

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **SHRINIWAS PASNUR** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 257, Plan 43M-1478 municipally known as **3 DELPHINIUM WAY**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a below grade exterior stairway in the required side yard having a setback of 0.0m to the side lot line and where a continuous side yard width of 1.24m (4.07 ft.) is provided on the opposite side of the dwelling whereas the by-law only permits a below grade exterior stairway in the required interior side yard where a minimum 0.3m (0.98 ft.) setback to the side lot line is maintained and where a minimum 1.2m (3.94 ft.) continuous side yard width is provided on the opposite side of the dwelling;
2. To permit a driveway width of 6.81m (22.34 ft.) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.)

**OTHER PLANNING APPLICATIONS:**

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: \_\_\_\_\_  
Application for Consent: NO File Number: \_\_\_\_\_

The Committee of Adjustment has appointed **TUESDAY, April 20, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT.** This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 8th day of April, 2021.

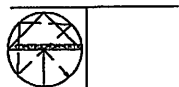
Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer  
Committee of Adjustment, City Clerk's Office,  
Brampton City Hall  
2 Wellington Street West,  
Brampton, Ontario L6Y 4R2  
Phone: (905)874-2117  
Fax: (905)874-2119  
[jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca)

RELEASED FOR BUILDING PERMIT  
 CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BUILDING ACT AND THE BUILDING REGULATIONS.  
 ALL BUILDINGS AND STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING ACT AND THE BUILDING REGULATIONS.  
 THE BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING ACT AND THE BUILDING REGULATIONS.  
 IF THE UNIT IS NOT IN ACCORDANCE WITH THE BUILDING ACT AND THE BUILDING REGULATIONS, THE BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING ACT AND THE BUILDING REGULATIONS.

No	Date	Revision/Issued
00	2021.01.27	Schematic Design
01	2021.03.12	Minor Variance App

Consultants  
**SHAF|E**  
 BUILDING FOR FUTURE  
 Design | Construction |  
 Project Management |  
 Developments  
 501 Ferguson Dr  
 Milton, ON L9T 6L5  
 m: 647.74.7441  
 eshaf@icloud.com  
 www.shafeinc.com



Seal

**BASEMENT  
 APARTMENT**

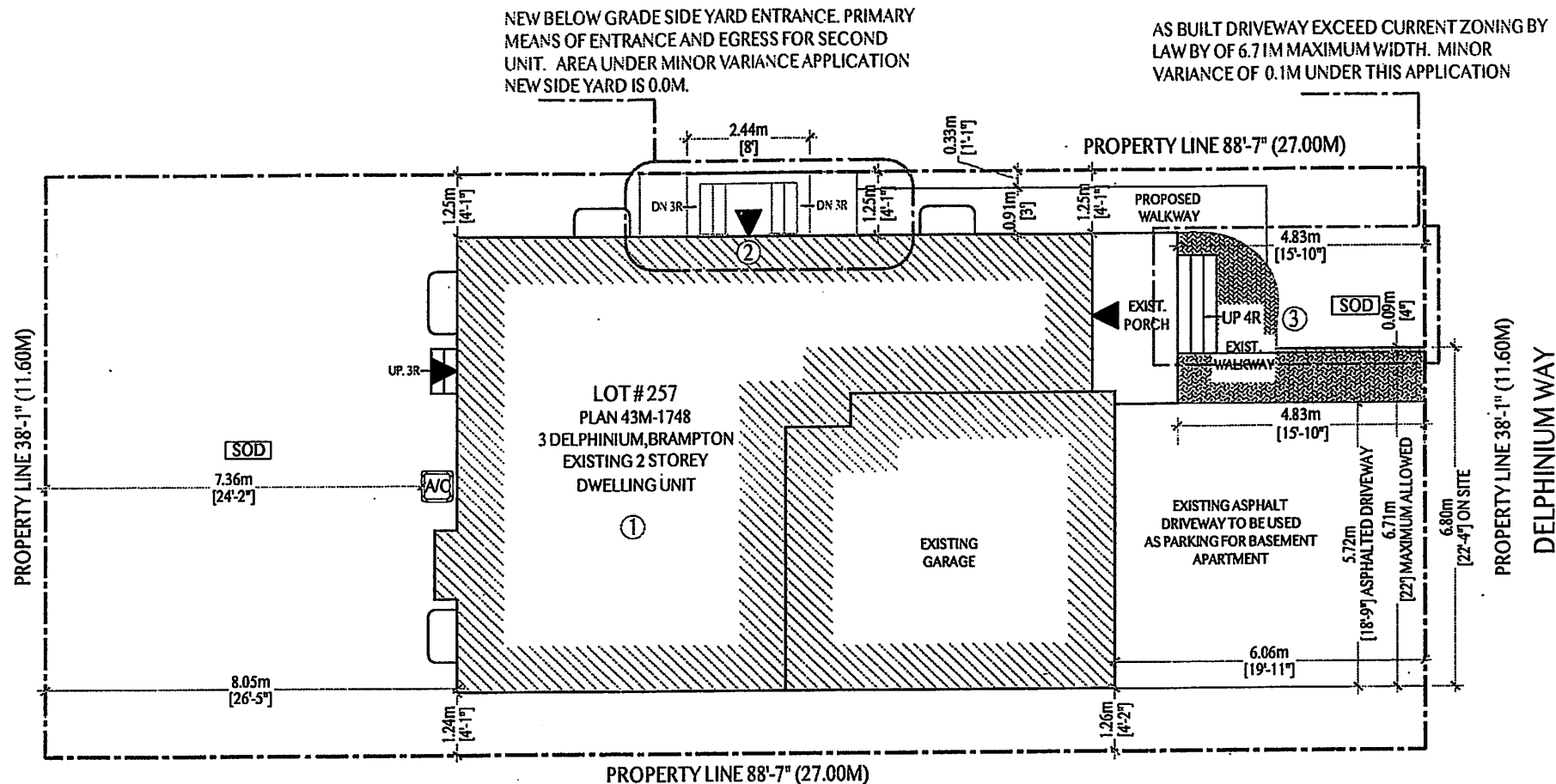
03 Delphinium Way,  
 Brampton

**SITE PLAN**

scale: 1/8"=1'-0"  
 date: 2021.03.13  
 project: 21-023  
 drawing number:

