

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **PIRATHEEBAN RANENDRARAJAH** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lots 180 and 181, Plan M-303, Parts 32 and 64, Plan 43R-10219 municipally known as **29 LANGSTON DRIVE**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit an existing below grade entrance in a required interior side yard whereas the by-law does not permit a below grade entrance in a required interior side yard;
2. To permit a 0.98m (3.22 ft.) side yard setback to an existing below grade entrance whereas the by-law requires a minimum side yard setback of 1.2m (3.94 ft.).

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: \_\_\_\_\_ NO \_\_\_\_\_ File Number: \_\_\_\_\_  
Application for Consent: \_\_\_\_\_ NO \_\_\_\_\_ File Number: \_\_\_\_\_

The Committee of Adjustment has appointed **TUESDAY, July 12, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT.** This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 29th Day of June, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer  
Committee of Adjustment, City Clerk's Office,  
Brampton City Hall, 2 Wellington Street West,  
Brampton, Ontario L6Y 4R2  
Phone: (905)874-2117  
Fax: (905)874-2119  
[jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca)

2020/06/06 - REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT  
 19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE

603 Argus Rd, Suit 201  
 Oakville, ON  
 itipermits.com  
 (647) 973-1733

The undersigned has reviewed & taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
 Required unless design is exempt under 3.2.5 of Div. C, of the building code

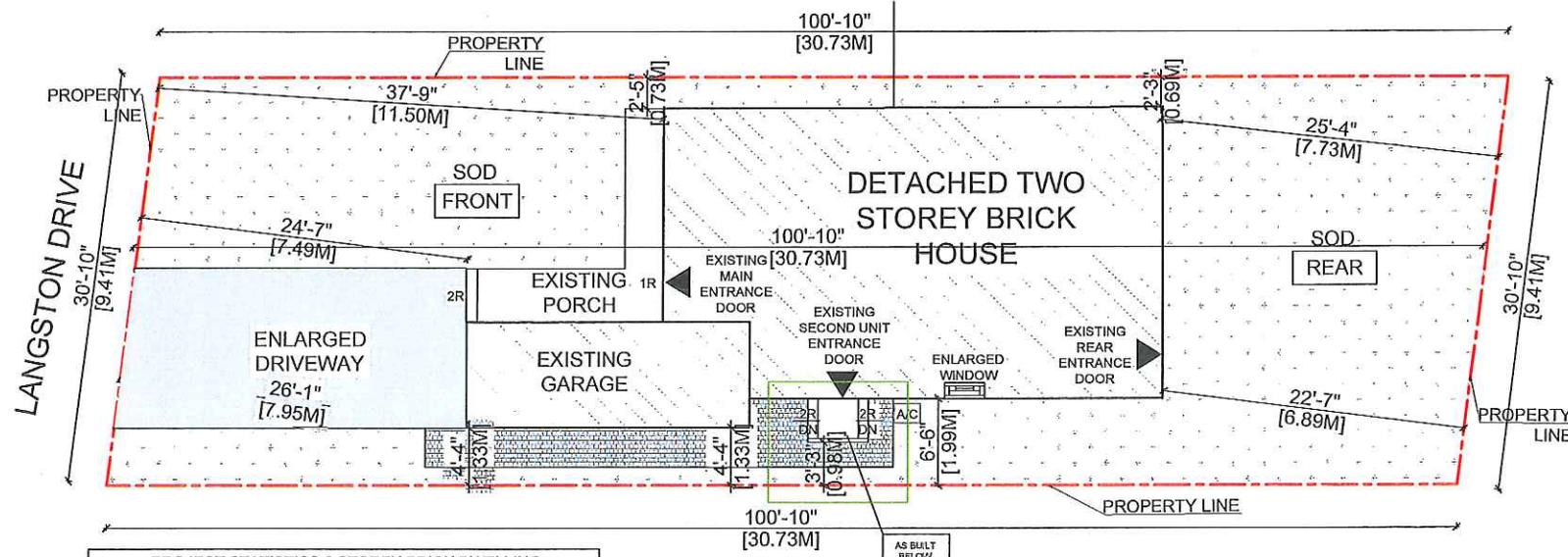
QUALIFICATION INFORMATION  
 Name: VIVEK GUPTA BCIN: 39587  
 #CURDATE: #CURDATE  
 Signature: [Signature] Date: [Date]

REGISTRATION INFORMATION  
 Required unless design is exempt under 3.2.5 of Div. C, of the building code  
 FIRM NAME: IPI PERMIT DESIGNERS INC. BCIN: [BCIN]

ADDRESS:  
 29 LANGSTON DRIVE,  
 BRAMPTON, ON

PROJECT NAME:  
 AS BUILT BELOW GRADE SIDE YARD  
 ENTRANCE AND LEGAL BASEMENT  
 DEPARTMENT

NOTES:  
 1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN ALL THIS PERMIT DRAWINGS  
 2- CONTRACTOR TO REPORT TO THE DESIGNER TO ANY DISCREPANCIES BETWEEN THE EXISTING STRUCTURAL MEMBERS AND INFORMATION STATED IN ANY OF THIS PERMIT DRAWINGS



PROJECT STATISTICS 2 STOREY BRICK DWELLING RESIDENTIAL SECOND UNIT			
LEGAL LAND LOT NUMBER	10	ZONING:	R2A(2)
ADDRESS: 29 LANGSTON DRIVE, BRAMPTON			
LOT FRONTAGE:	9.41 M	LOT AREA:	286.87 SQM
LOT COVERAGE:			
	EXISTING	PROPOSED	TOTAL
DWELLING FOOTPRINT INCLUDING GARAGE:	87.77 SQM	0.00 SQM	
PORCH:	8.64 SQM	0.00 SQM	
DECK:	0.00 SQM	0.00 SQM	
ACCESSORY STRUCTURES:	3.83 SQM	0.00 SQM	
LAND LEGAL DESCRIPTION AND DIMENSIONS :			
	EXISTING	PROPOSED	REMARKS
DEPTH	30.73M	0.00M	
FRONT YARD SETBACK	7.49M	0.00M	
REAR YARD SETBACK	6.89M	0.00M	
RIGHT SIDE YARD SETBACK	1.33M	0.41M	
LEFT SIDE YARD SETBACK	0.69M	0.00M	

DWG NAME  
**SITE PLAN**

DWG SCALE  
 1 : 125

DRAWN BY  
 VG

CHECKED BY  
 VG

DATE  
 2020-06-06

DWG. NO.  
**A-01**

SH. SIZE 11" x 17"



Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures  
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **July 12, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, July 7, 2022.**
- Advance registration for applicants, agents and other interested persons is required by one or two options:
  1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, July 7, 2022.**
  2. To participate in-person, please email the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, July 7, 2022.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, July 7, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:  
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or  
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

***The City of Brampton is reviewing its Committee of Adjustment process. As a participant in this process, if you have comments or input you would like to share about your experience with the Committee of Adjustment, please email [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) to indicate your interest and you will be contacted with more information.***



*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

**APPLICATION**  
**Minor Variance or Special Permission**  
 (Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** PIRATHEEBAN RANENDRARAJAH  
**Address** 29 LANGSTON DRIVE, BRAMPTON ONTARIO L6V 3X9  
**Phone #** (647) 733-8755 **Fax #** \_\_\_\_\_  
**Email** GODTHEEP@YAHOO.COM

2. **Name of Agent** VIVEK GUPTA  
**Address** 603 ARGUS ROAD, OAKVILLE ONTARIO L6J 6G6  
**Phone #** (647) 973-1733 **Fax #** \_\_\_\_\_  
**Email** ITIPERMIT@GMAIL.COM

3. **Nature and extent of relief applied for (variances requested):**  
 1. To permit an existing below grade entrance in a required interior side yard whereas the by-law does not permit a below grade entrance in the required interior side yard.  
 2. To permit a 0.98m setback to an existing below grade entrance whereas the by-law does requires a minimum side yard setback of 1.2m.

4. **Why is it not possible to comply with the provisions of the by-law?**  
 We're unable to comply with the by-law as it is an existing below grade entrance along with the interior staircase.

5. **Legal Description of the subject land: (Roll # : 10-09-0-040-99300-0000-1)**  
**Lot Number** 181  
**Plan Number/Concession Number** M - 303  
**Municipal Address** 29 Langston Drive

6. **Dimension of subject land (in metric units)**  
**Frontage** 9.41m  
**Depth** 30.73m  
**Area** 288.87m

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

Two-storey detached dwelling with a GFA of approx. 180,19m

Second unit basement with an area of 60.91m

As built below grade entrance 3.83 sqm

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

As build below grade entrance 3.83sqm

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback 7.49m

Rear yard setback 6.89m

Side yard setback 1.99m (right)

Side yard setback 0.69m (left)

**PROPOSED**

Front yard setback 7.49m

Rear yard setback 6.89m

Side yard setback 0.98m (right)

Side yard setback 0.69m (left)

10. Date of Acquisition of subject land: 2012

11. Existing uses of subject property: Single unit dwelling

12. Proposed uses of subject property: Second unit basement

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 1970

15. Length of time the existing uses of the subject property have been continued: 52 Years

16. (a) What water supply is existing/proposed?  
Municipal  Other (specify) \_\_\_\_\_  
Well

(b) What sewage disposal is/will be provided?  
Municipal  Other (specify) \_\_\_\_\_  
Septic

(c) What storm drainage system is existing/proposed?  
Sewers  Other (specify) \_\_\_\_\_  
Ditches   
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes  No

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes  No

19. Has the subject property ever been the subject of an application for minor variance?

Yes  No  Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

[Signature]  
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF OF BRAMPTON  
THIS 07 DAY OF JUNE, 20 22

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, VIVEK GUPTA, OF THE TOWN OF WAKVILLE  
IN THE REGION OF HALTON SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE  
City OF Brampton  
IN THE Region OF  
Peel THIS 7<sup>th</sup> DAY OF  
June, 20 22

Jeanie Cecilia Myers  
a Commissioner, etc.,  
Province of Ontario  
for the Corporation of the  
City of Brampton  
Expires April 8, 2024.  
[Signature]

[Signature]  
A Commissioner etc.

