

**APPLICATION # A-2022-0049**  
**WARD #1**

**DEFERRED APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **GOBBATO GROUP INC.** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 19, Plan BR-4 municipally known as **16 WEST STREET**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit 0.0m of permeable landscaping adjacent to both side lot lines whereas the by-law requires a minimum 0.6m (1.97 ft.) permeable landscape strip adjacent to both side lot lines;
2. To permit a 1.22m (4.0 ft.) interior side yard setback to the second storey whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.) to the second storey;
3. To permit a lot width of 19.24 metres for a double duplex dwelling whereas the by-law requires a minimum lot width of 20 metres to allow for a double duplex dwelling;
4. To provide six parking spaces whereas the by law requires a minimum of 8 parking spaces;
5. To permit parking in the rear yard whereas the by-law does not permit parking in the rear yard;
6. To permit a parking aisle having an irregular aisle width corresponding with the angle of the side lot line whereas the by-law requires a minimum parking aisle width of 6.6m.

**OTHER PLANNING APPLICATIONS:**

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO  
Application for Consent: NO

File Number: \_\_\_\_\_  
File Number: \_\_\_\_\_

The Committee of Adjustment has appointed **TUESDAY, July 12, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT.** This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

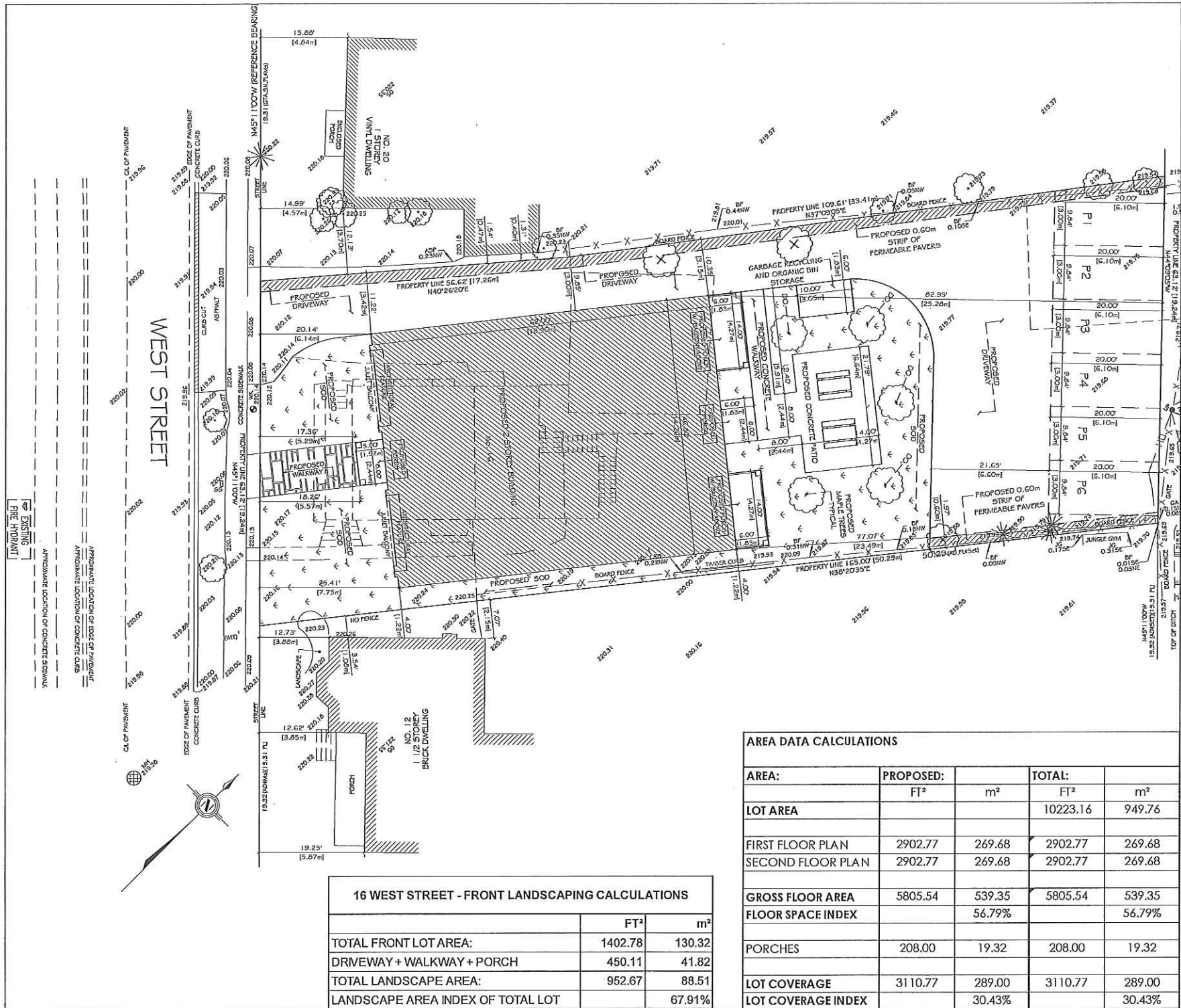
**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 29th Day of June, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer  
Committee of Adjustment, City Clerk's Office,  
Brampton City Hall, 2 Wellington Street West,  
Brampton, Ontario L6Y 4R2  
Phone: (905)874-2117 Fax: (905)874-2119  
[jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca)





16 WEST STREET - FRONT LANDSCAPING CALCULATIONS		
	FT²	m²
TOTAL FRONT LOT AREA:	1402.78	130.32
DRIVEWAY + WALKWAY + PORCH	450.11	41.82
TOTAL LANDSCAPE AREA:	952.67	88.51
LANDSCAPE AREA INDEX OF TOTAL LOT		67.91%

AREA DATA CALCULATIONS				
AREA:	PROPOSED:		TOTAL:	
	FT²	m²	FT²	m²
LOT AREA			10223.16	949.76
FIRST FLOOR PLAN	2902.77	269.68	2902.77	269.68
SECOND FLOOR PLAN	2902.77	269.68	2902.77	269.68
GROSS FLOOR AREA	5805.54	539.35	5805.54	539.35
FLOOR SPACE INDEX		56.79%		56.79%
PORCHES	208.00	19.32	208.00	19.32
LOT COVERAGE	3110.77	289.00	3110.77	289.00
LOT COVERAGE INDEX		30.43%		30.43%

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The contractor shall check and verify all dimensions on the work and report any discrepancies to the Architectural Technologist before proceeding. Drawings are not to be scaled. Drawings are not to be used for construction purposes unless signed by the architectural Technologist.



DATE: 15/05/2021  
DRAWING: 16/01/2021

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

Qualification Information: Required unless design is exempt under Div. C-3.2.1.1. of the building code.

In Cunha 28005  
Name Signature BCIN

Registration Information: Required unless design is exempt under Div. C-3.2.4.1. of the building code.

Cunha Design Consultants Ltd 29902  
Firm Name BCIN

MECHANICAL NOTES

- MECHANICAL EXHAUST VENT
- SMOKE ALARM
- CARBON MONOXIDE ALARM

No.	Date	Revision	By

Consultant:



**CUNHA DESIGN CONSULTANTS LTD.**  
10 Northampton Drive Etobicoke, ON M9B 4S6  
Telephone/Fax: (416) 626-9511  
Email: cunhadesign@rogers.com  
Firm BCIN: 29902

Owner:

Gobbato Group Inc.  
15318 Hurontario St.  
Caledon, ON L7C 2C3

Project:

Prop. 2 Sty Building  
16 West Street  
Brampton, Ontario

Drawing Title:

Site Plan



INACIO CUNHA, M.A.A.T.O.

Drawn: CCW Date: May-2021

Checked: IC Scale: 3/32"=1'-0"

File No: Drawing No:

Project No: AI



Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures  
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **July 12, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, July 7, 2022.**
- Advance registration for applicants, agents and other interested persons is required by one or two options:
  1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, July 7, 2022.**
  2. To participate in-person, please email the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, July 7, 2022.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, July 7, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:  
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or  
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

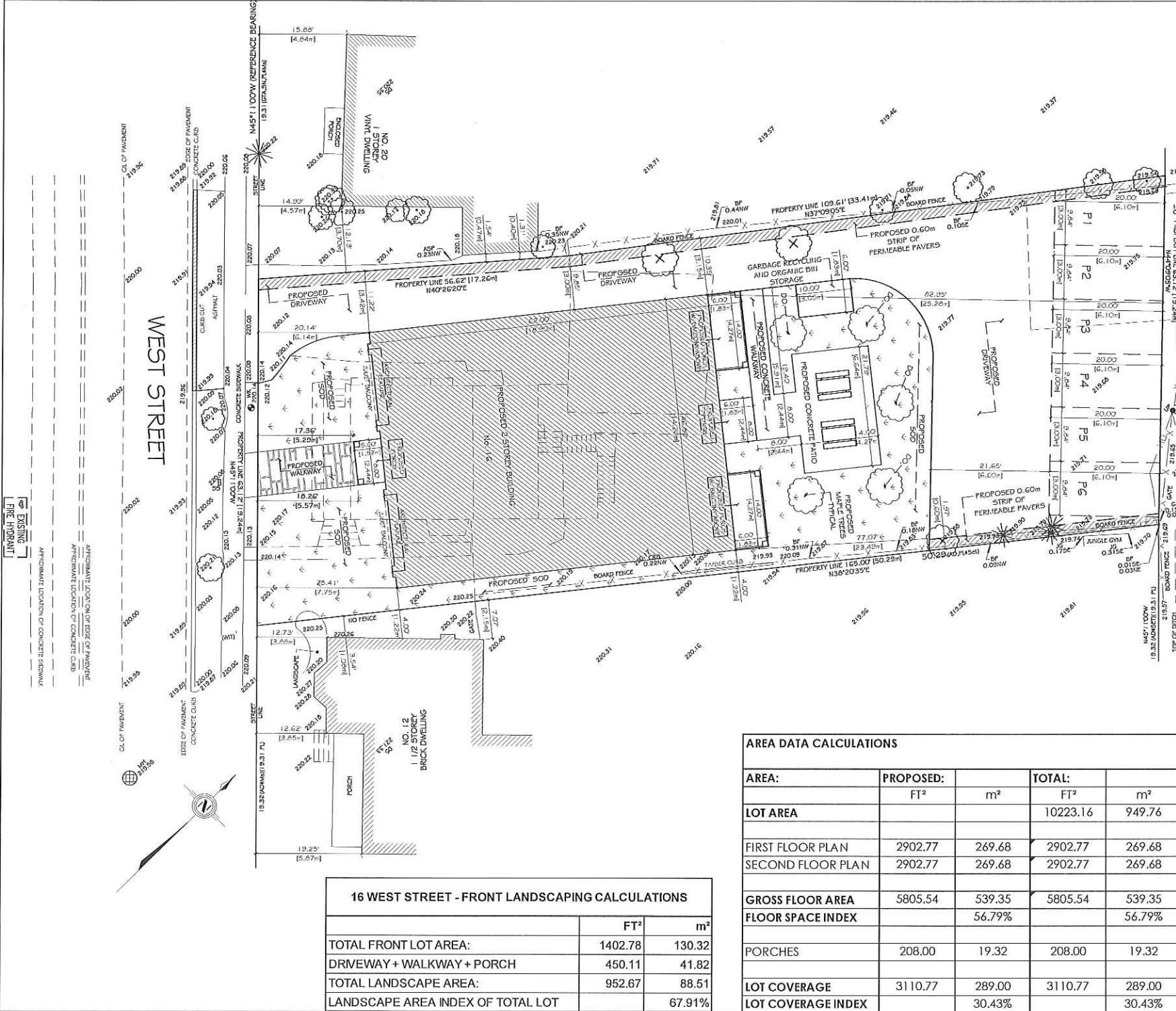
***The City of Brampton is reviewing its Committee of Adjustment process. As a participant in this process, if you have comments or input you would like to share about your experience with the Committee of Adjustment, please email [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) to indicate your interest and you will be contacted with more information.***

**REVISED DRAWINGS**

**A-2022-0049**

**GOBBATO GROUP INC.**

**16 WEST STREET**



16 WEST STREET - FRONT LANDSCAPING CALCULATIONS		
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Qualification Information: Required unless design is exempt under Div. C - 3.2.5.1. of the building code.

