

APPLICATION # A-2022-0189
WARD #9

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **PIRATHEEBAN RANENDRARAJAH** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lots 180 and 181, Plan M-303, Parts 32 and 64, Plan 43R-10219 municipally known as **29 LANGSTON DRIVE**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit an existing below grade entrance in a required interior side yard whereas the by-law does not permit a below grade entrance in a required interior side yard;
2. To permit a 0.98m (3.22 ft.) side yard setback to an existing below grade entrance whereas the by-law requires a minimum side yard setback of 1.2m (3.94 ft.).

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____ **NO** _____
Application for Consent: _____ **NO** _____

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, July 12, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

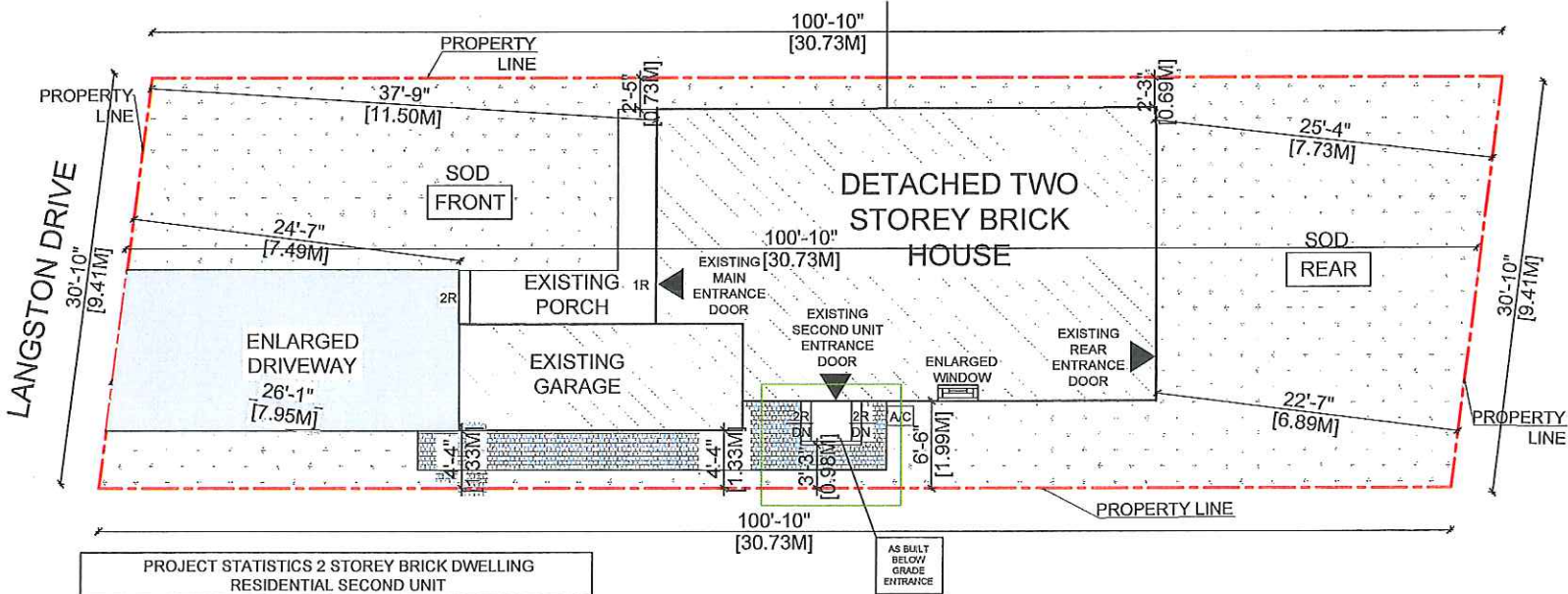
PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 29th Day of June, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

2020/06/06 - REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT
19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE



PROJECT STATISTICS 2 STOREY BRICK DWELLING RESIDENTIAL SECOND UNIT			
LEGAL LAND LOT NUMBER		10	ZONING: R2A(2)
ADDRESS: 29 LANGSTON DRIVE, BRAMPTON			
LOT FRONTAGE:	9.41 M	LOT AREA:	286.87 SQM
LOT COVERAGE:			
	EXISTING	PROPOSED	TOTAL
DWELLING FOOTPRINT INCLUDING GARAGE:	87.77 SQM	0.00 SQM	
PORCH:	8.64 SQM	0.00 SQM	
DECK:	0.00 SQM	0.00 SQM	
ACCESSORY STRUCTURES:	3.83 SQM	0.00 SQM	
LAND LEGAL DESCRIPTION AND DIMENSIONS :			
	EXISTING	PROPOSED	REMARKS
DEPTH	30.73M	0.00M	
FRONT YARD SETBACK	7.49M	0.00M	
REAR YARD SETBACK	6.89M	0.00M	
RIGHT SIDE YARD SETBACK	1.33M	0.41M	
LEFT SIDE YARD SETBACK	0.69M	0.00M	

603 Argus Rd, Suite 201
Oakville, ON
itipermits.com
(647) 973-1733

The undersigned has reviewed & taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Required unless design is exempt under 3.2.5 of Div. C, of the building code

QUALIFICATION INFORMATION

Name BCIN

Signature Date

Required unless design is exempt under 3.2.5 of Div. C, of the building code

REGISTRATION INFORMATION

Firm Name BCIN

ITL PERMIT DESIGNERS INC.