Signature of Applicant or Authorized Agent

**FOR OFFICE USE ONLY**

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: R2A(2)-172

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

[Signature] June 7, 2022  
Zoning Officer Date

DATE RECEIVED June 7, 2022

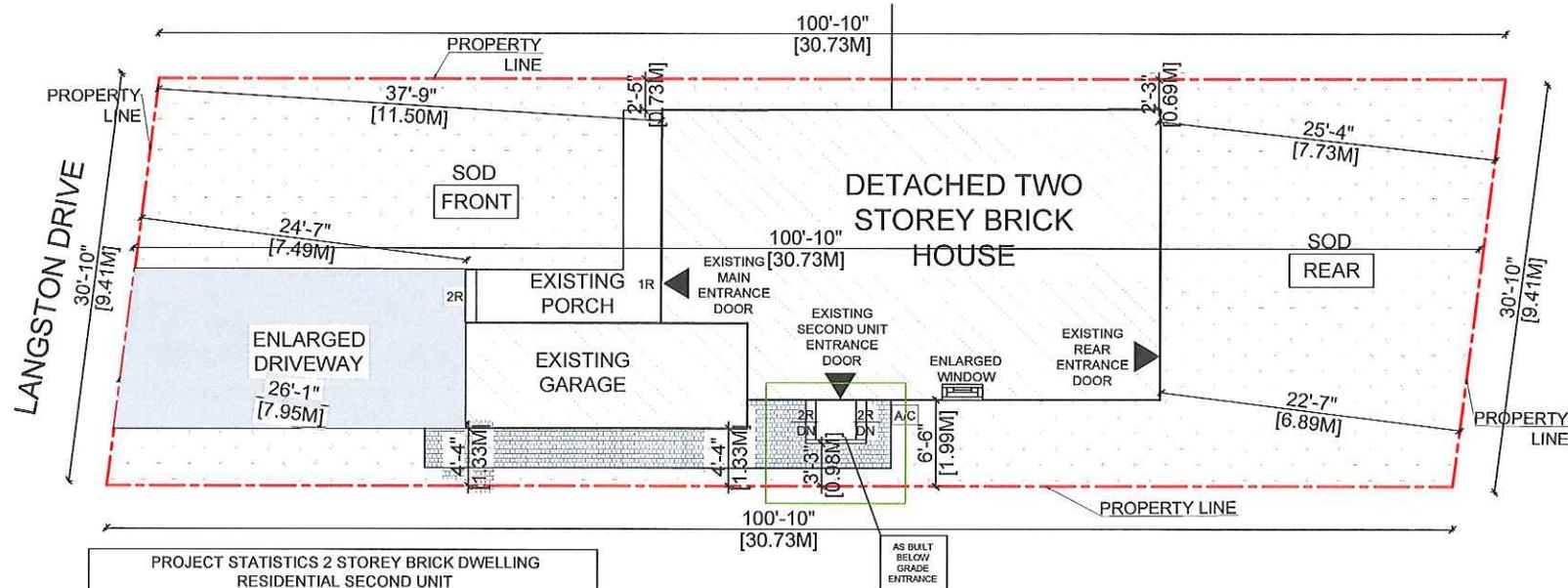
# AS BUILT BELOW GRADE SIDE YARD ENTRANCE AND LEGAL BASEMENT DEPARTMENT

29 LANGSTON DRIVE, BRAMPTON

## DRAWING LIST

- A00 - COVER PAGE
- A01 - SITE PLAN
- A02 - BASEMENT PLAN
- A03 - MAIN FLOOR PLAN
- A04 - SECOND FLOOR PLAN
- A05 - BASEMENT AND 2nd FLOOR STAIRS
- A06 - MAIN FLOOR FRAMING AND STAIRS
- A07 - SECOND FLOOR FRAMING PLAN
- A08 - ELEVATIONS
- A09 - SECTIONS
- A10 - DETAILS

2020/06/06 - REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT  
 19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE



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603 Argus Rd, Suit 201  
 Oakville, ON  
 itipermits.com  
 (647) 973-1733

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**QUALIFICATION INFORMATION**  
 Required unless design is exempt under 3.2.5 of Div.C, of the building code  
 Name: VIVEK GUPTA BCIN: 39587  
 Signature: [Signature] Date: [Date]  
**REGISTRATION INFORMATION**  
 Required unless design is exempt under 3.2.5. of Div. C, of the building code  
 FIRM: ITI PERMIT DESIGNERS INC.  
 Firm Name: ITI PERMIT DESIGNERS INC. BCIN: [BCIN]

**ADDRESS:**  
 29 LANGSTON DRIVE,  
 BRAMPTON, ON

**PROJECT NAME:**  
 AS BUILT BELOW GRADE SIDE YARD  
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DWG NAME  
**SITE PLAN**  
 DWG SCALE  
 1 : 125

DRAWN BY VG  
 CHECKED BY VG  
 DATE 2020-06-06

DWG. NO.  
**A-01**  
 SH. SIZE 11" x 17"



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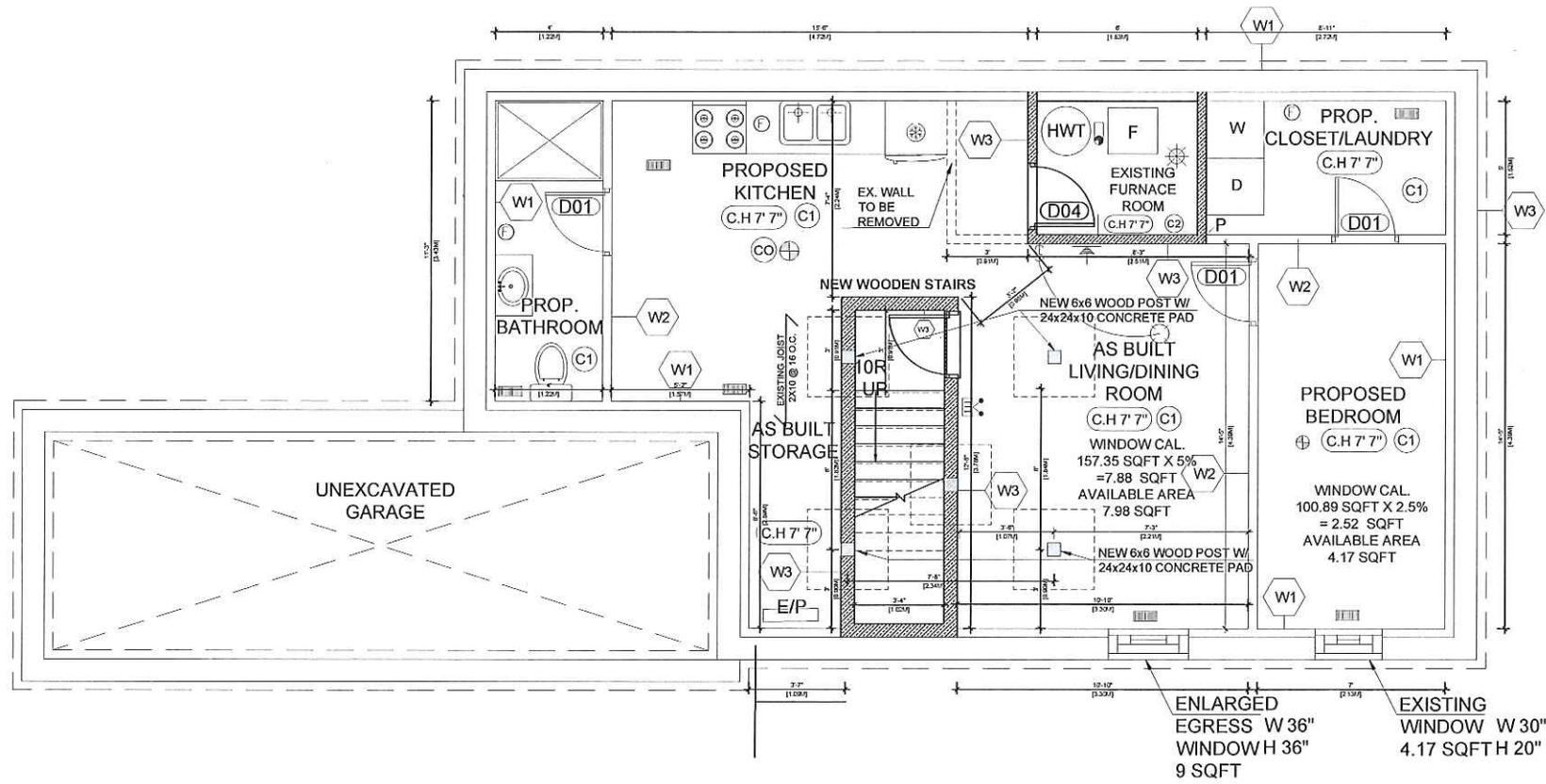
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NAME: VIVEK GUPTA  
 BCIN: 39587  
 SIGNATURE: [Signature]  
 DATE: [Blank]  
 FIRM NAME: ITI PERMIT DESIGNERS INC.  
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WALL LEGENDS	C1	C2	W1	W2	W3
EXISTING FULL HEIGHT CEILING TO REMAIN 15 MIN FRR	SB-3 (ASSEMBLY F9h) FULL HEIGHT CEILING (45 MINS) 45 MIN FIRE SEPARATION 1- WOOD 2X8" @ 16 O.C. 2- 50 STC SOUND INSULATION 3- RESILIENT CHANNEL @ 24" O/C 4- 1/2" TYPE 'X' GYPSUM	SB-3 (ASSEMBLY EW1b) EXTERIOR INSULATED WALL (45 MINS): 1- 1/2" GYPSUM BOARD ON ONE SIDE OF 2" X 4" WOODEN STUDS @ 16" O.C. FILLED WITH R20 NON COMBUSTIBLE INSULATION WITH VAPOR BARRIER ON WARM SIDE. 2- TOP PLATE AND BOTTOM PLATE. TAPE, SANDED AND READY TO RECEIVE FINISH, AS PER OWNER'S CHOICE OF COLOR.	SB-3 (ASSEMBLY W1c) INT. PARTITION WALL (30 MIN.) 1- 1/2" REGULAR GYPSUM 2- 2"x4" OR 2"x6" @ 16" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE 3- 1/2" REGULAR GYPSUM 5- 32 STC	SB-3 (ASSEMBLY W1d) FRR INTERIOR PARTITION WALL (1 HOUR): 1- 5/8" TYPE X DRYWALL ON BOTH SIDES 2- 2"x4" OR 2"x6" @ 14" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE 3- SOUND INSULATION (TO FILL STUD CAVITY) 49 STC	

LEGENDS	DOOR SCHEDULE																				
<ul style="list-style-type: none"> <li>WARM AIR REGISTERS</li> <li>WALL FAN VENTED</li> <li>3-2.2.17. Sprinklers in Lieu of Roof Rating (1) The requirements in Articles 3.2.2.20. to 3.2.2.83. for roof assemblies to have a fire-resistance rating are permitted to be waived provided, (a) Except as provided by Sentence (2), the building is sprinklered</li> <li>CARBON MONOXIDE DETECTOR</li> <li>INTERCONNECTED SMOKE DETECTOR AND ALARM WITH STROBE LIGHT</li> <li>EMERGENCY LIGHTS</li> <li>RETURN AIR REGISTER (low wall)</li> <li>A DUCT TYPE SMOKE DETECTOR INSTALLED IN THE SUPPLY AND RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION.</li> </ul>	<table border="1"> <thead> <tr> <th>NO.</th> <th>TYPE</th> <th>SIZE (DOOR LEAF)</th> <th>REMARKS</th> </tr> </thead> <tbody> <tr> <td>D01</td> <td>INTERIOR</td> <td>30" X 80"</td> <td>NEW INTERIOR DOOR</td> </tr> <tr> <td>D03</td> <td>EXTERIOR</td> <td>32" X 80"</td> <td>NEW 20 MIN FIRE-RATED DOOR WITH FRAME AND CLOSING DEVICE</td> </tr> <tr> <td>D04</td> <td>INTERIOR</td> <td>32" X 80"</td> <td>NEW 20 MIN FIRE RATED DOOR WITH SELF CLOSING DEVICE EXISTING DOOR TO REMAIN</td> </tr> <tr> <td>ED</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	NO.	TYPE	SIZE (DOOR LEAF)	REMARKS	D01	INTERIOR	30" X 80"	NEW INTERIOR DOOR	D03	EXTERIOR	32" X 80"	NEW 20 MIN FIRE-RATED DOOR WITH FRAME AND CLOSING DEVICE	D04	INTERIOR	32" X 80"	NEW 20 MIN FIRE RATED DOOR WITH SELF CLOSING DEVICE EXISTING DOOR TO REMAIN	ED			
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ED																					

