



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **BARTOLOMEO DIGIOVANNI AND CONNIE DIGIOVANNI** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 242, Plan 43M-820 municipally known as **27 LEEWARD DRIVE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit an existing open roofed porch to encroach 2.65m (8.70 ft.) into the required rear yard, resulting in a setback of 5.1m (16.73 ft.) whereas the by-law permits a maximum encroachment of 2.0m (6.56 ft.), resulting in a rear setback of 5.75m (18.86 ft.);
2. To permit lot coverage of 39.3% whereas the by-law permits a maximum lot coverage of 30%;
3. To permit a side yard setback of 0.84m (2.76 ft.) to a proposed building addition enclosing the below grade stairs whereas the by-law requires a minimum side yard setback of 1.2m (3.94 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, April 20, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

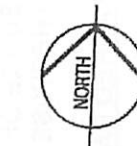
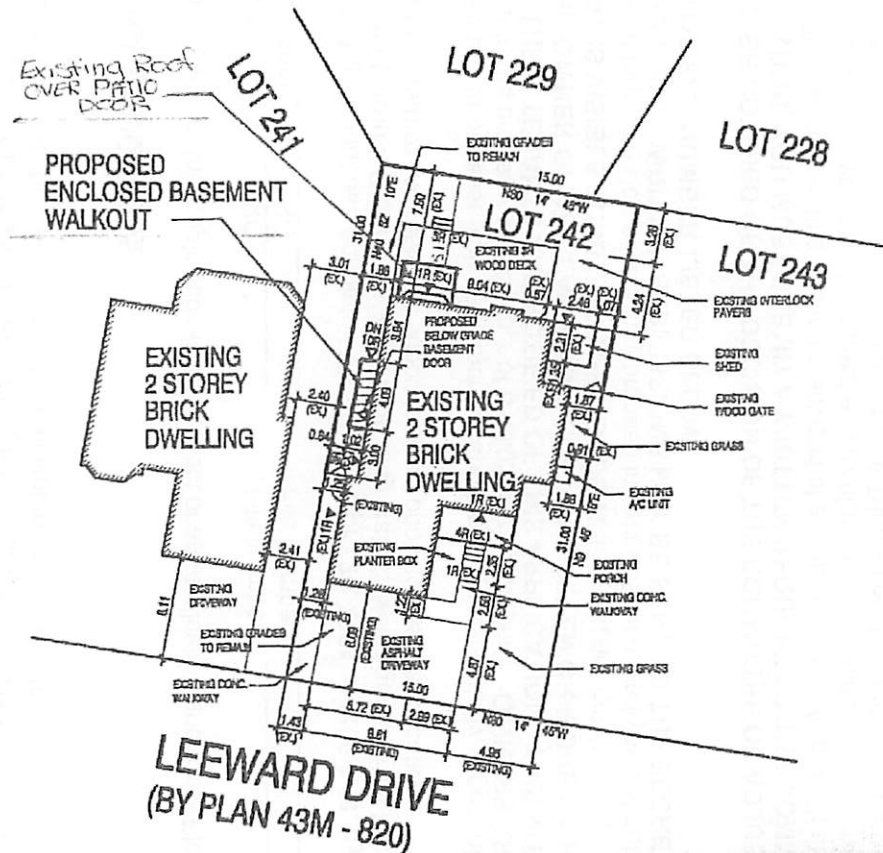
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 8th day of April, 2021.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall
2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



SITE PLAN
SCALE 1:250

BUILDING LOCATION SURVEY OF
LOTS 240, 241 AND 242, PLAN 43M - 820
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
JOSEPH RADY - PENTEK LTD., O.L.S
OCTOBER 17, 1988

LEGEND

▲	PROPOSED DOOR LOCATION
▲	EXISTING DOOR LOCATION
(EX)	EXISTING
---	EXISTING WOOD FENCE

Lot coverage: 39.3%

**PROPOSED FINISHED
BASEMENT WITH
ENCLOSED WALKOUT**

7		
6		
5		
4		
3		
2	FEB 12, 1989	SENT TO CITY FOR COMMENTS ON ALLIANCE
1	JUN 21, 1988	SENT TO CITY FOR BUILDING PERMIT
Rev.	DATE	WORK DESCRIPTION

The undersigned has prepared this plan and is responsible for its accuracy and for the proper construction and use of the building. I am a duly qualified person and am not a member of the Ontario Association of Architects.

JOSEPH RADY
Pentek Ltd.
38972
1800 KENNEDY AVE. TORONTO, ONT. M2M 2V8
TEL: (416) 491-0077
FAX: (416) 491-0077



SITE PLAN

27 LEEWARD DRIVE
BRAMPTON

TYPE	AREA
FOOTING	1:250
PLAN NO.	20-27L
DATE	1S

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures
How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, April 15, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, April 16, 2021**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, April 16, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

April 6, 2021

To: Committee of Adjustment

RE: APPLICATION FOR MINOR VARIANCE
BARTOLOMEO DIGIOVANNI AND CONNIE DIGIOVANNI
Lot 242, PLAN M820
A-2021-0080 – 27 Leeward Drive
WARD 7

Please **amend** application **A-2021-0080** to reflect the following:

1. To permit an existing open roofed porch to encroach 2.65m into the required rear yard resulting in a setback of 5.1m whereas the by-law permits a maximum encroachment of 2.0m resulting in a rear yard setback of 5.75m
2. To permit a lot coverage of 39.3%, whereas the by-law permits a maximum lot coverage of 30%.
3. To permit a side yard setback of 0.84m to the proposed building addition enclosing the below grade stairs, whereas the zoning by-law requires a minimum side yard setback of 1.2m


Applicant/Authorized Agent

Existing Roof
OVER PATIO
DOOR

PROPOSED
ENCLOSED BASEMENT
WALKOUT

LOT 241

LOT 229

LOT 228

LOT 242

LOT 243

EXISTING
2 STOREY
BRICK
DWELLING

EXISTING
2 STOREY
BRICK
DWELLING

LEEWARD DRIVE
(BY PLAN 43M - 820)



SITE PLAN
SCALE 1:250

BUILDING LOCATION SURVEY OF
LOTS 240, 241 AND 242, PLAN 43M - 820
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
JOSEPH RADY - PENTEK LTD., O.L.S
OCTOBER 17, 1988

LEGEND

- ▲ PROPOSED DOOR LOCATION
- ▲ EXISTING DOOR LOCATION
- (EX) EXISTING
- EXISTING WOOD FENCE

Lot coverage: 39.3%

PROPOSED FINISHED
BASEMENT WITH
ENCLOSED WALKOUT

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE CITY ENGINEER PRIOR TO COMMENCEMENT OF WORK.
CITY ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF BLINDS, STRUCTURE, OR ENGINEERING INFORMATION IN CASE OF SUCH DISCREPANCIES OR FOR CONSTRUCTION ERRORS IN THE BALANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE PROFESSIONAL DRAWINGS AND/OR PRECEDING WORK.
ALL DIMENSIONED DIMENSIONS MUST BE VERIFIED PRIOR TO BEING USED.
CITY ENGINEER HAS NOT BEEN ASSIGNED TO CHECK THE DESIGN, REVIEW OF THE WORK AND ASSUME NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR FOR CONSTRUCTION TO COMPLY WITH THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IT IS PROVIDED BY AND IS THE PROPERTY OF CITY ENGINEER. THIS DRAWING IS NOT TO BE REPRODUCED.

