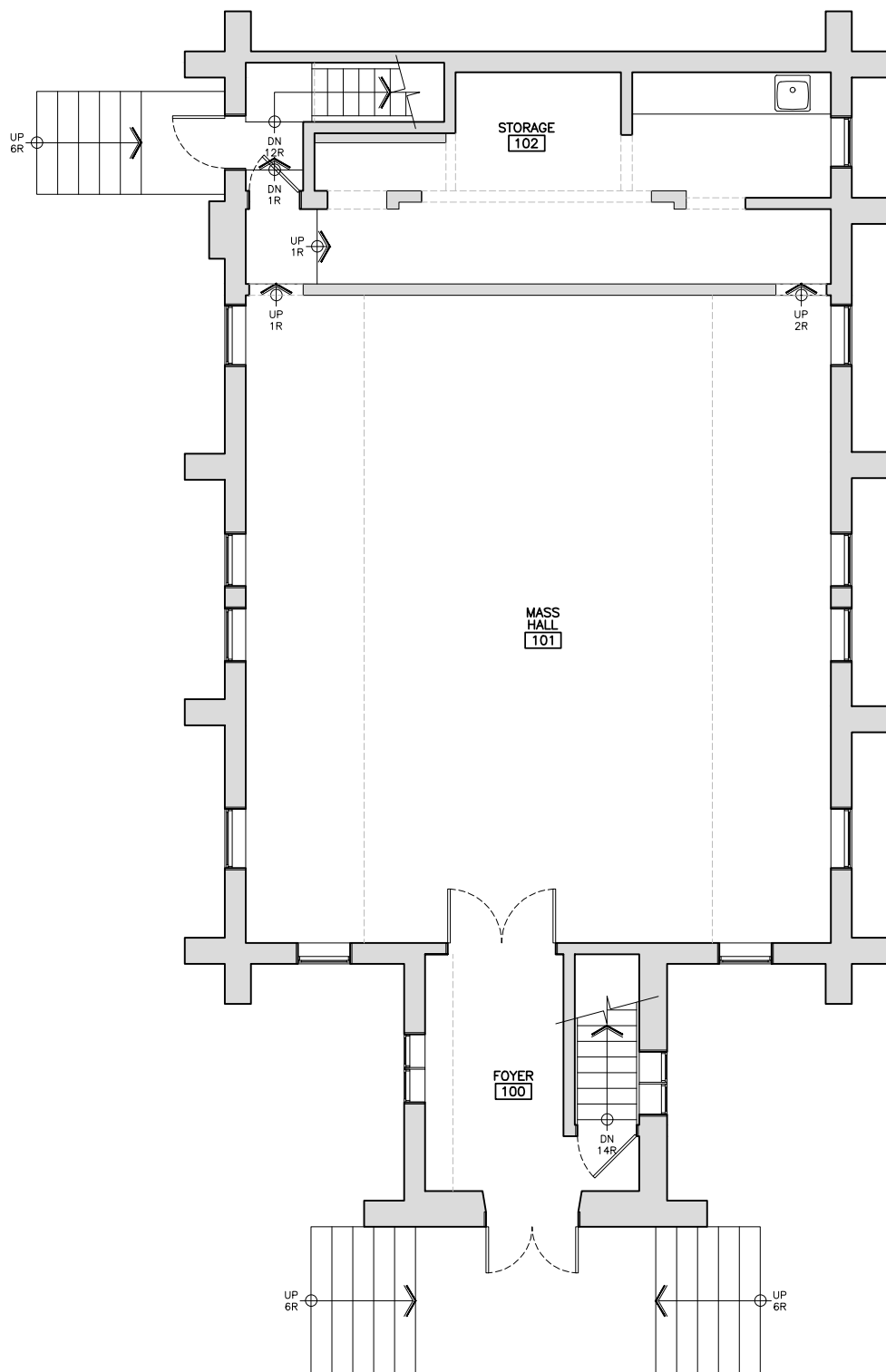


Fig. 1.10. Ground floor plan, 1:100

Provided by Church of Archangel Michael & St. Tekla

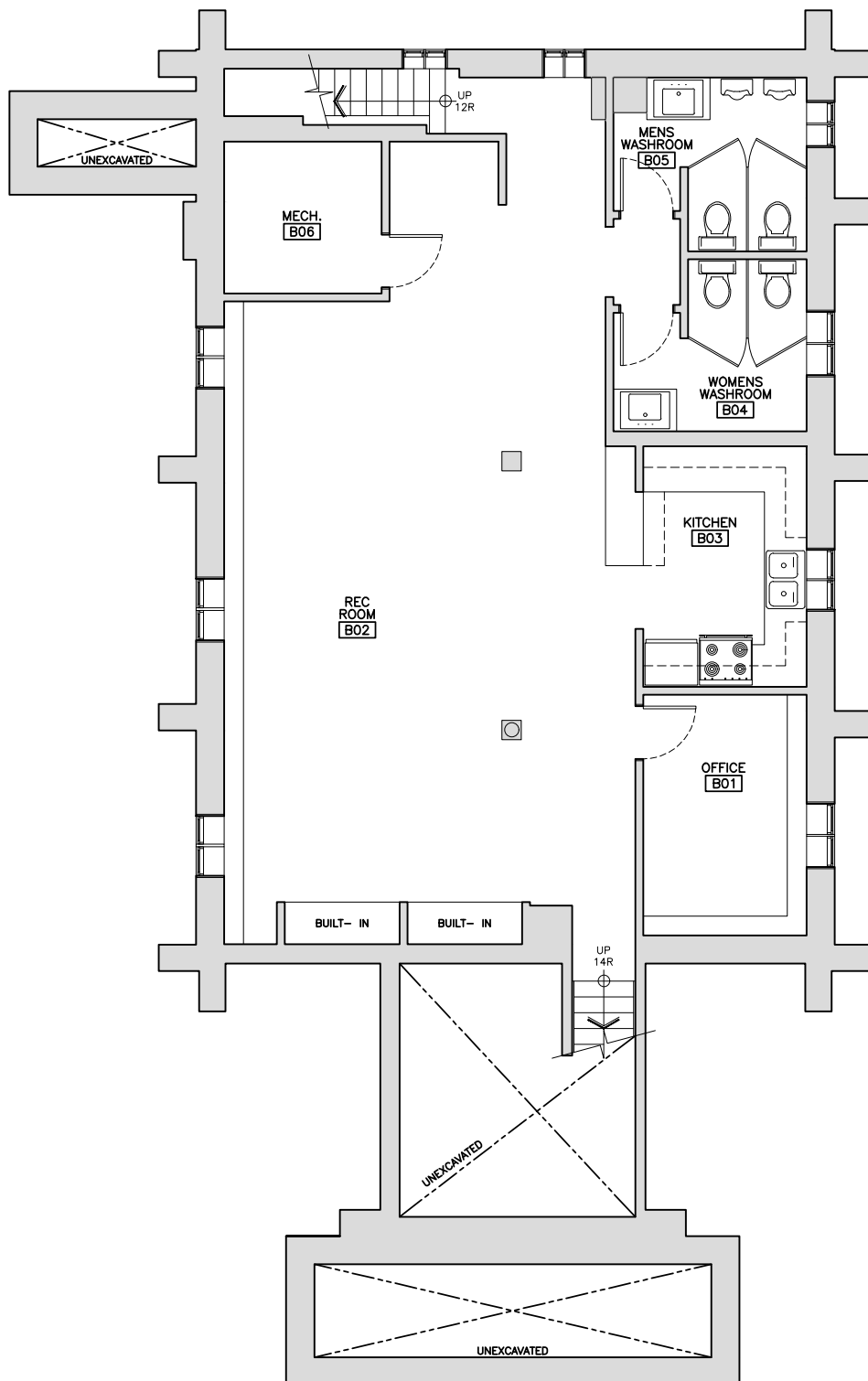


Fig. 1.11. Basement plan, 1:100

Provided by Church of Archangel Michael & St. Tekla



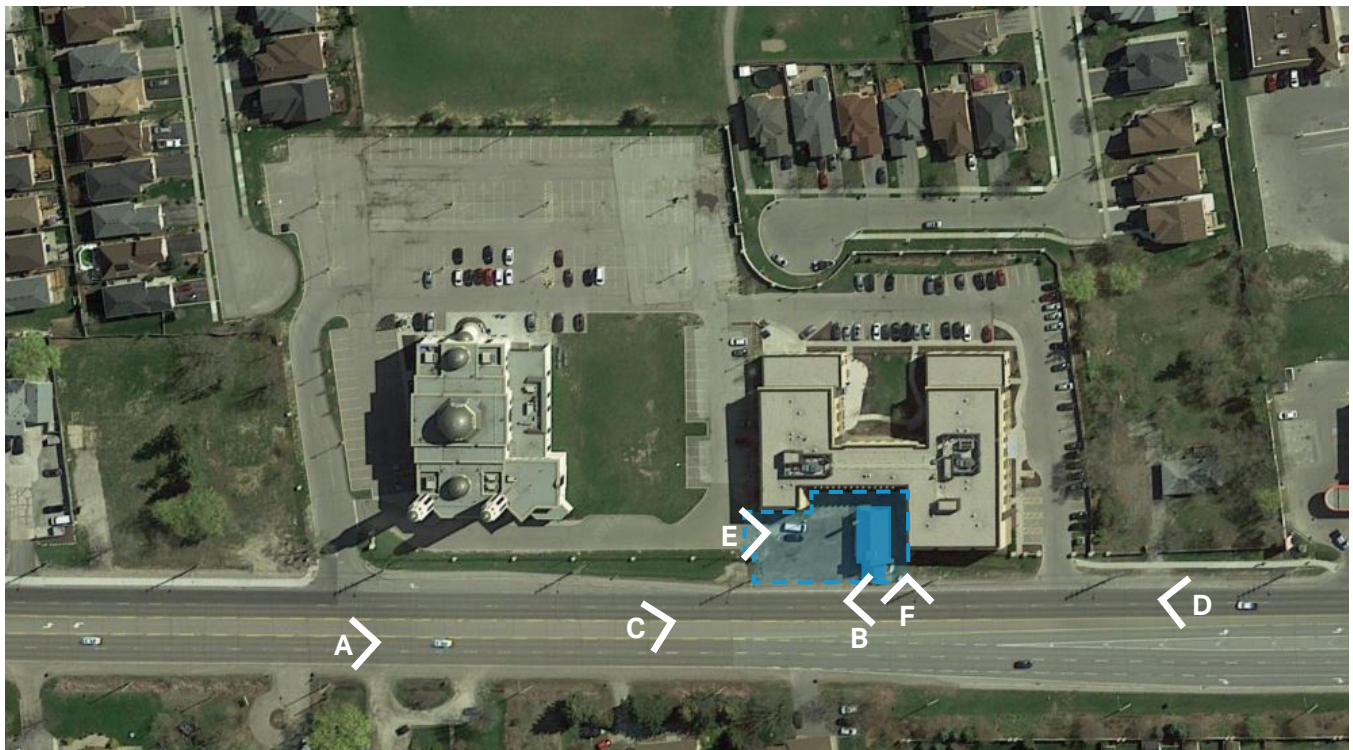


Fig. 1.12. Aerial of site

Google Earth. Annotated by Gaiimo Architects.



Fig. 1.13. View A: From Hurontario Street toward the Church of Archangel Michael & St. Tekla's property



Fig. 1.14. View B: Looking north from the Baptist Church's front stairs



Fig. 1.15. View C: Baptist Church and Snelgrove Place



Fig. 1.16. View D: Snelgrove Place with Baptist Church beyond



Fig. 1.17. View E: From parking lot to Baptist Church



Fig. 1.18. View F: Between Baptist Church and Snelgrove Place

1.4 HERITAGE STATUS

The former Snelgrove Baptist Church is designated under Part IV of the *Ontario Heritage Act*. It was designated by City of Brampton By-Law 30-2018 on February 21, 2018. The Statement of Significance and Heritage Attributes from the By-Law are outlined in Section 4 (Cultural Heritage Value) of this HIA.

1.5 CONTACTS

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Fig. 1.19. Heritage register

Brampton Planning Viewer

2 - SITE HISTORY & DESIGN

2.1 EARLY & INDIGENOUS HISTORY

After the continental glacier receded, Indigenous peoples settled in present-day southwestern Ontario area. The Indigenous peoples who exercised stewardship of this area lived lightly on the land and shifted purposefully around the landscape, harvesting resources as they became available.

The subject property is to the west of *Edoopikaag-ziibi*, the Anishinaabemowin word for the Etobicoke Creek. Indigenous peoples canoed the Etobicoke Creek to travel between Lake Ontario and Georgian Bay. During their journeys, they lived off the “salmon that teemed in the creek waters and on the deer that roamed the ridges.”¹ Archeological sites in the Snelgrove area include isolated findings of tools of Indigenous pre-contact origin.