BASEMENT AREA  
 655.70 SQ FT  
 60.91 SQ M

A-02 – PROPOSED BASEMENT

DWG NAME  
 PROPOSED BASEMENT PLAN

DWG SCALE  
 1 : 60

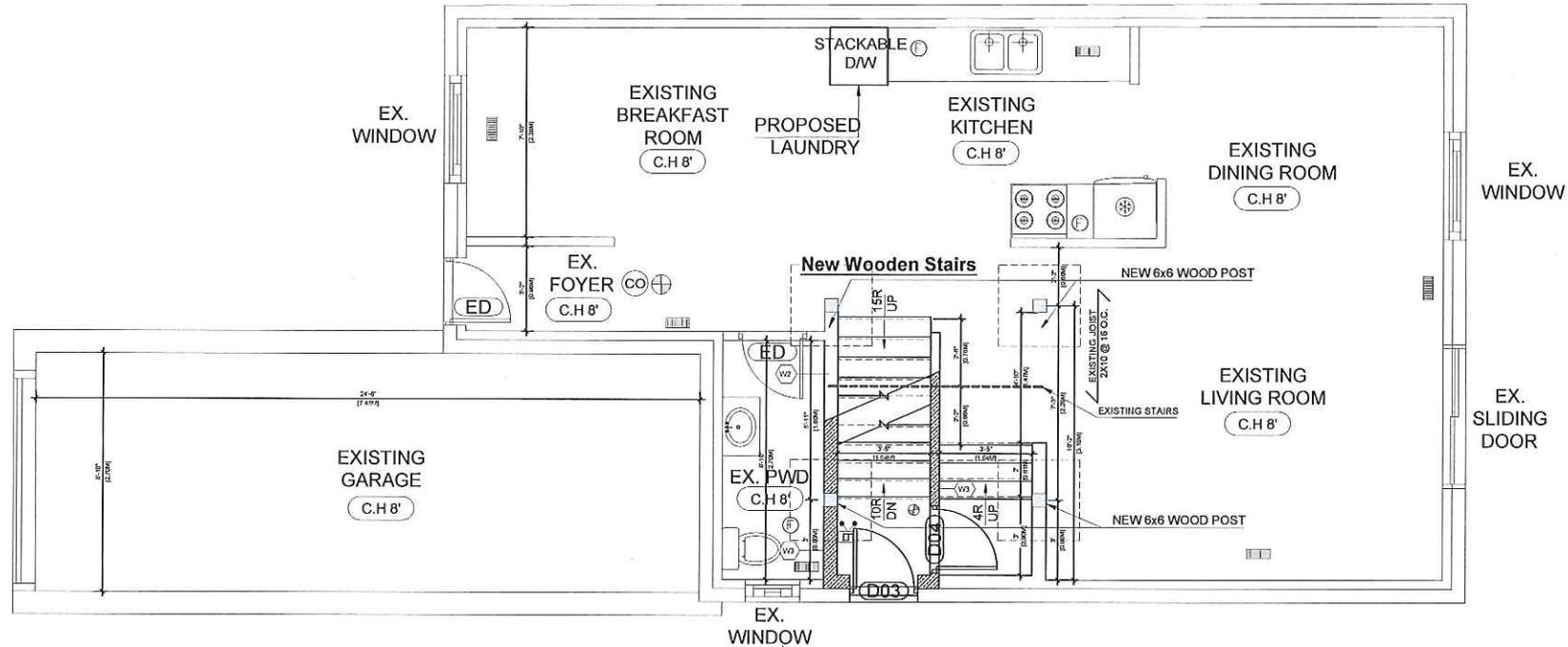
DRAWN BY  
 VG

CHECKED BY  
 VG

DATE  
 2021-11-24

DWG. NO.  
**A-02**

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2020/06/06 – REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT 19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE

WALL LEGENDS	C1	C2	W1	W2	W3
EXISTING FULL HEIGHT CEILING TO REMAIN 15 MIN FRR	1- WOOD 2X10" @ 16 O.C. 2- 1/2" REGULAR GYPSUM	<b>SB-3 (ASSEMBLY F9h)</b> FULL HEIGHT CEILING 45 MIN FIRE SEPARATION 1- WOOD 2X8" @ 16 O.C. 2- 50 STC SOUND INSULATION 3- RESILIENT CHANNEL @24" O/C 4- 1/2" TYPE 'X' GYPSUM	<b>SB-3 (ASSEMBLY EW1b)</b> EXTERIOR INSULATED WALL (45 MINS): 1- 1/2" GYPSUM BOARD ON ONE SIDE OF 2" X 4" WOODEN STUDS @ 16" O.C. FILLED WITH R20 NON COMBUSTIBLE INSULATION WITH VAPOR BARRIER ON WARM SIDE. 2- TOP PLATE AND BOTTOM PLATE. TAPED, SANDED AND READY TO RECEIVE FINISH, AS PER OWNER'S CHOICE OF COLOR.	<b>SB-3 (ASSEMBLY W1c)</b> INT. PARTITION WALL (30 MIN.) 1- 1/2" REGULAR GYPSUM 2- 2"X4" OR 2"X6" @16" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE 3- 1/2" REGULAR GYPSUM 5- 32 STC	<b>SB-3 (ASSEMBLY W1d)</b> FRR INTERIOR PARTITION WALL (1 HOUR): 1- 5/8" TYPE X DRYWALL ON BOTH SIDES 2- 2"X4" OR 2"X6" @14" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE 3- SOUND INSULATION (TO FILL STUD CAVITY) 49 STC

LEGENDS	
<ul style="list-style-type: none"> <li>- WARM AIR REGISTERS</li> <li>- WALL FAN VENTED</li> <li>- 3.2.2.17. Sprinklers in Lieu of Roof Rating (1) The requirements in Articles 3.2.2.20. to 3.2.2.83. for roof assemblies to have a fire-resistance rating are permitted to be waived provided, (a) Except as provided by Sentence (2), the building is sprinklered</li> <li>- CARBON MONOXIDE DETECTOR</li> <li>- INTERCONNECTED SMOKE DETECTOR AND ALARM WITH STROBE LIGHT</li> </ul>	<ul style="list-style-type: none"> <li>- EMERGENCY LIGHTS</li> <li>- RETURN AIR REGISTER (low wall)</li> <li>- A DUCT TYPE SMOKE DETECTOR INSTALLED IN THE SUPPLY AND RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION.</li> </ul>

DOOR SCHEDULE			
NO.	TYPE	SIZE (DOOR LEAF)	REMARKS
D01	INTERIOR	30" X 80"	NEW INTERIOR DOOR
D03	EXTERIOR	32" X 80"	NEW 20 MIN FIRE-RATED DOOR WITH FRAME AND CLOSING DEVICE
D04	INTERIOR	32" X 80"	NEW 20 MIN FIRE RATED DOOR WITH SELF CLOSING DEVICE
ED			EXISTING DOOR TO REMAIN

MAIN FLOOR AREA  
689.66 SQ FT  
64.07 SQ M

The undersigned has reviewed & taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION	
Required unless design is exempt under 3.2.3 of Div. C. of the building code	
NAME	39587
WVEX GUPTA	BCIN
Signature	#CURDATE
Signature	Date

REGISTRATION INFORMATION	
Required unless design is exempt under 3.2.3. of Div. C. of the building code	
ITI PERMIT DESIGNERS INC.	
Firm Name	BCIN

ADDRESS:  
29 LANGSTON DRIVE,  
BRAMPTON, ON

PROJECT NAME:  
AS BUILT BELOW GRADE SIDE YARD  
ENTRANCE AND LEGAL BASEMENT  
DEPARTMENT

NOTES:  
1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN ALL THIS PERMIT DRAWINGS  
2- CONTRACTOR TO REPORT TO THE DESIGNER TO ANY DISCREPANCIES BETWEEN THE EXISTING STRUCTURAL MEMBERS AND INFORMATION STATED IN ANY OF THIS PERMIT DRAWINGS

DWG NAME  
EXISTING MAIN FLOOR PLAN

DWG SCALE  
1 : 60

DRAWN BY	VG
CHECKED BY	VG
DATE	2021-11-24

DWG. NO.  
**A-03**  
SH. SIZE 11" x 17"

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.5 of Div. C, of the building code

WVEK GUPTA 39587  
Name BCIN  
Signature #CURDATE  
Date

REGISTRATION INFORMATION  
Required unless design is exempt under 3.2.5 of Div. C, of the building code

ITM PERMIT DESIGNERS INC.  
Firm Name BCIN

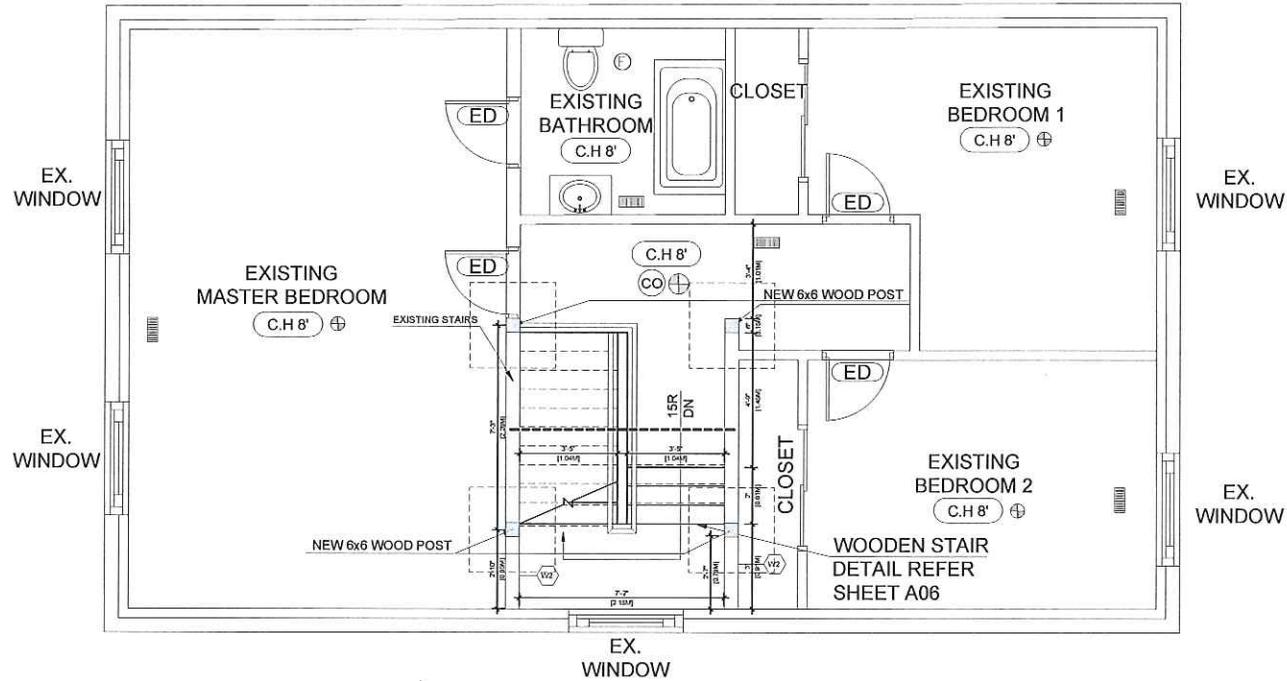
ADDRESS:  
29 LANGSTON DRIVE,  
BRAMPTON, ON