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3		
2	FEB 11, 2000	ISSUED TO CLIENT FOR COMMITTEE OF ADJUDICATION
1	JAN 21, 2000	ISSUED TO CLIENT FOR BUILDING PERMIT
Rev	DATE	WORK DESCRIPTION

The undersigned has reviewed and taken responsibility for this design and has the qualifications and permits for requirements set out in the Ontario Building Code, Act & Regulation.
QUALIFICATION INFORMATION:
Signed under design & control under Section 13.1.1 of the Building Code.
Vincent Petrucci 38972
NAME SIGNATURE JCB
REGISTERED PROFESSIONAL
Signed under design & control under Section 13.1.1 of the Building Code.
Vincent Petrucci 38972
NAME SIGNATURE JCB
REGISTERED PROFESSIONAL



18 NIPGON AVE.
TORONTO, ONT. M2M 2V8
TEL: (416) 455-0077
EMAIL: citydesigns@sympatico.ca

SITE PLAN

27 LEEWARD DRIVE
BRAMPTON

TYPE	AREA
SCALE	1:250
PROJ. NO.	20-27L
DRAW. NO.	1S



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION**Minor Variance or Special Permission**

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Bartolomeo DiGiovanni and Connie DiGiovanni
Address 27 Leeward Drive, Brampton, Ont. L6S 5V7

Phone # 416-816-8676**Fax #** _____**Email** jeff@alphact.ca

2. **Name of Agent** Jeff DiGiovanni
Address 8 Lisa Street, Unit 2802, Brampton, Ont. L6T 4S6

Phone # 416-816-8676**Fax #** _____**Email** jeff@alphact.ca

3. **Nature and extent of relief applied for (variances requested):**

1. To permit an interior side yard setback of 0.84m, whereas the by-law requires a minimum side yard setback of 1.2m
2. To permit a lot coverage of 35%, whereas the by-law permits a maximum lot coverage of 30%

4. **Why is it not possible to comply with the provisions of the by-law?**

Variance required in order to meet client needs, enclosed below grade entrance was built 16 years ago and in order to pass inspection without being enclosed, an excavation of the below grade entrance would be required which would cause damage to the structural integrity of the House.

5. **Legal Description of the subject land:**

Lot Number 242**Plan Number/Concession Number** Plan 43M-820**Municipal Address** 27 Leeward Drive

6. **Dimension of subject land (in metric units)**

Frontage 15.00m**Depth** 31.00m**Area** 465m²

7. **Access to the subject land is by:**

Provincial Highway ☐Municipal Road Maintained All Year ☒Private Right-of-Way ☐Seasonal Road ☐Other Public Road ☐Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Two storey single family dwelling: (Ground floor area 121.52m²; Gross floor area 337.70m²)
Shed: 2.31m x 2.46m = 5.68m²
Wood Deck: 9.04m x 4.24m = 38.37m²

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Walkout below grade entrance in side yard to be Enclosed
Area: (4.09m) x (1.02m) = 4.18m²
Height: (2.31m) & (0.76m) from top of foundation wall with sloped roof

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	House: (6.09m)
Rear yard setback	House: (7.50m) - Shed: (7.50m) - Wood Deck: (3.26m)
Side yard setback	House: (1.25m) (1.86m) - Wood Deck: (1.86m)
Side yard setback	House: (1.86m) - Shed: (1.07m) - Wood Deck: (4.10m)

PROPOSED

Front yard setback	
Rear yard setback	
Side yard setback	Walkout below grade entrance (0.84m) to be Enclosed
Side yard setback	

10. Date of Acquisition of subject land: 1988
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 1989
15. Length of time the existing uses of the subject property have been continued: Since construction
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 26 DAY OF March, 20 21.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Jeff D'Giovanni, OF THE City OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 26th DAY OF
March, 20 21.

April Dela Cerna
Commissioner etc.

Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1B(1)-328 and Mature Neighbourhood

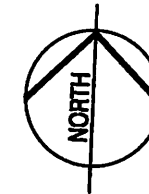
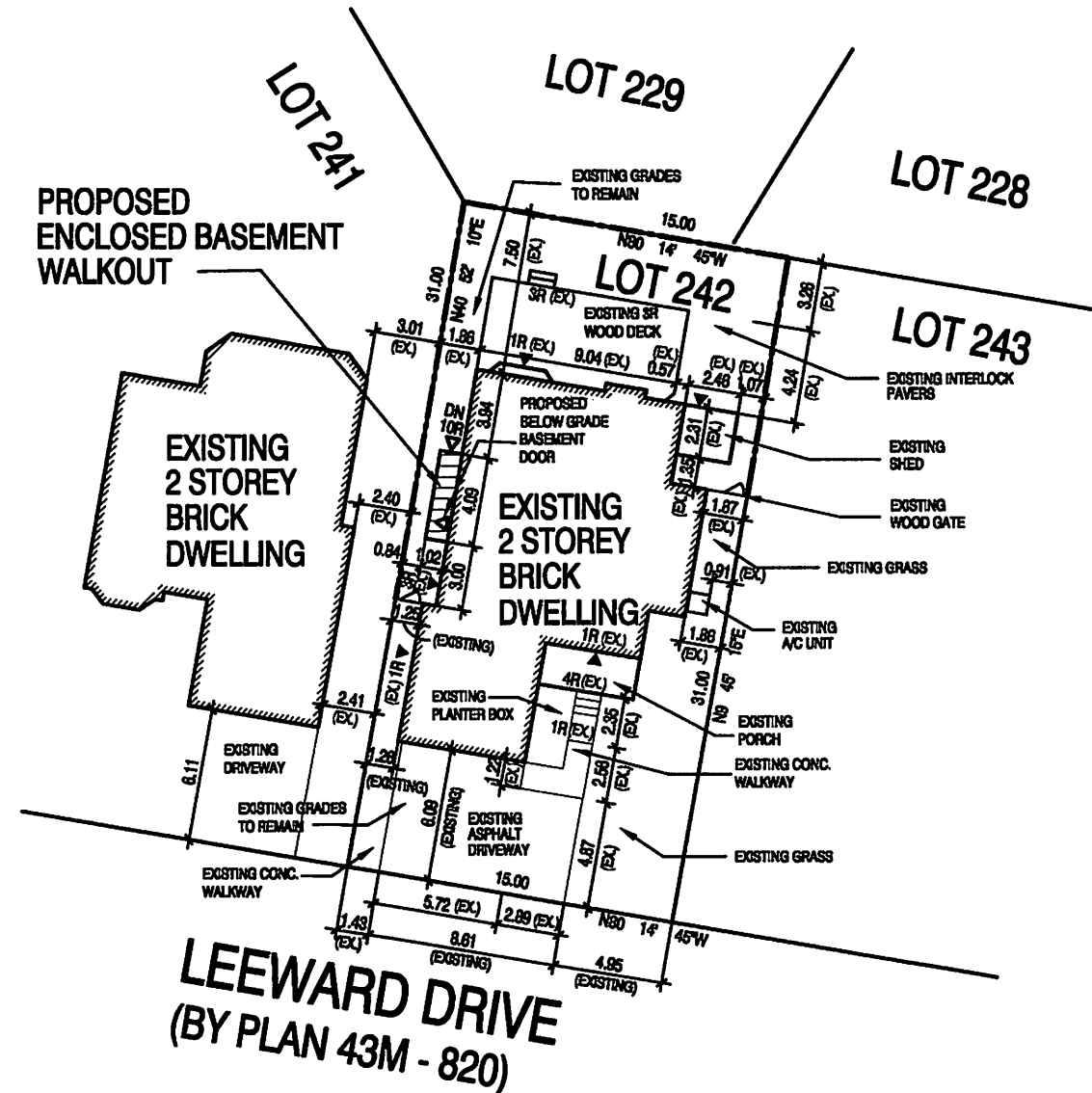
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

[Signature]
Zoning Officer

March 26, 2021
Date

DATE RECEIVED March 26, 2021

Date Application Deemed Complete by the Municipality _____



SITE PLAN SCALE 1:250

BUILDING LOCATION SURVEY OF
LOTS 240, 241 AND 242, PLAN 43M - 820
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
JOSEPH RADY - PENTEK LTD., O.L.S
OCTOBER 17, 1988

LEGEND

- ▲ PROPOSED DOOR LOCATION
- ▲ EXISTING DOOR LOCATION
- (EX) EXISTING
- EXISTING WOOD FENCE

**PROPOSED FINISHED
BASEMENT WITH
ENCLOSED WALKOUT**

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO CITY DESIGNS PRIOR TO COMMENCEMENT OF WORK.