Ion Cunha 29905  
Name Signature BCIN

Registration Information: Required unless design is exempt under Div. C - 3.2.4.1. of the building code.

Cunha Design Consultants Ltd 29902  
Firm Name BCIN

- MECHANICAL NOTES
- MECHANICAL EXHAUST VENT
  - SMOKE ALARM
  - CARBON MONOXIDE ALARM

No.	Date	Revision	By

Consultant:

**CUNHA DESIGN CONSULTANTS LTD.**  
10 Northampton Drive Etobicoke, ON M9B 4S6  
Telephone/Fax: (416) 626-9511  
Email: cunhadesign@rogers.com  
Firm BCIN: 29902

Owner:

Gobbato Group Inc.  
15318 Hurontario St.  
Caledon, ON L7C 2C3

Project:

Prop. 2 Sty Building  
16 West Street  
Brampton, Ontario

Drawing Title:

Site Plan



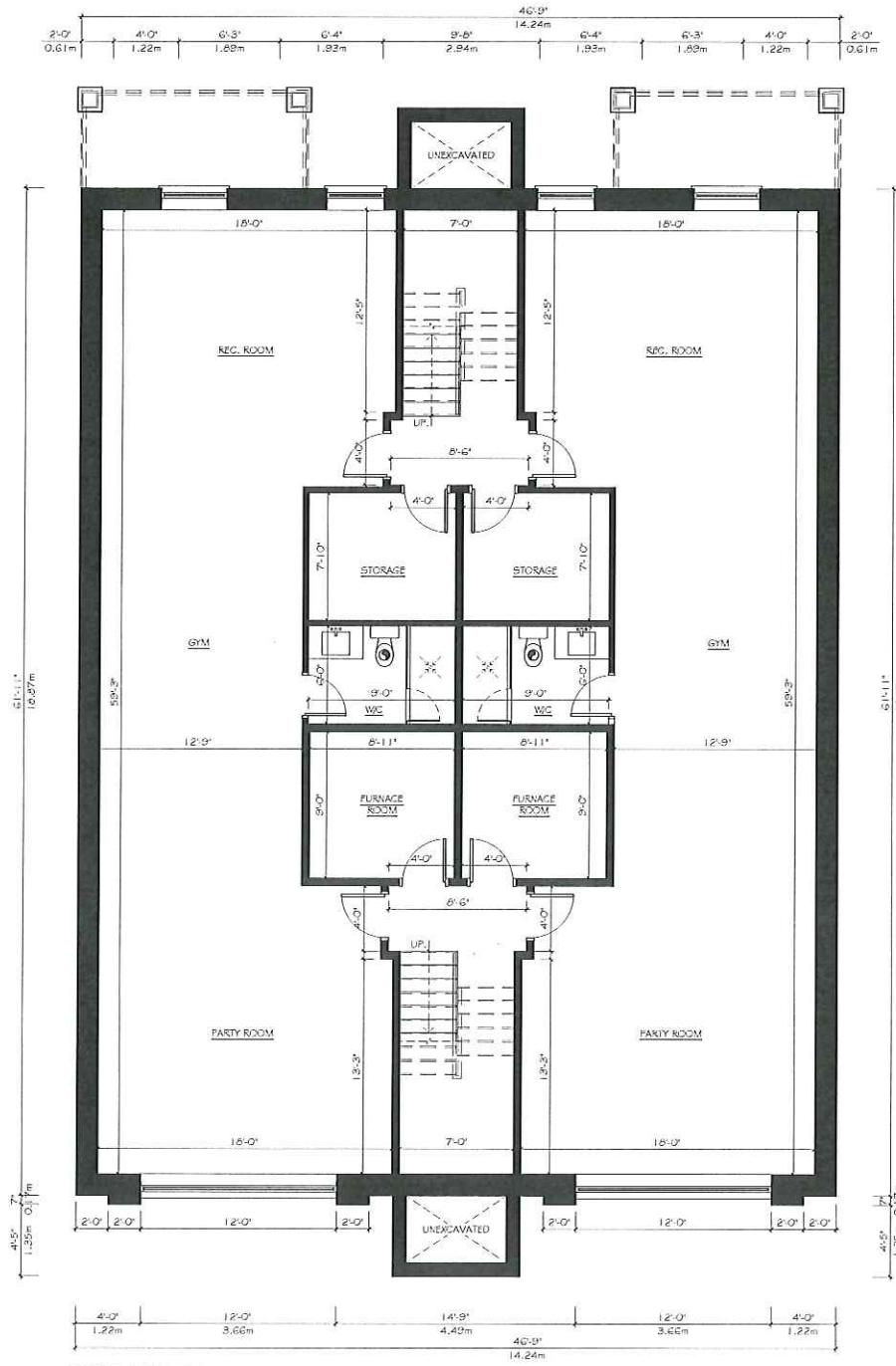
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Checked: IC Scale: 3/32" = 1'-0"

File No: Drawing No:

Project No: A1



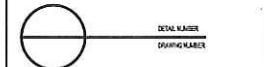


BASEMENT PLAN  
SCALE: 3/16"=1'-0"

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Name Signature BCIN

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Cunha Design Consultants Ltd. 29902  
Firm Name BCIN

#### MECHANICAL NOTES

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Consultant:

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Firm BCIN: 29902

Owner:

Gobbato Group Inc.  
15318 Hurontario St.  
Caledon, ON L7C 2C3

Project:

Prop. 2 Sty Building  
16 West Street  
Brampton, Ontario

Drawing Title:

Basement Plan

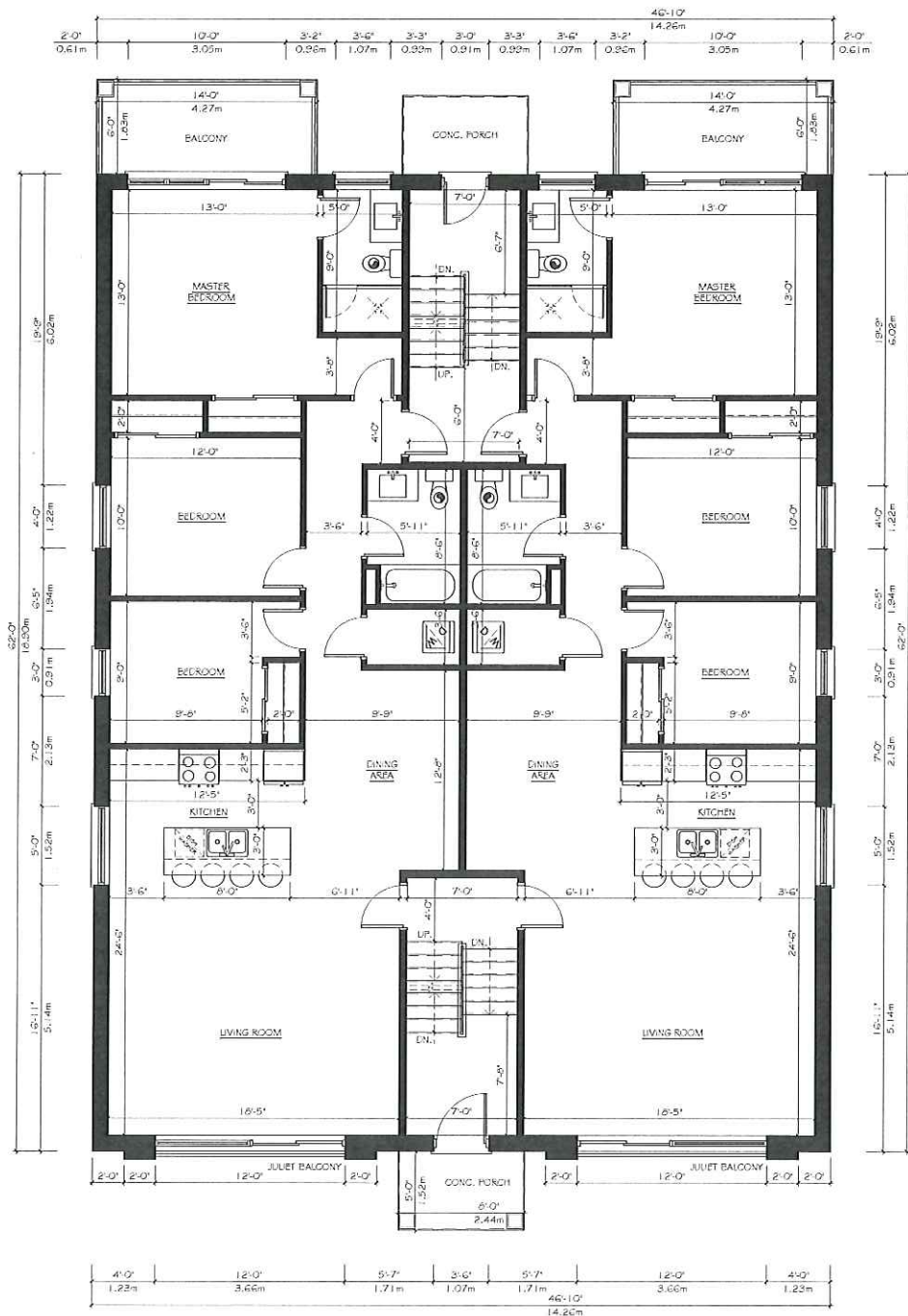


Drawn: CCW Date: May-2021

Checked: IC Scale: 3/16"=1'-0"

File No: Drawing No:

Project No: A2



FIRST FLOOR PLAN  
SCALE: 3/16"=1'-0"

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Qualification Information: Required unless design is exempt under Div. C-3.2.5.1. of the building code.

Im Cunha 28003  
Name Signature BCIN

Registration Information: Required unless design is exempt under Div. C-3.2.4.1. of the building code.

Cunha Design Consultants Ltd. 29902  
Firm Name BCIN

#### MECHANICAL NOTES

- MECHANICAL EXHAUST VENT
- SMOKE ALARM
- CARBON MONOXIDE ALARM

Consultant:  
**CUNHA DESIGN CONSULTANTS LTD.**  
10 Northampton Drive Etobicoke, ON M9B 4S6  
Telephone/Fax: (416) 628-9511  
Email: cunhadesign@rogers.com  
Firm BCIN: 29902