PROJECT NAME:  
AS BUILT BELOW GRADE SIDE YARD  
ENTRANCE AND LEGAL BASEMENT  
DEPARTMENT

NOTES:

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2020/06/06 – REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT 19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE

WALL LEGENDS	
<p><b>C1</b> EXISTING FULL HEIGHT CEILING TO REMAIN 15 MIN FRR</p> <p>1- WOOD 2X10" @ 16 O.C. 2- 1/2" REGULAR GYPSUM</p>	<p><b>C2</b> SB-3 (ASSEMBLY F9h) FULL HEIGHT CEILING 45 MIN FIRE SEPARATION</p> <p>1- WOOD 2X8" @ 16 O.C. 2- 50 STC SOUND INSULATION 3- RESILIENT CHANNEL @24" O/C 4- 1/2" TYPE 'X' GYPSUM</p>
<p><b>W1</b> SB-3 (ASSEMBLY EW1b) EXTERIOR INSULATED WALL (45 MINS):</p> <p>1- 1/2" GYPSUM BOARD ON ONE SIDE OF 2" X 4" WOODEN STUDS @ 16" O.C. FILLED WITH R20 NON COMBUSTIBLE INSULATION WITH VAPOR BARRIER ON WARM SIDE. 2- TOP PLATE AND BOTTOM PLATE. TAPED, SANDED AND READY TO RECEIVE FINISH, AS PER OWNER'S CHOICE OF COLOR.</p>	<p><b>W2</b> SB-3 (ASSEMBLY W1c) INT. PARTITION WALL (30 MIN.)</p> <p>1- 1/2" REGULAR GYPSUM 2- 2"x4" OR 2"x6" @16" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE 3- 1/2" REGULAR GYPSUM 5- 32 STC</p>
	<p><b>W3</b> SB-3 (ASSEMBLY W1d) FRR INTERIOR PARTITION WALL (1 HOUR):</p> <p>1- 5/8" TYPE X DRYWALL ON BOTH SIDES 2- 2"x4" OR 2"x6" @14" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE 3- SOUND INSULATION (TO FILL STUD CAVITY) 49 STC</p>

LEGENDS	
<p>☰ - WARM AIR REGISTERS</p> <p>⊕ - WALL FAN VENTED</p> <p>⊙ - 3.2.2.17. Sprinklers in Lieu of Roof Rating (1) The requirements in Articles 3.2.2.20. to 3.2.2.83. for roof assemblies to have a fire-resistance rating are permitted to be waived provided, (a) Except as provided by Sentence (2), the building is sprinklered</p> <p>⊙ - CARBON MONOXIDE DETECTOR</p> <p>⊕ - INTERCONNECTED SMOKE DETECTOR AND ALARM WITH STROBE LIGHT</p>	<p>⚡ - EMERGENCY LIGHTS</p> <p>↻ - RETURN AIR REGISTER (low wall)</p> <p>⊙ - A DUCT TYPE SMOKE DETECTOR INSTALLED IN THE SUPPLY AND RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION.</p>

DOOR SCHEDULE			
NO.	TYPE	SIZE (DOOR LEAF)	REMARKS
D01	INTERIOR	30" X 80"	NEW INTERIOR DOOR
D03	EXTERIOR	32" X 80"	NEW 20 MIN FIRE-RATED DOOR WITH FRAME AND CLOSING DEVICE
D04	INTERIOR	32" X 80"	NEW 20 MIN FIRE RATED DOOR WITH SELF CLOSING DEVICE
ED			EXISTING DOOR TO REMAIN

SECOND FLOOR AREA  
776.79 SQ FT  
72.16 SQ M

DWG NAME  
EXISTING SECOND FLOOR

DWG SCALE  
1 : 60

DRAWN BY  
VG

CHECKED BY  
VG

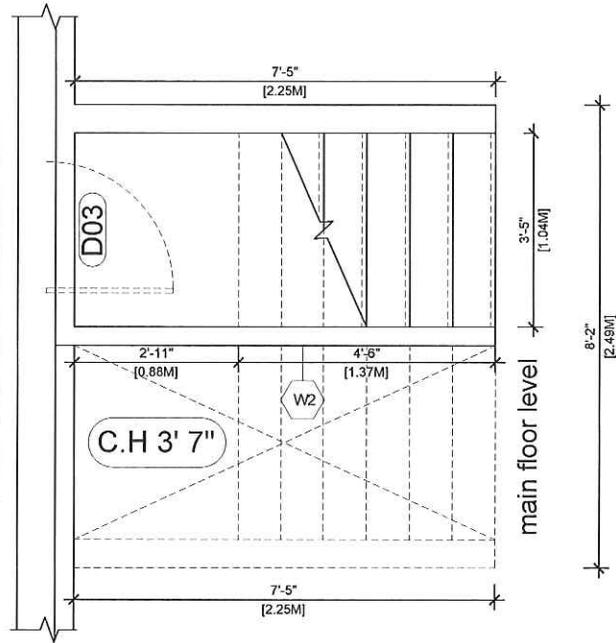
DATE  
2021-11-24

DWG. NO.  
**A-04**

SH. SIZE 11" x 17"



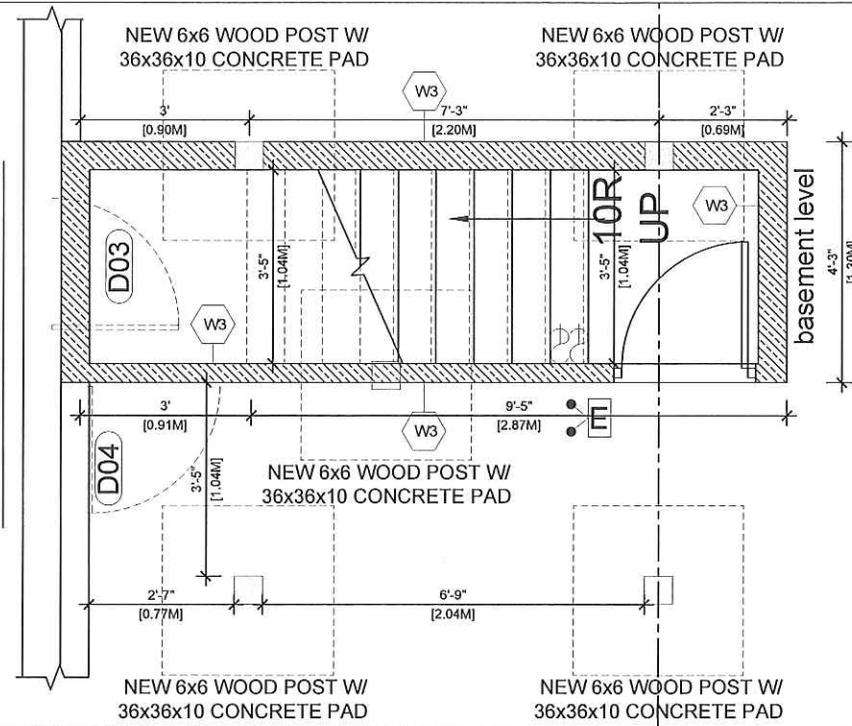
Basement floor level



EXISTING BASEMENT STAIR PLAN

1:30

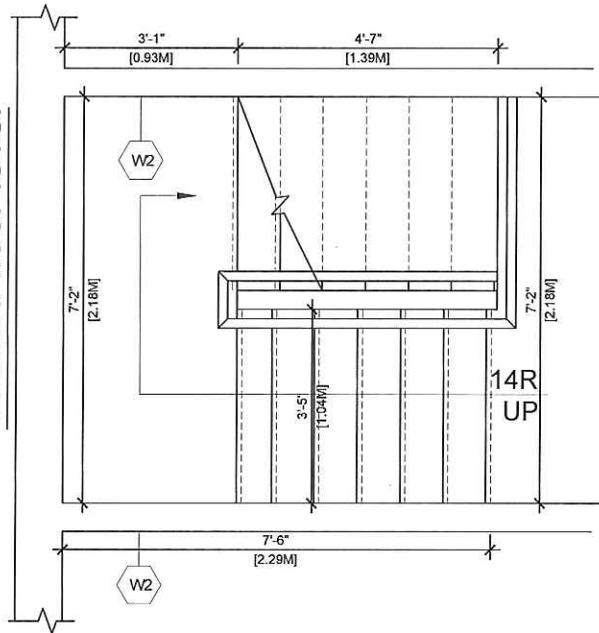
Basement floor level



PROPOSED BASEMENT STAIR PLAN

1:30

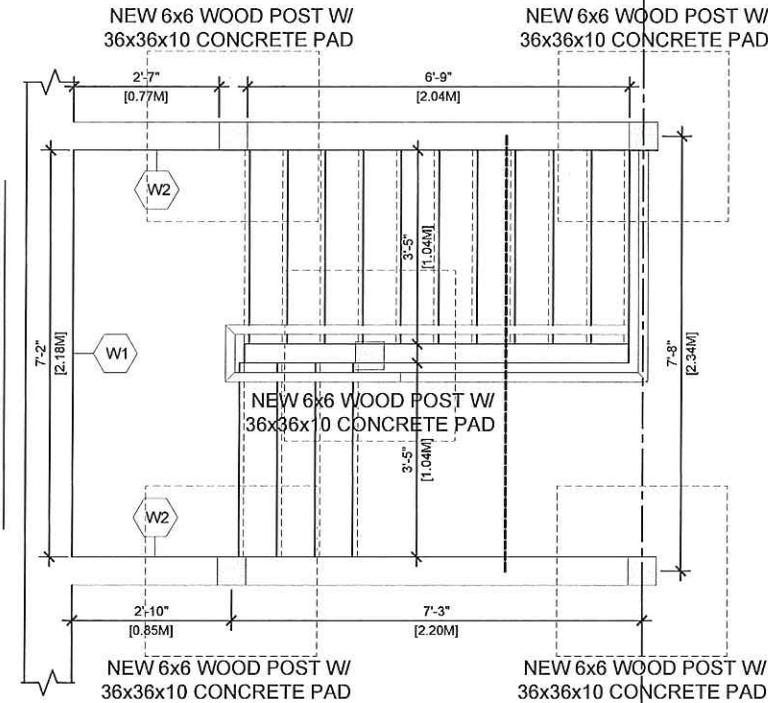
Second floor level



EXISTING SECOND FLOOR STAIR PLAN

1:30

Second Floor Level



PROPOSED SECOND FLOOR STAIR PLAN

1:30

603 Argus Rd, S#t 201  
Oakville, ON  
itipermits.com  
(647) 973-1733

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.5 of Div. C. of the building code