CITY DESIGNS IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, CALCULATIONS OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING CHANGES BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED DIMENSIONS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

CITY DESIGNS HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR SUB-CONSTRUCTION TO COMPLY WITH THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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2	FEB 17, 2020	ISSUED TO CLIENT FOR COMMITTEE OF ADJUSTMENT
1	JAN 22, 2020	ISSUED TO CLIENT FOR BUILDING PERMIT
No:	DATE:	WORK DESCRIPTION:

The undersigned has reviewed and takes responsibility for this design and how the specifications and jointly the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.3 of the building code.

Vincent Petruzza 38972
NAME: SIGNATURE: BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.3 of the building code.

Vincent Petruzza o/a City Designs 40555
FIRM NAME: BCIN



18 NIPGON AVE.
TORONTO, ONT., M2M 2V8
TEL: (416) 440-8077
EMAIL: citydesigns@sympatico.ca

SITE PLAN

27 LEEWARD DRIVE
BRAMPTON

TYPE	AREA
SCALE	1:250
PROJ. No.	DWG. No.
20-27L	1S

BUILDING LOCATION SURVEY OF
LOTS 240, 241 AND 242, PLAN 43M-820
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

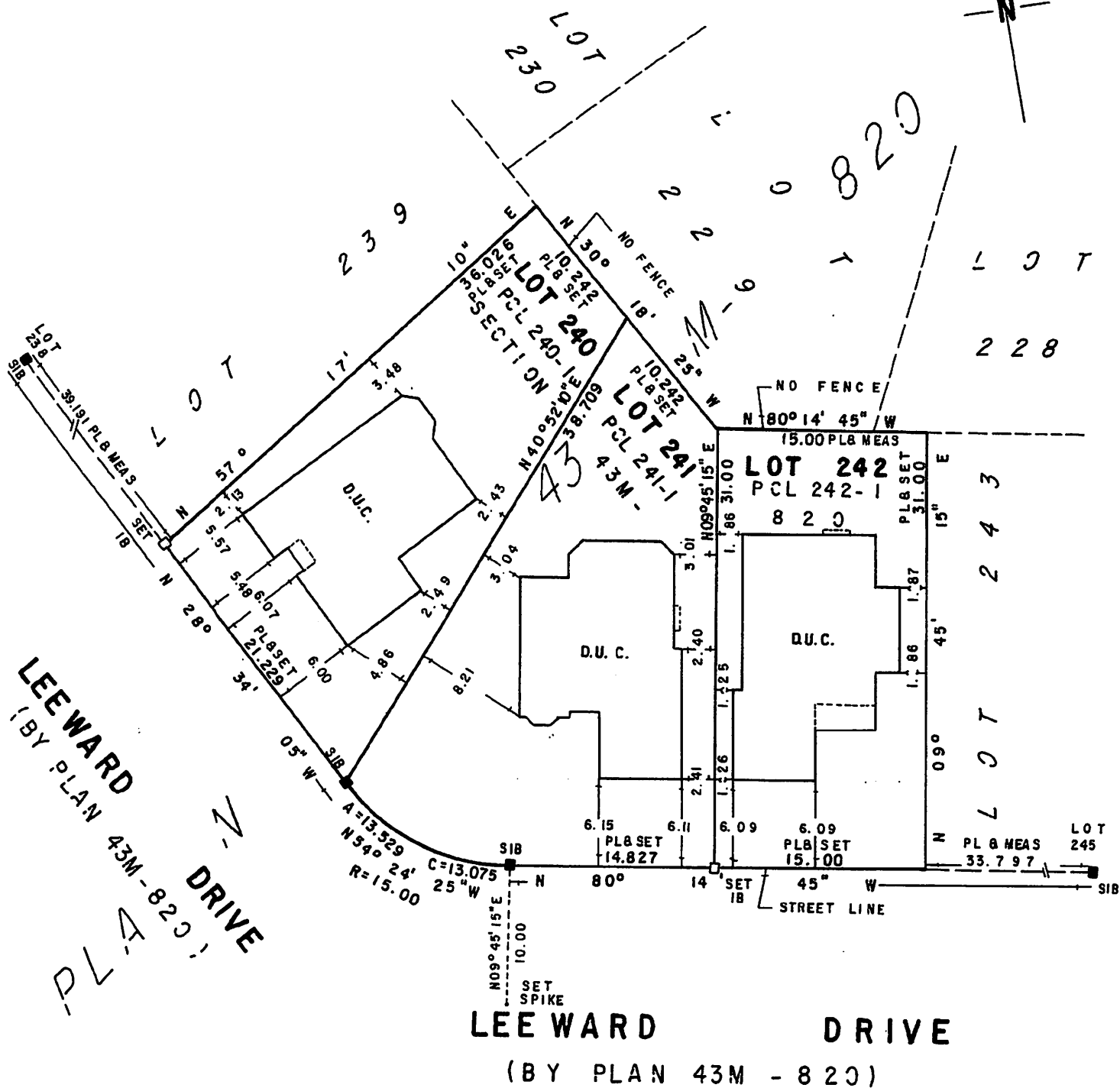
SCALE 1:400

10m 5m 0 10m 20m 30m 40m

JOSEPH RADY - PENTEK LTD., O.L.S. 1988

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE
CONVERTED TO FEET BY DIVIDING BY 0.3048



NOTE

D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
SIB DENOTES STANDARD IRON BAR
IB DENOTES IRON BAR
■ DENOTES MONUMENT FOUND
PL DENOTES PLAN 43M-820
PCL DENOTES PARCEL

ALL FOUND MONUMENTS BY W.M. FENTON LTD., O.L.S.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS
COMPLETED ON THE 5TH DAY OF OCTOBER, 1988