The withdrawal of the Haudenosaunee in the early 1700s led to the migration of Anishinaabeg peoples, including the Mississauga, to the now-Brampton area.

Indigenous peoples lived by the A Dish with One Spoon concept, a belief that land can be peaceably shared by different inhabitants to the mutual benefit of all. The ‘dish’ represents the shared land and the ‘spoon’ represents the individuals living in cooperation. In entering treaties, Indigenous peoples thought they would be sharing the land, while settlers made them to gain permanent control. This differing view caused misunderstandings on the part of the Indigenous peoples when signing treaties.

The Mississaugas’ traditional economy was weakened by the inflow of settlers into their lands and fisheries. With the Indigenous people impoverished and in population decline, when

the colonial government’s Indian Department approached the Mississaugas in 1818 regarding selling their land, Chief Ajetance signed Treaty 19. The agreement ceded approximately 648,000 acres in exchange for £520.10 annually. The area stretches north of the Head of the Lake Purchase lands, extending into the unceded territory of the Chippewas of Lakes Huron and Simcoe. One of the results is that many members of the Mississaugas relocated to Six Nations of the Grand River in 1847.

2.2 SNELGROVE & THE BAPTIST CHURCH

Undertaken in 1819, the first survey of Chinguacousy Township divided the township into east and west halves by Hurontario Street, with 200-acre concessions running in north-south strips on either side. The subject property is located in a portion of what was the west half of Lot 18 on Concession 1 East of Hurontario Street (EHS). The village was then known as Edmonton.

Drawn by fertile agricultural land, Europeans began to settle around the town in the 1820s and 30s. Hurontario Street, which bisected the surveyed land, was lined crossways with planks and provided easy access to the port at the mouth of the Credit River.²

Edmonton’s Baptist congregation was established soon after the community’s founding. In its early years, the Free Will Baptist congregation was served by traveling ministers. They met in a farmhouse south of the village on the east side of Hurontario Street, and often conducted baptisms in the nearby Etobicoke Creek.³

By 1840, the first Baptist church building

1 (Institute n.d.)

2 (Snelgrove Church Built 25 Years Ago 1929)

3 (White n.d.)

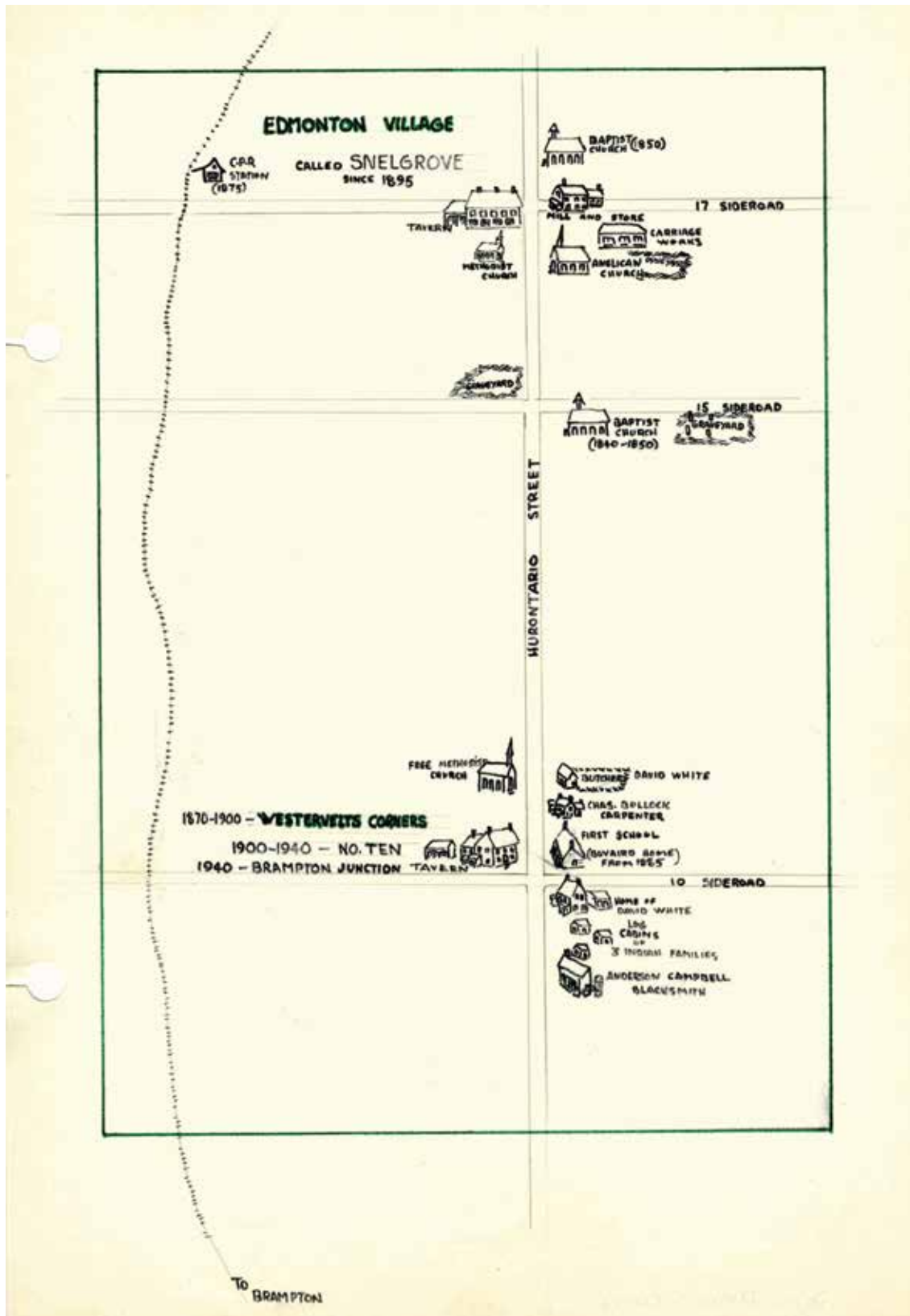


Fig. 2.1. Snelgrove along Hurontario Street
 "Edmonton Village," Womens Institute, Tweedsmuir
 Community History



1909



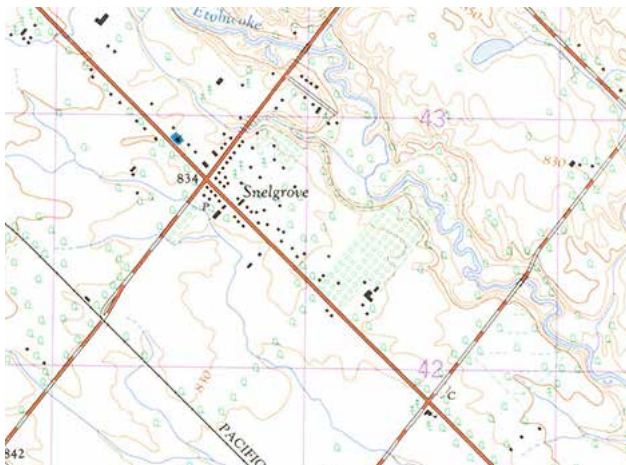
1918



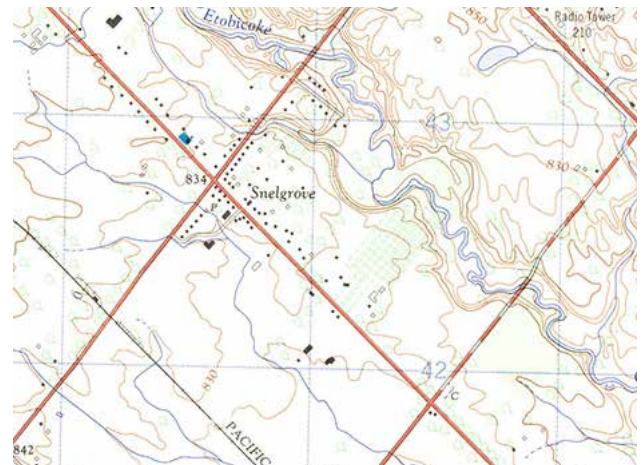
1929



1942



1963



1973

Fig. 2.2. Evolution of Snelgrove, church in blue
 Department of Militia and Defence, *Topographic Map, Ontario, Brampton Sheet*, years as indicated
 Annotated by Giaino Architects



was built on Lot 15 at the southeast corners of 15 Side Road and Hurontario Street on the property of John Watson. It was said to have been "of solid brick construction exceptionally well built, but very small."⁴ The congregation, known as the Christian Brethren Baptist Church, grew with many conversions and baptisms. They also had a "good Sunday school."⁵ By 1861, the Baptist congregation outgrew the building, but the church continued to be used by Wesleyan Methodists. Though that building has since been demolished, the church yard's burial ground is still there marked as the Zion Cemetery (southeast corner of Hurontario Street and Conservation Drive).

In October 1862, the Regular Baptist Church purchased one eighth of an acre of land for a new church from Barthelmeess Snell on Lot 18, Concession 1 EHS, the building's current location. William Learment designed the 30 by 40 foot chapel,⁶ which was built of frame with a rough cast exterior and was almost as large as the present building.⁷

The thriving village attracted the Canadian Pacific Railway (CPR) to run its Toronto to Owen Sound line through the village and establish a station. The coming of the railroad benefited the local farmers, making it easier for them to do business, shipping milk and livestock. In the 1880s, it also brought the change of the town's name as there was confusion between Edmonton, Ontario and the growing Edmonton, Alberta. To end the confusion the CPR proposed that the town's name be changed. There was opposition from the Snell family, the largest landowning family in the area, as they advertised their livestock operation Ayrshire Cattle as being in Edmonton, Ontario. Consequently, the CPR suggested that the station be known as Snelgrove, a name which later gained wider acceptance.

-
- 4 (Snelgrove Church n.d., 2)
 - 5 (Cook 1961, 1)
 - 6 (Caldwell 1862)
 - 7 (Snelgrove Church n.d., 2)



Fig. 2.3. Possible image of the Baptist church at its first location

"Snelgrove First Baptist Church." Cyanotype, c. 1935.
William Perkins Bull fonds, 1993.028, box 125, file 8.
Region of Peel Archives.

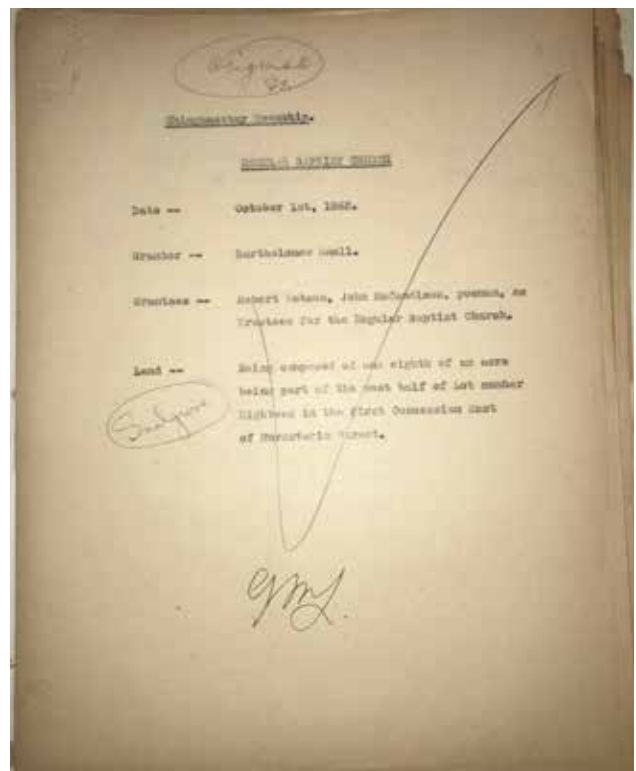


Fig. 2.4. Sale of the church's land from Bartholomew Snell to the Regular Baptist Church.

"Regular Baptist Church," October 1, 1862.
William Perkins Bull fonds, Region of Peel Archives.

2.3 SITE EVOLUTION

By 1904, the frame church used for over forty years was found to be no longer adequate for the congregation's needs. It was decided to build a new brick church in the same location as the frame church. The congregation came together to provide means, in terms of materials and labour, for the building.⁸ On August 23, 1904, a ceremony was held with the MPP of Brampton to celebrate the laying of the corner stone of the new church, the subject building.⁹ The church opened for worship on New Year's Day of 1905.

At the time, the town had "three stores, three blacksmith shops, a tailor, baker, two hotels, one carriage factory and one wagon marker's shop."¹⁰ The congregation had 37 members. Prominent local families who were part of the congregation included the Learments, Snells, Watsons, Lighthearts, Newhouses, Payleys, and Groats.¹¹

The congregation reached its peak in 1914 with 51 members. The numbers declined after that, with members and ministers leaving to serve in World War I. Due to the dwindling congregation and unreliable furnace, which "either smoked people out or froze them out,"¹² the church closed its doors in 1946. The church had been known for its tea meetings, garden parties, and other socials,¹³ so its closing was a loss for the community.