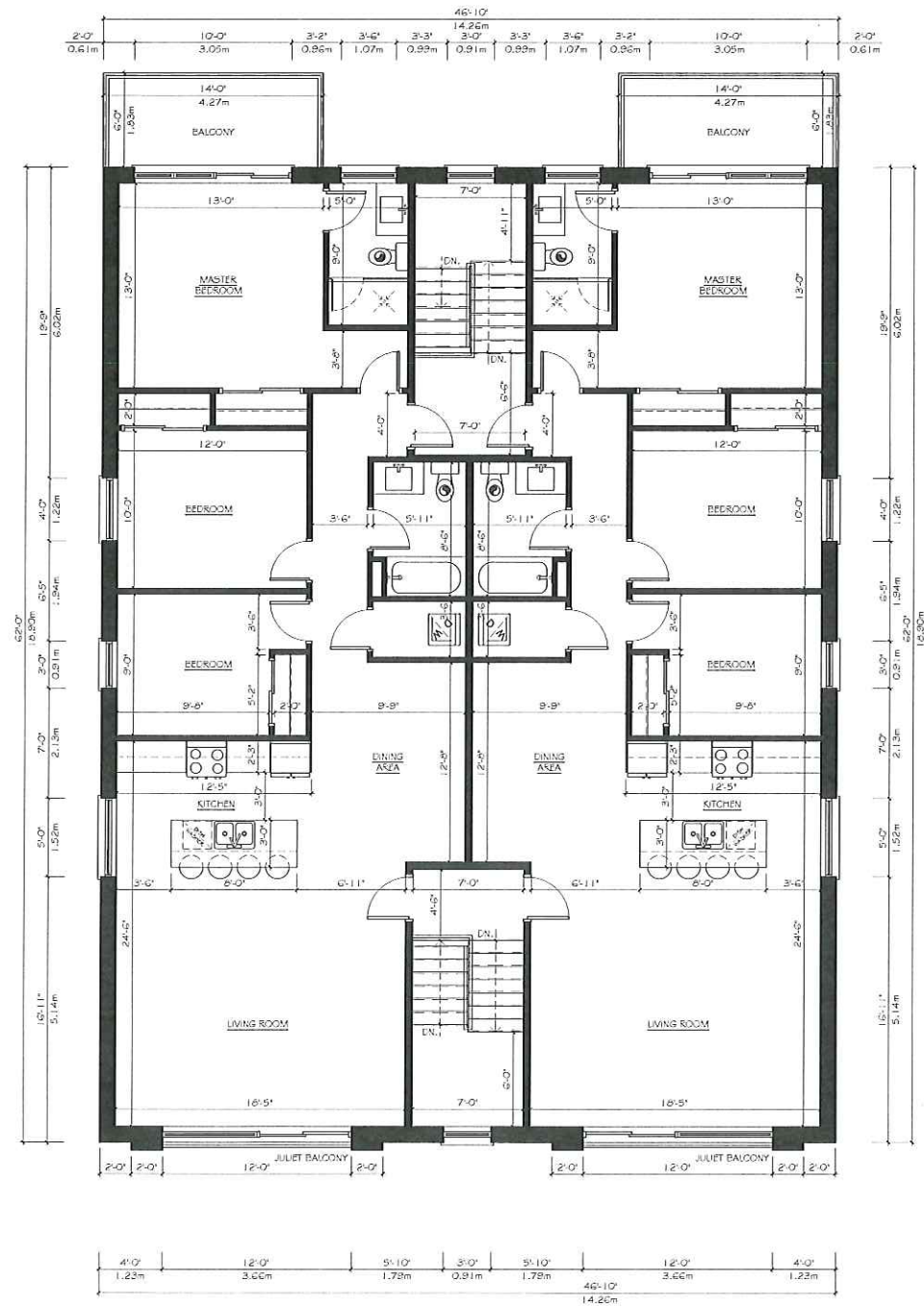
Owner:  
**Gobbato Group Inc.**  
15318 Hurontario St.  
Caledon, ON L7C 2C3

Project:  
**Prop. 2 Sty Building**  
16 West Street  
Brampton, Ontario

Drawing Title:  
**First Floor Plan**



Drawn: CCW Date: May-2021  
Checked: IC Scale: 3/16"=1'-0"  
File No: Drawing No:  
Project No: **A3**

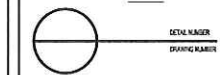


SECOND FLOOR PLAN  
SCALE: 3/16" = 1'-0"

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**Qualification Information:** Required unless design is exempt under Div. C-3.2.5.1. of the building code.

**Signature:** Ian Cunha 28003  
Name: Signature BCIN

**Registration Information:** Required unless design is exempt under Div. C-3.2.4.1. of the building code.

**Firm Name:** Cunha Design Consultants Ltd. 29902  
Firm Name: BCIN

#### MECHANICAL NOTES

- MECHANICAL EXHAUST VENT
- SMOKE ALARM
- CARBON MONOXIDE ALARM

No.	Date	Person	Int.
-----	------	--------	------

Consultant:  
**CUNHA DESIGN CONSULTANTS LTD.**  
10 Northampton Drive Etobicoke, ON M9B 4S6  
Telephone/Fax: (416) 626-9511  
Email: cunhadesign@rogers.com  
Firm BCIN: 29902

Owner:  
**Gobbato Group Inc.**  
15318 Hurontario St.  
Caledon, ON L7C 2C3

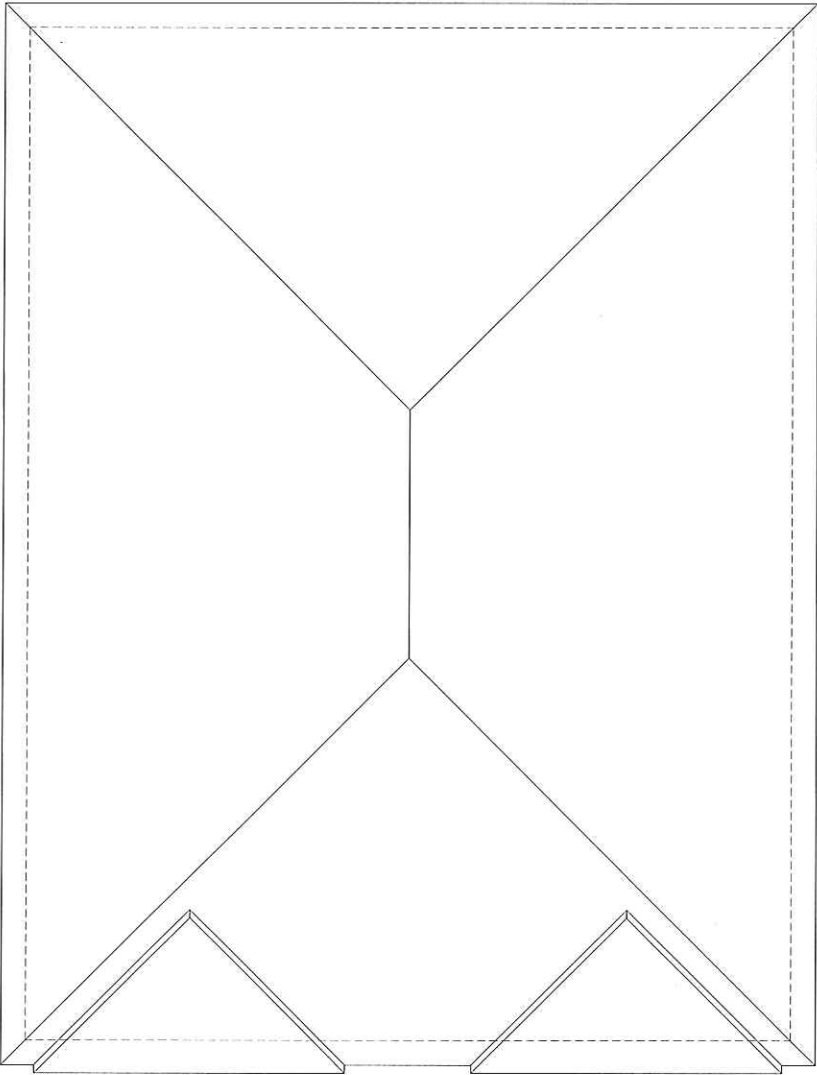
Project:  
**Prop. 2 Sty Building**  
16 West Street  
Brampton, Ontario

Drawing Title:  
**Second Floor Plan**



Drawn:	CCW	Date:	May-2021
Checked:	IC	Scale:	3/16" = 1'-0"
File No:		Drawing No:	A4
Project No:			





ROOF PLAN  
SCALE: 3/16"=1'-0"

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DETAIL NUMBER

DRAWING NUMBER

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**Qualification Information:** Required unless design is exempt under Div. C - 3.2.5.1. of the building code.

Jan Cunha	28095
Name	Signature
	BCIN

**Registration Information:** Required unless design is exempt under Div. C - 3.2.4.1. of the building code.

Cunha Design Consultants Ltd	29902
Firm Name	BCIN

**MECHANICAL NOTES**

- MECHANICAL EXHAUST VENT
- SMOKE ALARM
- CARBON MONOXIDE ALARM

No.	Date	Person	Int.

Consultant:

**CUNHA  
DESIGN  
CONSULTANTS LTD.**  
10 Northampton Drive Etobicoke, ON M9B 4S6  
Telephone/Fax: (416) 626-9511  
Email: cunhadesign@rogers.com  
Firm BCIN: 29902

Owner:

Gobbato Group Inc.  
15318 Hurontario St.  
Caledon, ON L7C 2C3

Project:

Prop. 2 Sty Building  
16 West Street  
Brampton, Ontario

Drawing Title:

Roof Floor Plan

Drawn:

CCW

Date:

May-2021

Checked:

IC

Scale:

3/16"=1'-0"

File No:

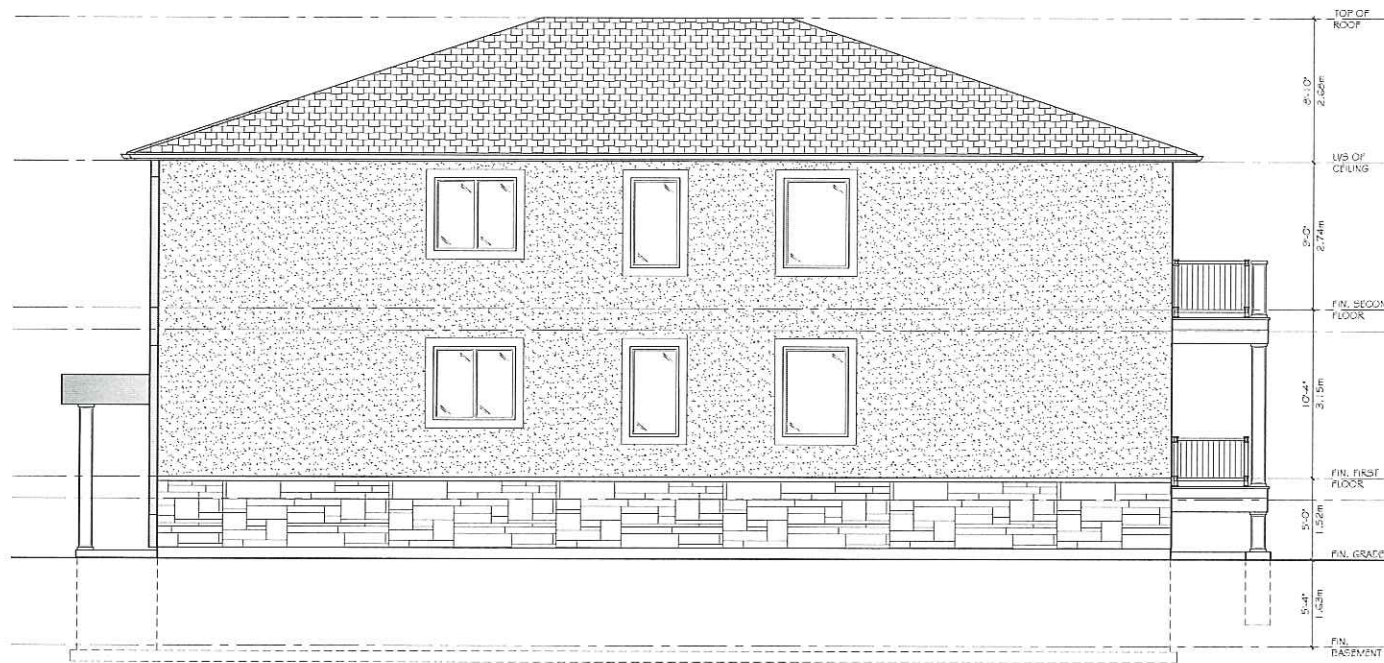
Drawing No:

A5

Project No:



WEST ELEVATION  
SCALE: 3/16" = 1'-0"

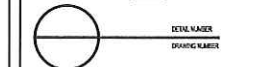


SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"

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Im Cunha 29902  
Name Signature BCIN

**Registration Information:** Required unless design is exempt under Div. C - 3.2.4.1. of the building code.

Cunha Design Consultants Ltd. 29902  
Firm Name BCIN

#### MECHANICAL NOTES

- ☒ MECHANICAL EXHAUST VEILT
- ☒ SMOKE ALARM
- ☒ CARBON MONOXIDE ALARM

No.	Date	Revision	Int.