DATE OCTOBER 17TH, 1988

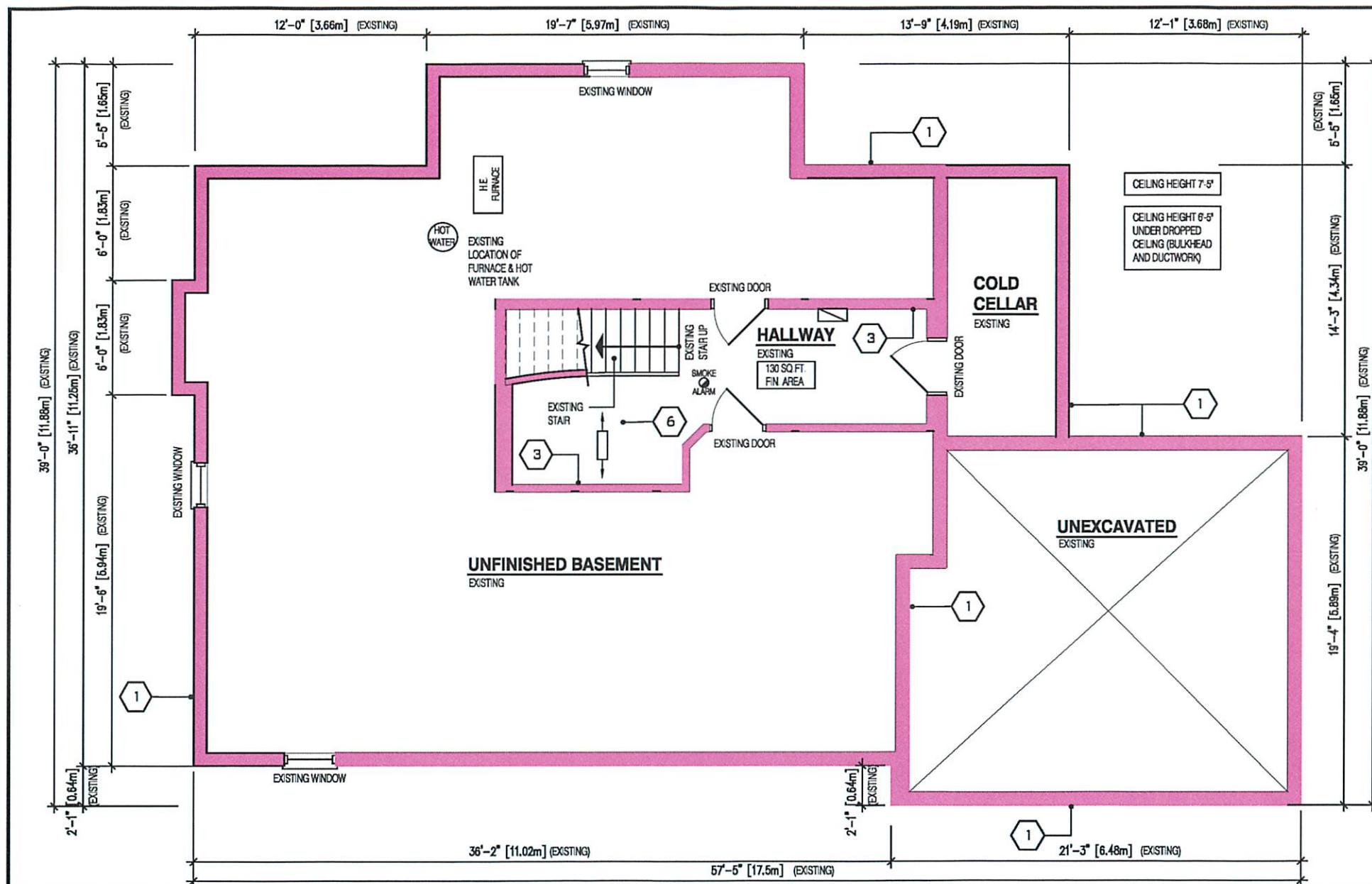
C. P. Edward
C. P. EDWARD
ONTARIO LAND SURVEYOR

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE
NORTH LIMIT OF LEEWARD DRIVE AS SHOWN ON PLAN 43M-820
HAVING A BEARING OF N 80° 14' 45\"/>

© JOSEPH RADY - PENTEK LTD., O.L.S. 1988

fp JOSEPH RADY-PENTEK LTD.
ONTARIO LAND SURVEYORS
678 SHEPPARD AVE., W. DOWNSVIEW ONT.
635-5986

DRAWN: Y. W. CHECKED: R. F. JOB No. 87-270



LEGEND

- EXISTING WALLS
- FOUNDATION WALL:
EXISTING POURED CONC. W/
2"x4" WOOD STUD @ 16" O.C.;
R12 BLANKET INSULATION W/
VAPOUR BARRIER & 1/2"
DRYWALL
- PROPOSED PARTITION:
2"x4" WOOD STUD @ 16" O.C. W/ 1/2"
DRYWALL ON BOTH SIDES
- INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
- SMOKE ALARM
- CMA CARBON MONOXIDE ALARM
- SUPPLY AIR OUTLET
- RETURN AIR OUTLET
- FAN VENTED TO EXTERIOR
- F.D. FLOOR DRAIN
- PROPOSED BASEMENT
FINISHED AREA

DOOR SCHEDULE:

- 1 2'-8" x 6'-8" SLAB DOOR (1 3/8" INT.)
- 2 2'-8" x 6'-8" SLAB DOOR (1 3/8" INT.)
- 3 1'-6" x 6'-8" SLAB DOOR (1 3/8" INT.)
- 4 2'-8" x 6'-8" INSULATED EXTERIOR DOOR
(20 min. FIRE RATED)
- 5 2'-8" x 6'-8" INSULATED EXTERIOR DOOR

LINTEL SCHEDULE:

WL1 = 3 1/2" x 3 1/2" x 1/4" (90x90x6) + 2 2" x 8" SPR

PROPOSED FINISHED BASEMENT WITH ENCLOSED WALKOUT

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO CITY DESIGNS PRIOR TO COMMENCEMENT OF WORK.

CITY DESIGNS IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

CITY DESIGNS HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONSTRUCTION OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF CITY DESIGNS. IT IS NOT TO BE REPRODUCED OR COPIED.

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2	FEB. 17, 2020	ISSUED TO CLIENT FOR COMMITTEE OF ADJUSTMENT
1	JAN. 22, 2020	ISSUED TO CLIENT FOR BUILDING PERMIT
No.	DATE:	WORK DESCRIPTION:

LEGEND

- 1 EXISTING FOUNDATION WALL W/ FOOTING
- 2 EXISTING EXTERIOR BRICK VENEER WALL
- 3 EXISTING INTERIOR STUD WALL
- 4 EXISTING GARAGE STUD WALL
- 5 EXISTING WOOD FLOOR JOISTS
- 6 EXISTING CONC. SLAB W/ CERAMIC FINISH
- 7 EXISTING CONC. SLAB W/ PROPOSED CERAMIC FINISH

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Vincent Petruzzo 38972
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