After being closed for a few years, the church reopened for worship and Sunday school in July 1959 with a new pastor. The congregation raised funds for a new oil furnace, which was installed that October. The congregation celebrated its centennial anniversary on the site with a service on June 25, 1961.¹⁴

However, the church closed a few years later.

The rural setting that once surrounded the Snelgrove Baptist Church no longer exists. The City of Brampton has expanded, and the church now sits near its northern edge.

In July 1990, the Baptist Convention of Ontario and Quebec sold the site to the Church of God of Prophecy of Canada. In April 1992, it was sold to the Church of Archangel Michael & St. Tekla, a Coptic Orthodox church, who are the current owners.

In 2009, the Coptic church sold part of their property to Region of Peel, severing the lot into its current configuration.

The Coptic church was completed in 2011.

The Snelgrove Place apartments, owned by the Region of Peel, opened in August 2012. It is a 4-storey, 94-unit affordable housing building for seniors. The apartment building is approximately 3 meters away from the former Snelgrove Baptist Church.



Fig. 2.5. Snelgrove Baptist Church in rural context, 1994.

Brampton Heritage Board, *Heritage Report: Reasons for Heritage Designation, Former Snelgrove Baptist Church*, January 2014, p. 11

8 (Proceedings of the Guelph Association 1905)

9 (Edmonton now Snellgrove Baptist Church n.d., 2)

10 (Snelgrove Church Built 25 Years Ago 1929)

11 (Edmonton now Snellgrove Baptist Church n.d., 2)

12 (Cook 1961, 3)

13 (Cook 1961, 3)

14 (Cook 1961, 4)



1994



2000



2005



2009



2012



2020



Fig. 2.6. Evolution of the site, church in blue
Brampton Orthophotos, City of Brampton, year as indicated
 Annotated by Gaiimo Architects

The proximity of the apartment building to the Baptist church has isolated the heritage resource from its historic context.

In 2020, the City of Brampton requested an encroachment agreement regarding elements of the church within the City's right of way. Authorization to enact such an agreement was permitted by City of Brampton By-Law 193-2020 passed on October 14, 2020. The encroachment agreement followed in February 2021. The encroaching elements, as noted in the by-law, are the front entrance stairs, landing, railing, and roof eaves.

In spring 2021, the Coptic church started constructing a community facility adjacent to their church. It is designed to be a sports, services, and daycare facility.



Fig. 2.7. Rendering of the upcoming St. George Building, the Coptic church's community building

Provided by Church of Archangel Michael & St. Tekla

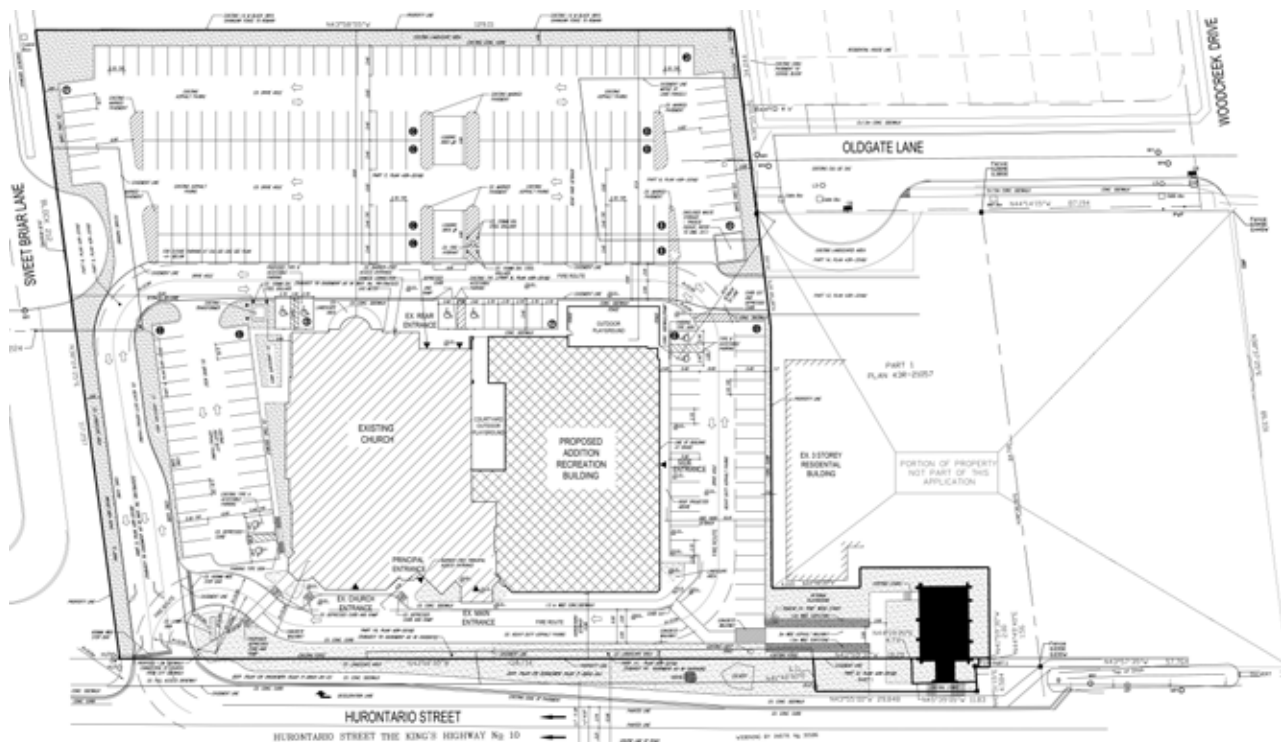


Fig. 2.8. Site plan

Provided by Church of Archangel Michael & St. Tekla

2.4 ARCHITECTURE

Built in 1904, the Snelgrove Baptist Church is a one-and-a-half storey church faces west onto Hurontario Street. It has a rectangular plan with a vestibule at the front. It is built of smooth red brick in common bond and sits on a fieldstone foundation.

It was designed in the typical Ontario vernacular style for religious structures, featuring Gothic Revival influence. Gothic Revival architecture was the most common style for religious buildings in Ontario in the mid- to late 19th century. Common features of the style demonstrated on the subject building include a steeply pitched gable roof, pointed arch door and windows, buttresses, and a quatrefoil window.

The west façade (street facing) has the vestibule in the centre with a quatrefoil window above. The building is accessed via concrete stairs.

The building's north and south façades are divided into four bays, framed by the stepped brick buttresses. Each bay has either one or two pointed arch windows with stone sills, or a door. The northeast area of the building has a brick chimney.

There was originally a wooden bell tower with pillars, balustrade, and frieze. It has since been removed.

To the north of the main entrance is a corner stone that reads 'Baptist Church 1904,' marking the church's construction year.



Fig. 2.9. Front elevation, date unknown.
Brampton Heritage Board, *Heritage Report: Reasons for Heritage Designation, Former Snelgrove Baptist Church*, January 2014, p. 10



Fig. 2.10. Former bell tower, date unknown.
Brampton Heritage Board, *Heritage Report: Reasons for Heritage Designation, Former Snelgrove Baptist Church*, January 2014, p. 10



Fig. 2.11. Snelgrove Baptist Church, 1994.

Brampton Heritage Board, *Heritage Report: Reasons for Heritage Designation, Former Snelgrove Baptist Church*, January 2014, p. 10



Fig. 2.12. Snelgrove Baptist Church, 1994.

Brampton Heritage Board, *Heritage Report: Reasons for Heritage Designation, Former Snelgrove Baptist Church*, January 2014, p. 11

3 - POLICY FRAMEWORK

The following were among the sources reviewed in preparing this HIA:

- *Ontario Heritage Act* (R.S.O. 1990);
- Ontario Regulation 9/06;
- Parks Canada *Standards and Guidelines for the Conservation of Historic Places in Canada* (second edition);
- *Ontario Planning Act*, Section 2(d);
- *Ontario Provincial Policy Statement*, Section 2.6;
- *A Place to Grow: Growth Plan for the Greater Golden Horseshoe* (2019);
- City of Brampton's *Official Plan*, Section 4.10 on Cultural Heritage;
- and City of Brampton *Snelgrove-Heart Lake Secondary Plan* (2020).

3.1 REVIEW OF KEY POLICIES

The following section contains a summary of all relevant in-force and emerging policy and guideline documents that relate to the site.

3.1.1 ONTARIO HERITAGE ACT & ONTARIO REGULATION 9/06

The *Ontario Heritage Act* is the primary legislation for protecting cultural heritage in Ontario. The Act provides several ways for municipalities to help conserve cultural heritage resources, such as the designation of individual properties (Part IV), the designation of heritage conservation districts (Part V), the establishment of a heritage register, and the ability to enter into heritage easement agreements. The subject building is designated under Part IV.

Evaluation for cultural heritage value or interest under the *Ontario Heritage Act* is guided by Ontario Regulation 9/06, which

prescribes the criteria. The criteria and how they relate to the subject property are detailed in Section 4 of this report. If a property meets one or more of its criteria, it may be eligible for designation under Part IV of the *Ontario Heritage Act*. Once a property is placed on the register, a level of heritage due diligence is exercised during planning, building, and demolition permit application processes.

The City of Brampton maintains two heritage registers:

- a register of properties designated under the *Ontario Heritage Act* known as the "Municipal Register of Cultural Heritage Resources Designated under the Ontario Heritage Act"
- and a register of properties that are "listed" as cultural heritage resources and may be considered for designation known as the "Municipal Register of Cultural Heritage Resources."

3.1.2 PARKS CANADA STANDARDS AND GUIDELINES FOR THE CONSERVATION OF HISTORIC PLACES IN CANADA

Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada* ("Standards and Guidelines") provides guidance for decision-making when planning for, intervening on, and using historic places. This benchmark is referenced in Brampton's *Official Plan* and its Terms of Reference for preparing Heritage Impact Assessments.

3.1.3 ONTARIO PLANNING ACT AND PROVINCIAL POLICY STATEMENT (2020)

The *Provincial Policy Statement* (PPS) provides policy direction on matters of provincial interest related to land use planning and development and sets the policy foundation for regulating the development and use of land. Cultural Heritage is included as matters of provincial interest. The *Planning Act* requires that all decisions affecting land use planning matters "shall be consistent with" the PPS. The PPS provides policy direction related to heritage conservation and encourages development that incorporates heritage as part of a diverse, healthy, and livable community.

On May 1, 2020, the updated 2020 PPS came into effect. With respect to cultural heritage, PPS 2020 continues the long-established approach within provincial planning policy to conserve built heritage resources and significant cultural heritage landscapes. The PPS "is intended to be read in its entirety and the relevant policies are to be applied to each situation" (PPS Part III).

Section 2.6 provides direction regarding cultural heritage resources. Policy 2.6.1 states: "Significant built heritage resources and significant cultural heritage landscapes shall be conserved."

Further, Policy 2.6.3 states: "Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved."

The following concepts, as defined in the PPS, are fundamental to an understanding of the conservation of cultural heritage resources in Ontario:

- *Built heritage resources (BHR)* are defined as "a building, structure, monument, installation or any manufactured or constructed part or

remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on property that may be designated under Parts IV or V of the *Ontario Heritage Act*, or that may be included on local, provincial, federal and/or international registers."

- *Conserved* is defined as "the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments."
- *Heritage attributes* means "the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g. significant views or vistas to or from a protected heritage property)."
- *Significant* means "in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the Ontario Heritage Act."

3.1.4 A PLACE TO GROW: GROWTH PLAN FOR THE GREATER GOLDEN HORSESHOE

The Greater Golden Horseshoe (GGH) is one of the North America's fastest growing regions and includes the City of Toronto and 15 surrounding counties. The *Growth Plan for the Greater Golden Horseshoe* ("the *Growth Plan*") offers a framework for implementing the Government of Ontario's vision for building stronger, prosperous communities by better managing growth in the region.

The *Growth Plan* builds upon the policy foundation provided by the PPS and provides additional and more specific land use planning policies to address issues. The *Growth Plan* should be read in conjunction with the PPS, though policies in the *Growth Plan* take precedence.

The subject property is located on the edge of the "built-up area" near the "urban growth centre" of Downtown Brampton.

Section 4.2.7 of the *Growth Plan* addresses cultural heritage, and states that "Cultural heritage resources will be conserved in order to foster a sense of place and benefit communities, particularly in strategic growth areas."

3.1.5 CITY OF BRAMPTON'S OFFICIAL PLAN

Brampton's current Official Plan was adopted by City Council in October 2006 and approved by the Ontario Municipal Board (OMB) in October 2008. The updated September 2020 Office Consolidation includes OMB decisions and LPAT decisions.

Section 4.10 contains policies relating to cultural heritage and often refers to the *Ontario Heritage Act*. It acknowledges that "preservation of heritage resources provides a vital link with the past and a foundation for planning the future." The cultural heritage resource policies' objectives are to conserve the cultural heritage

resources; preserve, restore, and rehabilitate structures deemed to have significance; and promote public awareness of Brampton's heritage.