NAME	VIVEK GUPTA	39587
BCIN	BCIN	
SIGNATURE	<i>[Signature]</i>	DATE

REGISTRATION INFORMATION  
Required unless design is exempt under 3.2.5 of Div. C. of the building code

FIRM NAME	ITI PERMIT DESIGNERS INC.	BCIN
-----------	---------------------------	------

ADDRESS:  
29 LANGSTON DRIVE,  
BRAMPTON, ON

PROJECT NAME:  
AS BUILT BELOW GRADE SIDE YARD  
ENTRANCE AND LEGAL BASEMENT  
DEPARTMENT

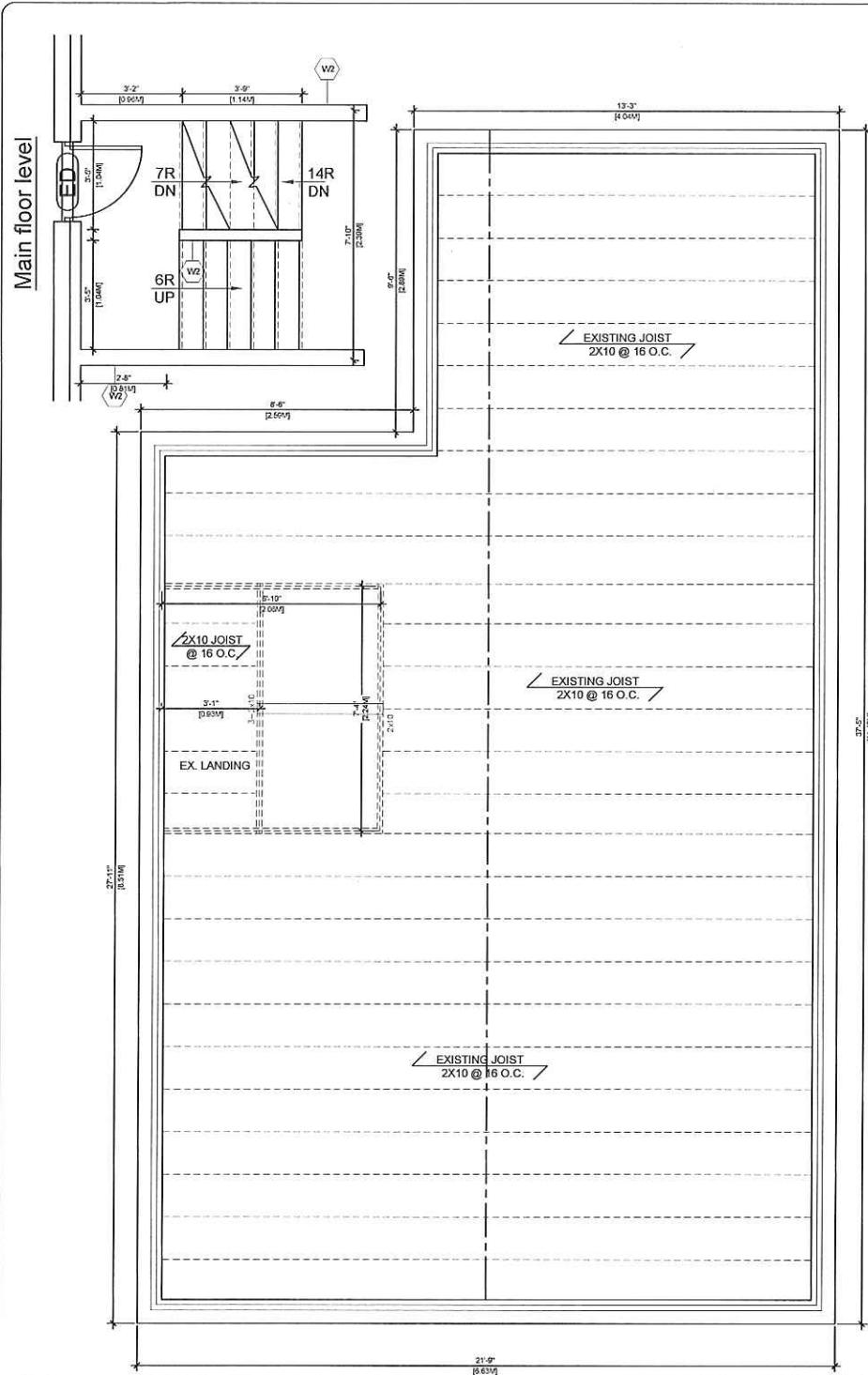
NOTES:  
1- CONTRACTOR TO CONFIRM ON  
SITE PRIOR TO COMMENCEMENT  
THAT ALL  
THE EXISTING STRUCTURAL  
MEMBERS MATCH THE  
INFORMATION STATED IN  
ALL THIS PERMIT DRAWINGS  
2- CONTRACTOR TO REPORT TO THE  
DESIGNER TO ANY DISCREPANCIES  
BETWEEN THE EXISTING  
STRUCTURAL MEMBERS AND  
INFORMATION STATED IN ANY OF  
THIS PERMIT DRAWINGS

DWG NAME BASEMENT &  
2ND FLOOR STAIR PLAN

DWG SCALE 1:30

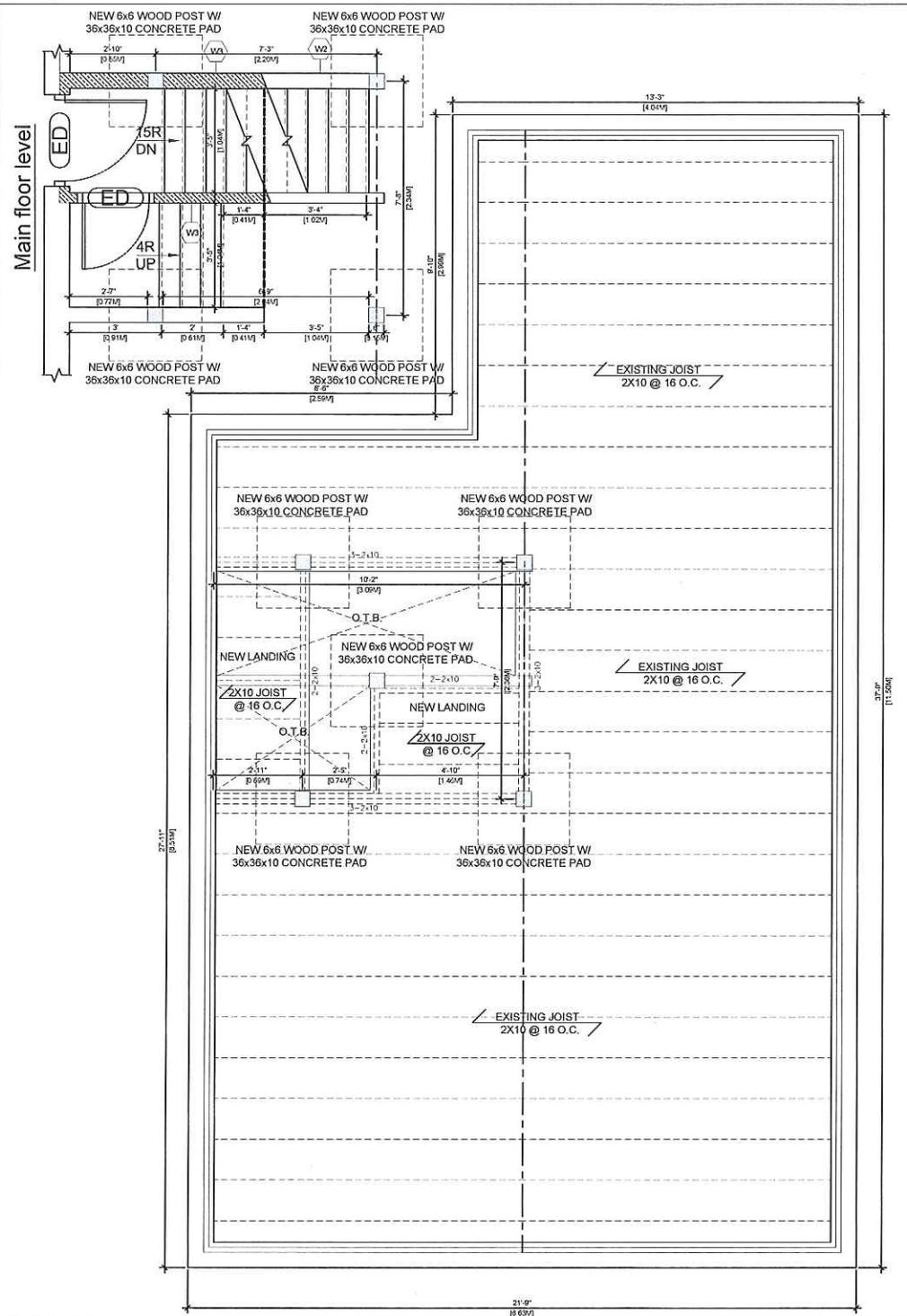
DRAWN BY	FB
CHECKED BY	VG
DATE	2021-11-24

DWG. NO.	A-05
SH. SIZE	11" x 17"



EXISTING MAIN FLOOR FRAMING AND STAIR PLAN

1:50



PROPOSED MAIN FLOOR FRAMING AND STAIR PLAN

1:50

603 Argus Rd, Suit 201  
Oakville, ON  
itipermits.com  
(647) 973-1733

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QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.5 of Div. C. of the building code

NAME	39587
VIVEK GUPTA	BCIN
Signature	#CURDATE
Date	

REGISTRATION INFORMATION  
Required unless design is exempt under 3.2.5 of Div. C. of the building code

FIRM NAME	BCIN
ITI PERMIT DESIGNERS INC.	