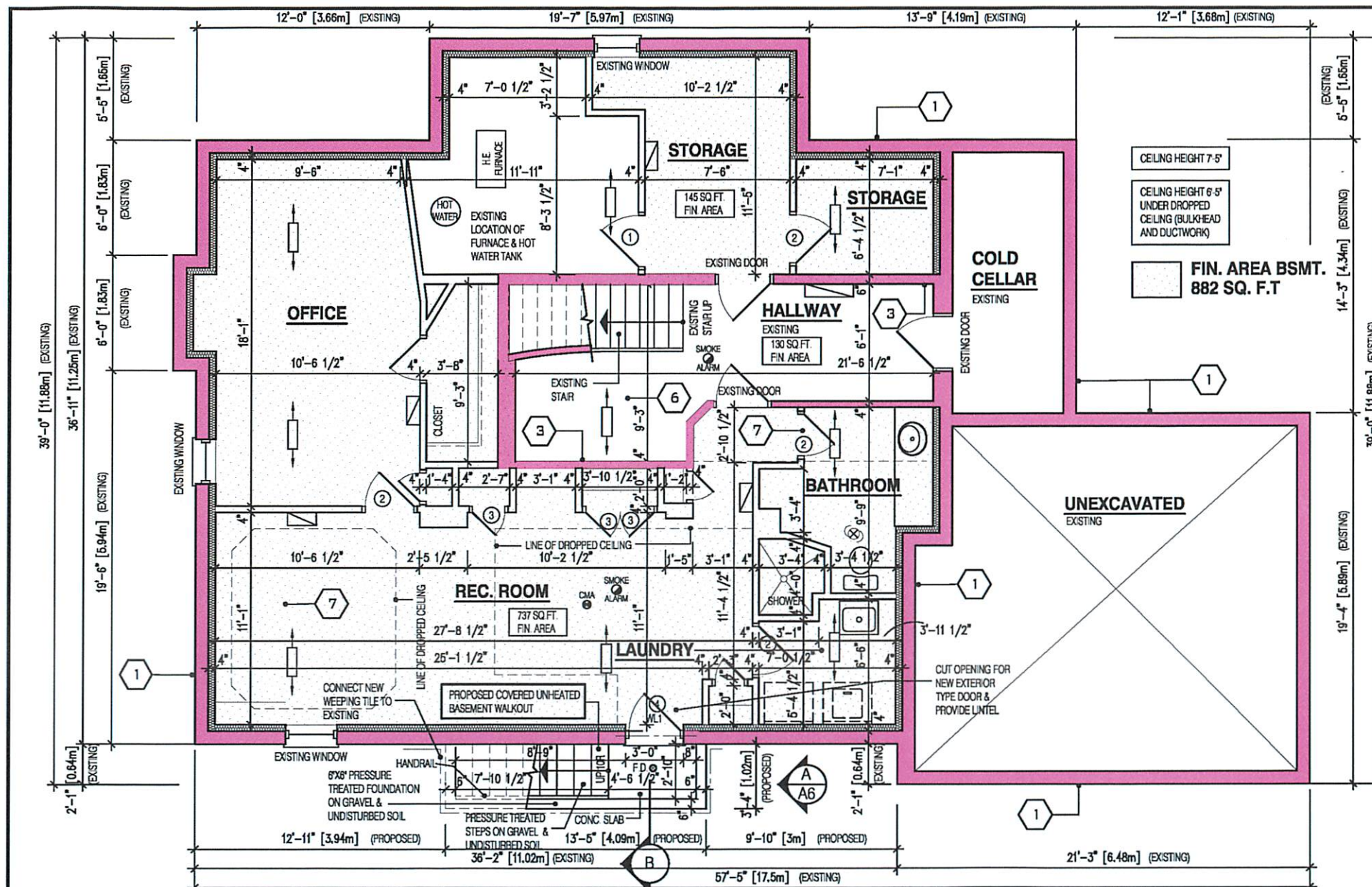
Vincent Petruzzo o/a City Designs, 40555
FIRM NAME BCIN



18 NIPGON AVE.
TORONTO, ONT., M2M 2V8
TEL: (416) 460-8079
EMAIL: citydesigns@sympatico.ca

EXISTING BASEMENT

27 LEEWARD DRIVE BRAMPTON	
TYPE	AREA
SCALE:	3/16" = 1'-0"
PROJ. No.	DWG. No.
20-27L	A1



- LEGEND**
- EXISTING WALLS
 - FOUNDATION WALL:
EXISTING POURED CONC. W/
2x4" WOOD STUD @ 16" O.C.;
R12 BLANKET INSULATION W/
VAPOUR BARRIER & 1/2"
DRYWALL
 - PROPOSED PARTITION:
2x4" WOOD STUD @ 16" O.C. W/ 1/2"
DRYWALL ON BOTH SIDES
 - INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
 - SMOKE ALARM
 - CMA CARBON MONOXIDE ALARM
 - SUPPLY AIR OUTLET
 - RETURN AIR OUTLET
 - FAN VENTED TO EXTERIOR
 - F.D. FLOOR DRAIN
 - PROPOSED BASEMENT
FINISHED AREA

- DOOR SCHEDULE:**
- 1 2'-8" x 6'-8" SLAB DOOR (1 3/8" INT.)
 - 2 2'-8" x 6'-8" SLAB DOOR (1 3/8" INT.)
 - 3 1'-6" x 6'-8" SLAB DOOR (1 3/8" INT.)
 - 4 2'-8" x 6'-8" INSULATED EXTERIOR DOOR
(20 min. FIRE RATED)
 - 5 2'-8" x 6'-8" INSULATED EXTERIOR DOOR

LINTEL SCHEDULE:
WL1 = 3 1/2" x 3 1/2" x 14" (9000) + 2-2" x 8" SPR.

PROPOSED FINISHED BASEMENT WITH ENCLOSED WALKOUT

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED TO CITY DESIGNS PRIOR TO COMMENCEMENT OF WORK.

CITY DESIGNS IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION DEFECTS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

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No.	DATE:	WORK DESCRIPTION:
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2	FEB. 17, 2020	ISSUED TO CLIENT FOR COMMITTEE OF ADJUSTMENT
1	JAN. 22, 2020	ISSUED TO CLIENT FOR BUILDING PERMIT

- LEGEND**
- 1 EXISTING FOUNDATION WALL W/ FOOTING
 - 2 EXISTING EXTERIOR BRICK VENEER WALL
 - 3 EXISTING INTERIOR STUD WALL
 - 4 EXISTING GARAGE STUD WALL
 - 5 EXISTING WOOD FLOOR JOISTS
 - 6 EXISTING CONC. SLAB W/ CERAMIC FINISH
 - 7 EXISTING CONC. SLAB W/ PROPOSED CERAMIC FINISH

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Vincent Petruzzo 38972
NAME SIGNATURE BCIN

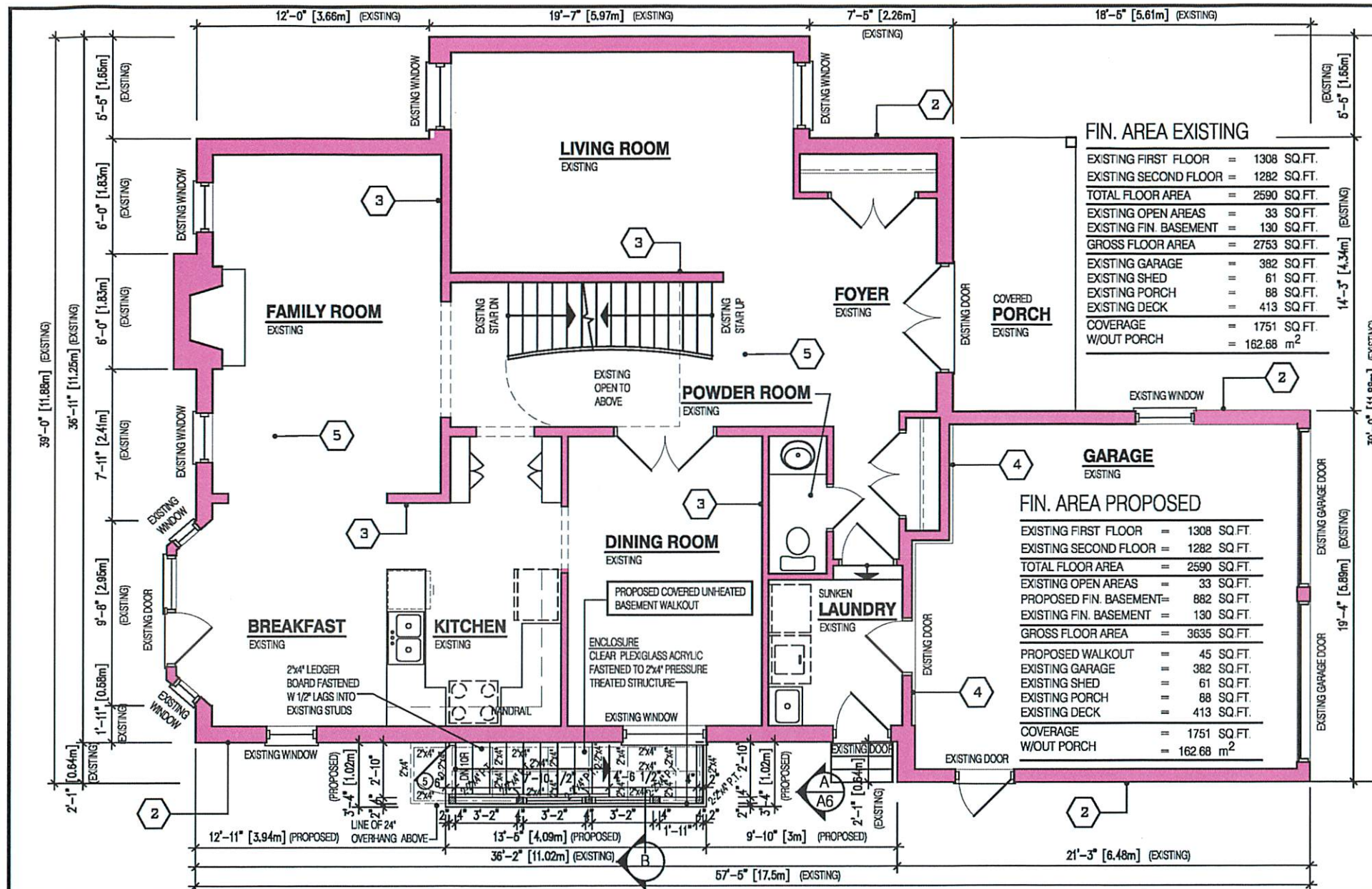
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Vincent Petruzzo o/a City Designs, 40555
FIRM NAME BCIN