Policy 4.10.1.8 states, "Heritage resources will be protected and conserved in accordance with the *Standards and Guidelines for the Conservation of Historic Places in Canada*, the Appleton Charter for the Protection and Enhancement of the Built Environment and other recognized heritage protocols and standards. Protection, maintenance and stabilization of existing cultural heritage attributes and features over removal or replacement will be adopted as the core principles for all conservation projects."

Policy 4.10.1.10 states, "A Heritage Impact Assessment, prepared by qualified heritage conservation professional, shall be required for any proposed alteration, construction, or development involving or adjacent to a designated heritage resource to demonstrate that the heritage property and its heritage attributes are not adversely affected. Mitigation measures and/or alternative development approaches shall be required as part of the approval conditions to ameliorate any potential adverse impacts that may be caused to the designated heritage resources and their heritage attributes." Further policies related to Heritage Impact Assessments follow in 4.10.1.11 through 4.10.1.13.

3.1.6 CITY OF BRAMPTON SNELGROVE-HEART LAKE SECONDARY PLAN

While the *Official Plan* provides policy for Brampton as a whole, the secondary plans represent detailed plans for specific areas of the City. The subject property sits within Snelgrove-Heart Lake (Area 1). The plan allows for a variety of residential, employment, and commercial uses. This secondary plan does not have specific mention on cultural heritage. There are several "special site areas" within this area, however, the subject property is not in one of them.

4 - CULTURAL HERITAGE VALUE

The former Snelgrove Baptist Church is designated under Part IV of the *Ontario Heritage Act*. It was designated by City of Brampton By-Law 30-2018 on February 21, 2018. The following Statement of Significance and Heritage Attributes are from the designation by-law. The evaluation per Ontario Regulation 9/06 was completed by Gaiimo Architects.

According to the owner, archaeological and geological reporting was completed for the subject site during an earlier site plan approval phase, but the reports could not be located at this time.

4.1 STATEMENT OF SIGNIFICANCE

Design/Physical Value: The building at 12061 Hurontario Street, known originally as the Snelgrove Baptist Church, was built in 1904 on the site of an earlier frame church. The one and-a-half storey building is of rectangular plan, faced in red brick in common bond, and on a fieldstone foundation. Designed in the typical Ontario vernacular style for religious structures, the church also features Gothic Revival architectural influence. Gothic Revival architecture was very popular in Ontario, and was the most common style for religious buildings in the mid- to late 19th century. Common features of the style exhibited on the former Baptist church include a steeply pitched gable roof, pointed arch door and windows, buttresses, and quatrefoil window. The building also has a charming squat wooden bell tower with pillars, balustrade and frieze. To the north of the main entrance is a corner stone stating "Baptist Church 1904" marking the date that construction began on the church.

Historical/Associative Value: The Snelgrove Baptist Church is associated with the Village of Snelgrove, which grew from the intersection of Hurontario Street (Hwy 10) and Mayfield Road.

The history of the settlement in the Snelgrove area dates back to 1826 when Andrew Ranzire came to live there following the completion of the survey for the north half of Toronto Township and all of Chinguacousy Township in 1819. Hurontario Street, which bisected the new survey, was soon lined with planks and provided easy access for settlers to the port at the mouth of the Credit River. Snelgrove was then known as Edmonton after an early settler's hometown, and became a small commercial center in the 1820s and 1830s. The name change was the result of growing confusion between Edmonton, Alberta.

By 1840, the first Baptist Church building was built on the southeast corners of Fifteen Side Road and Hurontario Street on the property of John Watson. It was said to have been an "exceptionally built" brick church. Soon after the building of the church, a "good Sunday school" was organized. In the following years, the church prospered and many conversions and baptisms took place. By 1861, the church had outgrown its original building and land for a new church was purchased to the north of the village from Barthelme Snell. This church was described as a "fine structure" built of frame with a roughcast exterior and was almost as large as the present building.

Although the congregation was housed in the frame church built in 1861, the first church continued to be occupied for several years as it house meetings of Wesleyan Methodists and a separate Baptist congregation formed in 1861 as a result of a schism in the church over views towards communion. Eventually, because of further reorganization of the Baptist community, the first church was abandoned and demolished. The site of the former churchyard is marked by the Zion Cemetery, a pioneer cemetery that continues to reflect the history of the first church in its location on the southeast corner of Hurontario Street and Conservation Drive.

By 1904, the frame church used for over forty years was found to be no longer adequate

for the needs of the congregation. As a result, it was decided that a new brick church would be built on the site of the frame church. According to the proceedings of the Guelph District Baptist Association in 1905, "[g]reat liberty was shown by the people in providing the means for the building" in terms of time, labour, and donations. On August 23, 1904, a ceremony was held to celebrate the laying of the corner stone of the new church by Mr. John Smith, M.P.P. for Brampton. On January 1, 1905, the present brick church was opened for worship. The opening services were in charge of J. O'Neil of Paisley (Caledon East), and the congregation at this time included 37 members. Throughout its history, a number of long established local families, including the Snells, Watsons, Lighthearts, Newhouses, Pawleys, Groats, Earneys, and Bridies, attended the church.

The congregation reached its peak in 1914 with 51 members. The number declined steadily after that, as many people left to serve in the First World War. In 1946, the Snelgrove Baptist Church was forced to close its doors. The church reopened on July 11, 1959, only to close a few years later.

Contextual Value: The former Snelgrove Baptist Church also holds contextual value as a landmark building along Hurontario Street. The building is a reminder of the former village, and the valuable contribution of the Baptist church congregation to the village of Snelgrove of Chinguacousy Township. The property forms part of an important historical grouping, together with several scattered residential building of the village.

4.2 HERITAGE ATTRIBUTES

The heritage attributes comprise all facades, architectural detailing, construction materials and associated building techniques, as well as significant landscape elements and important vistas. The detailed heritage attributes/character defining elements include, but are not limited to:

- Ontario Vernacular architecture with

Gothic Revival influence

- Red masonry construction in the common bond
- Fieldstone foundation
- Cornerstone with the inscription "Baptist Church 1904"
- Pointed arch window openings
- Pointed arch main entrance door
- Stone sills
- Wood soffit
- Exposed roof supports
- Heavy-stepped brick buttresses
- Quatrefoil window above main entrance
- Brick chimney with ornamentation
- Association with the village of Snelgrove (formerly Edmonton)
- Associated with the Baptist congregation of Snelgrove
- Landmark status along Hurontario Street

4.3 ONTARIO REGULATION 9/06 EVALUATION

The following evaluation applies *Ontario Heritage Act* Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest to the subject building. The evaluation provides a 'yes' or 'no' response to each criterion. In both instances, a rationale is provided. According to Subsection 1 (2) of O. Reg. 9/06, Criteria for Determining Cultural Heritage Value or Interest (CHVI), a property may be designated under Section 29 of the *Ontario Heritage Act* if it meets one or more of the below criteria.

This evaluation is provided for information purposes only and represents the professional opinion of Gaiimo Architects. An assessment by another party, including the City of Brampton heritage staff, could produce a different result in one or more of the criteria.

While the design of the subject building

isn't remarkable, it is representative of Ontario vernacular architecture for religious buildings. The building also has historic value in that it is the last standing building associated with a former village and has the potential to contribute to an understanding of Brampton's history and evolution.

Criteria	Assessment (Yes/No)	Rationale
1. Design or Physical Value		
i. is a rare, unique, representative or early example of a style, type, expression, material or construction method	yes	The building is a representative example of Ontario religious structures in the mid- to late 19th century. The Ontario vernacular style with Gothic Revival influence is seen in the steeply pitched gable roof, pointed arch openings, buttresses, and quatrefoil window.
ii. displays a high degree of craftsmanship or artistic merit	no	The building does not display a high degree of craftsmanship or artistic merit.
iii. demonstrates a high degree of technical or scientific achievement	no	The brick building does not display any technical or scientific achievement.
2. Historical or Associative Value		
i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community	no	The building was associated with the Baptist community in Snelgrove, however that faith community stopped using the building in the 1960s. The building does not currently hold significance to the community that established it.
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture	yes	As the last remaining building of the former village of Snelgrove, the building has the potential to contribute to an understanding of Brampton's history and evolution.
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	no	The building does not demonstrate or reflect the work or ideas of an architect, artist, builder, designer or theorist who is significant to the community.
3. Contextual Value		
i. is important in defining, maintaining or supporting the character of an area	no	The building's original rural context is no longer present and the former village is no longer recognizable. The property is not considered to be important in defining, maintaining, or supporting the current area's character.
ii. is physically, functionally, visually or historically linked to its surroundings	no	The building is flanked by a multi-lane regional road and abutted by a contemporary building. It is not linked to its surroundings.
iii. is a landmark. O. Reg. 9/06, s. 1 (2)	no	Though the heritage designation by-law identifies the "landmark status along Hurontario Street" as a heritage attribute, this attribute has been diminished by the proximity of the abutting multi-storey building.

5 - ASSESSMENT OF EXISTING CONDITION

5.1 LIMITATIONS & EXTENT

The material in this report reflects the opinion of Giaimo Architects Inc. ("Giaimo") at the time of the site visit. The descriptions and observations are solely based on physical evidence reviewed during the site visits. In addition, invasive, physical or destructive testing on or off site was not undertaken prior to developing this assessment.

The observations included in this assessment may change following receipt of supplementary information, further reviews, and any additional coordination with stakeholders and consultants involved in this project. The mandate was specifically targeted to review visible elements of the building. The following aspects are excluded:

- Detailed survey;
- Reviewing and summarizing of past reports and studies;
- Review of existing building conditions in concealed or inaccessible areas;
- Roof membranes;
- Investigations or exploratory work;
- Laboratory analysis of building components;
- Study on the types and conditions of the building structure;
- Study on the types and conditions of mechanical and electrical systems;
- Building Code and/or regulation compliance analysis;
- Hazardous materials review and/or characterization, or analysis of air quality or potential contamination (asbestos, molds, etc.); and
- Review of any components that are not specifically identified as being included in the mandate.

5.2 METHODOLOGY

This assessment is based on a February 02, 2022 site visit to review and evaluate the building condition. The observations are high level, and based on a visual review of the building; no intrusive investigation was undertaken. The exterior review was conducted from grade and the public sidewalk. The roof was viewed only from grade. The interior review was visual and conducted in accessible spaces only.

Our observations are based on physical conditions that were visually accessible from grade and interior accessible areas. Some existing conditions might not have been observed.

A visual review was completed and included the exterior masonry, doors, windows, and visible components of the roof, as well as the interior of the building.

The building components were graded using the following assessment system;

- Good: The assembly or component is mainly intact and is at minor risk of damage or deterioration due to normal service conditions (e.g. environment, loading) in the short term (1 to 5 years)
- Fair: The assembly or component is compromised and is at risk of damage or deterioration due to normal service conditions (e.g. environment, loading) in the short term (1 to 5 years)
- Poor: The assembly or component is lost or at considerable risk of loss due to normal service conditions (e.g. environment, loading) in the short term (1 to 5 years)

5.3 BUILDING ASSESSMENT

5.3.1 EXTERIOR

The subject building located at 12061 Hurontario Street, originally known as the Snelgrove Baptist Church, a one and a half storey building, was constructed in 1904. It is a masonry building constructed in the Ontario vernacular style, featuring Gothic Revival architectural elements typical of mid to late 19th century religious buildings in Ontario.

The exterior of the building features red brick in the common bond, fieldstone foundations, stepped brick buttresses, stone sills, pointed arch windows and doors, and other wood elements. The multi-wythe exterior masonry walls are load bearing, supported by thirteen buttresses on the south and north sides of the building. The squat wooden bell tower has been partially removed.

At the time of the review, the exterior masonry appeared to be generally in fair condition, with localized areas of significant deterioration. Mortar joints are generally deteriorated, open or repaired with incompatible mortar.

Foundation walls are generally in fair condition, with localized areas in poor condition, there are visible openings in localized areas that are likely allowing water ingress and contributing to the ongoing deterioration of the masonry in these areas. Previous incompatible repairs are visible throughout the foundation walls.

The brick is generally in fair condition, with localized areas in poor condition. Areas around the front entrance of the building and the front buttresses are significantly deteriorated. The lower portion of the front façade is in poor condition, majority of the brick is damaged, loose, and heavily spalled. The front buttresses are partially collapsed. It is assumed that the proximity to Hurontario street, a five-lane high traffic road, is contributing to the deterioration of these areas. It also appears that due to failed

drainage systems, localized areas at the inside corners between the buttresses and the main walls are significantly deteriorated.

The original wood window frames are in fair condition, the windows have been replaced with incompatible aluminum or vinyl windows. The main entrance door appears to be original and in good condition. The side entrance door has been replaced and in fair condition.

Exposed wood roof supports and wood soffit are in fair to poor condition.