ADDRESS:

29 LANGSTON DRIVE,

BRAMPTON, ON

PROJECT NAME:

AS BUILT BELOW GRADE SIDE YARD

ENTRANCE AND LEGAL BASEMENT

DEPARTMENT

NOTES:

1- CONTRACTOR TO CONFIRM ON

SITE PRIOR TO COMMENCEMENT

THAT ALL

THE EXISTING STRUCTURAL

MEMBERS MATCH THE

INFORMATION STATED IN

ALL THIS PERMIT DRAWINGS

2- CONTRACTOR TO REPORT TO THE

DESIGNER TO ANY DISCREPANCIES

BETWEEN THE EXISTING

STRUCTURAL MEMBERS AND

INFORMATION STATED IN ANY OF

THIS PERMIT DRAWINGS

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

Electronic/Hybrid Hearing Procedures How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **July 12, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, July 7, 2022.**
- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, July 7, 2022.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, July 7, 2022.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, July 7, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

The City of Brampton is reviewing its Committee of Adjustment process. As a participant in this process, if you have comments or input you would like to share about your experience with the Committee of Adjustment, please email cityclerksoffice@brampton.ca to indicate your interest and you will be contacted with more information.



FILE NUMBER: A-2022-0189

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** PIRATHEEBAN RANENDRARAJAH
Address 29 LANGSTON DRIVE, BRAMPTON ONTARIO L6V 3X9
Phone # (647) 733-8755 **Fax #** _____
Email GODTHEEP@YAHOO.COM

2. **Name of Agent** VIVEK GUPTA
Address 603 ARGUS ROAD, OAKVILLE ONTARIO L6J 6G6
Phone # (647) 973-1733 **Fax #** _____
Email ITIPERMIT@GMAIL.COM

3. **Nature and extent of relief applied for (variances requested):**
1. To permit an existing below grade entrance in a required interior side yard whereas the by-law does not permit a below grade entrance in the required interior side yard.
2. To permit a 0.98m setback to an existing below grade entrance whereas the by-law does requires a minimum side yard setback of 1.2m.

4. **Why is it not possible to comply with the provisions of the by-law?**
We're unable to comply with the by-law as it is an existing below grade entrance along with the interior staircase.

5. **Legal Description of the subject land: (Roll # : 10-09-0-040-99300-0000-1)**
Lot Number 181
Plan Number/Concession Number M - 303
Municipal Address 29 Langston Drive

6. **Dimension of subject land (in metric units)**
Frontage 9.41m
Depth 30.73m
Area 288.87m

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Two-storey detached dwelling with a GFA of approx. 180,19m

Second unit basement with an area of 60.91m

As built below grade entrance 3.83 sqm

PROPOSED BUILDINGS/STRUCTURES on the subject land:

As build below grade entrance 3.83sqm

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 7.49m

Rear yard setback 6.89m

Side yard setback 1.99m (right)

Side yard setback 0.69m (left)

PROPOSED

Front yard setback 7.49m

Rear yard setback 6.89m

Side yard setback 0.98m (right)

Side yard setback 0.69m (left)

10. Date of Acquisition of subject land: 2012
11. Existing uses of subject property: Single unit dwelling
12. Proposed uses of subject property: Second unit basement
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 1970
15. Length of time the existing uses of the subject property have been continued: 52 Years
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

J. C. Myers
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF OF BRAMPTON
THIS 07 DAY OF JUNE, 20 22

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, VIVEK GUPTA, OF THE TOWN OF CAKVILLE
IN THE REGION OF HALTON SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 7th DAY OF
June, 20 22