CITY DESIGNS

18 NIPGON AVE.
TORONTO, ONT. M2M 2V8
TEL: (416) 460-8079
EMAIL: citydesigns@sympatico.ca

BASEMENT PLAN	
27 LEEWARD DRIVE BRAMPTON	
TYPE	AREA
SCALE: 3/16" = 1'-0"	
PROJ. No. 20-27L	DWG. No. A2



PROPOSED FINISHED BASEMENT WITH ENCLOSED WALKOUT

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NAME SIGNATURE BCIN

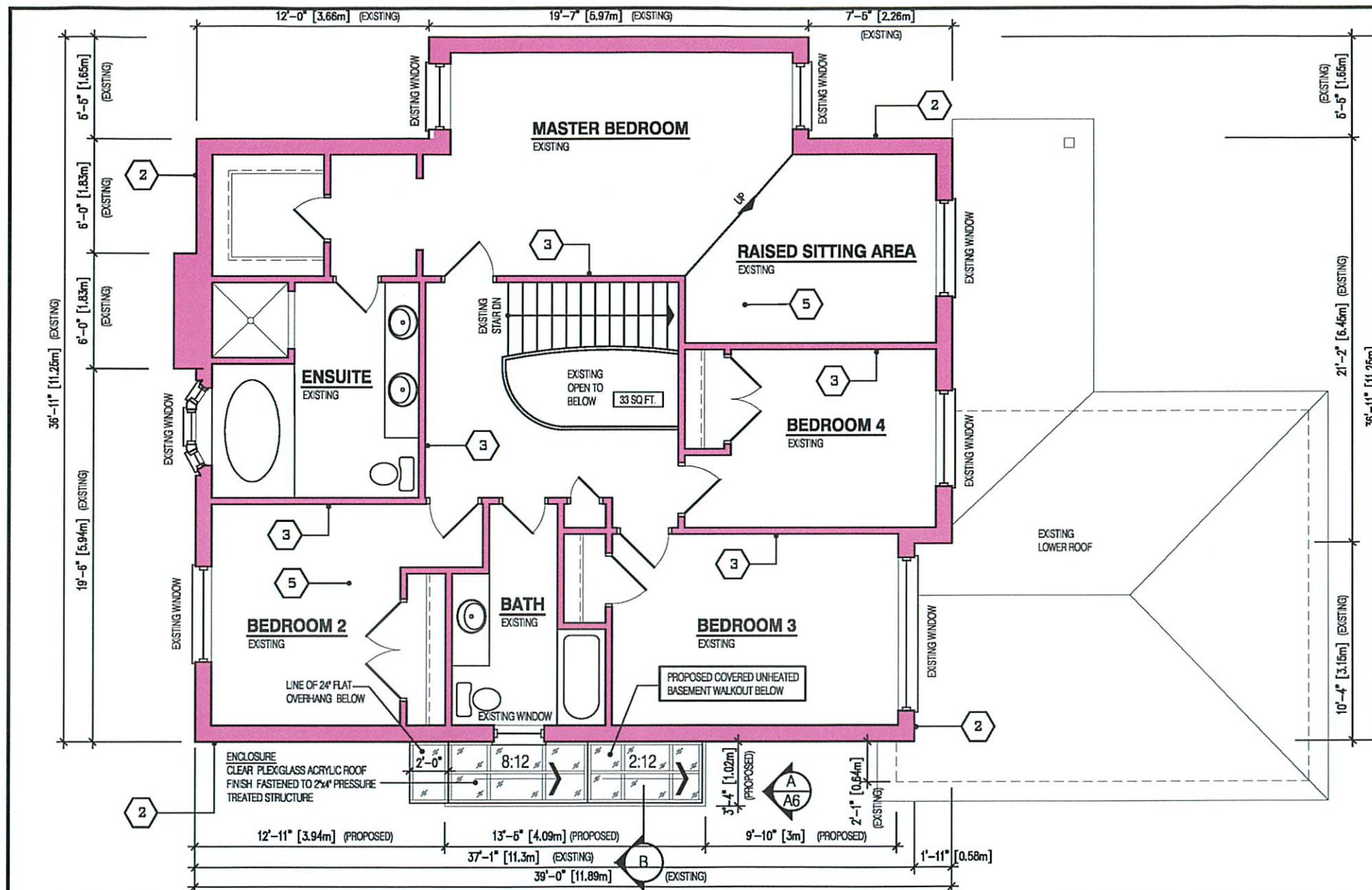
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FIRST FLOOR PLAN	
27 LEEWARD DRIVE BRAMPTON	
TYPE	AREA
SCALE:	3/16" = 1'-0"
PROJ. No.	DWG. No.
20-27L	A3



LEGEND

- EXISTING WALLS
- FOUNDATION WALL:
EXISTING POURED CONC. W/
2"x4" WOOD STUD @ 16" O.C.;
R12 BLANKET INSULATION W/
VAPOUR BARRIER & 1/2"
DRYWALL
- PROPOSED PARTITION:
2"x4" WOOD STUD @ 16" O.C. W/ 1/2"
DRYWALL ON BOTH SIDES
- INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
- SMOKE
ALARM
- CARBON MONOXIDE ALARM
- SUPPLY AIR OUTLET
- RETURN AIR OUTLET
- FAN VENTED TO EXTERIOR
- F.D.
FLOOR DRAIN
- PROPOSED BASEMENT
FINISHED AREA

DOOR SCHEDULE:

- ① 2'-8" x 6'-8" SLAB DOOR (1 3/8" INT.)
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- ③ 1'-6" x 6'-8" SLAB DOOR (1 3/8" INT.)
- ④ 2'-8" x 6'-8" INSULATED EXTERIOR DOOR
(20 min. FIRE RATED)
- ⑤ 2'-8" x 6'-8" INSULATED EXTERIOR DOOR

LINTEL SCHEDULE:

WL1 = 3 1/2" x 3 1/2" x 1/4" (90x90x6) + 2-2" x 8" SPR

PROPOSED FINISHED BASEMENT WITH ENCLOSED WALKOUT

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REGISTRATION INFORMATION
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FIRM NAME BCIN