**A-01**

Revision: 01



# SCOPE OF WORK

- ① BASEMENT APARTMENT
- ② NEW BELOW GRADE SIDE YARD ENTRANCE, PRIMARY MEANS OF ENTRANCE AND EGRESS FOR SECOND UNIT. AREA UNDER THIS MINOR VARIANCE APPLICATION NEW SIDE YARD IS 0.0M.
- ③ AS BUILT DRIVEWAY EXCEED CURRENT ZONING BY LAW BY OF 6.71M MAXIMUM WIDTH. MINOR VARIANCE OF 0.1M UNDER THIS APPLICATION

## AREA STATISTICS

### GROSS FLOOR AREA CALCULATIONS

#### A - EXISTING PRINCIPAL RESIDENCE

EXISTING MAIN FLOOR AREA	= 874.31 SFT / 81.25 M <sup>2</sup>
EXISTING SECOND FLOOR AREA	= 00.00 SFT / 00.00 M <sup>2</sup>
TOTAL GFA	= 00.00 SFT / 00.00 M <sup>2</sup>

#### B - EXISTING BASEMENT

NEW BASEMENT APARTMENT GFA	= 00.00 SFT / 00.00 M <sup>2</sup>
PRINCIPAL RESIDENCE AREA GFA	= 00.00 SFT / 00.00 M <sup>2</sup>
UTILITY AND FURNACE AREA	= 00.00 SFT / 00.00 M <sup>2</sup>
TOTAL GFA	= 874.31 SFT / 81.25 M <sup>2</sup>

BASEMENT APARTMENT GFA IS 23.88 % OF PRINCIPAL RESIDENCE GFA



Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures**  
**How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

**How to Participate in the Hearing:**

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, April 15, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm, Friday, April 16, 2021**.
  - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, April 16, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:  
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or  
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



AMENDMENT LETTER

April 7, 2021


To: Committee of Adjustment

**RE: APPLICATION FOR MINOR VARIANCE  
SHRINIWAS PASNUR  
LOT 257, PLAN 43M-1748  
A-2021-0054 – 3 DELPHINIUM WAY  
WARD 2**

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Please **amend** application **A-2021-0054** to reflect the following:

1. To permit a below grade exterior stairway in the required side yard having a setback of 0.0m to the side lot line and where a continuous side yard width of 1.24m (4.07 ft.) is provided on the opposite side of the dwelling whereas the by-law only permits a below grade exterior stairway in the required interior side yard where a minimum 0.3m (0.98 ft.) setback to the side lot line is maintained and where a minimum 1.2m (3.94 ft.) continuous side yard width is provided on the opposite side of the dwelling;
2. To permit a driveway width of 6.81m (22.34 ft.) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.)

  
SALMAN ELLAHI  
Applicant/Authorized Agent

APR 07, 2021

RELEASED FOR BUILDING PERMIT	
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND BEFORE CONSTRUCTION AND TO THE CONSULTANT BEFORE CONSTRUCTION.	
ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANT AND MUST BE RETURNED AT THE COMPLETION OF WORK.	
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT OF RECORD.	
IF THE DRAWING IS NOT TO BE USED FOR CONSTRUCTION, IT SHALL BE RETURNED TO THE ARCHITECT OF RECORD.	
No	Date
00	2021.01.27
01	2021.05.12
Revision/Issued	
Schematic Design	
Minor Variance App	

Consultants

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Project Management |  
Developments