Consultant:

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10 Northampton Drive Etobicoke, ON M9B 4S6  
Telephone/Fax: (416) 626-9511  
Email: cunhadesign@rogers.com  
Firm BCIN: 29902

Owner:

Gobbato Group Inc.  
15318 Hurontario St.  
Caledon, ON L7C 2C3

Project:

Prop. 2 Sty Building  
16 West Street  
Brampton, Ontario

Drawing Title:

Elevations



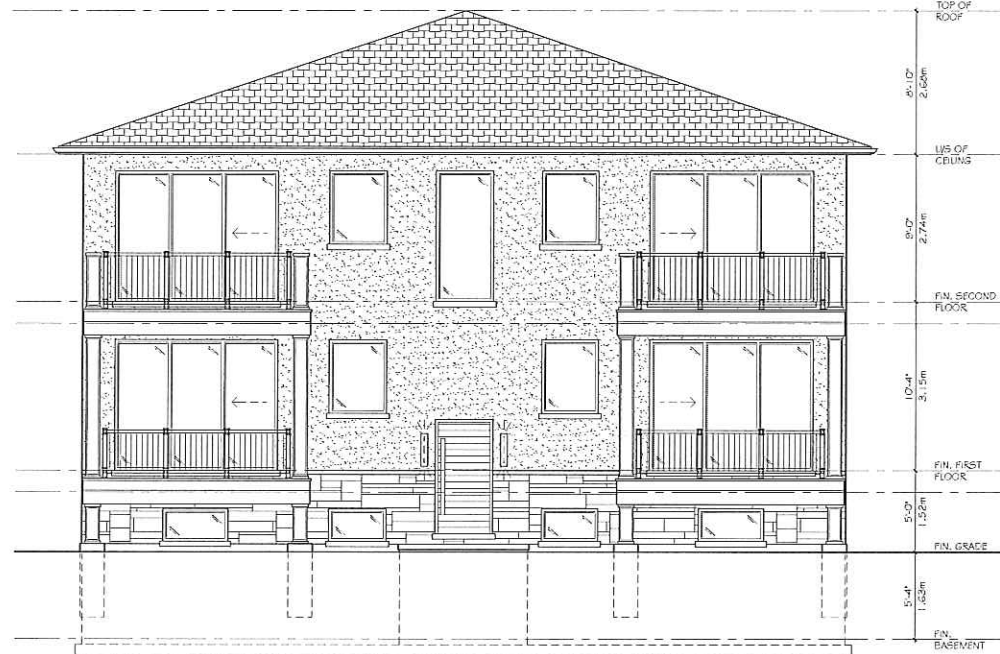
Drawn: CCW Date: May-2021

Checked: IC Scale: 3/16" = 1'-0"

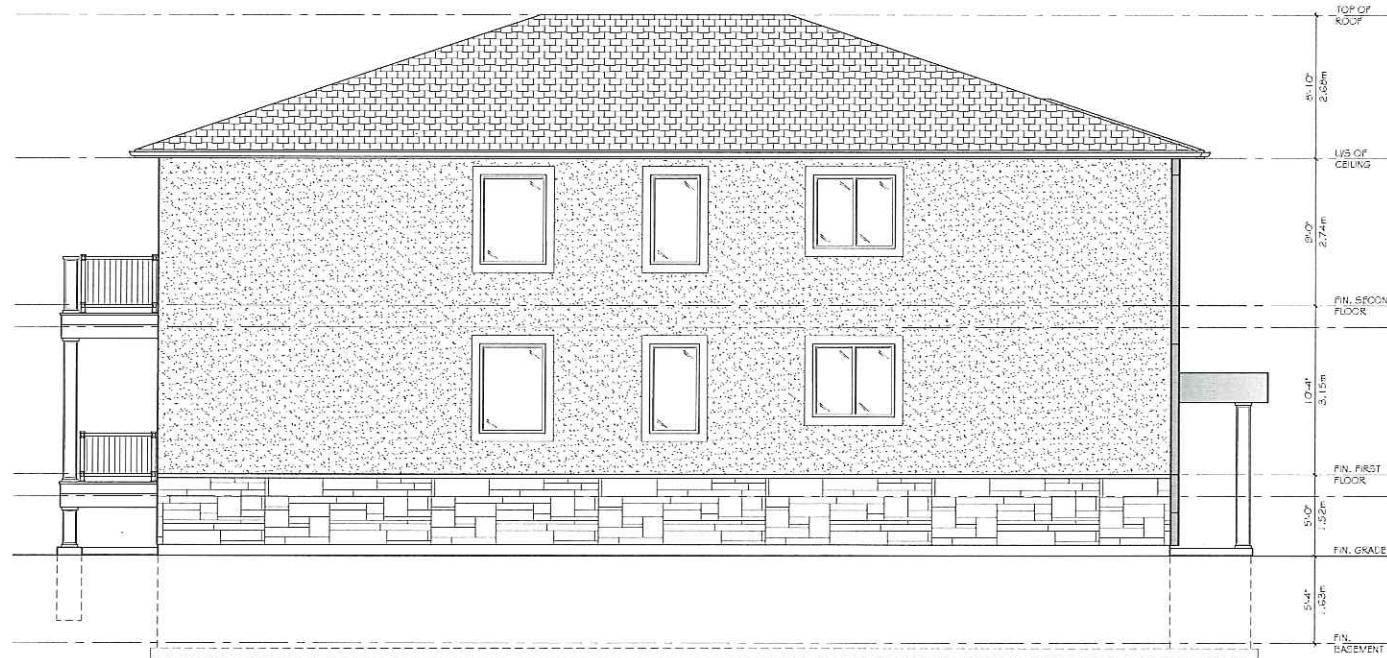
File No: Drawing No:

Project No: A6





EAST ELEVATION  
SCALE: 3/16"=1'-0"

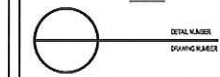


NORTH ELEVATION  
SCALE: 3/16"=1'-0"

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**Jan Cunha** 28005  
Name Signature BCIN

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**Cunha Design Consultants Ltd.** 29902  
Firm Name BCIN

#### MECHANICAL NOTES

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- ☒ CARBON MONOXIDE ALARM

No. Date Revision Init.

Consultant:

**CUNHA  
DESIGN  
CONSULTANTS LTD.**  
10 Northampton Drive Etobicoke, ON M9B 4S6  
Telephone/Fax: (416)-628-9511  
Email: cunhadesign@rogers.com  
Firm BCIN: 29902

Owner:

Gobbato Group Inc.  
15318 Hurontario St.  
Caledon, ON L7C 2C3

Project:

Prop. 2 Sty Building  
16 West Street  
Brampton, Ontario

Drawing Title:

Elevations



Drawn: CCW

Date: May-2021

Checked: IC

Scale: 3/16"=1'-0"

File No:

Drawing No:

Project No:

A7

## AMENDMENT LETTER

April 6, 2022


To: Committee of Adjustment

**RE: APPLICATION FOR MINOR VARIANCE  
GOBBATO GROUP INC.  
LOT 19, PLAN BR-4  
A-2022-0049 – 16 WEST STREET**

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Please **amend** application **A-2022-0049** to reflect the following:

1. To permit 0.0m of permeable landscaping adjacent to both side lot lines whereas the by-law requires a minimum 0.6m (1.97 ft.) permeable landscape strip adjacent to both side lot lines;
2. To permit a 1.22m (4.0 ft.) interior side yard setback to the second storey whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.) to the second storey;
3. To permit a lot width of 19.24 metres for a double duplex dwelling whereas the by-law requires a minimum lot width of 20 metres to allow for a double duplex dwelling;
4. To provide six parking spaces whereas the by law requires a minimum of 8 parking spaces;
5. To permit parking in the rear yard whereas the by-law does not permit parking in the rear yard;
6. To permit a parking aisle having an irregular aisle width corresponding with the angle of the side lot line whereas the by-law requires a minimum parking aisle width of 6.6m.

  
\_\_\_\_\_  
Applicant/Authorized Agent

LUCA GOBBATO.



Flower City



brampton.ca

For Office Use Only  
(to be inserted by the Secretary-Treasurer  
after application is deemed complete)

FILE NUMBER: A-2022-0049

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

**APPLICATION**

**Minor Variance or Special Permission**

(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Gobbato Group Inc  
**Address** 15318 Hurontario Street, Inglewood, L7C2C3  
  
**Phone #** 905-487-0281 X201 **Fax #** \_\_\_\_\_  
**Email** \_\_\_\_\_

2. **Name of Agent** Luca Gobbato  
**Address** 18450 Airport Road, Caledon, ON L7K 2H1  
  
**Phone #** 416-881-0440 **Fax #** \_\_\_\_\_  
**Email** Luca@gbcdesignbuild.ca

3. **Nature and extent of relief applied for (variances requested):**  
1: Open Space -minimum 3 meter wide landscape buffer along all property lines  
2: Zoning Review- Minimum interior side yard setback 1.8m  
3:Zoning Review- Max lot coverage 30 %  
4:Zoning Review - Minimum 0.6 m permeable landscaping open space abutting property line  
5:Zoning Review: Maximum building height 8.5 m-to mid point of gable roof

4. **Why is it not possible to comply with the provisions of the by-law?**  
1: not possible with the lot being 19.24 m wide  
2: not possible with the lot being 19.24 m wide, need the set back to be 1.22m from 1.8m  
3: with the size of the units need the Max lot coverage to be 32.37 %  
4: not possible with the lot being 19.24 m wide,  
5: need the Maximum to be 8.5 to be 8.76 m

5. **Legal Description of the subject land:**  
**Lot Number** 19  
**Plan Number/Concession Number** BR-4  
**Municipal Address** 16 West Street

6. **Dimension of subject land (in metric units)**  
**Frontage** 19.24  
**Depth** 50.29  
**Area** 949.76

7. **Access to the subject land is by:**  
Provincial Highway ☐ Seasonal Road ☐  
Municipal Road Maintained All Year ☒ Other Public Road ☐  
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

two story house with the area of 156 m2, with a separate two car garage 39.5 m2, both structures will be demolished

PROPOSED BUILDINGS/STRUCTURES on the subject land:

new 2 storey building of 269.68 m2 on the first floor and 269.68 m2 on the second floor , both floors with two units

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 5.16 m

Rear yard setback 34 m

Side yard setback 6.76 m

Side yard setback 4.57 m

PROPOSED

Front yard setback 6.14 m

Rear yard setback 23.49 m

Side yard setback 3 m

Side yard setback 1.22 m

10. Date of Acquisition of subject land: April 2021
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 1950
15. Length of time the existing uses of the subject property have been continued: 72 years
16. (a) What water supply is existing/proposed?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Well ☐
- (b) What sewage disposal is/will be provided?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Septic ☐
- (c) What storm drainage system is existing/proposed?  
Sewers ☒ Other (specify) \_\_\_\_\_  
Ditches ☐  
Swales ☐



17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE town \_\_\_\_\_ OF Caledon

THIS 21 DAY OF March, 2022

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Luca Gobbato, OF THE town \_\_\_\_\_ OF Caledon

IN THE prov \_\_\_\_\_ OF Ontario SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF Peel

THIS 21st DAY OF

March, 2022

A Commissioner etc.

Jeanie Cecilia Myers  
a Commissioner, etc.,  
Province of Ontario  
for the Corporation of the  
City of Brampton  
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R2B(1)

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

\_\_\_\_\_  
Zoning Officer

March 23, 2022

Date

DATE RECEIVED March 21, 2022

Date Application Deemed Complete by the Municipality March 23, 2022

Revised 2022/02/17

NELSON STREET  
(CONTINUED BY PLAN 22-4)

NOTES:  
THIS REPORT HAS BEEN PREPARED FOR "ODG DESIGN + BUILD"  
AND GUIDO PATTA SURVEYING - A DIVISION OF J.D. BARNES LTD  
ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES

GEODETIC:  
ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE OBTAINED  
FROM THE CITY OF BRAMPTON BENCHMARK NO. 10  
ELEVATION = 218.369 METRES.

PART 1  
PLAN OF  
LOT 19, NE OF WEST STREET (KNOWN AS BLOCK 5)  
AS SHOWN ON A PLAN OF SUBDIVISION OF PART OF THE EAST  
HALF OF LOT 6, CONCESSION 1, WEST OF HURONTARIO STREET BY  
C. MILLER P.L.S., DATED JANUARY 4, 1854 AND NOW REFERRED TO AS  
PLAN BR-4  
CITY OF BRAMPTON  
REGIONAL MUNICIPALITY OF PEELE

SCALE = 1:150 m

## PART 2 - REPORT SUMMARY

MUNICIPALLY KNOWN AS NO. 10 WEST STREET  
LOT 10, NE OF WEST STREET, (KNOWN AS BLOCK 8) AS SHOWN ON  
A PLAN OF SUBDIVISION OF PART OF THE EAST HALF OF LOT 6,  
CONCESSION 1, WEST OF HURONTARIO STREET BY C. MILLER P.L.S.,  
DATED JANUARY 4, 1884 AND NOW REFERRED TO AS PLAN BR-4  
CITY OF BRAMPTON, REGIONAL MUNICIPALITY OF PEEL

## EASEMENTS OR RIGHT OF WAY

COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS  
No investigation with respect to Municipal Zoning requirement has been made in connection with this report.