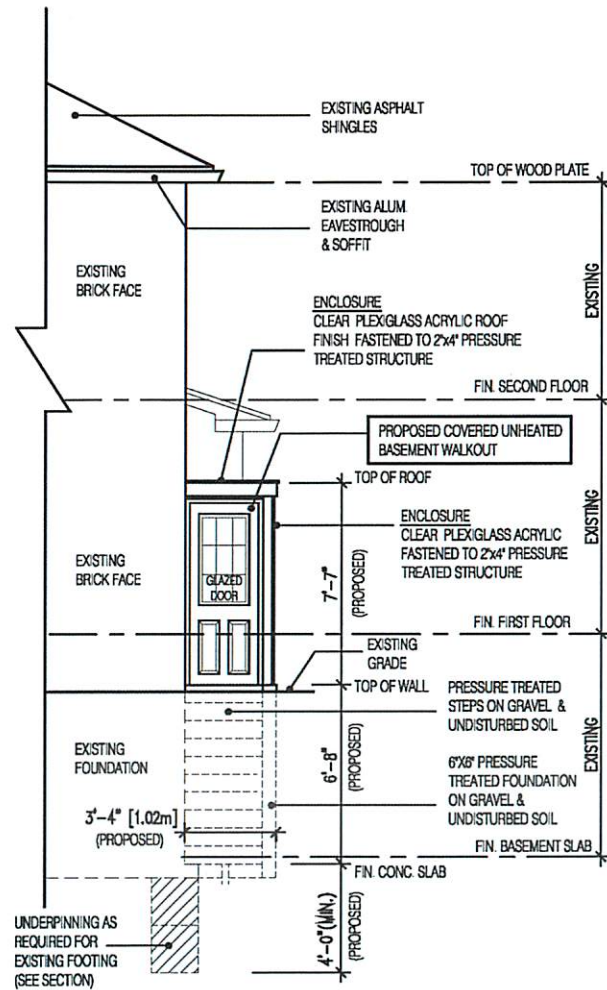


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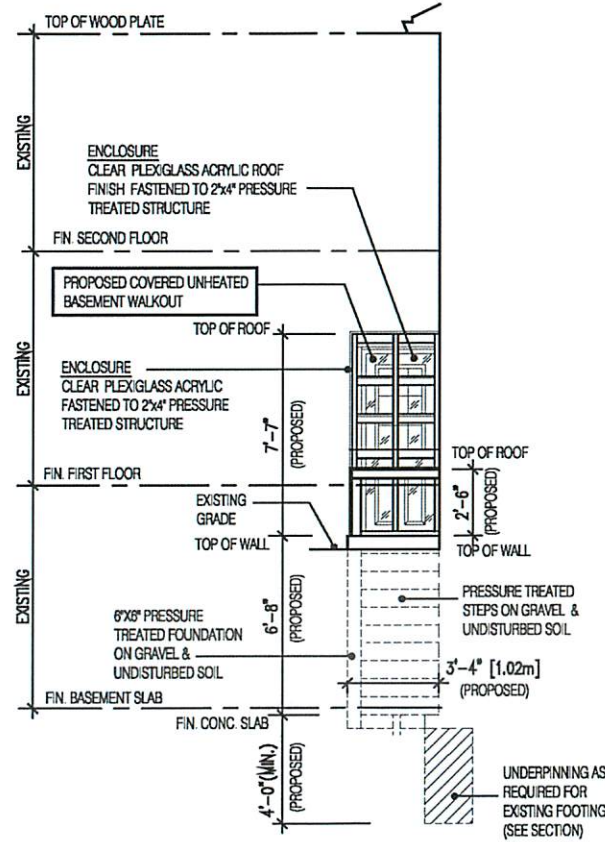
SECOND FLOOR PLAN

27 LEEWARD DRIVE
BRAMPTON

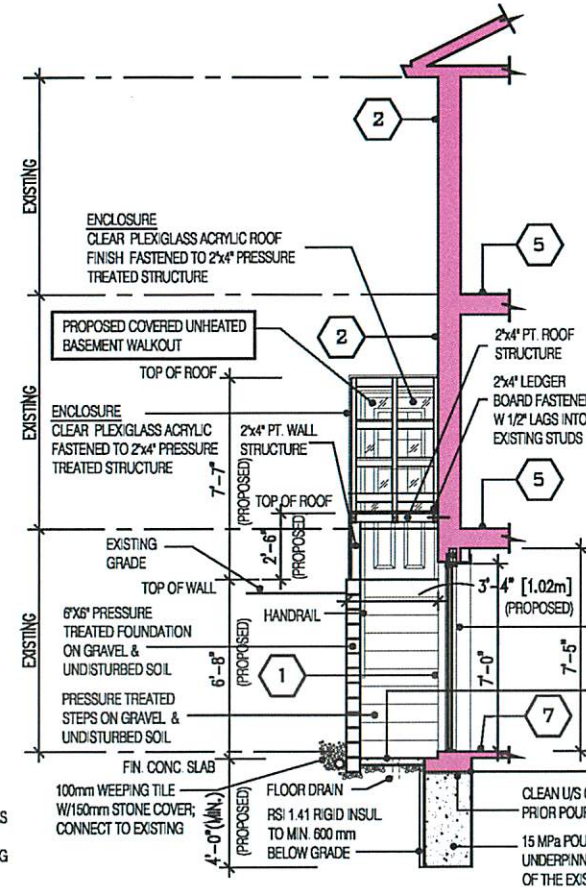
TYPE	AREA
SCALE:	3/16" = 1'-0"
PROJ. No.	DWG. No.
20-27L	A4



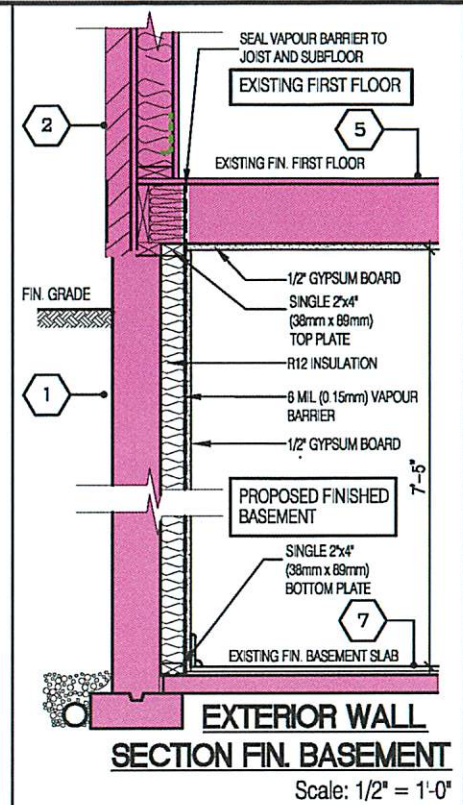
PARTIAL REAR ELEVATION



ELEVATION - A



SECTION - B



PROPOSED FINISHED BASEMENT WITH ENCLOSED WALKOUT

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No:	DATE:	WORK DESCRIPTION:

LEGEND

- | | | | |
|---|-------------------------------------|---|--|
| 1 | EXISTING FOUNDATION WALL W/ FOOTING | 5 | EXISTING WOOD FLOOR JOISTS |
| 2 | EXISTING EXTERIOR BRICK VENEER WALL | 6 | EXISTING CONC. SLAB W/ CERAMIC FINISH |
| 3 | EXISTING INTERIOR STUD WALL | 7 | EXISTING CONC. SLAB W/ PROPOSED CERAMIC FINISH |
| 4 | EXISTING GARAGE STUD WALL | | |

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QUALIFICATION INFORMATION
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Vincent Petruzzio 38972
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Vincent Petruzzio o/a City Designs 40555
FIRM NAME BCIN



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TORONTO, ONT., M2M 2V8
TEL: (416) 460-8079
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ELEVATION/SECTION

27 LEEWARD DRIVE
BRAMPTON

TYPE	AREA
SCALE:	3/16" = 1'-0"
PROJ. No.	DWG. No.
20-27L	A6

27 LEEWARD DRIVE

PREVIOUS DECISIONS



BRAMPTON

Flower City

Notice of Decision

Committee of Adjustment

FILE NUMBER A-2020-0029

HEARING DATE JULY 7, 2020

APPLICATION MADE BY BARTOLOMEO DI GIOVANNI AND CONNIE DI GIOVANNI

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit an existing exterior stairway leading to a below grade entrance in the required interior side yard;
2. To permit an interior side yard setback 0.77m (2.53 ft.) to an existing below grade entrance;
3. To permit an existing open roofed porch to encroach 2.65m (8.69 ft.) into the required rear yard resulting in a setback of 5.1m (16.73 ft.);
4. To permit a side yard setback of 1.02m (3.35 ft.) to an existing accessory structure (shed);
5. To permit a lot coverage of 36.5%.