801 Ferguson Dr  
Milton, ON L9T 6L5  
Tel: 647.74.7441  
eshafe@icloud.com  
www.shafeinc.com



Seal

## BASEMENT APARTMENT

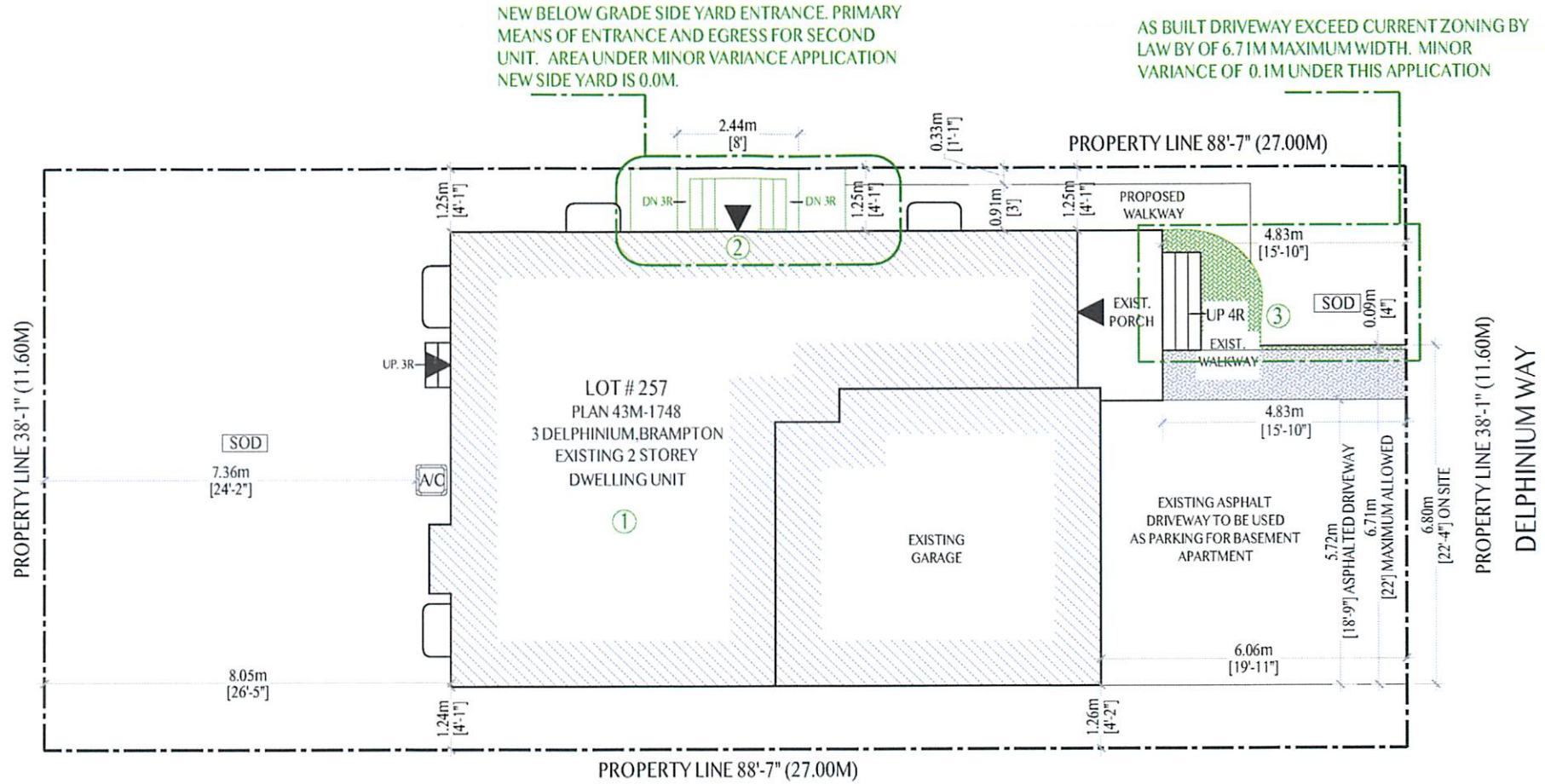
03 Delphinium Way,  
Brampton

## SITE PLAN

scale:  $\frac{1}{8}" = 1'-0"$   
date: 2021.03.13  
project: 21-023  
drawing number:

**A-01**

Revision: 01



### SCOPE OF WORK

- ① BASEMENT APARTMENT
- ② NEW BELOW GRADE SIDE YARD ENTRANCE, PRIMARY MEANS OF ENTRANCE AND EGRESS FOR SECOND UNIT. AREA UNDER THIS MINOR VARIANCE APPLICATION NEW SET BACK IS 0.0M.
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TOTAL GFA	= 00.00 SFT / 00.00 M <sup>2</sup>

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BASEMENT APARTMENT GFA IS 23.88 % OF PRINCIPAL RESIDENCE GFA






▲ ENTRANCE & EGRESS



This floor plan illustrates the layout of an existing building with various rooms and proposed renovation areas. The overall dimensions are 47'-0" wide by 42'-1" deep. The plan includes the following rooms and features:

- EXISTING LIVING / DINING:** 20'-0" X 14'-11"
- EXISTING BREAKFAST:** 8'-1" X 13'-0"
- EXISTING KITCHEN:** 8'-0" X 13'-0"
- EXIST. PWD. ROOM:** 5'-9" X 4'-7"
- EXIST. CLOSET:** 4'-7" X 2'-0"
- EXISTING FOYER**
- EXISTING GARAGE:** 19'-7" (15'-5") X 17'-7" (15'-7")
- EXIST. WINDOW:** 22" X 66" (multiple locations)
- EXIST. PATIO DOOR:** 10" X 10"
- EXIST. FP:** (Fireplace)
- NEW 120 VOLT EXTERIOR TYPE DOOR**
- DN 1R, UP 1R, DN 1R, UP 1R:** (Staircases)
- REF:** (Refrigerator)
- WC, 1+SL:** (Water Closet, 1+Shower/Linoleum)
- 20 MIN. F.R. DOOR:** (20-minute fire-rated door)
- EXISTING COVERED PORCH**

The plan also shows various dimensions and structural elements, including a green dashed line indicating a proposed wall or partition, and a yellow dashed line indicating a proposed area within the garage.

	EXISTING WALLS
	NEW WALLS
	FIRE RATED WALLS REFER TO G-01 FOR DETAILS
	EXISTING TO BE REMOVED
	EXISTING COLUMNS

GROSS FLOOR AREA = 874.31 SFT / 81.25 M<sup>2</sup>  
CEILING HEIGHT = 9'-0"

PLEASE SEE DRAWING NO. G-01 FOR GENERAL  
NOTES AND SCHEDULES

801 Ferguson Dr  
Milton, ON L9T 6L5  
m: 647.74.7441  
e: [shafe@icloud.com](mailto:shafe@icloud.com)  
[www.shafeinc.com](http://www.shafeinc.com)

Revision: 01

RELEASED FOR BUILDING PERMIT  
CONTRACTOR SHALL SITE VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE CONSULTANT BEFORE COMMENCING CONSTRUCTION.  
ALL DIMENSIONS ARE PERFORMED TO THE PROPERTY OF CONSULTANTS AND MUST BE ACCURATE TO THE COMPLETION OF THE WORK.  
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS ISSUED BY THE ARCHITECT OF RECORD.  
IF THIS SHEET IS NOT 11" X 17", IT IS A REDUCED SCALE DRAWING. PLEASE READ DRAWING ACCORDINGLY.

No.	Date	Revision/Issued
00	2021.01.27	Schematic Design
01	2021.03.12	Minor Variance App

Consultants  
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Milton, ON L9T 6L5  
m.647.74.7441  
eshafe@icloud.com  
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Seal