## ADDITIONAL REMARKS:

- MONUMENTS SHOWN AS "M" ARE WITNESS MONUMENTS AND ARE NOT AT THE PROPERTY CORNER.
- THE FENCES ARE AS SHOWN ON THE SURVEY PLAN.
- NOTE THE LOCATION OF THE ASPHALT DRIVEWAY BETWEEN NO. 10 AND NO. 20 WEST STREET.
- NOTE THAT THE LANDSCAPE AREA, LOCATED AT FRONT OF DWELING NO. 12 WEST STREET IS PARTIALLY LOCATED ON THE SUBJECT LOTS.

## NOTES-

BEARINGS SHOWN HEREIN ARE ASSUMED AND ARE REFERRED TO THE EASTLY END OF WEST STREET AS SHOWN ON PLAN ER-4, HAVING A BEARING OF N45°10'00"E.

[illegible]

SURVEYOR'S CERTIFICATE

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON JANUARY 10, 2021.

JANUARY 29, 2021  
DATE

WALTER G. PAPA  
ONTARIO LAND SURVEYOR



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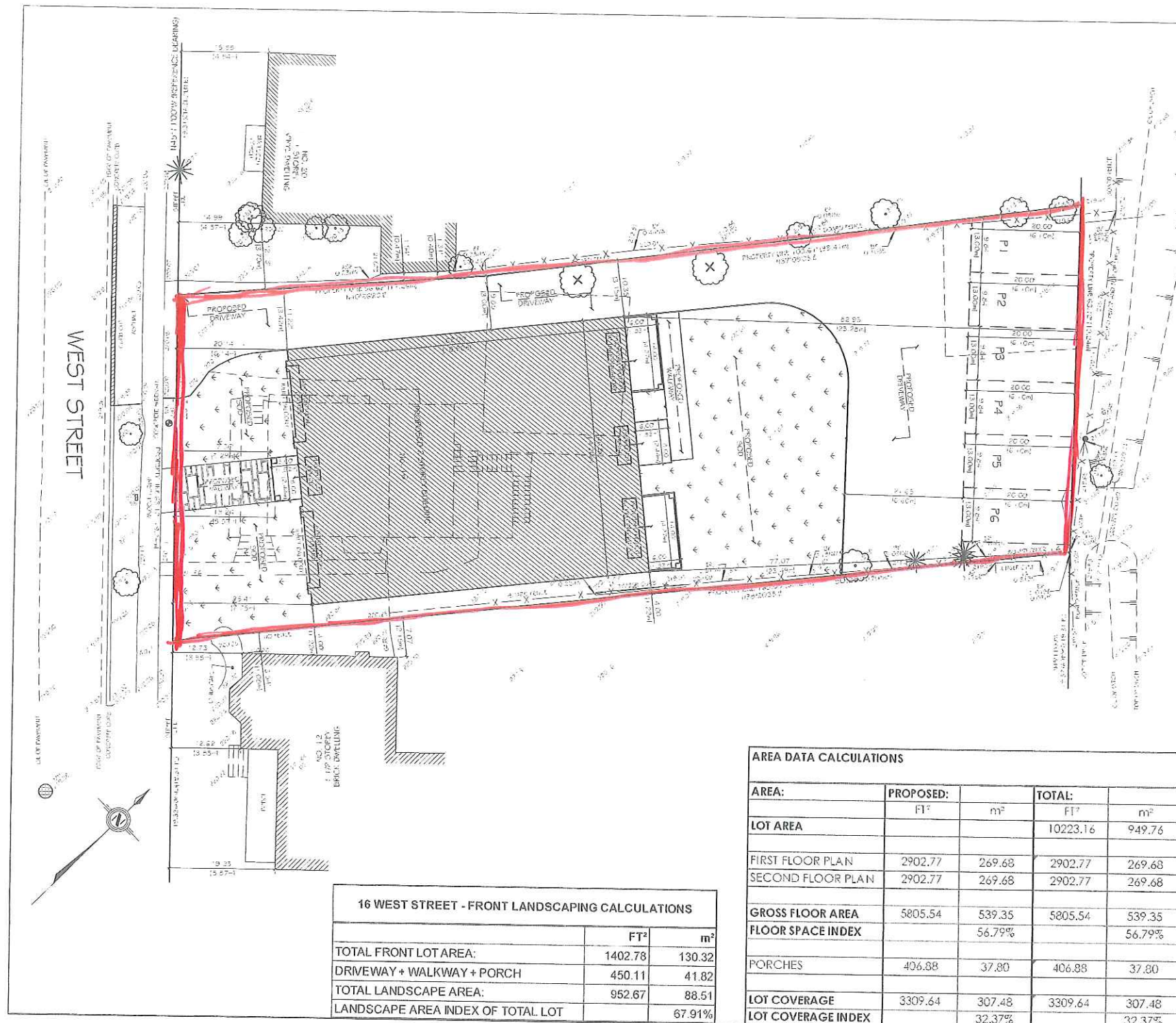


GUIDO PAPA SURVEYING  
A Division of J.D. Barnes Limited

UNITED STATES GOVERNMENT  
FIGURE 10-10

STAGE B:	CHARGE B:	REFERENCE NO:
AA	VGP	20-10-641-00





All parts and specifications are the property of the Architectural Technologist and shall remain the property of the Architectural Technologist.

The contractor shall check and verify all dimensions on the work and report any discrepancies to the Architectural Technologist before proceeding. Drawings are not to be used for construction purposes unless signed by the Architectural Technologist.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

**Qualification Information:** Required unless design is exempt under Div. C, 3.2.5.1. of the building code.

Curby Design Consultants Ltd.	29902
Firm Name	BCIN

**Registration Information:** Required unless design is exempt under Div. C, 3.2.4.1. of the building code.

**MECHANICAL NOTES**

- MECHANICAL EXHAUST VENT
- SIMPLE ALARM
- CARBON MONOXIDE ALARM

**Curby Design Consultants Ltd.**  
 10 Northampton Drive Etobicoke, ON M9B 4S6  
 Telephone/Fax: (416) 626-9511  
 Email: curbydesign@curbydesign.com  
 Firm BCIN: 29902

**Owner:**  
 GBC Design + Build  
 25A Hansen Rd. S.  
 Brampton, Ontario

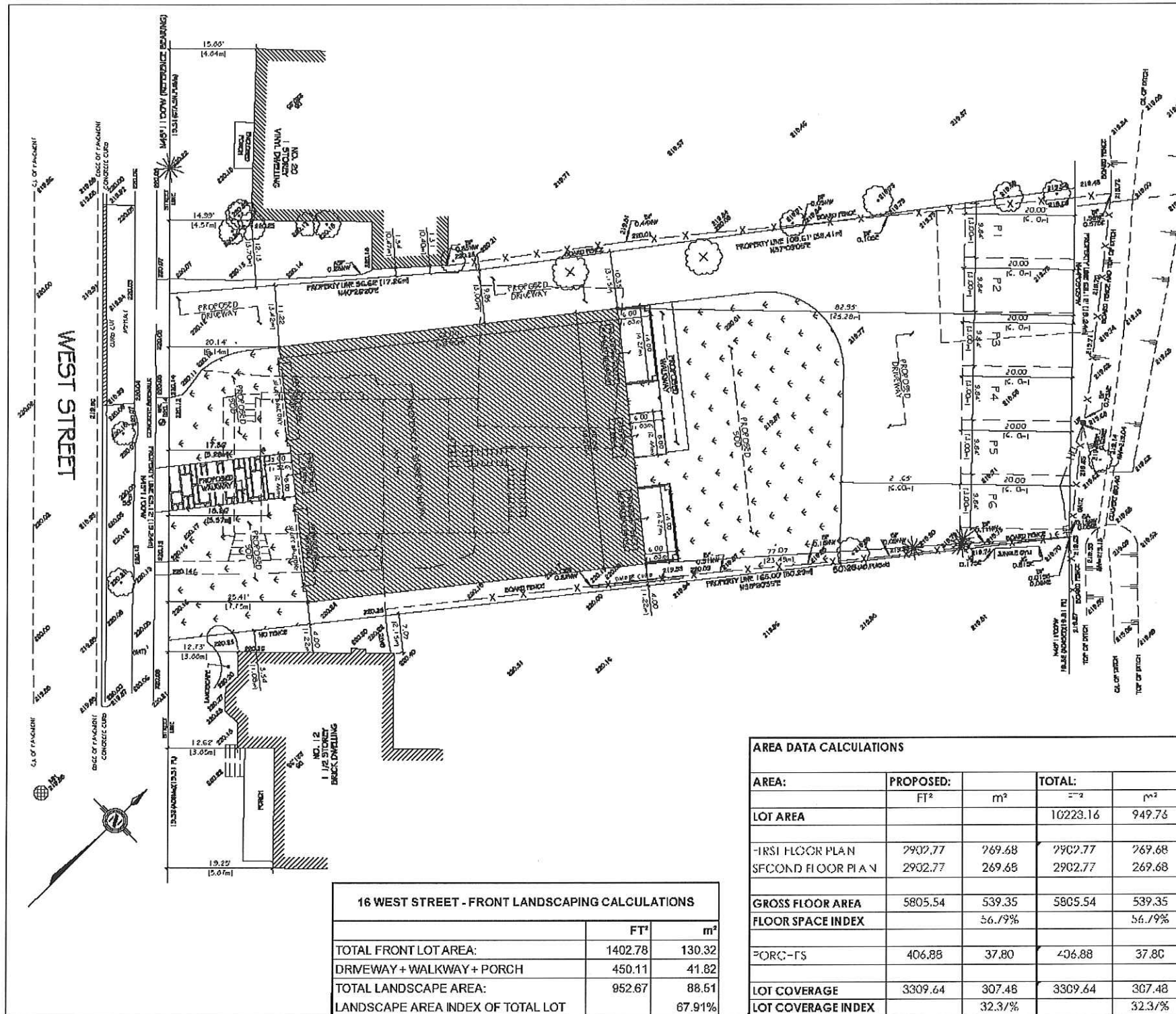
**Project:**  
 Prop. 2 Sty Building  
 16 West Street  
 Brampton, Ontario

**Drawing Title:**  
 Site Plan

**Association of Architectural Technologists of Ontario**  
 16-117  
 P.O. BOX 1177  
 TORONTO, ONTARIO M6H 3K7

**Drawn:** CCW **Date:** May-2021  
**Checked:** IC **Scale:** 3/32" = 1'-0"  
**File No:** **Drawing No:**  
**Project No:** AI





All plans and specifications are the sole property of the Architectural Technologist and must be returned at the completion of the project.

Plans and specifications shall not be reproduced without the permission of the Architectural Technologist.

The architect shall check and verify all dimensions on the work and report any discrepancies to the Architectural Technologist before proceeding. Drawings are not to be used for construction purposes unless signed by the Architectural Technologist.

The undersigned has reviewed and takes responsibility for this design, and the qualifications and meets the requirements set out in the Ontario Building Code to design these drawings on the attached documents.

Qualification Information: Required unless design is exempt under Clv C-3.2.5.1 of the building code.

Im Cunha 28005  
Name Signature BCIN

Registration Information: Required unless design is exempt under Clv C-3.2.4.1 of the building code.