ADDRESS:  
29 LANGSTON DRIVE,  
BRAMPTON, ON

PROJECT NAME:  
AS BUILT BELOW GRADE SIDE YARD  
ENTRANCE AND LEGAL BASEMENT  
DEPARTMENT

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DWG NAME MAIN FLOOR  
FRAMING & STAIR PLAN

DWG SCALE 1:50

DRAWN BY	FB
CHECKED BY	VG
DATE	2021-11-24

DWG. NO.	A-06
SH. SIZE	11" x 17"

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
 Required unless design is exempt under 3.2.5 of Div. C. of the building code

NAME	VIVEK GUPTA	39587
BCIN		
#CURDATE		
Signature	<i>Vivek Gupta</i>	Date

**REGISTRATION INFORMATION**  
 Required unless design is exempt under 3.2.5 of Div. C. of the building code

Firm Name	ITI PERMIT DESIGNERS INC.	BCIN
-----------	---------------------------	------

**ADDRESS:**  
 29 LANGSTON DRIVE,  
 BRAMPTON, ON

**PROJECT NAME:**  
 AS BUILT BELOW GRADE SIDE YARD  
 ENTRANCE AND LEGAL BASEMENT  
 DEPARTMENT

**NOTES:**

1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN ALL THIS PERMIT DRAWINGS

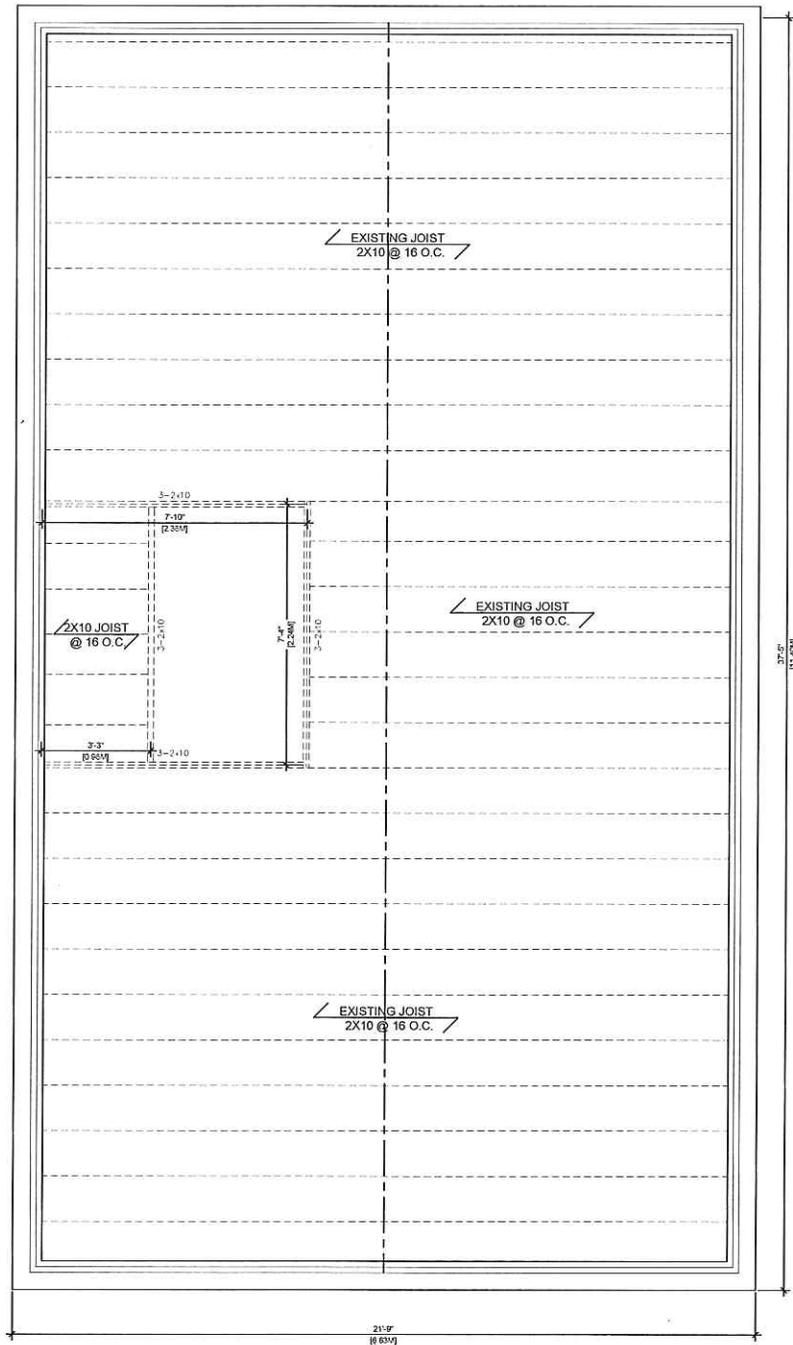
2- CONTRACTOR TO REPORT TO THE DESIGNER TO ANY DISCREPANCIES BETWEEN THE EXISTING STRUCTURAL MEMBERS AND INFORMATION STATED IN ANY OF THIS PERMIT DRAWINGS

**DWG NAME** SECOND FLOOR  
 FRAMING PLAN

**DWG SCALE** 1:50

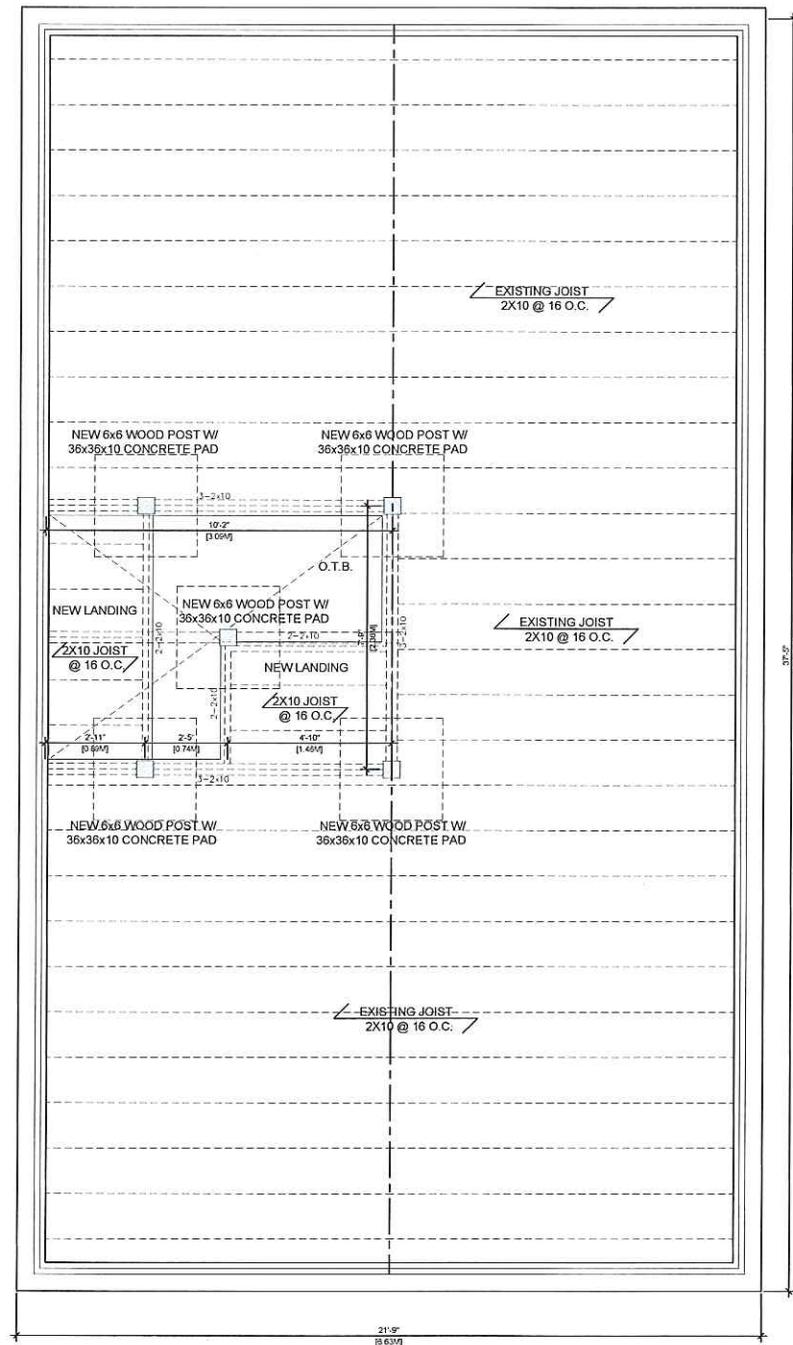
<b>DRAWN BY</b>	FB
<b>CHECKED BY</b>	VG
<b>DATE</b>	2021-11-24

<b>DWG. NO.</b>	<b>A-07</b>
<b>SH. SIZE</b>	



EXISTING SECOND FLOOR FRAMING PLAN

1:50



PROPOSED SECOND FLOOR FRAMING PLAN

1:50

2020/06/06 – REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT 19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE

603 Argus Rd, S#t 201  
Oakville, ON  
itipermits.com  
(647) 973-1733

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QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.5 of Div. C. of the building code

VIVEK GUPTA	39587
Name	BCIN
<i>Vivek Gupta</i>	#CURDATE
Signature	Date

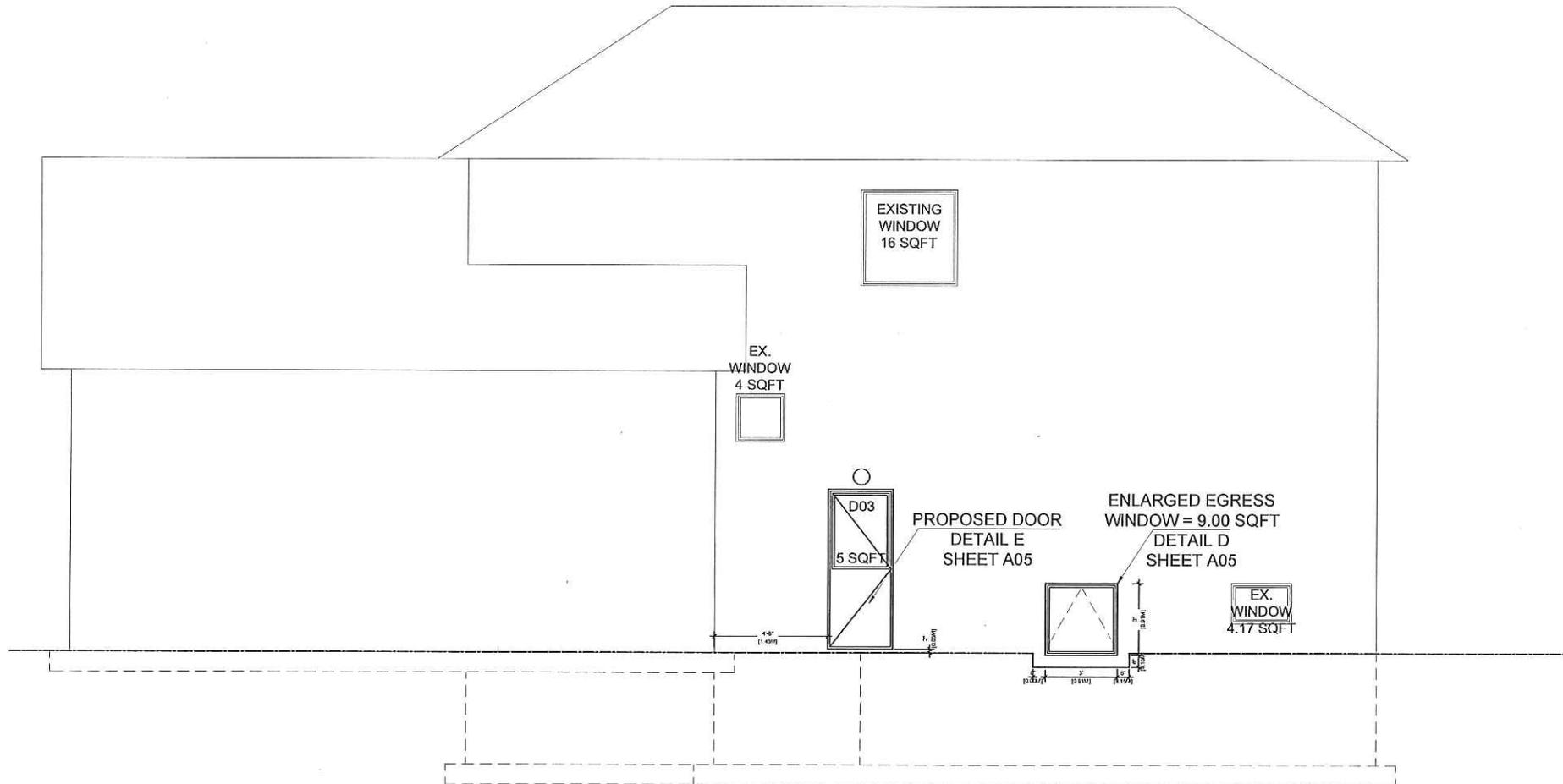
REGISTRATION INFORMATION  
Required unless design is exempt under 3.2.5 of Div. C. of the building code