Contributing factors to the building's deterioration includes its proximity to Hurontario Street, poor drainage, and general lack of maintenance.



Fig. 5.1. Cornerstone in fair condition with minor chipping around the edges.

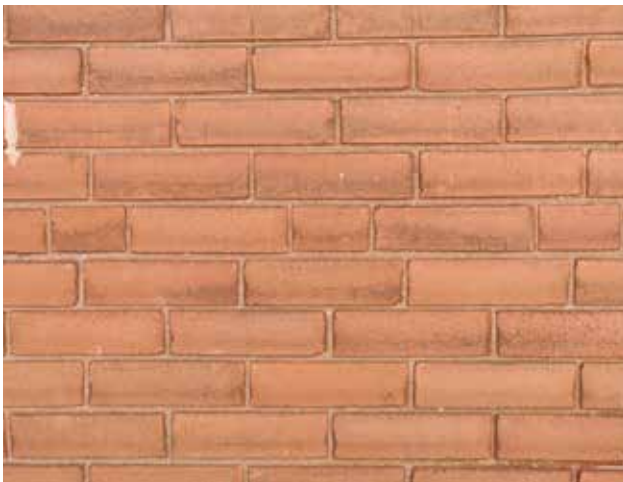


Fig. 5.2. Sample of brick in good condition in areas with less exposure to the elements. (mainly back facade)



Fig. 5.3. General condition of brick throughout, displaying signs of deterioration, structural cracks, open joints and incompatible repairs.



Fig. 5.4. Foundation walls at basement window: incompatible repairs and spalling.



Fig. 5.5. General condition of foundation walls: open joints and incompatible repairs.



Fig. 5.6. Foundation walls interior face visible in the basement.



Fig. 5.7. Incompatible repairs of foundation walls and open joints.



Fig. 5.10. Significant deterioration at buttresses due to water ingress.



Fig. 5.8. General condition of foundation walls around basement windows.



Fig. 5.11. Close-up of inside corner at buttresses: damaged masonry due to water ingress.



Fig. 5.9. General condition of masonry condition at inside corners. Deteriorated mortar, structural cracks, and incompatible repairs.



Fig. 5.12. General condition at inside corners: open joints, deteriorated mortar, incompatible repairs.



Fig. 5.13. Severe deterioration of masonry at lower portion of front entrance wall.



Fig. 5.14. Front buttress partially collapsed.



Fig. 5.15. Typical condition at window openings: structural cracks and incompatible repairs.



Fig. 5.16. Typical condition at window openings: structural cracks and incompatible repairs.



Fig. 5.17. Original wood window frames in fair to poor condition. Windows have been replaced.



Fig. 5.18. Side entrance door appears to be replaced and in fair condition.



Fig. 5.19. Wood soffits and roof brackets in fair to poor condition.



Fig. 5.22. Stone sills are generally in fair condition.



Fig. 5.20. Wood soffits and roof brackets in fair to poor condition.



Fig. 5.21. Windows have been replaced throughout.

5.3.2 INTERIOR

The interior of the main level is composed of non-load bearing partition walls, wood framed floors, and a combination of wood paneling and plaster. The interior wood elements are in good condition. There are visible cracks on the plaster in localized areas. The attic was not reviewed.



Fig. 5.23. Main floor interior, wood paneling and ceiling are in good condition. Floors are covered in carpet.



Fig. 5.24. Wood ceiling appears to be in good condition.



Fig. 5.25. Main entrance door appears to be original, displaying Gothic-Revival style influences.



Fig. 5.26. Basement is fully finished and furnished.



Fig. 5.27. Finished kitchen in the basement.

6 - PROPOSED CONSERVATION & MITIGATION STRATEGIES

The proposed strategy is the ruinification and symbolic conservation of the Snelgrove Baptist Church heritage building, as proposed by Giaimo Architects. According to Brampton's HIA Terms of Reference, "ruinification allows for only the exterior of a structure to be maintained on a site." The building will be decommissioned and allowed to decay naturally, letting it stand as a monument.

This proposal takes into consideration that the subject building is underutilized and that the exterior condition is deteriorating. There is also an existing easement agreement with the City, and potential for the widening of Hurontario Street (as indicated by the owner). This widening may impact the heritage building's west façade. The building has already been isolated from its historic context and is not longer viewed prominently from the street.

The purpose of the proposed strategy is to retain the building in-situ. The impacts of this intervention will be assessed in Section 7. Past considerations that have been explored previously by other parties will be briefly discussed in Section 8.

The proposed ruinification strategy involves:

- stabilization work;
- removing select interior finishes;
- disconnecting services, eg. water;
- removing the front vestibule, salvaging the bricks for on-site reuse, and salvaging the primary door;
- removing the window frames and glazing;
- a blind window approach where openings can be potentially infilled;
- initially retaining the roof but eventually removing or replacing it, the basement could potentially be filled, and alternate drainage provided if it were removed.

The approach for the retention or removal of the roof requires further review. The strategy should

be addressed in the Conservation Plan.

To complement this approach, the following is recommended:

- a Conservation Plan related to the ruinification approach to address issues such as stabilization and adjacent landscaping;
- heritage permit and documentation as required by the City of Brampton;
- thorough documentation of the existing condition prior to any work;
- commemoration plan, which at a minimum would include a heritage interpretative plaque;
- an exterior lighting plan;
- periodic site review of roof and;
- periodic site review of structure by a heritage-specialized structural engineer.

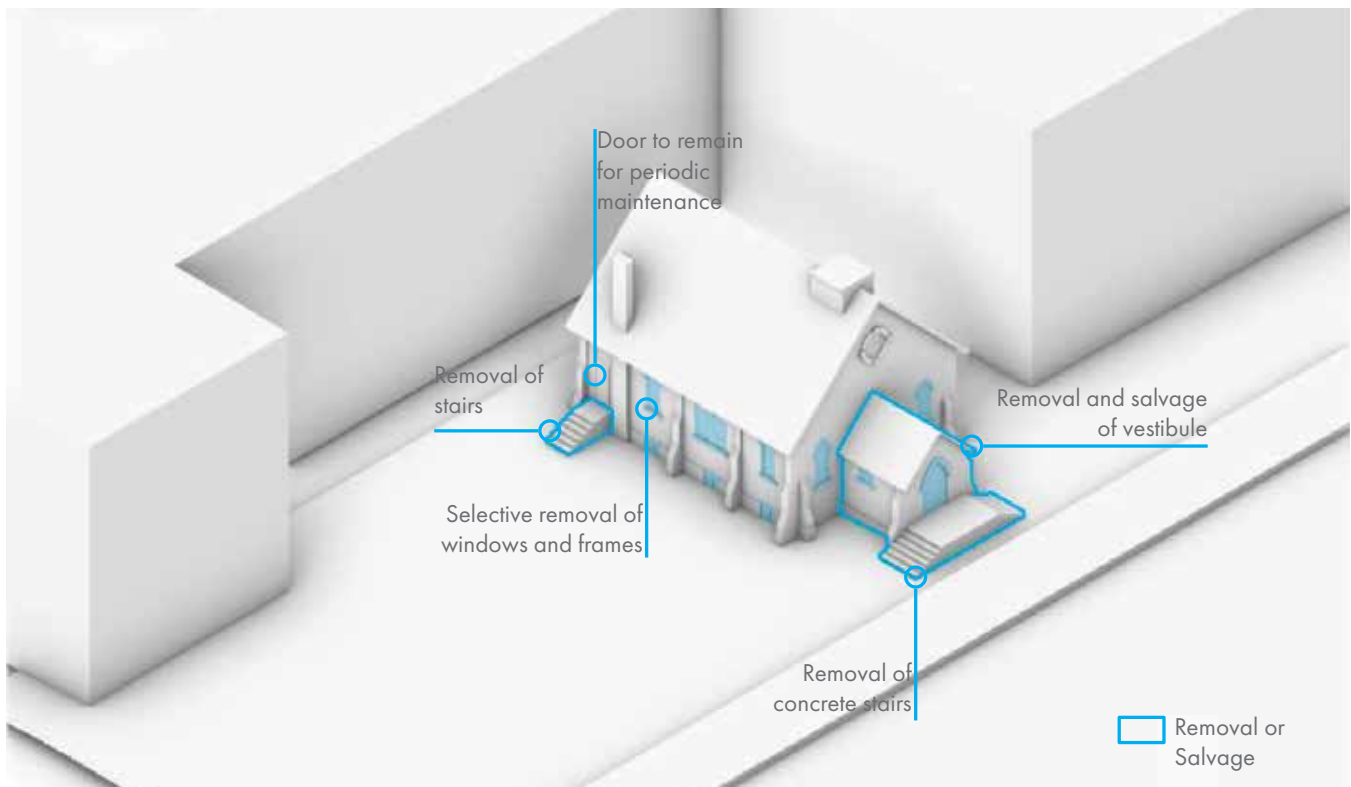


Fig. 6.1. Proposed design - removals & salvage

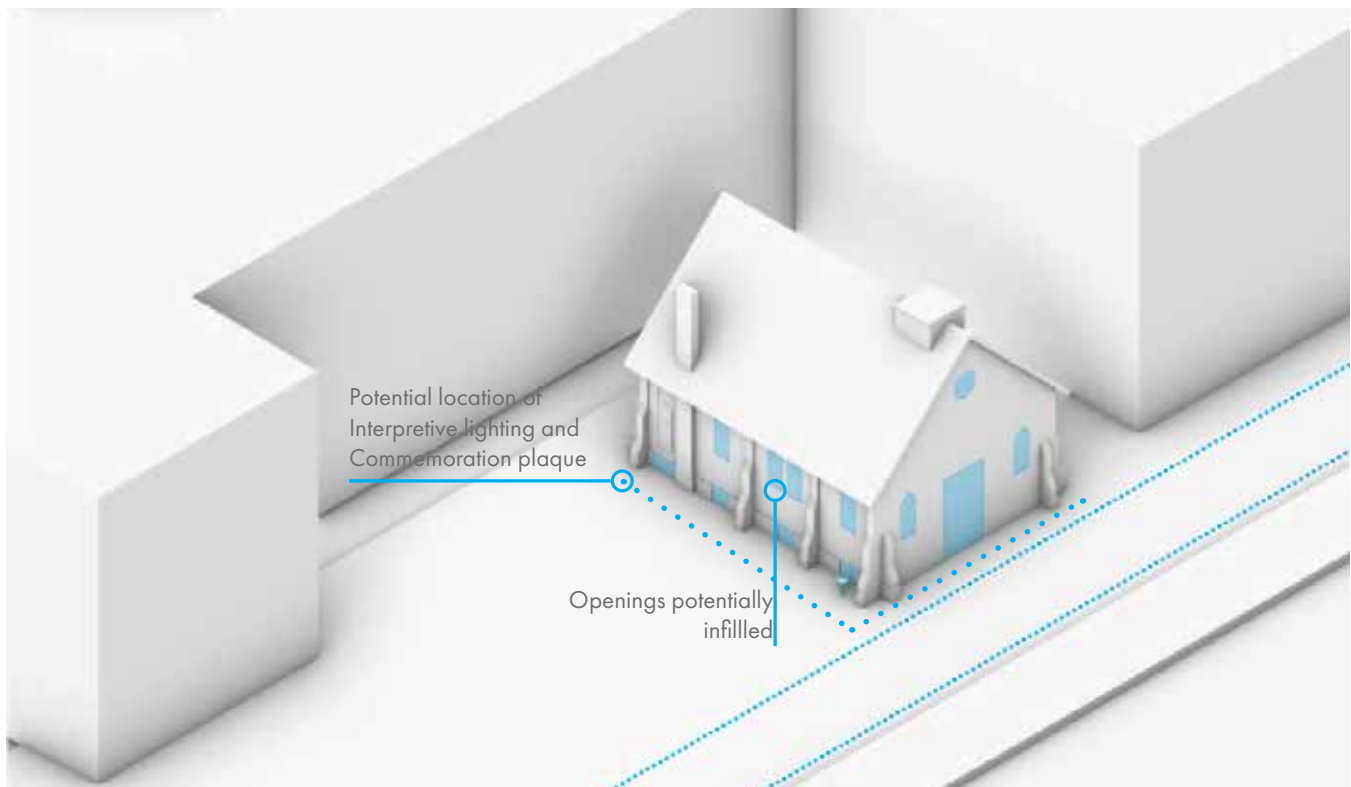


Fig. 6.2. Proposed design - intervention

7 - ASSESSMENT OF IMPACT

The following is the impact of the proposed intervention discussed in Section 6. This table identifies and assesses possible effects of the proposal on the Snelgrove Baptist Church's heritage attributes:

Heritage Attributes	Impact
Ontario Vernacular architecture with Gothic Revival influence	Adverse: N/A Positive: The overall architecture of the building will be conserved.
red masonry construction in the common bond	Adverse: The brick vestibule is to be removed. Positive: The three original walls (north, east, south) are to be preserved. The salvaged brick from the vestibule will be reused on-site.
fieldstone foundation	Adverse: N/A Positive: The fieldstone foundation will be conserved.
cornerstone with the inscription "Baptist Church 1904"	Adverse: N/A Positive: The inscribed cornerstone will be conserved. The removal of the vestibule will make it more visible.
pointed arch window openings	Adverse: The windows will be filled with salvaged brick. Positive: All the arched openings will remain in their current locations, and it will be possible to interpret their original shape.
pointed arch main entrance door	Adverse: The door will be removed when the vestibule is removed. Positive: N/A
stone sills	Adverse: The stone sills at the two vestibule windows will be removed. Positive: The stone sills under the main building's openings will be conserved.
wood soffit	Adverse: As part of the ruinification, the roof will no longer be maintained and the wood soffit will deteriorate. Positive: The wood soffit will remain.

exposed roof supports	Adverse: Since the interior will no longer be accessible, the exposed supports will no longer be visible. Positive: The roof supports will remain.
heavy-stepped brick buttresses	Adverse: The lower portions of the buttresses at the southeast corner are in poor condition, and will not be repaired. Positive: The buttresses will be conserved.
quatrefoil window above main entrance	Adverse: N/A Positive: While not above an entrance, the window will remain.
brick chimney with ornamentation	Adverse: N/A Positive: The chimney will be conserved.
association with the village of Snelgrove (formerly Edmonton)	Adverse: N/A Positive: A forthcoming Commemoration Plan can address the historic association.
associated with the Baptist congregation of Snelgrove	Adverse: The building will no longer be occupiable, and will not be able to be used by a faith community as intended. Positive: A forthcoming Commemoration Plan can address the historic association.
landmark status along Hurontario Street	The construction of the abutting multi-storey apartment building in the early 2010's diminished the building's landmark status.