(27 LEEWARD DRIVE, LOT 242, PLAN 43M-820)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Colp

SECONDED BY: A. C. Marques

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JULY 7, 2020

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

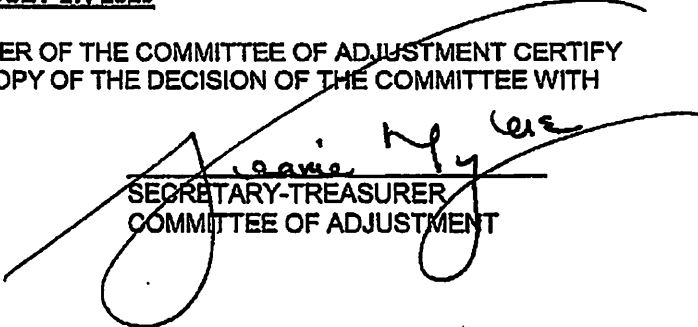
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 7TH DAY OF JULY, 2020

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE JULY 27, 2020

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

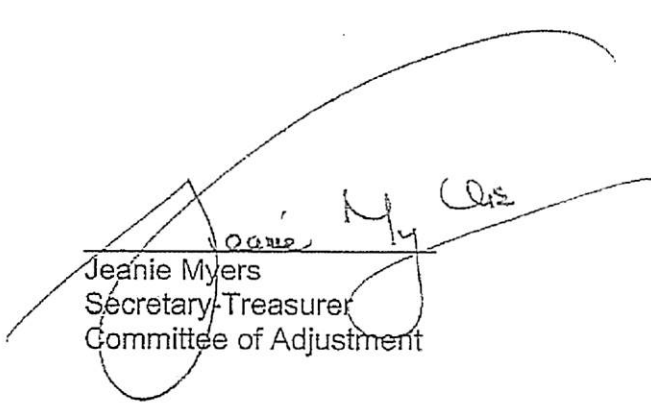
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

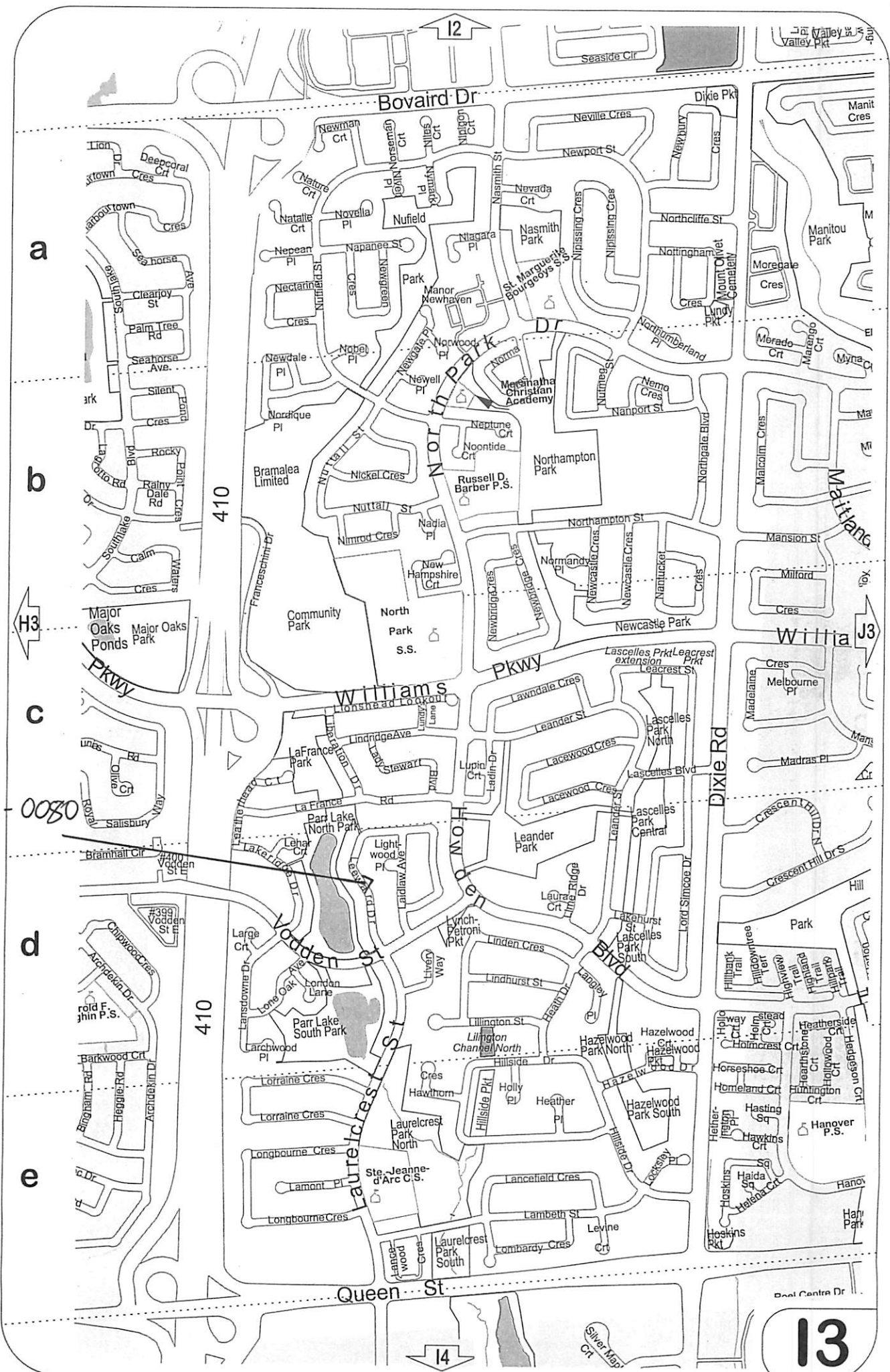
APPLICATION NO: A-2020-0029

DATED: JULY 7, 2020

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
2. That drainage on adjacent properties shall not be adversely affected;
3. That the below grade entrance shall not be used to access an unregistered second unit;
4. That the structure covering the below grade entrance identified as "enclosure to be removed" on the sketch attached to the public notice be removed within 180 days of the final date of the Committee's decision, and said removal be demonstrated to the satisfaction of the Director of Development Services;
5. That the roofed structure which connects the dwelling at 27 Leeward Drive and the dwelling at 29 Leeward Drive be removed within 180 days of the final date of the Committee's decision, and said removal be demonstrated to the satisfaction of the Director of Development Services, or that the structure be altered to comply with the Zoning By-law and Ontario Building Code to the satisfaction of the Chief Building Official and that a building permit be obtained for the alterations, if required;
6. That a building permit be obtained for the shed accessory structure and below grade entrance within 180 days of the final date of the Committee's decision; and
7. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



A-2021-0080