Cunha Design Consultants Ltd. 28102  
Firm Name BCIN

**MECHANICAL NOTES**

- MECHANICAL EXHAUST VENT
- SMOKE ALARM
- CARBON MONOXIDE ALARM

No.	Date	Revised	By

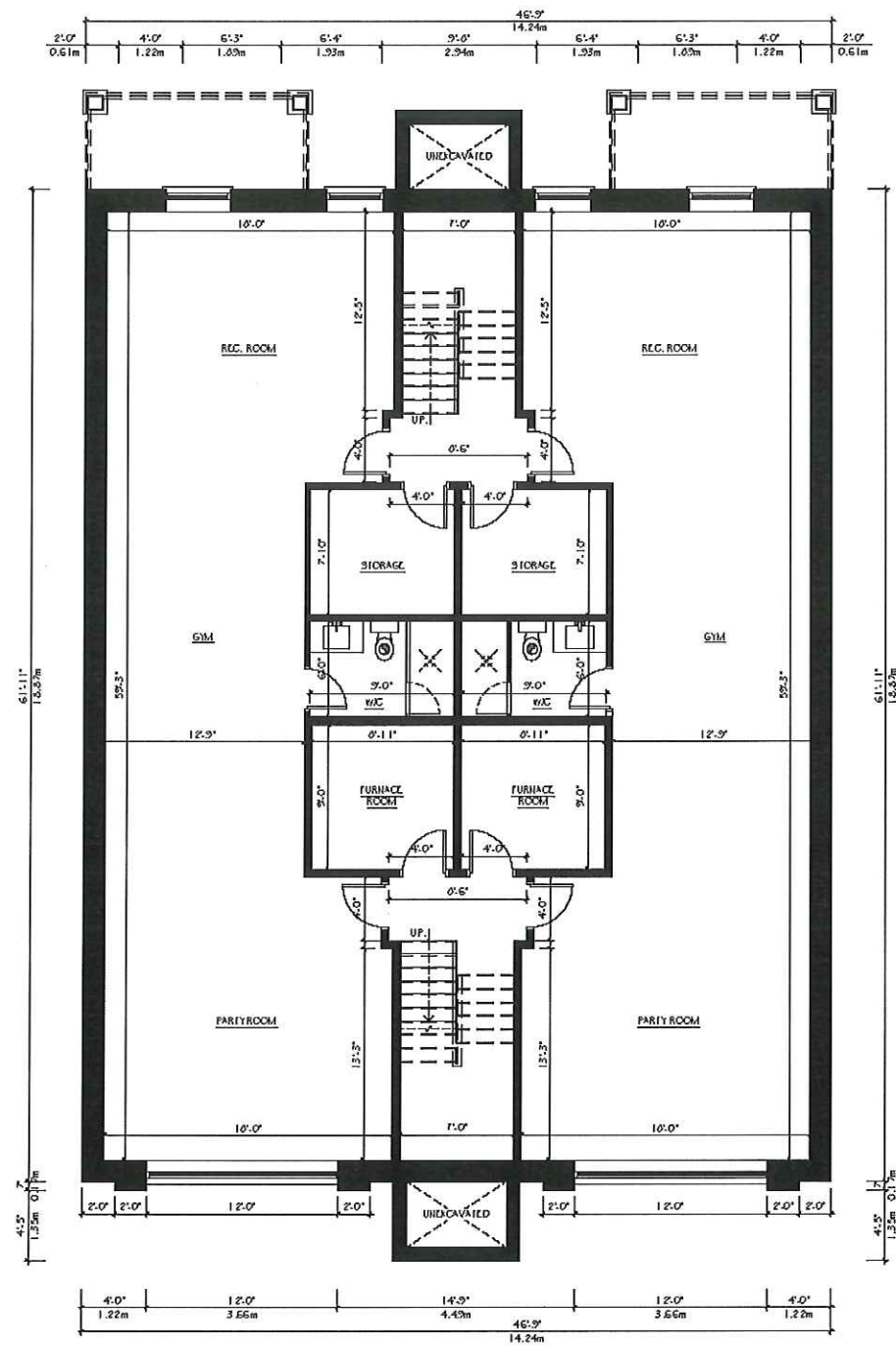
Drawn by: **CUNHA DESIGN CONSULTANTS LTD.**  
18 Northampton Drive, Etobicoke, ON M9B 4B8  
Telephone/Fax: (416) 828-8811  
Email: cunhadesign@rogers.com  
Firm BCIN: 28002

Owner: **GBC Design + Build**  
25A Hansen Rd. S.  
Brampton, Ontario

Project: **Prop. 2 Sty Building**  
16 West Street  
Brampton, Ontario

Drawing Title: **Site Plan**

Drawn: CCW Date: May-2021  
Checked: IC Seal: 3/32" = 1'0"  
Firm No: Drawing No: **A1**



BASEMENT PLAN  
SCALE: 3/16" = 1'-0"

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Qualification Information: Required unless design is exempt under Div. C-3.2.5.1 of the building code.

Jan Cunha 28005  
Name Signature BCIN

Registration Information: Required unless design is exempt under Div. C-3.2.4.1 of the building code.

Cunha Design Consultants Ltd. 20002  
Firm Name BCIN

### MECHANICAL NOTES

- MECHANICAL EXHAUST VENT
- SMOKE ALARM
- CARBON MONOXIDE ALARM

No.	Date	Revised	By

Drawn by:

**CUNHA DESIGN CONSULTANTS LTD.**  
10 Northampton Drive, Brampton, ON N6H 4B9  
Telephone: (416) 925-8511  
Email: cunha@cdconsultants.com  
Firm BCIN: 20002

Owner:

GBC Design + Build  
25A Hansen Rd. S.  
Brampton, Ontario

Project:

Prop. 2 Sty Building  
16 West Street  
Brampton, Ontario

Drawing Title:

Basement Plan



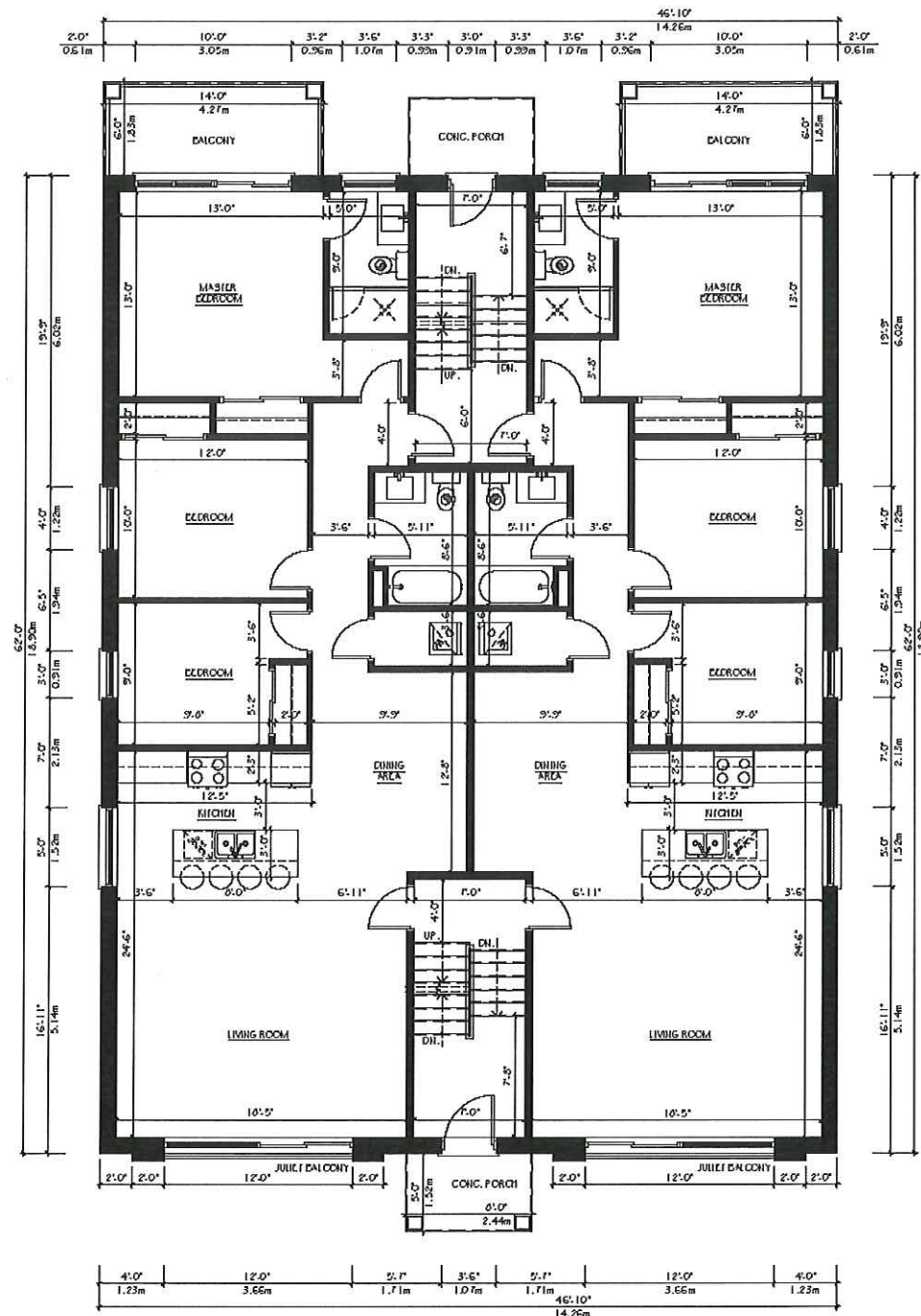
Drawn: CCW Date: May-2021

Checked: IC Scale: 3/16" = 1'-0"

Firm No: Drawing No:

Project No: A2





**FIRST FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

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The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design these work shown on the attached documents.

**Qualification Information:** Required unless design is exempt under Div. C-3.2.5.1 of the building code.

Jim Cunha 28005  
Name Signature BCIN

**Registration Information:** Required unless design is exempt under Div. C-3.2.4.1 of the building code.

Cunha Design Consultants Ltd. 21002  
Firm Name BCIN

**MECHANICAL NOTES**

- MECHANICAL EXHAUST VENT
- SMOKE ALARM
- CARBON MONOXIDE ALARM

No.	Date	Revised	By

**CUNHA DESIGN CONSULTANTS LTD.**  
10 Westbank Drive, Mississauga, ON M9W 4B9  
Telephone/Fax: (416) 622-8511  
Email: cunha@designconsultants.com  
Firm BCIN: 20002

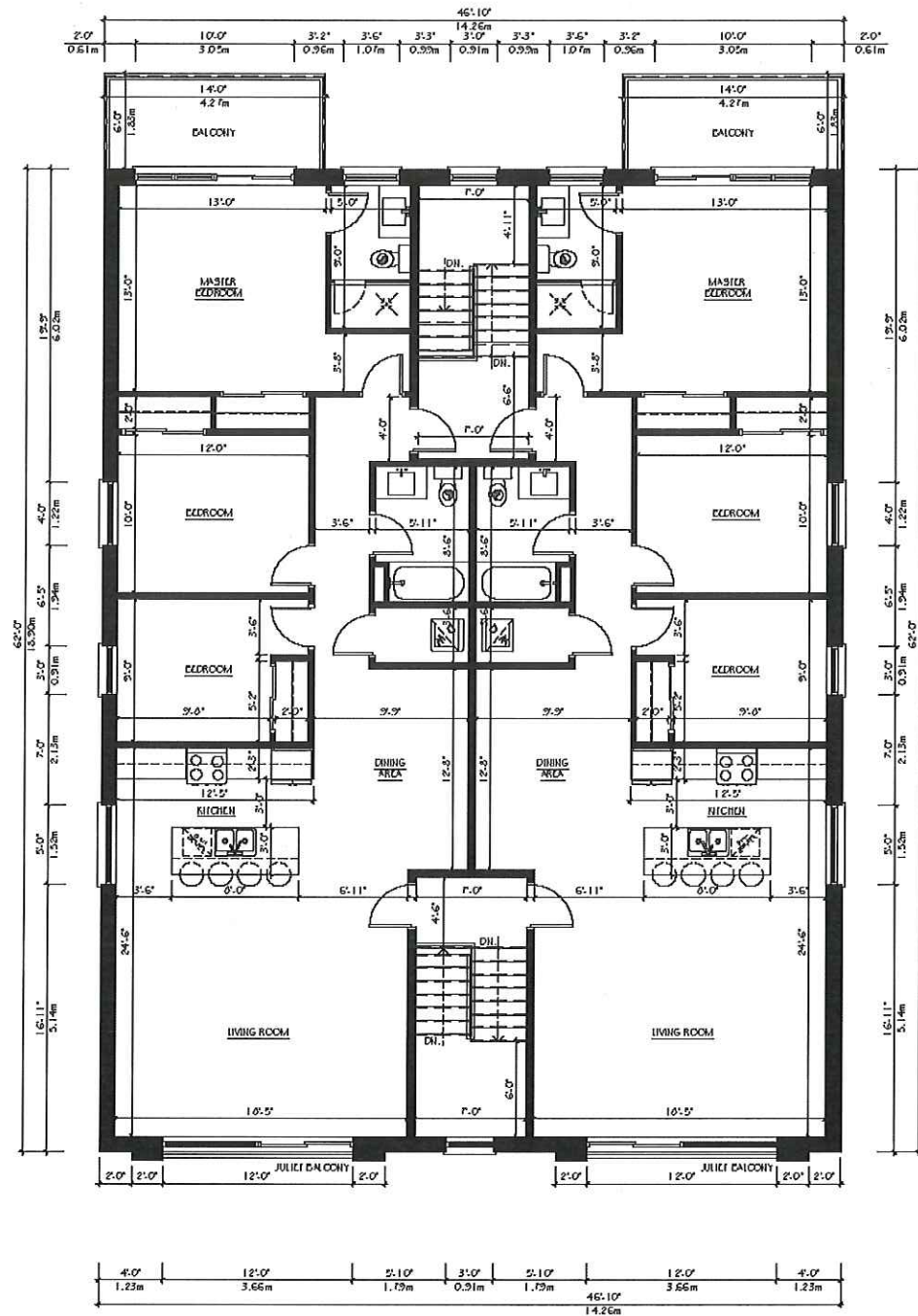
**Owner:**  
GBC Design + Build  
25A Hansen Rd. S.  
Brampton, Ontario