## BASEMENT APARTMENT

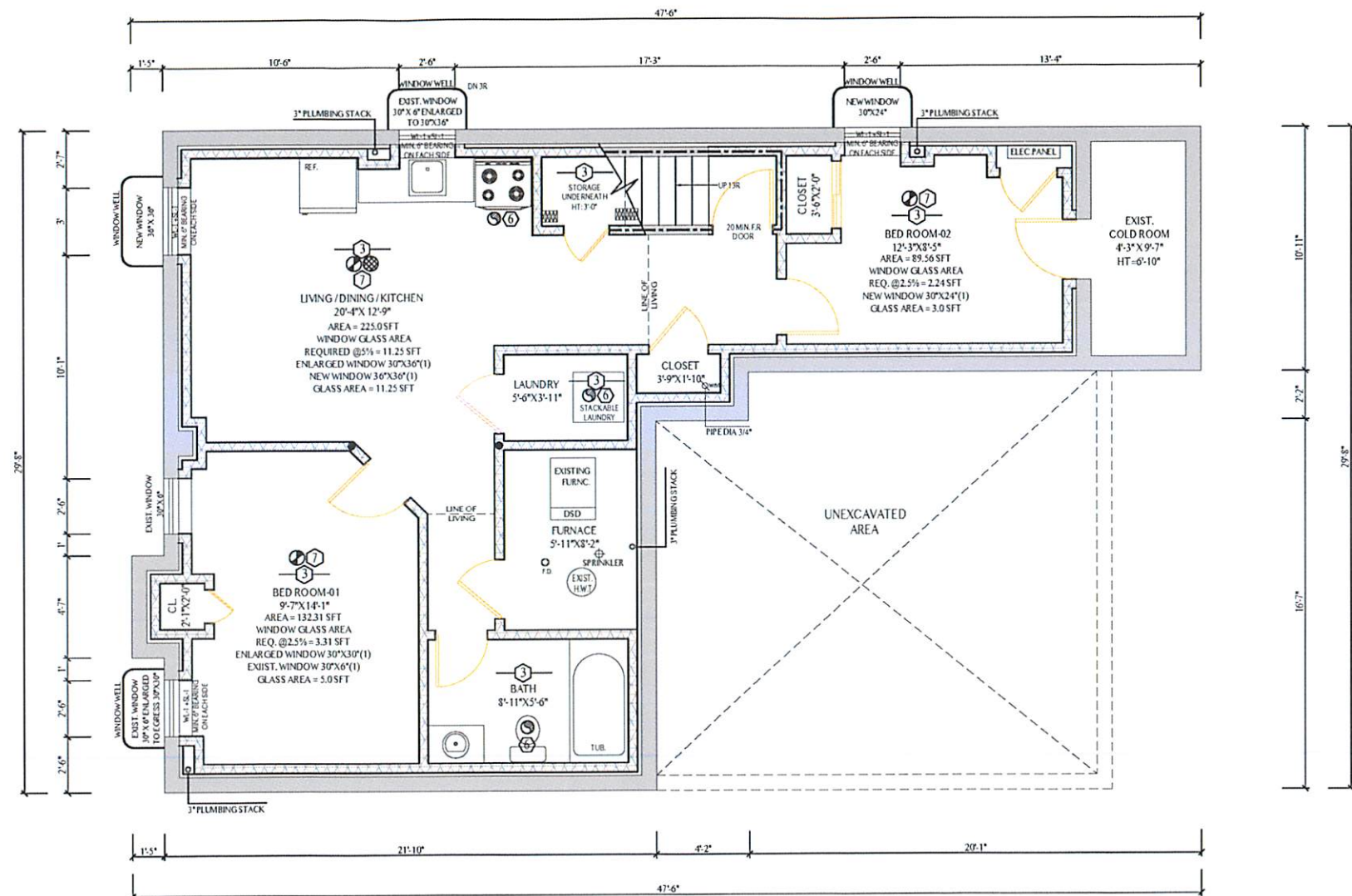
03 Delphinium Way, Brampton

## BASEMENT - PLAN

scale:  $\frac{3}{16}" = 1'-0"$   
date: 2021.03.13  
project: 21-023  
drawing number:

**A-03**

Revision: 01



- LEGEND:**
- EXISTING WALLS
  - NEW WALLS
  - FIRE RATED WALLS REFER TO G-01 FOR DETAILS
  - EXISTING TO BE REMOVED
  - EXISTING COLUMNS

### BASEMENT PLAN

GROSS FLOOR AREA CALCULATIONS  
A- BASEMENT AREA PART OF PRINCIPAL RESIDENCE GFA = 0.0 SFT / 0.0 M<sup>2</sup>  
B- NEW BASEMENT APARTMENT GFA = 0.0 SFT / 0.0 M<sup>2</sup>  
TOTAL BASEMENT GFA = 874.31 SFT / 81.25 M<sup>2</sup>  
CEILING HEIGHT = 7'-7"

7

SL1: STEEL LINTEL 31/2" X 31/2" X 3/8"  
WL1: WOOD LINTEL 2-2 X 8 SPF NO.1 OR 2  
INTERCONNECTED AND WIRED SMOKE ALARMS AT EACH FLOOR AND EACH UNIT INCLUDING FINISHED BASEMENT AND LEGAL BASEMENT - AS PER OBC 9.10.19.  
PLEASE SEE DRAWING NO. G-01 FOR GENERAL NOTES AND SCHEDULES

11x17





### Notes

BEARINGS SHOWN ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTH EASTERLY LIMIT OF DELPHINIUM WAY HAVING A BEARING OF N 37°47'10"E AS SHOWN ON REGISTERED PLAN 43M-1748

■	DENOTES	SURVEY MONUMENT FOUND
□	"	SURVEY MONUMENT SET
SIB	"	STANDARD IRON BAR
IB	"	IRON BAR
D.U.C.	"	DWELLING UNDER CONSTRUCTION
PIN	"	PROPERTY IDENTIFIER NUMBER
1225	"	DAVID B. SEARLES SURVEYING LTD., O.L.S.
1215	"	ERTL SURVEYORS, O.L.S.

### Part 2

NO REGISTERED EASEMENTS OR RIGHT OF WAYS.  
NO FENCES AT THE TIME OF SURVEY.

SURVEY PREPARED FOR : PARADISE HOMES

ALL DIMENSIONS SHOWN ON THIS PLAN ARE REGISTERED PLAN 43M-1748 AND ARE MEASURED OR SET

ALL FOUND MONUMENTS ARE NUMBERED 1225, UNLESS NOTED OTHERWISE.

SURVEYOR'S REAL PROPERTY REPORT-PART 1  
PLAN OF  
LOTS 252 TO 258 ALL INCLUSIVE  
REGISTERED PLAN 43M-1748  
**CITY OF BRAMPTON**  
REGIONAL MUNICIPALITY OF PEEL