ITI PERMIT DESIGNERS INC.	-
Firm Name	BCIN

ADDRESS:  
29 LANGSTON DRIVE,  
BRAMPTON, ON

PROJECT NAME:  
AS BUILT BELOW GRADE SIDE YARD  
ENTRANCE AND LEGAL BASEMENT  
DEPARTMENT

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SOUTH ELEVATION GLAZED OPENING CALCULATION:  
SETBACK: 4' 10" - 1.48 M  
WALL AREA 604.35 SQFT  
WINDOW OPENING ALLOW:  
7% OF THE WALL AREA = 42.30 SQFT  
PROPOSED WINDOWS AREA = 33.17 SQFT

DWG NAME  
ELEVATION  
DWG SCALE  
1:60

DRAWN BY	VG
CHECKED BY	VG
DATE	2021-07-13

DWG. NO.	A-08
SH. SIZE	11" x 17"

RIGHT ELEVATION –  
SOUTH

1:60

The undersigned has reviewed & taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

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VIVEK GUPTA	39587
Name	BCIN
Signature	#CURDATE
Date	

**REGISTRATION INFORMATION**  
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ITI PERMIT DESIGNERS INC.	
Firm Name	BCIN

**ADDRESS:**  
 29 LANGSTON DRIVE,  
 BRAMPTON, ON

**PROJECT NAME:**  
 AS BUILT BELOW GRADE SIDE YARD  
 ENTRANCE AND LEGAL BASEMENT  
 DEPARTMENT

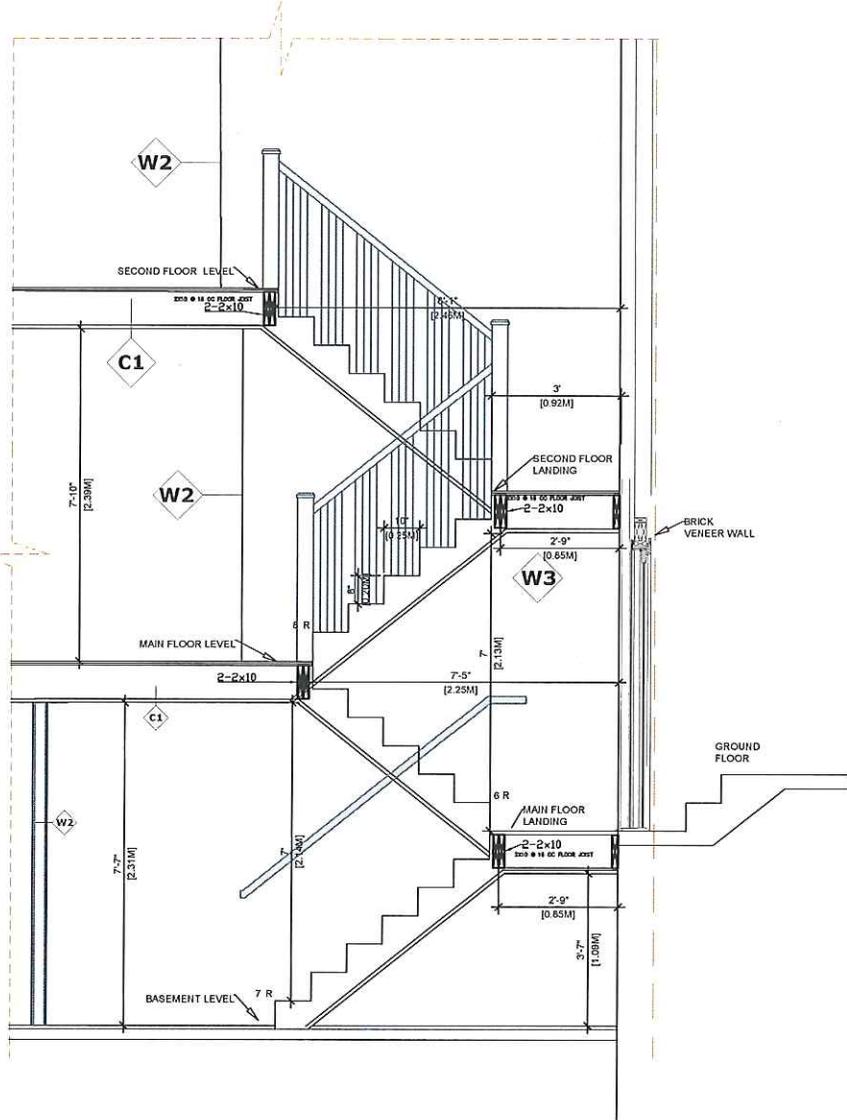
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**DWG NAME**  
 SECTIONS  
**DWG SCALE**  
 1: 40

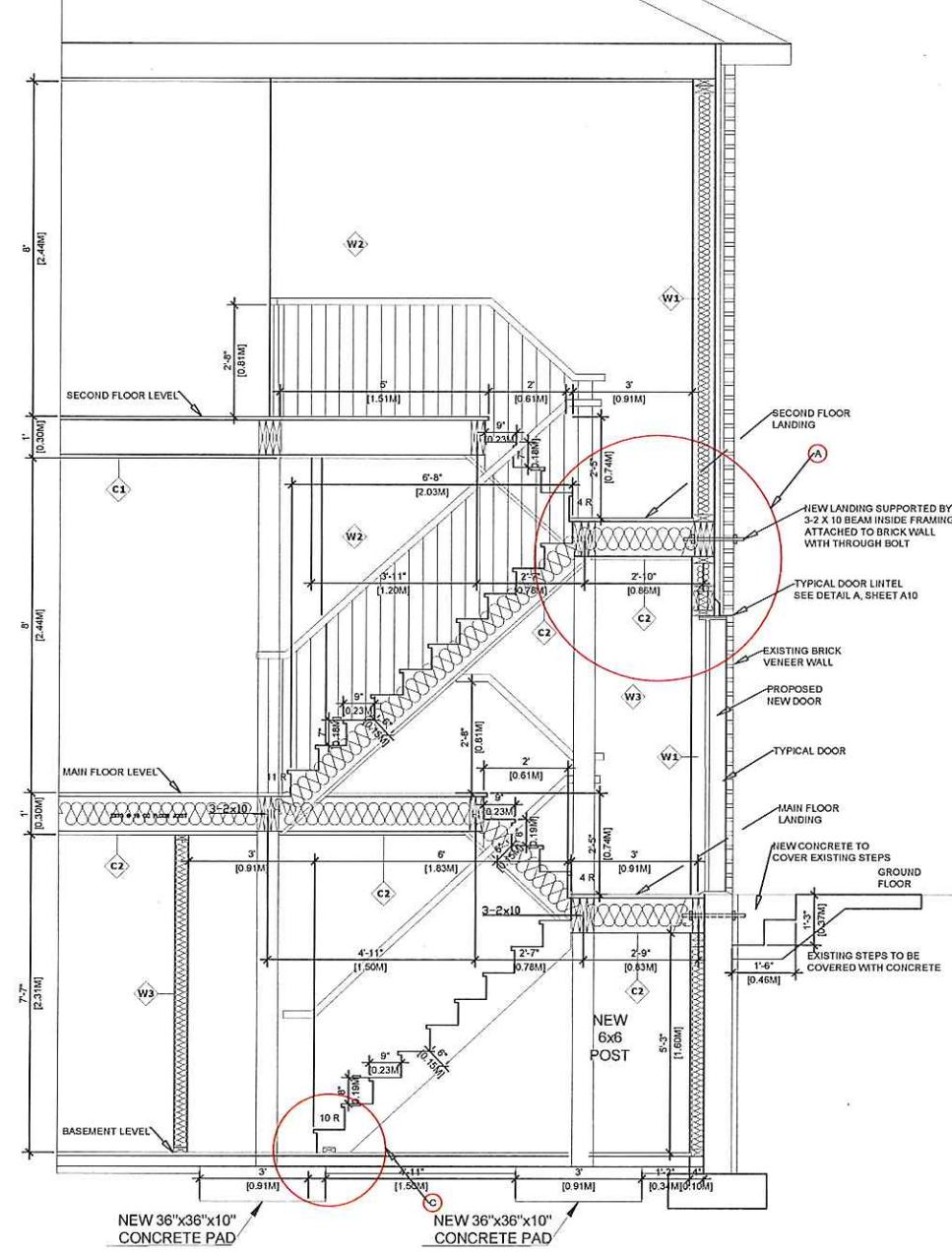
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<b>CHECKED BY</b>	VG
<b>DATE</b>	2021-11-24

<b>DWG. NO.</b>	A-09
<b>SH. SIZE</b>	11" x 17"