**Project:**  
Prop. 2 Sty Building  
16 West Street  
Brampton, Ontario

**Drawing Title:**  
First Floor Plan



Drawn: CCW	Date: May-2021
Checked: IC	Scale: 3/16" = 1'-0"
File No:	Drawing No:
Project No:	<b>A3</b>

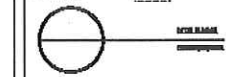


SECOND FLOOR PLAN  
SCALE: 3/16" = 1'-0"

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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

Qualification Information: Required unless design is exempt under Div. C-3.2.5.1 of the building code.

Im. Conha 28005  
Name Signature BCIN

Registration Information: Required unless design is exempt under Div. C-3.2.4.1 of the building code.

Conha Design Consultants Ltd. 28005  
Firm Name BCIN

#### MECHANICAL NOTES

- MECHANICAL EXHAUST VENT
- SMOKE ALARM
- CARBON MONOXIDE ALARM

No.	Date	Revised	By

Owner:  
**GUNHA DESIGN CONSULTANTS LTD.**  
10 Westborough Drive, Brampton, ON N6G 4G8  
Telephone/Fax: (416) 625-8511  
Email: gunha@gunhadesign.com  
Firm BCIN: 28005

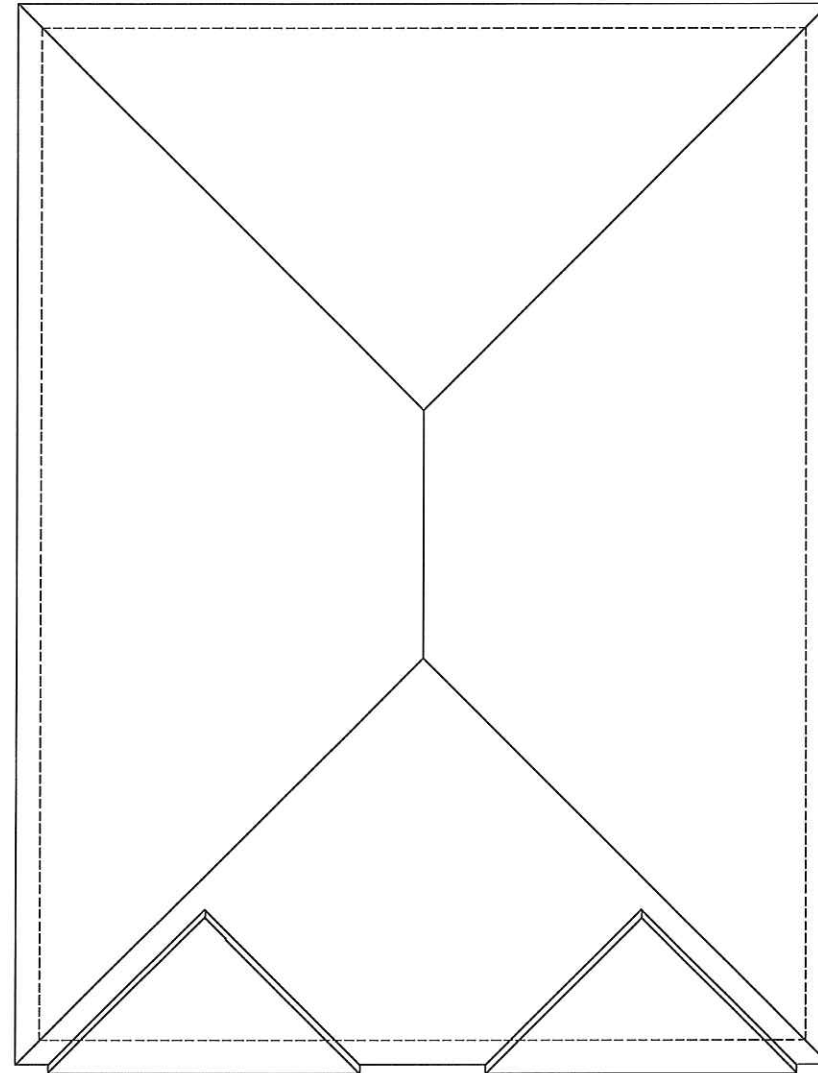
Owner:  
GBC Design + Build  
25A Hansen Rd. S.  
Brampton, Ontario

Project:  
Prop. 2 Sty Building  
16 West Street  
Brampton, Ontario

Drawing Title:  
Second Floor Plan



Drawn:	CCW	Date:	May-2021
Checked:	IC	Scale:	3/16" = 1'-0"
File No:	Drawing No:		
Project No:	A4		



ROOF PLAN  
SCALE: 3/16" = 1'-0"

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Qualification Information: Required unless design is exempt under Clv C-3.2.5.1 of the building code

Firm Clonha 28005  
Name Signature BCIN

Registration Information: Required unless design is exempt under Clv C-3.2.4.1 of the building code

Clonha Design Consultants Ltd. 29902  
Firm Name BCIN

**MECHANICAL NOTES**

MECHANICAL EXHAUST VENT  
SMOKE ALARM  
CARBON MONOXIDE ALARM

No.	Date	Revised	By

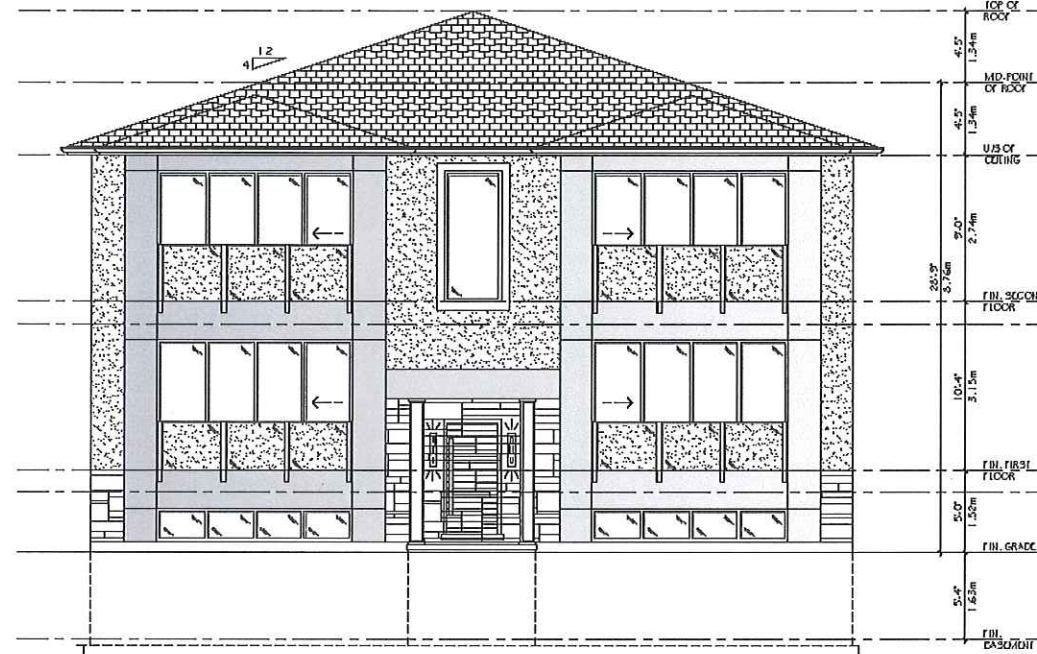
**Owner:**  
GBC Design + Build  
25A Hansen Rd. S.  
Brampton, Ontario

**Project:**  
Prop. 2 Sty Building  
16 West Street  
Brampton, Ontario

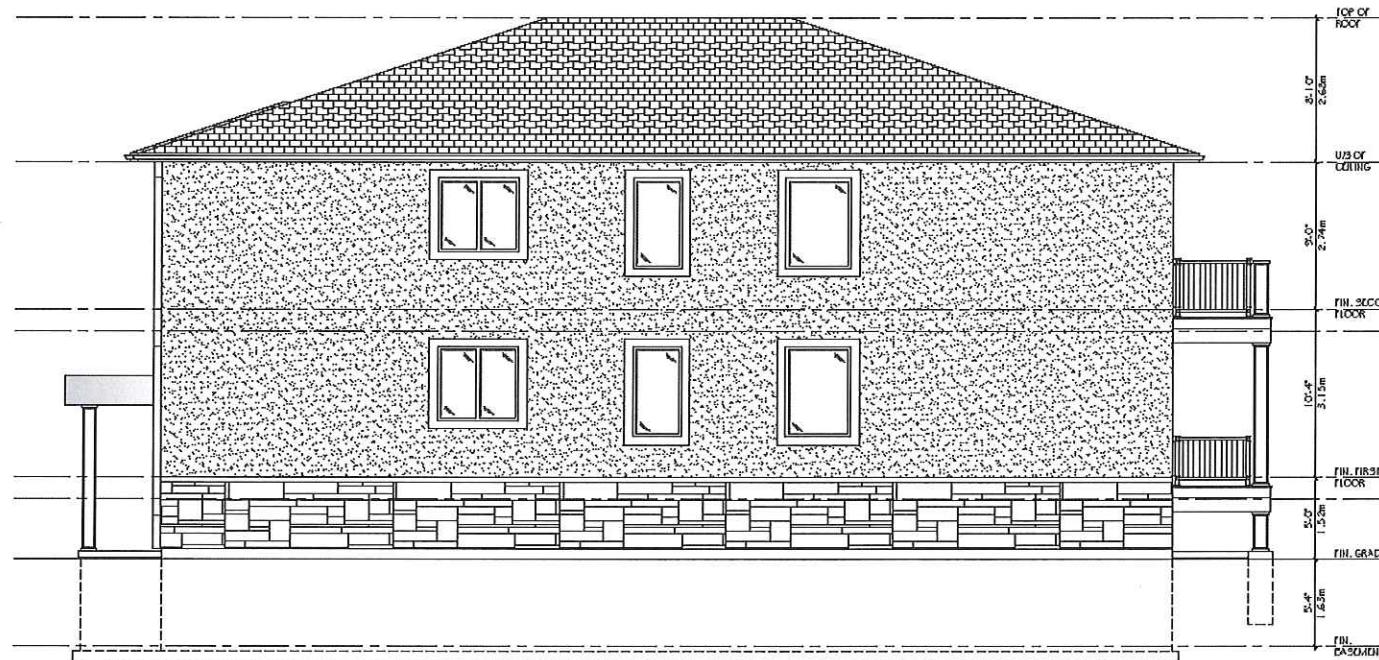
**Drawing Title:**  
Roof Floor Plan

Drawn: CCW	Date: May-2021
Checked: IC	Scale: 3/16" = 1'-0"
Firm No:	Drawing No:
Project No:	A5





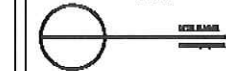
WEST ELEVATION  
SCALE: 3/16" = 1'-0"



SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"

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The contractor shall check and verify all dimensions on the work and report any discrepancies to the Architectural Technologist before proceeding. Drawings are not to be used for construction purposes and are signed by the Architectural Technologist.