SCALE 1:300

0 1 2 3 4 5 10 20 metres

© COPYRIGHT  
**ertl surveyors 2008**  
Ontario Land Surveyors

### Metric

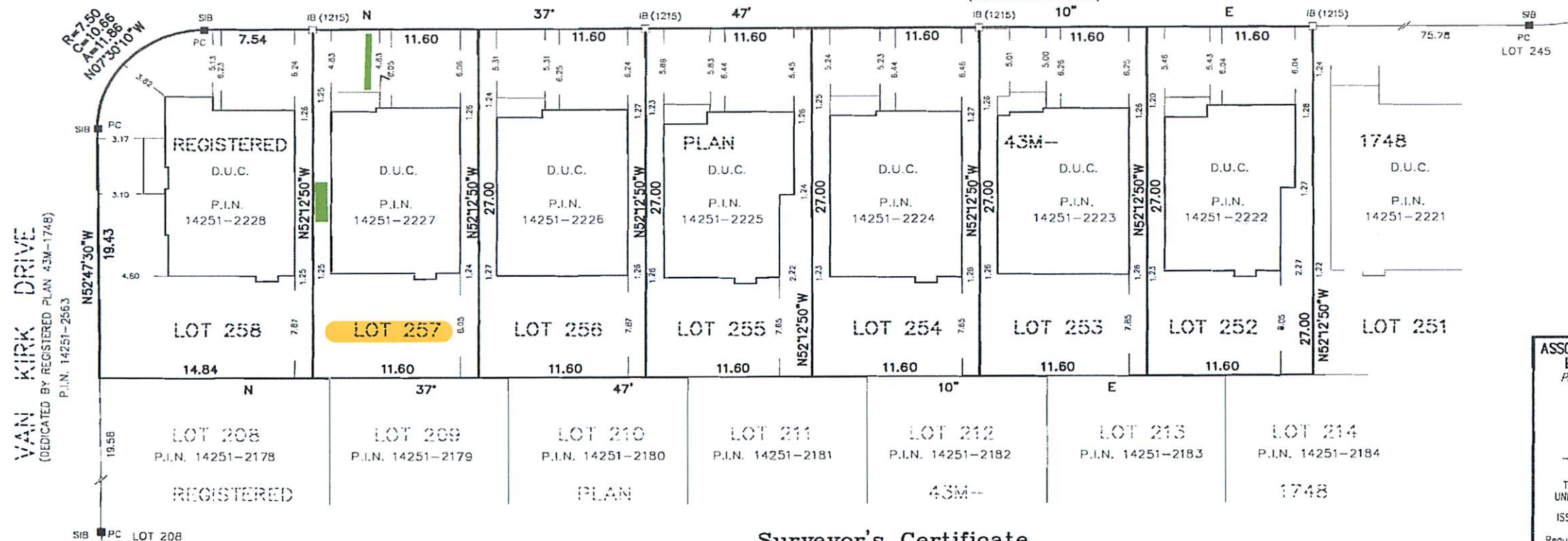
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

## DELPHINIUM WAY

(DEDICATED BY REGISTERED PLAN 43M-1748)

P.I.N. 14251-2569

(REFERENCE BEARING)



### Surveyor's Certificate

I CERTIFY THAT :

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 9th OF JULY, 2008.

July 15<sup>th</sup> 2008  
Date

Lawrence O. Ertl  
Ontario Land Surveyor



Ontario Land Surveyors

1234 REID STREET, UNIT 10, RICHMOND HILL L4B 1C1  
TELEPHONE (905) 731-7834 FAX (905) 731-7852 EMAIL info@ers-ols.com  
DRAWING : 07157-LOTS 252-258-SRPR PROJECT : 07157  
Party Chief: D.M., Drawn By: T.Raja., Checked By: A.M./L.Ertl.

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
1703539



THIS PLAN IS NOT VALID  
UNLESS IT IS AN EMBOSSED  
ORIGINAL COPY  
ISSUED BY THE SURVEYOR.  
In accordance with  
Regulation 1026, Section 29(3).



FILE NUMBER: A-2021-0054

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

**APPLICATION****Minor Variance or Special Permission**

(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) SHRINIWAS PASNUR  
 Address 3 DELPHINIUMWAY, BRAMPTON, ON, L7A 0N4  
 Phone # 416.303.2750 Fax # \_\_\_\_\_  
 Email spasnur@gmail.com
2. Name of Agent Salman Ellahi  
 Address 801 Ferguson Dr, Milton, ON L9T 6L5  
 Phone # 647 471 7441 Fax # \_\_\_\_\_  
 Email salman@shafeinc.com
3. Nature and extent of relief applied for (variances requested):  
To create a partial below grade entrance in right side yard of the property.  
To get relief from side yard set back from 1.2m to 0.0m  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
4. Why is it not possible to comply with the provisions of the by-law?  
In current zoning by laws below grade entrance from side yard is not allowed.  
minimum distance of below grade stairs from side yard to property line should be 1.2m.  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
5. Legal Description of the subject land:  
 Lot Number 257  
 Plan Number/Concession Number 43M - 1748  
 Municipal Address 3 DELPHINIUMWAY, BRAMPTON, ON, L7A 0N4
6. Dimension of subject land (in metric units)  
 Frontage 11.60 M  
 Depth 27.00 M  
 Area 313.20 SM
7. Access to the subject land is by:  
 Provincial Highway ☐  
 Municipal Road Maintained All Year ☒  
 Private Right-of-Way ☐  
 Seasonal Road ☐  
 Other Public Road ☐  
 Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

2 Storey Single Dwelling unit with attached garage

Basement Area: 81.25 SM

Main Floor Area: 81.25SM

Second Floor Area: 83.75 SM

Total for Floors Above Grade: 165.0 SM

PROPOSED BUILDINGS/STRUCTURES on the subject land:

- Two-Unit Dwelling Unit with attached garage

- Below grade entrance in right side yard , primary means of entrance and exit for second unit

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 11.60 M

Rear yard setback 8.05 M

Side yard setback 1.26 M - 1.24 M (left side)

Side yard setback 1.25 M (right side)

PROPOSED

Front yard setback No Change in setback. creation of below grade in existing front porch.

Rear yard setback No Change

Side yard setback No Change (left side)

Side yard setback 0.00 M

10. Date of Acquisition of subject land: year 2008
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 2008
15. Length of time the existing uses of the subject property have been continued: 13 years

16. (a) What water supply is existing/proposed?
- |           |                                     |                       |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Well      | <input type="checkbox"/>            |                       |
- (b) What sewage disposal is/will be provided?
- |           |                                     |                       |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Septic    | <input type="checkbox"/>            |                       |
- (c) What storm drainage system is existing/proposed?
- |         |                                     |                       |
|---------|-------------------------------------|-----------------------|
| Sewers  | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Ditches | <input type="checkbox"/>            |                       |
| Swales  | <input type="checkbox"/>            |                       |



17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Salman Ellahi  
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton

THIS 16 DAY OF MARCH, 2021

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Salman Ellahi, OF THE City OF Brampton

IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 16 DAY OF

MARCH, 2021

April Dela Cerna  
A Commissioner etc.