EXISTING STAIR SECTION

1: 40

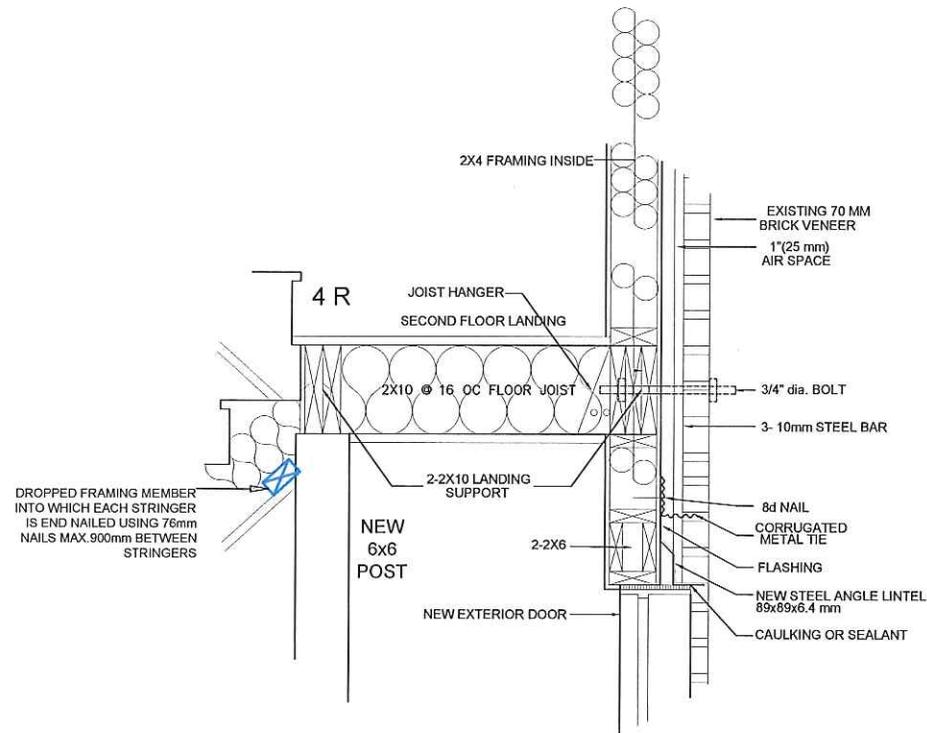


PORPOSED STAIR SECTION

1: 40

2020/06/06 – REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY  
IN ADDITION TO THE APPROVED BUILDING PERMIT

19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN  
STAIRS AND NEW SIDE ENTRANCE



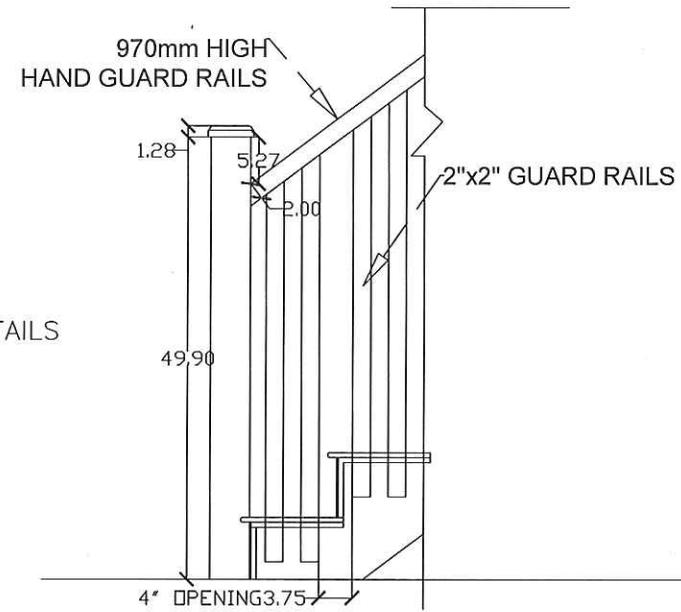
**A**

STAIR WOOD LANDING CONNECTION AND NEW DOOR LINTEL DETAIL

1:16

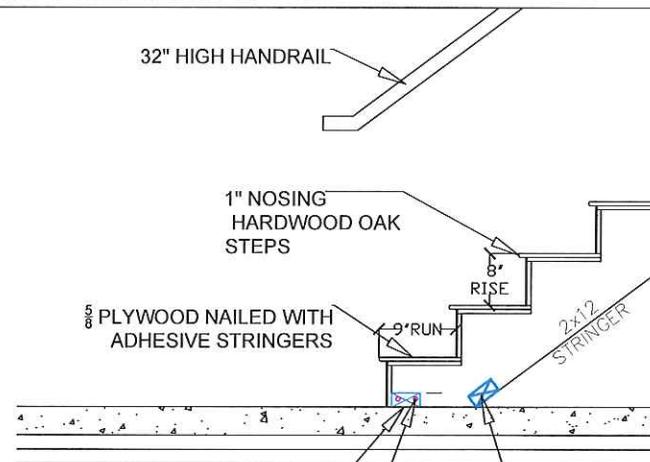
SECOND FLOOR  
GUARD RAIL DETAILS

**B**



SECOND FLOOR GUARD DETAIL

N.T.S



**C**

STAIR CONCRETE CONNECTION

1:20

603 Argus Rd, Sult 201  
Oakville, ON  
itipermits.com  
(647) 973-1733

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Required unless design is exempt under 3.2.5 of Div.C, of the building code	
VIVEK GUPTA	39587
Name	BCIN
Signature	#CURDATE
Date	

REGISTRATION INFORMATION	
Required unless design is exempt under 3.2.5 of Div. C, of the building code	
ITI PERMIT DESIGNERS INC.	-
Firm Name	BCIN

ADDRESS:  
29 LANGSTON DRIVE,  
BRAMPTON, ON

PROJECT NAME:  
AS BUILT BELOW GRADE SIDE YARD  
ENTRANCE AND LEGAL BASEMENT  
DEPARTMENT

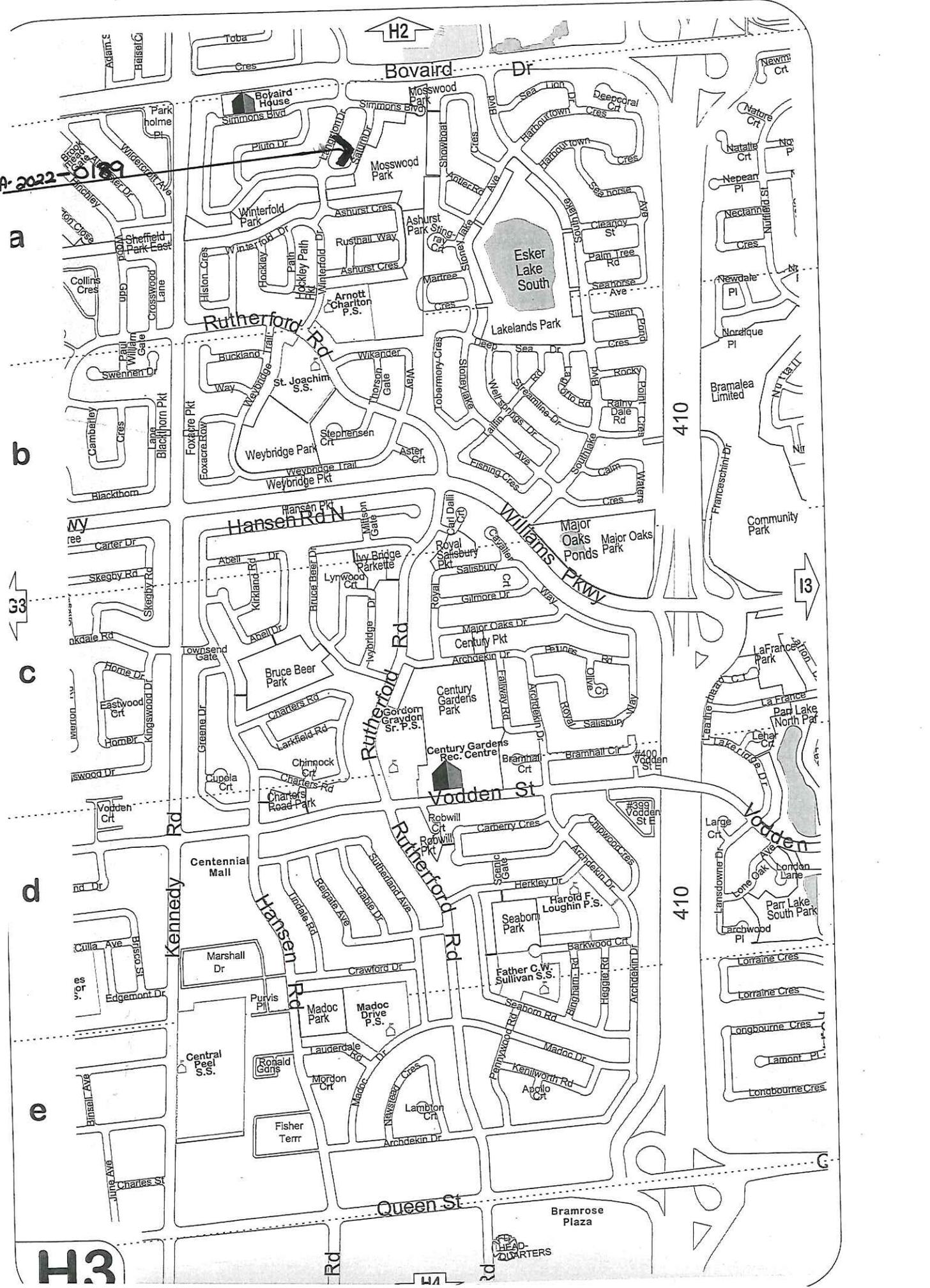
NOTES:  
1- CONTRACTOR TO CONFIRM ON  
SITE PRIOR TO COMMENCEMENT  
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BETWEEN THE EXISTING  
STRUCTURAL MEMBERS AND  
INFORMATION STATED IN ANY OF  
THIS PERMIT DRAWINGS

DWG NAME  
DETAILS  
DWG SCALE  
AS NOTED

DRAWN BY	FB
CHECKED BY	VG
DATE	2021-07-07

DWG. NO.	<b>A-10</b>
SH. SIZE	11" x 17"



Apr 2022 019

a

b

c

d

e

H2

H3

13

410

410

HEAD-QUARTERS

Queen St

Bramrose Plaza

Bovard Dr

Rutherford Rd

Hansen Rd N

Williams Pkwy

Vodden St

Kennedy Rd

Hansen Rd

Rutherford Rd

Vodden St

Central Peel S.S.

Ronald Gans

Mardon Cr

Lauderdale Rd

Madoc Drive P.S.

Lambton Cr

Kenilworth Rd

Apollonia Cr

Madoc Dr

Seaborn Rd

Harold F. Loughin P.S.

Barkwood Cr

Heggie Rd

Archdekin Dr

Seaborn Park

Father C.W. Sullivan S.S.

Centennial Mall

Marshall Dr

Purvis Pl

Madoc Park

Madoc Drive P.S.

Lauderdale Rd

Madoc Dr

Kenilworth Rd

Apollonia Cr

Madoc Dr

Seaborn Rd

Harold F. Loughin P.S.

Barkwood Cr

Heggie Rd

Archdekin Dr

Seaborn Park

Father C.W. Sullivan S.S.

Cupola Cr

Charters Rd

Home Dr

Eastwood Cr

Home Dr

Weybridge Pkt

Weybridge Pkt