The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design these drawings on the attached documents.

Qualification Information: Required unless design is exempt under Div. C-3.2.3.1 of the building code.

Im Cunha 28009  
Name Signature BCIN

Registration Information: Required unless design is exempt under Div. C-3.2.4.1 of the building code.

Cunha Design Consultants Ltd. 29102  
Firm Name BCIN

#### MECHANICAL NOTES

- MECHANICAL EXHAUST VENT
- SMOKE ALARM
- CARBON MONOXIDE ALARM

Rev.	Date	Revised	By

Owner:

**CUNHA DESIGN CONSULTANTS LTD.**  
10 Northampton Drive, Mississauga, ON L4V 1A9  
Telephone/Fax: (416) 422-8511  
Email: cunha@csdesign.com  
Firm BCIN: 20002

Owner:

GBC Design + Build  
25A Hansen Rd. S.  
Brampton, Ontario

Project:

Prop. 2 Sty Building  
16 West Street  
Brampton, Ontario

Drawing Title:

Elevations



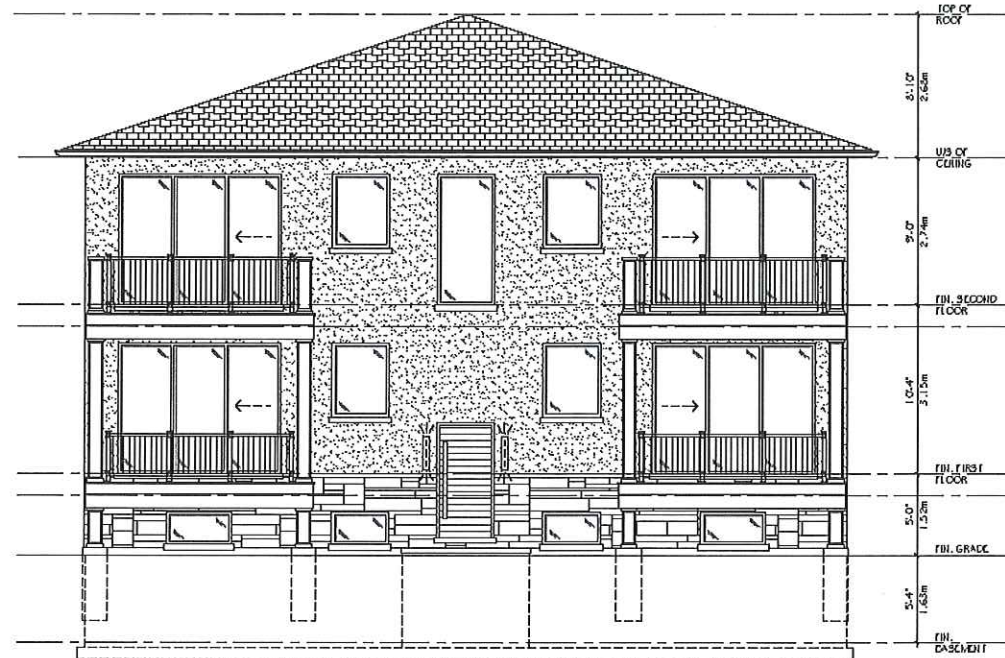
Drawn: CCW Date: May-2021

Checked: IC Date: 3/16" = 1'-0"

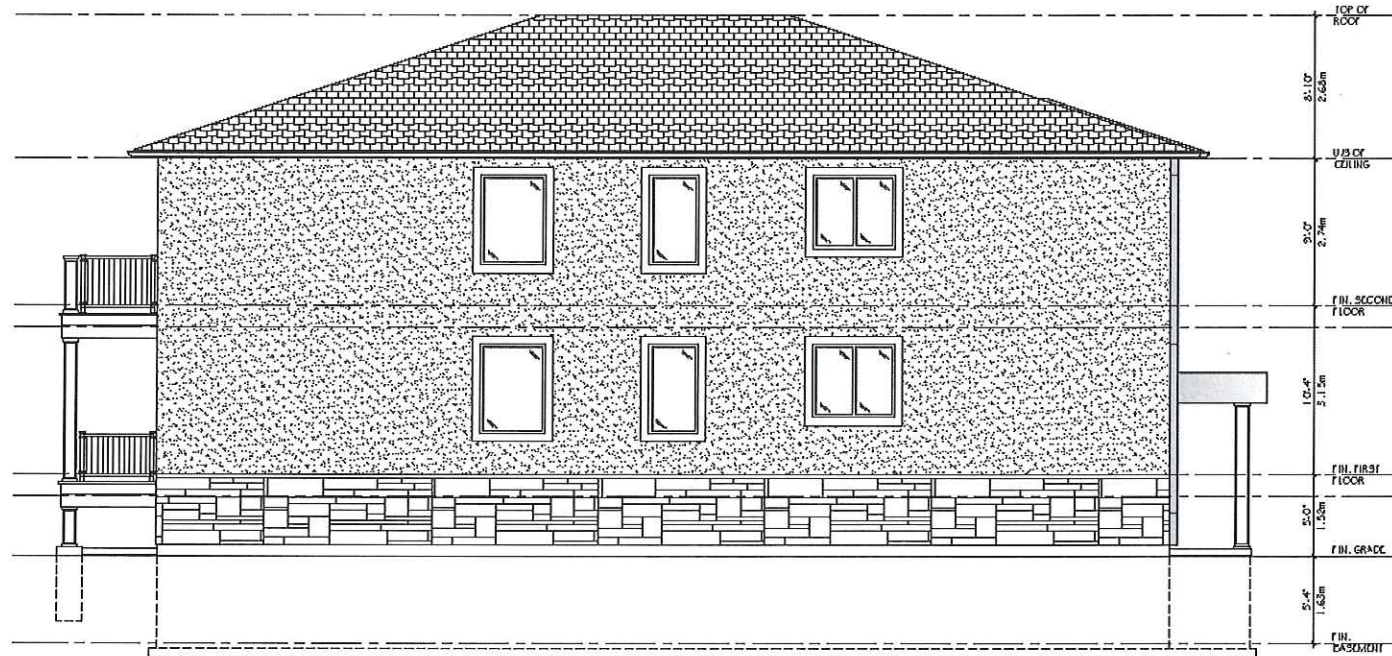
File No: Drawing No:

Project No: A6





EAST ELEVATION  
SCALE: 3/16" = 1'-0"



NORTH ELEVATION  
SCALE: 3/16" = 1'-0"

All rights and responsibilities are the sole property of the Architectural Technologist and must be returned at the completion of the project.

Plans and specifications shall not be produced without the permission of the Architectural Technologist.

The contractor shall check and verify all dimensions on the work and report any discrepancies to the Architectural Technologist before proceeding. Drawings are not to be used for construction purposes unless signed by the Architectural Technologist.



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Qualification Information: Required unless design is exempt under Div. C-3.2.3.1 of the building code.

Im. Clnha 28005  
Name Signature BCIN

Registration Information: Required unless design is exempt under Div. C-3.2.4.1 of the building code.

Clnha Design Consultants Ltd. 21102  
Firm Name BCIN

#### MECHANICAL NOTES

- MECHANICAL EXHAUST VENT
- SMOKE ALARM
- CARBON MONOXIDE ALARM


Revised:

**GUNHA DESIGN CONSULTANTS LTD.**  
18 Marlborough Drive Etobicoke, ON M9B 4B8  
Telephone/Fax: (416) 828-8011  
Email: cunha@gunhadesign.com  
Firm BCIN: 29902

Owner:

GBC Design + Build  
25A Hansen Rd. S.  
Brampton, Ontario

Project:  
Prop. 2 Sty Building  
16 West Street  
Brampton, Ontario

Drawing Title:  
Elevations



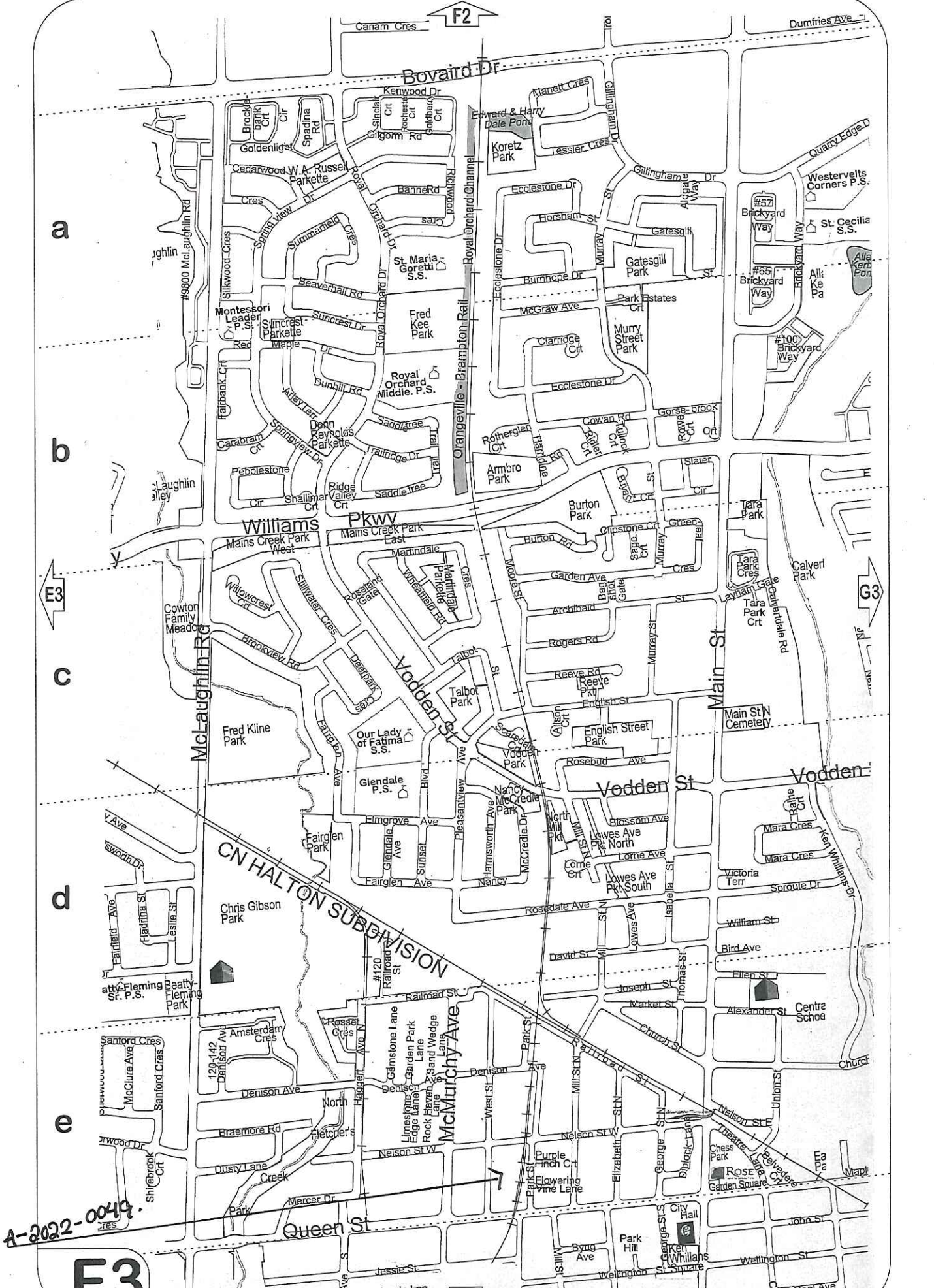
Drawn: CCW Date: May-2021

Checked: IC Scale: 3/16" = 1'-0"

File No: Drawing No:

Project No: A7





A-2022-0049

F3