Salman Ellahi  
Signature of Applicant or Authorized Agent

ad.  
April Dela Cerna,  
a Commissioner, etc.,  
Province of Ontario,  
for the Corporation of the  
City of Brampton,  
Expires May 8, 2021.

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

R1F-11.6-3458

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

[Signature]  
Zoning Officer

March 17, 2021  
Date

DATE RECEIVED March 16, 2021



### Notes

BEARINGS SHOWN ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTH EASTERLY LIMIT OF DELPHINIUM WAY HAVING A BEARING OF N 37°47'10"E AS SHOWN ON REGISTERED PLAN 43M-1748

■	DENOTES	SURVEY MONUMENT FOUND
□	"	SURVEY MONUMENT SET
SIB	"	STANDARD IRON BAR
IB	"	IRON BAR
D.U.C.	"	DWELLING UNDER CONSTRUCTION
PIN	"	PROPERTY IDENTIFIER NUMBER
1225	"	DAVID B. SEARLES SURVEYING LTD., O.L.S.
1215	"	ERTL SURVEYORS, O.L.S.

### Part 2

NO REGISTERED EASEMENTS OR RIGHT OF WAYS.  
NO FENCES AT THE TIME OF SURVEY.

SURVEY PREPARED FOR : PARADISE HOMES

ALL DIMENSIONS SHOWN ON THIS PLAN ARE REGISTERED PLAN 43M-1748 AND ARE MEASURED OR SET

ALL FOUND MONUMENTS ARE NUMBERED 1225, UNLESS NOTED OTHERWISE.

SURVEYOR'S REAL PROPERTY REPORT--PART 1  
PLAN OF

LOTS 252 TO 258 ALL INCLUSIVE  
REGISTERED PLAN 43M-1748

**CITY OF BRAMPTON**  
REGIONAL MUNICIPALITY OF PEEL

SCALE 1:300



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### Metric

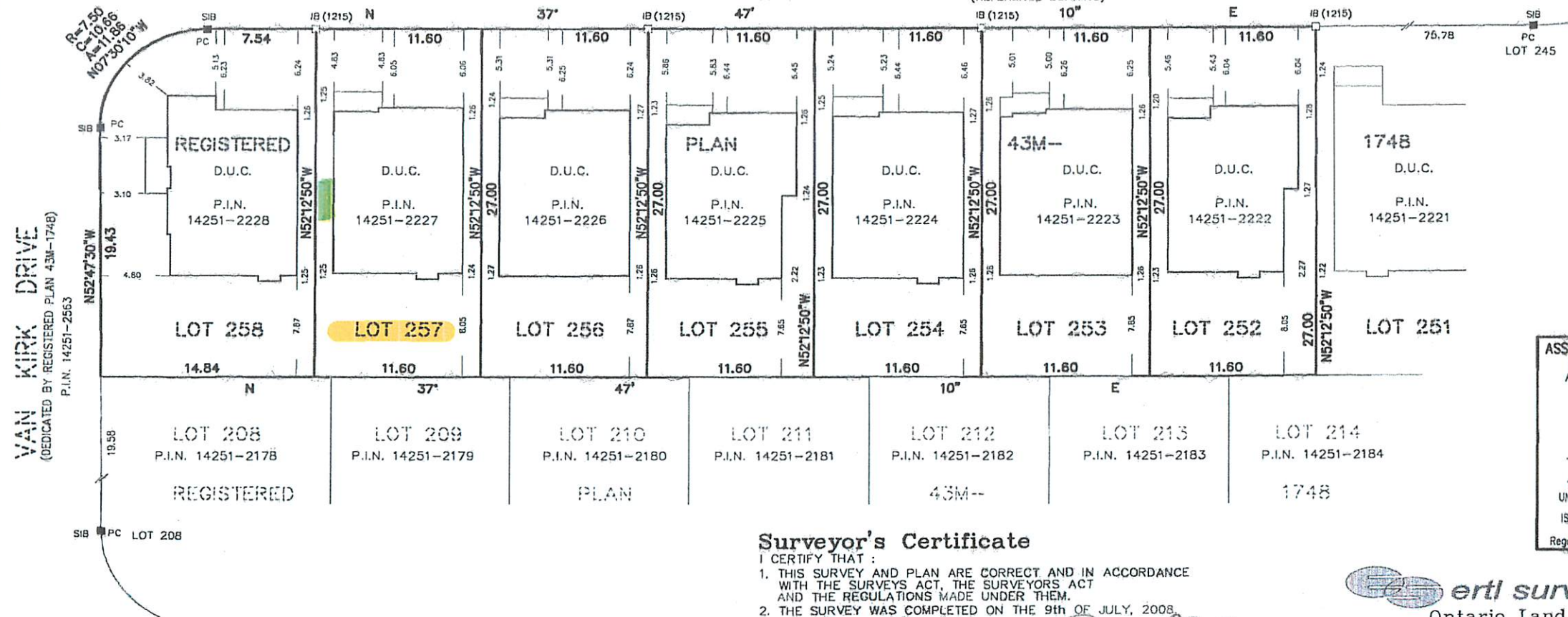
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

## DELPHINIUM WAY

(DEDICATED BY REGISTERED PLAN 43M-1748)

P.I.N. 14251-2569

(REFERENCE BEARING)



### Surveyor's Certificate

I CERTIFY THAT :

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 9th OF JULY, 2008.

*July 15th 2008*  
Date

*Lawrence O. Ertl*  
Lawrence O. Ertl  
Ontario Land Surveyor

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
1703539



THIS PLAN IS NOT VALID  
UNLESS IT IS AN EMBOSSED  
ORIGINAL COPY  
ISSUED BY THE SURVEYOR.  
In accordance with  
Regulation 1026, Section 29(3).

**ertl surveyors**  
Ontario Land Surveyors

1234 REID STREET, UNIT 10, RICHMOND HILL L4B 1C1  
TELEPHONE (905) 731-7834 FAX (905) 731-7852 EMAIL info@es-ols.com  
DRAWING : 07157-LOTS 252-258-SRPR PROJECT : 07157  
Party Chief: D.M., Drawn By: T.Raja., Checked By: A.M./L.Ertl.



CONTRADICTORY AND REPORT DISCREPANCIES OF ANY TO THE CONSULTANTS BEFORE PROCEEDING.  
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IF THIS SHEET IS NOT 11"x17", IT IS A REDUCED / ENLARGED PRINT. READ DRAWING ACCORDINGLY.