Given the importance of the subject structure as the last remaining building of the historic village of Snelgrove, upon completion of the ruinification and commemoration work, the designation status through the *Ontario Heritage Act* will remain.

8 - PAST CONSIDERATIONS

Based on discussions with the Church of Archangel Michael & St. Tekla and City of Brampton heritage staff, this section briefly describes several options that have been explored in the past for the conservation of the heritage building. These past considerations are included in this report for the purpose of providing background only, Giaimo Architects was not involved in preparing or assessing these proposals.

8.1 PRESERVATION

Based on discussions with the Church of Archangel Michael & St. Tekla, since the construction of the Coptic Church building at the north, the Baptist Church building has not been used by the congregation. Since the owner no longer needs the Baptist church building, it has been leased to smaller congregations as a weekly place of worship for only a nominal rent.

As part of the initial 2009 Site Plan Agreement with the City of Brampton, the Church of Archangel Michael & St. Tekla was to complete a conservation proposal for the Snelgrove Baptist Church. In 2017, that commitment was renewed in the subsequent site plan approval for the upcoming community center addition.

The church retained Strickland Mateljan Design + Architecture, who prepared "Heritage Conservation Management Plan – Snelgrove Baptist Church, Brampton ON" dated August 15, 2018. The conservation proposal recommended conservation and stabilization work on the exterior along with an extensive renovation on the interior. Work that the proposal called for included:

- repair and partial replacement of the existing brickwork,
- replacement of the existing windows, repair and replacement of the existing wood fascia and soffits,
- replacement of the existing eavestroughs

and downspouts,

- reconstruction of the steeple, and
- reconstruction of the existing front steps.

As the Coptic church community grew, they built a large worship space accordingly. According to the owner, the small Baptist church

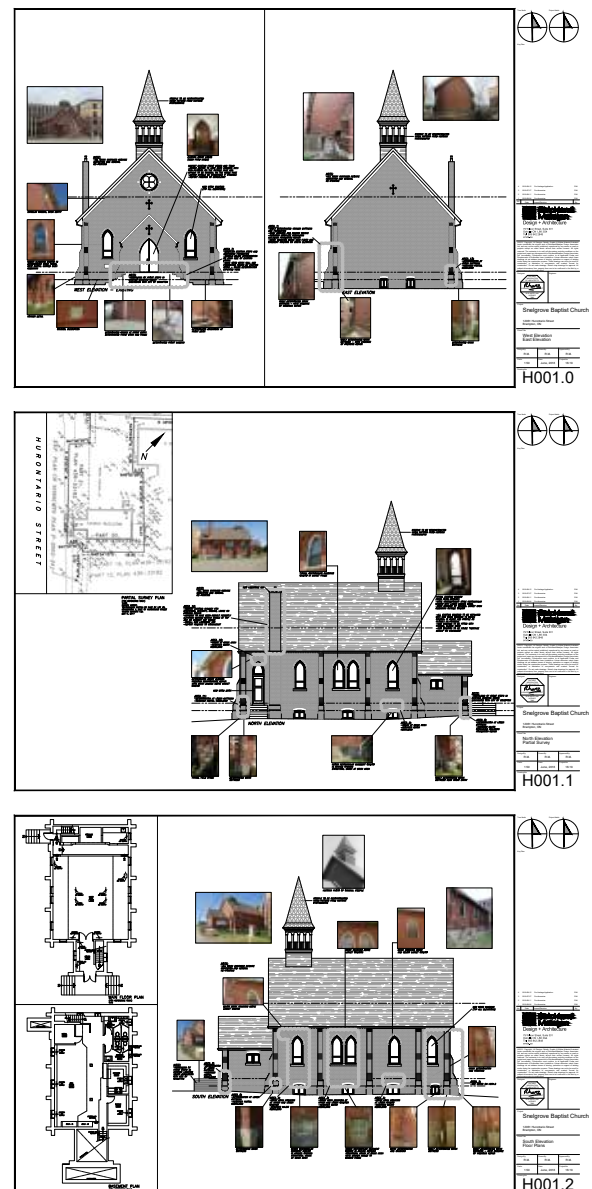


Fig. 8.1. Conservation proposal drawings of restoration not pursued

Strickland Mateljan Design + Architecture

space became unusable for the congregation's purposes. As a result, the full restoration scope was not feasible.

Another potential option explored was to further sever the lot and sell the Baptist church building and adjacent area of land. The Baptist church building is currently serviced via the Coptic church's lot, so a new independent service connection would need to be provided if the lot were severed. It appears that servicing along this section of Hurontario Street is a challenge, and services would need to come from the nearby neighbourhood, requiring an easement agreement. If to remain a church, the small Baptist church building would attract a small congregation. The cost of independent servicing would be carried onto them. This could be cost prohibitive for a small faith community.

8.2 REHABILITATION

Based on discussions with the owner, in 2020, partial restoration and adaptive reuse were explored by the City in connection with Raising the Roof's (RTR) Reside program, a charity initiative that aims to reduce homelessness by repurposing underutilized buildings. RTR has used designated heritage buildings in the past and identified the Baptist church as a potential housing setting. However, per e-mail correspondence, it was not in their mandate or budget to assume the full exterior restoration. RTR also requested that the church and adjacent gravel parking lot be severed and made available for sale to them, and that the restoration scope be scaled back. This did not result in a firm outcome.

Based on discussions with City of Brampton heritage staff, in mid-2021, the City has approached the Region of Peel about incorporating the subject building with the Region's adjacent apartment building. City staff prepared a presentation titled "Integration of Snelgrove Baptist Church with the Region's building: Exploring potential options" to attempt



Fig. 8.2. Concept for integrating buildings for adaptive reuse options not pursued
City of Brampton

to find a conservation solution for the church." The general intent was to restore and reprogram the building, integrating the church building with the Region's seniors' apartment building. Potential options presented included converting it into a daycare, drop-in centre for seniors, community hall, learning centre, arts & culture hub, or affordable housing. However, the Region was not able to take it on at that point in time.

8.3 RELOCATION

Based on discussions with the Church of Archangel Michael & St. Tekla, an option to relocate the heritage building to Caledon was previously explored. However, it was determined by the potential buyer at the time that relocation was not viable.

9 - CONCLUSION

This report finds that the proposed conservation strategy described in Section 6 conserves the cultural heritage value of the Snelgrove Baptist Church while allowing for the continued use of the site. While ruinification is not often an ideal conservation approach, it was previously determined that more conventional approaches of conservation, rehabilitation, and relocation as described in Section 8 were not feasible for this heritage property.

The proposed ruinification strategy represents minimal adverse impact on the Snelgrove Baptist Church heritage resource, conserving its cultural heritage value. While select components of the building will be removed, most of its heritage attributes and character-defining attributes will be preserved. Upon completion of the ruinification and commemoration work, the designation status through the *Ontario Heritage Act* will remain.

Mitigation and conservation are integrated into the concept, and it is recommended that interpretation, stabilization, and commemoration be further developed through a Conservation Plan and Heritage Interpretation Plan.

10 - SOURCES

Brampton Heritage Board, *Heritage Report: Reasons for Heritage Designation, Former Snelgrove Baptist Church*, January 2014.

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Department of Militia and Defence, *Topographic Map, Ontario, Brampton Sheet*. 1909, 1918, 1929, 1942, 1963, 1973.

"Edmonton now Snelgrove Baptist Church." *William Perkins Bull fonds*. Region of Peel Archives.

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"Snelgrove Church Built 25 Years Ago." *The Conservator*. Region of Peel Archives, Aug 15. 1929.

White, Sam. "Pioneer Days of Snelgrove." *William Perkins Bull fonds*. Region of Peel Archives.

Womens Institute. *Tweedsmuir Community History*.

APPENDICES

A - HERITAGE DESIGNATION BY-LAW



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 30 - 2018

To designate the property at
12061 Hurontario Street as
being of cultural heritage value
or interest.

WHEREAS Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, Chapter O. 18, as amended, ("*Ontario Heritage Act*") authorizes the Council of a municipality to enact by-laws to designate real property, including all the buildings and structures thereon, to be of cultural heritage value or interest, if the property meets the Act's prescribed criteria;

AND WHEREAS Council has consulted with the Brampton Heritage Board regarding designation of the property as described in this by-law;

AND WHEREAS a Notice of Intention to Designate has been published and served in accordance with the *Act*;

AND WHEREAS the Notice of Objection filed by the property owner has been withdrawn;

NOW THEREFORE the Council of The Corporation of the City of Brampton ENACTS as follows:

1. The property at 12061 Hurontario Street, more particularly described in Schedule "A", is hereby designated as being of cultural heritage value or interest pursuant to Part IV of the *Ontario Heritage Act*.
2. City Council shall cause a copy of this by-law to be registered against the property described in Schedule "A" to this by-law in the proper Land Registry Office.
3. The City Clerk shall cause a copy of this by-law to be served upon the owners of the property at 12061 Hurontario Street and upon the Ontario Heritage Trust, and cause notice of this by-law to be published on the City's website in accordance with Council's Procedure By-law.
4. The short statement of the reason for the designation of the property, including a description of the heritage attributes are set out in Schedule "B" to this by-law.

By-law Number 30 - 2018

ENACTED and PASSED this 21st day of February, 2018.

Approved as to
form.

2018/01/25

[N. Kotecha]

Approved as to
content.

2018/Jan/25

[David Waters]



Linda Jeffrey, Mayor



Peter Fay, City Clerk

SCHEDULE "A" TO BY-LAW 30-2018

LEGAL DESCRIPTION

PT LT 18 CON 1 EHS (CHING) DESIGNATED AS PARTS 1, 2, 3, 7, 8, 10, 11, 20
& 21 PL 43R33182; CITY OF BRAMPTON

PIN: 14235-2146 (LT)

SCHEDULE "B" TO BY-LAW 30-2018

DESCRIPTION OF PROPERTY:

The property at 12061 Hurontario Street (former Snelgrove Baptist Church) is located on the east side of Hurontario Street north of Mayfield Road. The former church is on the same property that contains the Snelgrove Apartments, a four-storey apartment that caters to seniors and persons with special needs. Snelgrove Apartments is located next door to the newly built Coptic Orthodox Church of Archangel Michael & St. Tekla.

SHORT STATEMENT OF THE REASON FOR THE DESIGNATION OF 12061 HURONTARIO STREET:

Design/Physical Value

The building at 12061 Hurontario Street, known originally as the Snelgrove Baptist Church, was built in 1904 on the site of an earlier frame church. The one-and-a-half storey building is of rectangular plan, faced in red brick in common bond, and on a fieldstone foundation. Designed in the typical Ontario vernacular style for religious structures, the church also features Gothic Revival architectural influence. Gothic Revival architecture was very popular in Ontario, and was the most common style for religious buildings in the mid- to late 19th century. Common features of the style exhibited on the former Baptist church include a steeply pitched gable roof, pointed arch door and windows, buttresses, and quatrefoil window. The building also has a charming squat wooden bell tower with pillars, balustrade and frieze. To the north of the main entrance is a corner stone stating "Baptist Church 1904" marking the date that construction began on the church.

Historical/Associative Value:

The Snelgrove Baptist Church is associated with the Village of Snelgrove, which grew from the intersection of Hurontario Street (Hwy 10) and Mayfield Road. The history of the settlement in the Snelgrove area dates back to 1826 when Andrew Ranzire came to live there following the completion of the survey for the north half of Toronto Township and all of Chinguacousy Township in 1819. Hurontario Street, which bisected the new survey, was soon lined with planks and provided easy access for settlers to the port at the mouth of the Credit River. Snelgrove was then known as Edmonton after an early settler's hometown, and became a small commercial center in the 1820s and 1830s. The name change was the result of growing confusion between Edmonton, Alberta.

By 1840, the first Baptist Church building was built on the southeast corners of Fifteen Side Road and Hurontario Street on the property of John Watson. It was said to have been an "exceptionally built" brick church. Soon after the building of the church, a "good Sunday school" was organized. In the following years, the church prospered and many conversions and baptisms took place. By 1861, the church had outgrown its original building and land for a new church was purchased to the north of the village from Barthelmess Snell. This church was described as a "fine structure" built of frame with a roughcast exterior and was almost as large as the present building.

Although the congregation was housed in the frame church built in 1861, the first church continued to be occupied for several years as it house meetings of

Wesleyan Methodists and a separate Baptist congregation formed in 1861 as a result of a schism in the church over views towards communion. Eventually, because of further reorganization of the Baptist community, the first church was abandoned and demolished. The site of the former churchyard is marked by the Zion Cemetery, a pioneer cemetery that continues to reflect the history of the first church in its location on the southeast corner of Hurontario Street and Conservation Drive.

By 1904, the frame church used for over forty years was found to be no longer adequate for the needs of the congregation. As a result, it was decided that a new brick church would be built on the site of the frame church. According to the proceedings of the Guelph District Baptist Association in 1905, "[g]reat liberty was shown by the people in providing the means for the building" in terms of time, labour, and donations. On August 23, 1904, a ceremony was held to celebrate the laying of the corner stone of the new church by Mr. John Smith, M.P.P. for Brampton. On January 1 1905, the present brick church was opened for worship. The opening services were in charge of J. O'Neil of Paisley (Caledon East), and the congregation at this time included 37 members. Throughout its history, a number of long established local families, including the Snells, Watsons, Lighthearts, Newhouses, Pawleys, Groats, Earnegeys, and Bridies, attended the church.

The congregation reached its peak in 1914 with 51 members. The number declined steadily after that, as many people left to serve in the First World War. In 1946, the Snelgrove Baptist Church was forced to close its doors. The church reopened on July 11, 1959, only to close a few years later.

Contextual Value:

The former Snelgrove Baptist Church also holds contextual value as a landmark building along Hurontario Street. The building is a reminder of the former village, and the valuable contribution of the Baptist church congregation to the village of Snelgrove of Chinguacousy Township. The property forms part of an important historical grouping, together with several scattered residential building of the village.

DESCRIPTION OF THE HERITAGE ATTRIBUTES OF THE PROPERTY:

The heritage attributes comprise all façades, architectural detailing, construction materials and associated building techniques, as well as significant landscape elements and important vistas. The detailed heritage attributes/character defining elements include, but are not limited to:

- Ontario Vernacular architecture with Gothic Revival influence
- Red masonry construction in the common bond
- Fieldstone foundation
- Cornerstone with the inscription "Baptist Church 1904"
- Pointed arch window openings
- Pointed arch main entrance door
- Stone sills
- Wood soffit
- Exposed roof supports
- Heavy-stepped brick buttresses
- Quatrefoil window above main entrance
- Brick chimney with ornamentation

By-law Number 30 - 2018

- Association with the village of Snelgrove (formerly Edmonton)
- Associated with the Baptist congregation of Snelgrove
- Landmark status along Hurontario Street

B - PROJECT PERSONNEL

Giaimo, established in 2015, is a Toronto-based architecture firm integrating design and heritage conservation. We specialize in developing contextual and creative solutions within existing buildings, fostering environmentally, socially, and culturally sustainable places through adaptive reuse, renovations, interventions, and integrating new with old. As architects, designers, and heritage specialists, we have over two decades of experience in all project stages, including research, heritage assessments, feasibility studies, concept design, detailed design, and construction. Collectively our staff of 11 have worked on hundreds of projects, ranging from housing and offices to museums and community spaces, and have been honoured with numerous awards, including the Lieutenant Governor's Ontario Heritage Award for Excellence in Conservation, the Canadian Architect Awards of Excellence, and the Canadian Association of Heritage Professionals Award. Collaboration is at the core of our studio, and we actively engage in Canada's architectural culture through mentoring, teaching, research, publishing, volunteering, and exhibitions.

Joey Giaimo, MRAIC, OAA, CAHP, is founding Principal at Giaimo and brings more than 25 years of experience in the architectural, heritage and engineering professions, including an extensive portfolio in integrating design and conservation. He is a registered Architect (OAA) and a professional member of CAHP. He currently serves on the City of Hamilton's Design Review Panel (DRP), and is co-author of the award winning "Vancouver Matters", a book that takes a critical stance on the city's acclaimed urbanism. He is also an instructor at the Department of Architectural Science at Ryerson University, and has been a visiting critic and thesis advisor for several academic institutions including the University of British Columbia, OCAD University and the University of Waterloo.

Ria Al-Ameen, CAHP, PMP, is an Associate at Giaimo, as well as a heritage professional, architectural designer, and project manager with a decade of international experience in design. She completed her Master of Architecture at Ryerson University. Over the last six years at Giaimo, she has worked on several architecture and heritage conservation projects, from concept design through construction administration. These include the restoration of the 1930s masonry facade of the Toronto Western Hospital, and condition assessments of federally recognized heritage buildings in Ottawa. She also serves on the Canadian Association of Heritage Professionals (CAHP) Communications Committee and Education Committee.

Michelle Bullough, MArch, is an Intern Architect at Giaimo. She completed her Master of Architecture at the University of Waterloo. During her time at Giaimo, she has worked on a variety of architecture and heritage conservation projects. These include the phased renovation of a 1920s commercial building in Toronto and the assessment for the reuse of heritage properties at an Ontario university campus. Prior to joining Giaimo, she worked at a range architecture, urbanism, and landscape architecture firms in Canada, the USA, France, Spain, and Indonesia. She collaborated on the adaptive reuse masterplan of a castle and the design of a winter sports education facility for youth.

C - STRUCTURAL CONDITION ASSESSMENT

The following structural condition assessment was prepared by Tacoma Engineers when retained by the City of Brampton in late 2020. The report was issued on January 19, 2021.

Snelgrove Baptist Church Condition Assessment

**12061 Hurontario Road
Brampton, Ontario**



Prepared by:



176 Speedvale Avenue West
Guelph, ON
TE-37293-20

January 19, 2021

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1. Introduction

Tacoma Engineers has been retained by the City of Brampton to carry out a structural condition assessment of a masonry church building located at 12061 Hurontario Road in Brampton, also known as Snelgrove Baptist Church.

Following initial discussions in early November of 2020, Tacoma Engineers was retained by the City of Brampton on November 10th, 2020. The undersigned attended the site on December 1st, 2020. Access to the building was provided by a representative of the Church of Archangel Michael and St. Tekla, the current owner of the property (Coptic Orthodox Patriarchate of Alexandria).

This report includes a summary of the following items for the building:

- major structural systems;
- existing structural conditions and areas of potential concern; and
- conceptual repair options for any areas that may require remedial work.

2. Background

The Coptic Orthodox Patriarchate of Alexandria owns the building in question, and Tacoma Engineers is being retained as a Consultant by the City of Brampton, as agreed with the Owner.

This assessment is being undertaken by the City of Brampton and is intended to facilitate discussions around potential adaptive re-use projects, specifically to identify the anticipated structural repair and restoration work. This report is not being prepared as a response to an Order, recommendations, or request by any regulatory body.

The primary purpose of this assessment is to provide a summary of the anticipated structural repair work that may be required as part of a future adaptive re-use project. This summary of work will serve to inform the plans for development of the property.

This report is based on a visual inspection only and does not include any destructive testing. Where no concerns were noted the structure is assumed to be performing adequately. The structure is assumed to have been constructed in accordance with best building practices common at the time of construction. No further structural analysis or building code analysis has been carried out as part of this report unless specifically noted.

No previous work has been completed by Tacoma Engineers on this building for this or any other owner.

No sub-consultants have been retained to participate in this assessment.

3. Building History

The Snelgrove Baptist Church was constructed in 1904-1905 as a replacement for the original wood-framed building located on the site. It operated as a Baptist church until 1946 after which time it served various uses for community and other faith-based groups. It is currently owned by the Coptic Orthodox Church and is used by a small local congregation.

The building is constructed as a single-storey masonry building, complete with wood-framed floors and non-loadbearing partition walls. It measures approximately 300 m² (3250 sf) in gross building area, over the ground floor and basement.

The Snelgrove Baptist Church has been designated under Part IV of the Ontario Heritage Act. A summary of the designation can be found on the City of Brampton's website.

4. Scope and Methods

The following documents were provided to the undersigned prior to the preparation of this report:

- Heritage Conservation Management Plan – Snelgrove Baptist Church, Brampton, Ontario. *Strickland Mateljan Design and Architecture*, August 2018
- Heritage Report: Reasons for Heritage Designation, 12061 Hurontario Street, Brampton, Ontario. *Brampton Heritage Board*, January 2014

The assessment of the building is based on a visual assessment from grade. It was determined that a visual assessment using binoculars would provide an adequate level of detail for the purposes of this report.

Note that most of the spaces in the building have applied finishes that preclude a direct visual assessment of the structural systems. Limited areas are unfinished, specifically behind drop ceiling panels in the basement, and a review of the primary structure was possible in these areas.

A site visit was carried out by Gerry Zegerius, P.Eng., on December 1st, 2020. A visual review of all accessible spaces was completed on this date, and photographs were taken of all noted deficiencies.

5. Definitions

The following is a summary of definitions of terms used in this report describing the condition of the structure as well as recommended remedial actions.

- **Condition States¹:**
 1. Excellent – Element(s) in “new” condition. No visible deterioration type defects present, and remedial action is not required.
 2. Good – Element(s) where the first signs of minor defects are visible. These types of defects would not normally trigger remedial action since the overall performance is not affected.
 3. Fair – Element(s) where medium defects are visible. These types of defects may trigger a “preventative maintenance” type of remedial action where it is economical to do so.
 4. Poor – Element(s) where severe or very severe defects are visible. These types of defects would normally trigger rehabilitation or replacement if the extent and location affect the overall performance of that element.
- **Immediate remedial action¹:** these are items that present an immediate structural and/or safety hazards (falling objects, tripping hazards, full or partial collapse, etc.). The remedial recommendations will need to be implemented immediately and may include restricting access, temporary shoring/supports or removing the hazard.
- **Priority remedial action¹:** these are items that do not present an immediate hazard but still require action in an expedited manner. The postponement of these items will likely result in the further degradation of the structural systems and finishes. This may include interim repairs, further investigations, etc. and are broken down into timelines as follows:
 1. **Short-term:** it is recommended that items listed as short-term remedial action are acted on within the next 6 months (**before the onset of the next winter season**).
 2. **Medium-term:** it is recommended that items listed as medium-term remedial action are acted on within the next 24 months.
 3. **Long-term:** it is recommended that items listed as long-term remedial action are acted on within the next 5-10 years. Many of these items include recommendations of further review/investigation.

¹ Adapted from “Structural Condition Assessment”, 2005, American Society of Civil Engineers/Structural Engineering Institute

- **Routine maintenance¹:** these are items that can be performed as part of a regularly scheduled maintenance program.

In addition to the definitions listed above, it should be noted that the building in question is of interest from the perspective of heritage. The Standards and Guidelines for the Conservation of Historic Places in Canada provide direction when a structural system is identified as a character-defining element of an historic place. They also provide direction on maintaining, repairing, and replacing structural components or systems¹. Refer to the General Guidelines for Preservation, Rehabilitation, and Restoration to further inform the development of more detailed remedial actions.

6. General Structural Conditions

The building is constructed as a single-storey multi-wythe masonry building with wood-framed floors and roof. A single load-bearing beam runs along the length of the building supporting the floor joists.

6.1. Ground Floor

Construction

The ground floor is constructed with a single large assembly space, behind which several secondary spaces are provided with non-loadbearing partition walls. The interior of the walls is finished with a combination of plaster and wood panelling.

The undersides of the flat and sloped ceilings are clad with wood panelling. No access to the attic space was noted during the review.



Photograph 1: Ground floor assembly space

¹ “Standards and Guidelines for the Conservation of Historic Places in Canada”, 2nd Edition, 2010, www.historicplaces.ca

Conditions

Limited deterioration of the plaster finishes was noted, particularly at the rear and front endwalls of the assembly space.



Photograph 2: South endwall; minor plaster deformation

Finishes were found to be in generally fair condition, with limited distortion of plaster and localized staining.