No	Date	Revision/Issued
00	2021.01.27	Schematic Design
01	2021.03.12	Minor Variance App

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Milton, ON L9T 6L5  
m: 647.74.7441  
e: shafe@icloud.com  
www.shafeinc.com



Seal

BASEMENT  
APARTMENT

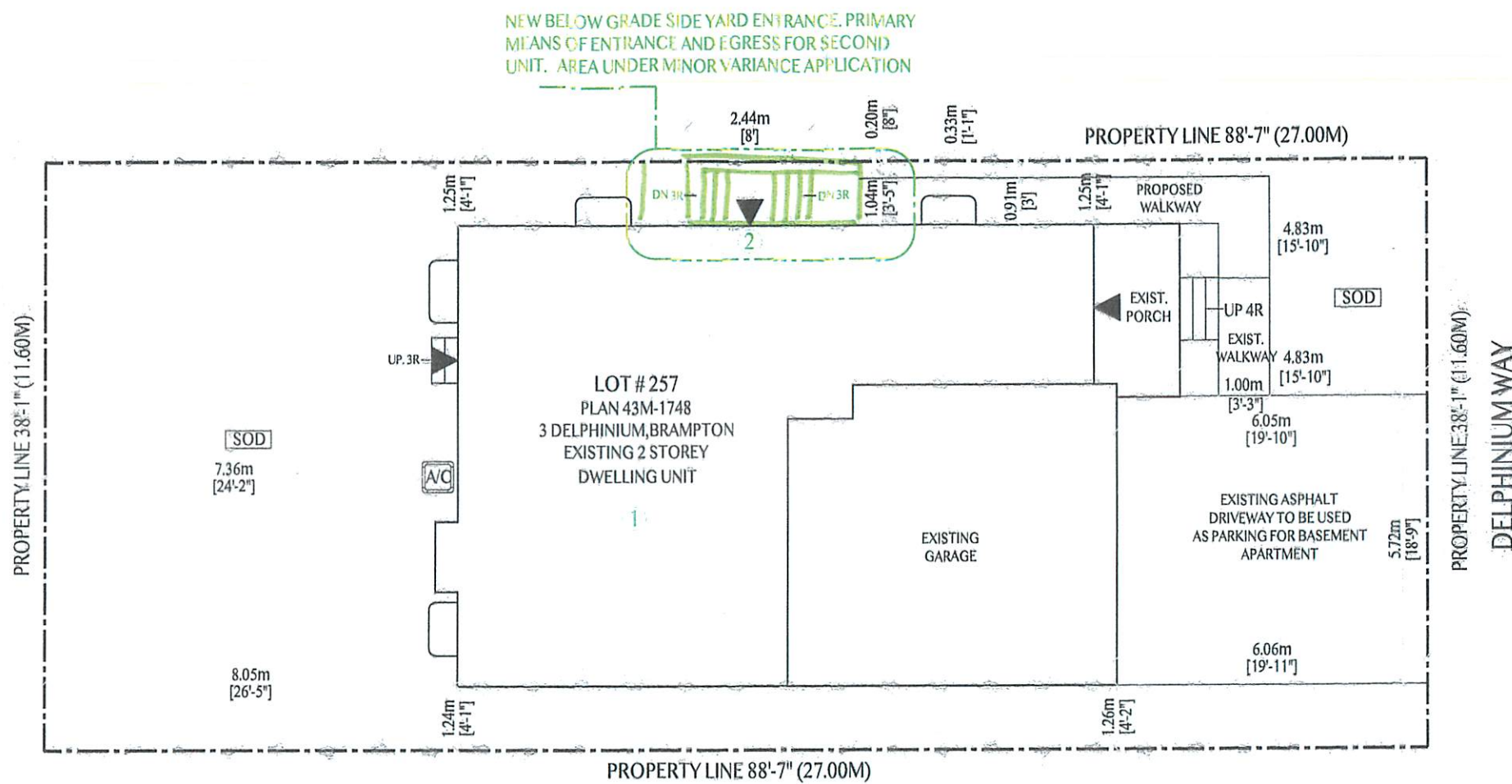
03 Delphinium Way,  
Brampton

SITE PLAN

scale: 1/8" = 1'-0"  
date: 2021.03.13  
project: 21-023  
drawing number:

A-01

Revision: 01



### AREA STATISTICS

#### GROSS FLOOR AREA CALCULATIONS

##### A - EXISTING PRINCIPAL RESIDENCE

EXISTING MAIN FLOOR AREA	= 874.31 SFT / 81.25 M <sup>2</sup>
EXISTING SECOND FLOOR AREA	= 00.00 SFT / 00.00 M <sup>2</sup>
TOTAL GFA	= 00.00 SFT / 00.00 M <sup>2</sup>

##### B - EXISTING BASEMENT

NEW BASEMENT APARTMENT GFA	= 00.00 SFT / 00.00 M <sup>2</sup>
PRINCIPAL RESIDENCE AREA GFA	= 00.00 SFT / 00.00 M <sup>2</sup>
UTILITY AND FURNACE AREA	= 00.00 SFT / 00.00 M <sup>2</sup>
TOTAL GFA	= 874.31 SFT / 81.25 M <sup>2</sup>

BASEMENT APARTMENT GFA IS 23.88 % OF PRINCIPAL RESIDENCE GFA

### SCOPE OF WORK

① BASEMENT APARTMENT

2 NEW BELOW GRADE SIDE YARD ENTRANCE, PRIMARY MEANS OF ENTRANCE AND EGRESS FOR SECOND UNIT. AREA UNDER THIS MINOR VARIANCE APPLICATION

▲ ENTRANCE & EGRESS

CONTRACTOR SHALL SITE VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES OF ANY TO THE CONSULTANTS BEFORE CONSTRUCTION.

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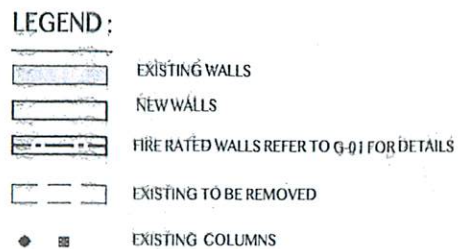
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m: 647.74.7441  
e: shafe@icloud.com  
www.shafeinc.com



GROSS FLOOR AREA = 874.31 SFT / 81.25 M<sup>2</sup>  
CEILING HEIGHT = 9'-0"

INTERCONNECTED AND WIRED SMOKE ALARMS AT EACH FLOOR AND EACH UNIT INCLUDING FINISHED BASEMENT AND LEGAL BASEMENT - AS PER OBC 9.10.19.

PLEASE SEE DRAWING NO. G-01 FOR GENERAL  
NOTES AND SCHEDULES

03 Delphinium Way,  
Brampton

## MAIN FLOOR PLAN

scale:  $\frac{3}{16}"=1'-0"$   
date: 2021.03.13  
project: 21-023  
drawing number:

A-02

Revision: 01

Seal



NO. DATE REVISION/ISSUED  
 00 2021.01.27 Schematic Design  
 01 2021.03.12 Minor Variance App

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## BASEMENT APARTMENT

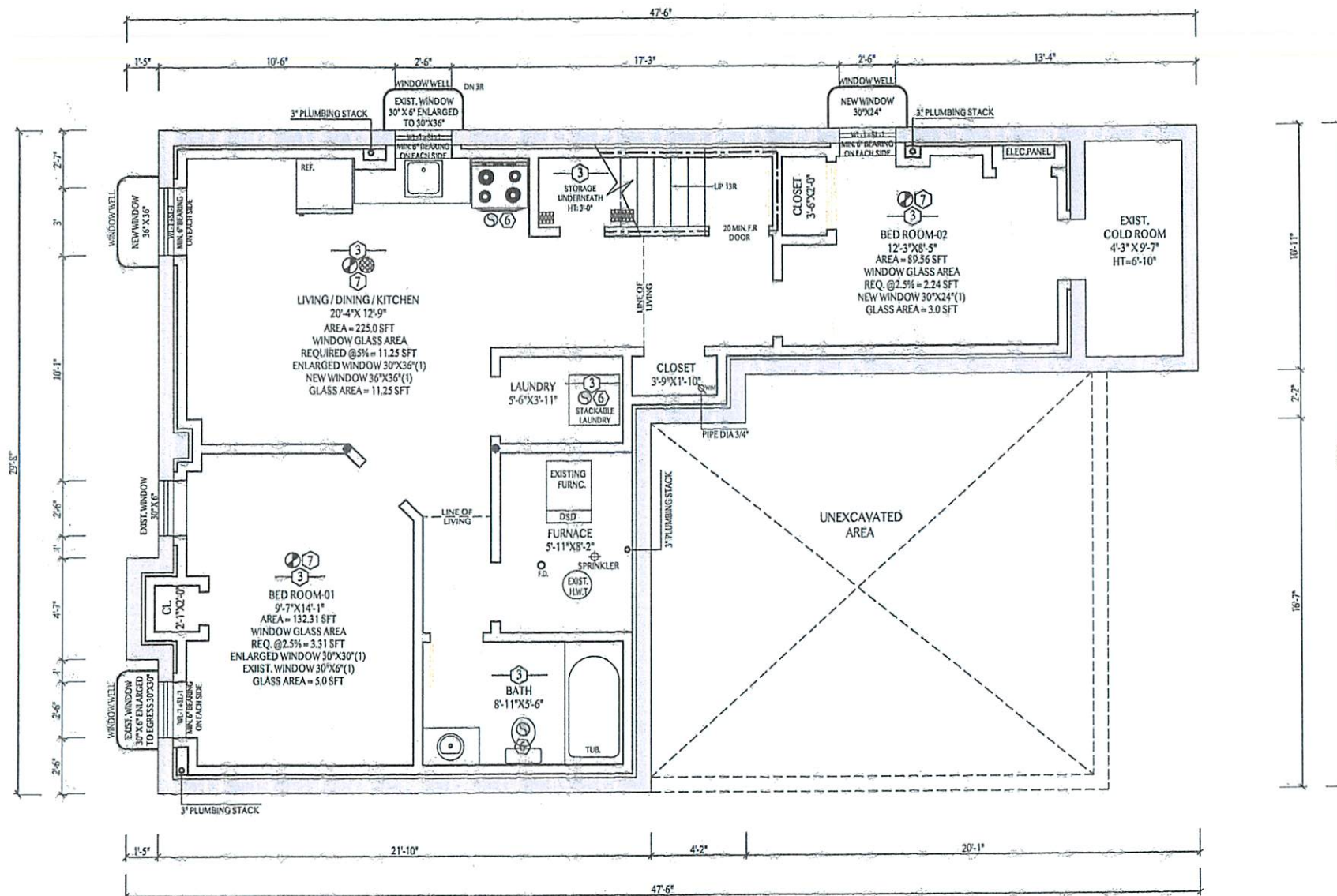
03 Delphinium Way,  
 Brampton

## BASEMENT - PLAN

scale:  $\frac{3}{16}" = 1'-0"$   
 date: 2021.03.13  
 project: 21-023  
 drawing number:

**A-03**

Revision: 01



### LEGEND:

- EXISTING WALLS
- NEW WALLS
- FIRE RATED WALLS REFER TO G-01 FOR DETAILS
- EXISTING TO BE REMOVED
- EXISTING COLUMNS

### BASEMENT PLAN

GROSS FLOOR AREA CALCULATIONS  
 A- NEW BASEMENT APARTMENT GFA = 0.0 SFT / 0.0 M<sup>2</sup>  
 B- NEW BASEMENT APARTMENT GFA = 0.0 SFT / 0.0 M<sup>2</sup>  
 TOTAL BASEMENT GFA = 874.31 SFT / 81.25 M<sup>2</sup>  
 CEILING HEIGHT = 7'-7"

7

SL1: STEEL LINTEL 3 1/2" X 3 1/2" X 3/8"  
 WL1: WOOD LINTEL 2 - 2 X 8 SPF NO.1 OR 2  
 INTERCONNECTED AND WIRED SMOKE ALARMS AT  
 EACH FLOOR AND EACH UNIT INCLUDING FINISHED  
 BASEMENT AND LEGAL BASEMENT - AS PER  
 QBC 9.10.19.

PLEASE SEE DRAWING NO. G-01 FOR GENERAL  
 NOTES AND SCHEDULES

A-2021-0054

a

b

c

F1

F2