Recommended Actions

The following **long term** remedial actions are recommended for the ground floor:

- Restoration of the interior finishes will likely be required as part of an adaptive reuse project. The restoration of the finishes may be incorporated into a potential insulation upgrade in parallel with an exterior restoration of the masonry.

6.2. Basement

Construction

The foundation walls are constructed with a rubblestone exterior, exposed from the inside in the mechanical room. The interior of the basement appears to be strapped with wood-framed walls and insulation. Interior partitions are constructed with light wood-framing.

The ground floor is visible behind a combination of drop ceiling panels and drywall and is composed of 2" by 10" wood joists spaced at 16" on centre, pocketed into the brick at the exterior and supported on a heavy-timber wood beam on a series of cast-iron columns along the centreline of the building.



Photograph 3: Basement common space

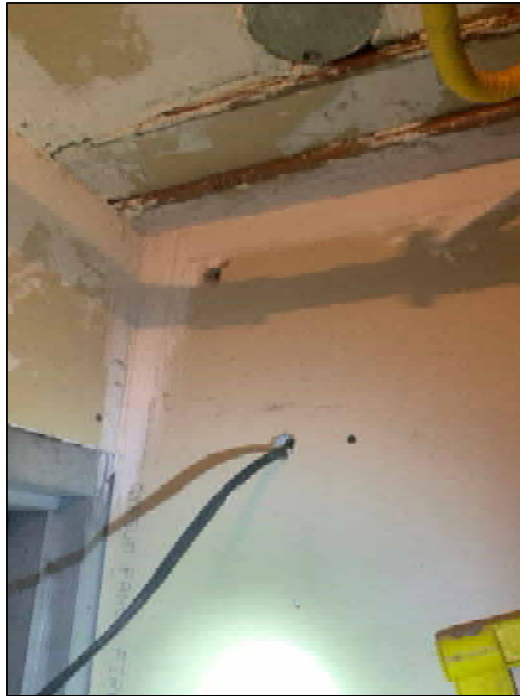
A change in floor framing was noted between the front and rear of the building above the men's washroom ceiling. New plywood and nominal wood framing can be seen towards the rear of the building and are likely related to the infill of space above the original basement stair opening.



Photograph 4: Modern floor framing above men's washroom

Conditions

Finishes are in poor condition in the basement, with multiple holes in the dropped ceiling panels, ceiling drywall, and fire rated wall assemblies separating the mechanical room from the remainder of the basement.



Photograph 5: Penetrations through fire rated wall assemblies

The primary structure (main floor framing, foundation walls) appears to be in fair condition, with no sign of structurally significant deterioration; however, it should be noted the condition of the foundation walls as seen from the exterior of the building may not be reflected on the interior spaces.

Recommended Actions

The following **long term** remedial actions are recommended for the basement:

- Restoration of the interior finishes will likely be required as part of an adaptive reuse project. The restoration of the finishes may be incorporated into a potential insulation upgrade in parallel with an exterior restoration of the masonry.
- An adaptive reuse of the building will necessitate an upgrade of code requirements, specifically the fire separations between the basement and ground floor, as well as separate spaces on each floor. Many of the fire separation penetrations will require repair or upgrading at this time.

6.3. Exterior

Construction

The exterior is constructed with multi-wythe brick masonry, constructed with a modified American Flemish bond (alternating rotated bricks every seven (7) vertical courses).



Photograph 6: Typical modified American Flemish bond

A total of thirteen (13) brick buttresses are constructed around the exterior perimeter, plus a brick chimney on the northwest elevation. Of particular interest are the plinth stretcher and header units, which are fabricated with a fired sloped face to match the slope of the buttress.



Photograph 7: Typical buttress

The masonry wall immediately above the foundation wall and basement window arches includes the use of plinth stretchers and stepped wall thicknesses.

The foundation wall is constructed primarily with rubblestone, much of which appears to be limestone. Mortar in the brick and foundation walls has been repointed in various locations with a variety of materials.

The wood framing of the roof extends past the outside edge of the walls and appears to be regularly spaced light wood framing typical of the time of construction.

Conditions

The exterior masonry is in fair condition throughout the building, with localized areas in poor condition. Larger sections of wall, specifically the rear wall and sidewall sections to each side of the existing window openings, are in good condition with limited open head joints and localized bed joint deterioration.

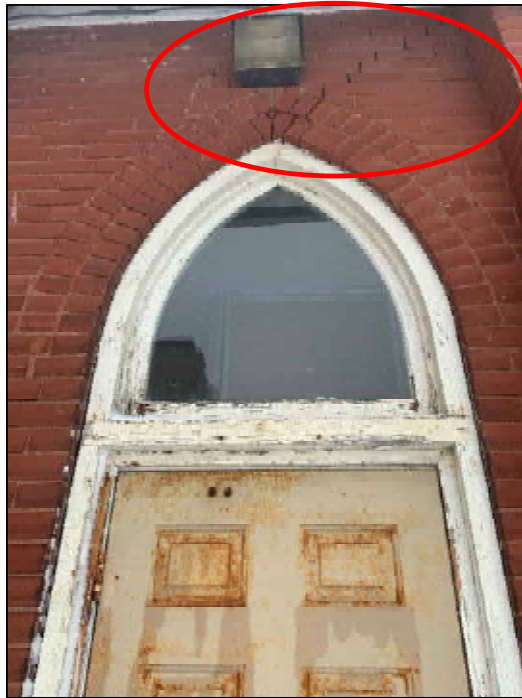


Photograph 8: Open head joints on rear wall

Structurally significant cracking was noted above and below many of the side window and door openings.

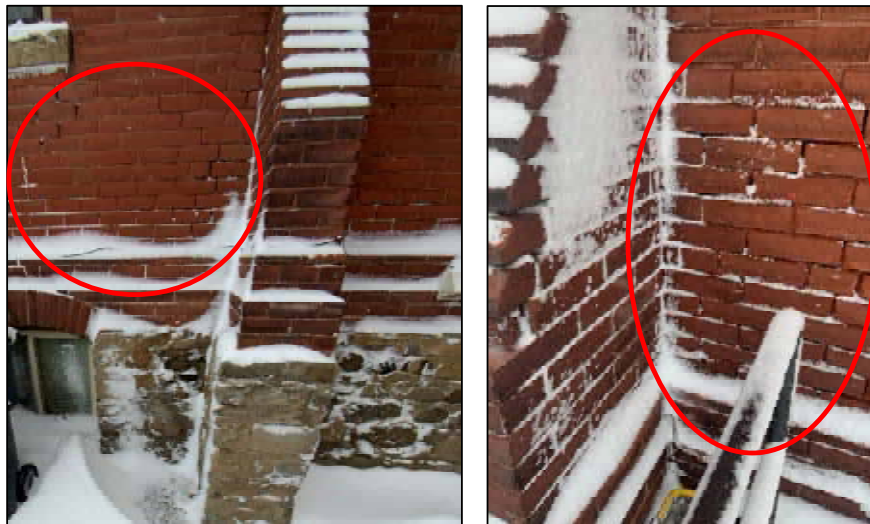


Photograph 9: Cracking above and below sidewall window opening (typical)



Photograph 10: Open masonry joints above peaked arch (typical)

Most of the general deterioration of the masonry is concentrated above and below door and window openings, on all elevations, as illustrated in photographs 9 and 10. Eroded masonry joints were also found to be concentrated at the inside corner between the buttresses and the main walls.



Photograph 11a, 11b: Eroded masonry joints at inside corner of buttress (north and south)

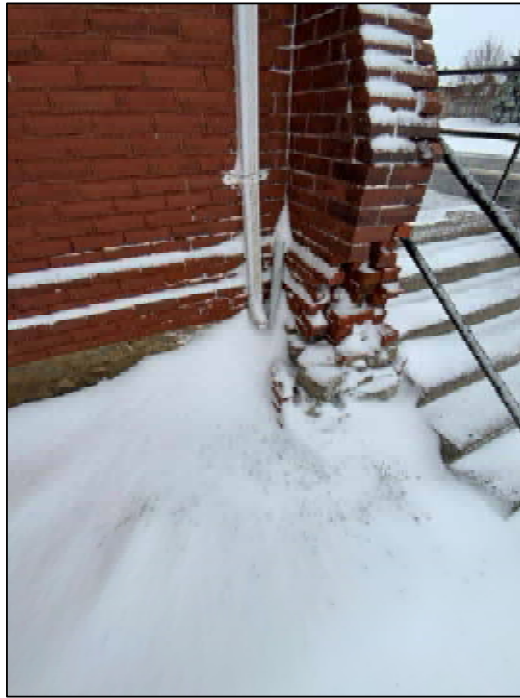
Foundation walls were found to be in fair condition throughout, with localized areas in very poor condition. Much of the advanced deterioration was found adjacent to failed rainwater leaders.



Photograph 12: Open foundation wall at south corner

Many of the repairs carried out over the life of the building have been completed with incompatible materials likely to contain significant amounts of Portland cement. The use of these materials can result in a wide variety of issues including worsening freeze-thaw damage and loading concentrations.

All the brick buttresses have sustained some level of deterioration, ranging from damaged mortar joints to partial collapse.



Photograph 13: Partially collapsed brick buttress at front entry

While the partial collapse of these buttresses is significant, it has not had a major impact on the global stability of the building. The buttresses likely provide some additional stability to regularly spaced heavy-timber trusses; however, the most significantly damaged buttresses are at the front entry and are subjected to a much lower loading than those around the perimeter of the main building.

Recommended Actions

The following **short term** remedial actions are recommended for the exterior:

- Reconnect and repair all roof drainage, including the repair and replacement of all downspouts, directed away from the building.
- Enclose openings in foundation wall to limit further water ingress. Compatible mortar and masonry materials should be used, and accommodations made for future removals during a comprehensive restoration project.
- Reconstruct damaged brick buttresses where brick units have been compromised. Salvage damaged units where possible and source new material to match the existing where required.
- Remove incompatible materials, including mortar and brick units, at brick buttresses, and replace with materials to match the original building composition.

The following **long term** remedial actions are recommended for the exterior:

- Prepare a comprehensive restoration plan for the exterior, including masonry, openings, roofing, and flashings. Structurally significant cracking above and below window openings can be reinforced with steel stitching where masonry reconstruction is not possible. It should be anticipated that the majority of the exterior will require repointing.

7. Summary of Recommendations

The following provides a summary of the recommendations for the existing structure.

Items requiring short-term remedial action:

1. Reconnect and repair all roof drainage, including the repair and replacement of all downspouts, directed away from the building.
2. Enclose openings in foundation wall to limit further water ingress. Compatible mortar and masonry materials should be used, and accommodations made for future removals during comprehensive restoration project.
3. Reconstruct damaged brick buttresses where brick units have been compromised. Salvage damaged units where possible and source new material to match the existing where required.
4. Remove incompatible materials, including mortar and brick units, at brick buttresses, and replace with materials to match the original building composition.

Items requiring long-term remedial action:

5. Restoration of the interior finishes will likely be required as part of an adaptive reuse project. The restoration of the finishes may be incorporated into a potential insulation upgrade in parallel with an exterior restoration of the masonry.
6. An adaptive reuse of the building will necessitate an upgrade of code requirements, specifically the fire separations between the basement and ground floor, and separate spaces on each floor. Many of the fire separation penetrations will require repair or upgrading at this time.
7. Prepare a comprehensive restoration plan for the exterior, including masonry, openings, roofing, and flashings. Structurally significant cracking above and below window openings can be reinforced with steel stitching where masonry reconstruction is not possible. It should be anticipated that the majority of the exterior will require repointing.


8. Conclusions

The global structure of the building remains intact and generally in fair condition. The interior wood-framed structure, including the floor framing and centre support beams, appear to be largely unaltered and performing as required. The attic was not accessible at the time of the review; however, the ridge line appears to be straight and there were no signs of structurally significant movement or settlement noted at the time of the review.

The exterior of the building is constructed with red brick and fieldstone foundation walls. The brick is in fair condition, with localized areas in poor condition. Poor conditions are concentrated at buttresses where water exposure has resulted in freeze-thaw damage of brick and mortar, in some cases resulting in a complete destabilization of the buttress itself. Other masonry deterioration is concentrated above and below peaked window and door openings, where stress concentrations and water shedding at sills have accelerated deterioration of the mortar and in some cases the masonry units themselves. Repairs have been carried out over the life of the church building with a variety of materials, many of which are incompatible with the surrounding masonry.

Short term remedial recommendations include the maintenance of drainage and other water shedding details, including downspouts and eavestroughs, as well as the complete enclosure of opened foundation walls visible from the exterior. Destabilized buttresses should be reconstructed, following which a comprehensive masonry restoration plan can be undertaken, at which time the open joints above and below window and door openings can be repaired along with other limited open head joints found evenly spread over the area of the exterior walls.

Per:


Gerry Zegerius, P.Eng., CAHP
Structural Engineer, Senior Associate
Tacoma Engineers Inc.