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

J. C. Myers
Signature of Applicant or Authorized Agent

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R2A(2)-172

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

[Signature]
Zoning Officer

June 7, 2022

Date

DATE RECEIVED

June 7, 2022

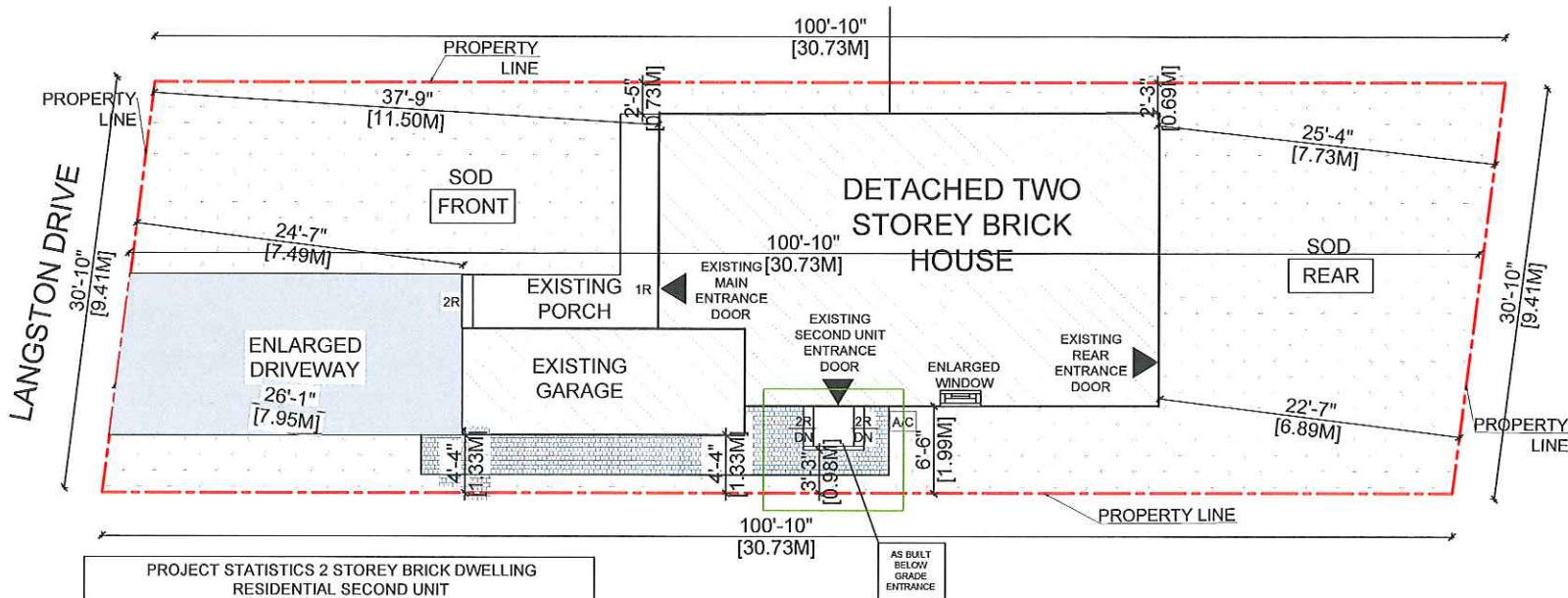
AS BUILT BELOW GRADE SIDE YARD ENTRANCE **AND LEGAL BASEMENT DEPARTMENT**

29 LANGSTON DRIVE, BRAMPTON

DRAWING LIST

- A00 - COVER PAGE
- A01 - SITE PLAN
- A02 - BASEMENT PLAN
- A03 - MAIN FLOOR PLAN
- A04 - SECOND FLOOR PLAN
- A05 - BASEMENT AND 2nd FLOOR STAIRS
- A06 - MAIN FLOOR FRAMING AND STAIRS
- A07 - SECOND FLOOR FRAMING PLAN
- A08 - ELEVATIONS
- A09 - SECTIONS
- A10 - DETAILS

2020/06/06 - REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT
19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE



PROJECT STATISTICS 2 STOREY BRICK DWELLING RESIDENTIAL SECOND UNIT			
LEGAL LAND LOT NUMBER	10	ZONING: R2A(2)	
ADDRESS: 29 LANGSTON DRIVE, BRAMPTON			
LOT FRONTAGE:	9.41 M	LOT AREA:	286.87 SQM
LOT COVERAGE:			
	EXISTING	PROPOSED	TOTAL
DWELLING FOOTPRINT INCLUDING GARAGE:	87.77 SQM	0.00 SQM	
PORCH:	8.64 SQM	0.00 SQM	
DECK:	0.00 SQM	0.00 SQM	
ACCESSORY STRUCTURES:	3.83 SQM	0.00 SQM	
LAND LEGAL DESCRIPTION AND DIMENSIONS :			
	EXISTING	PROPOSED	REMARKS
DEPTH	30.73M	0.00M	
FRONT YARD SETBACK	7.49M	0.00M	
REAR YARD SETBACK	6.89M	0.00M	
RIGHT SIDE YARD SETBACK	1.33M	0.41M	
LEFT SIDE YARD SETBACK	0.69M	0.00M	

603 Argus Rd, Suit 201
Oakville, ON
itipermits.com
(647) 973-1733

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5 of Div.C, of the building code

VIVEK GUPTA	39587
Name	BCIN
Signature	#CURDATE
Date	

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.5 of Div. C, of the building code

ITI PERMIT DESIGNERS INC.	
Firm Name	BCIN

ADDRESS:
29 LANGSTON DRIVE,
BRAMPTON, ON

PROJECT NAME:
AS BUILT BELOW GRADE SIDE YARD
ENTRANCE AND LEGAL BASEMENT
DEPARTMENT

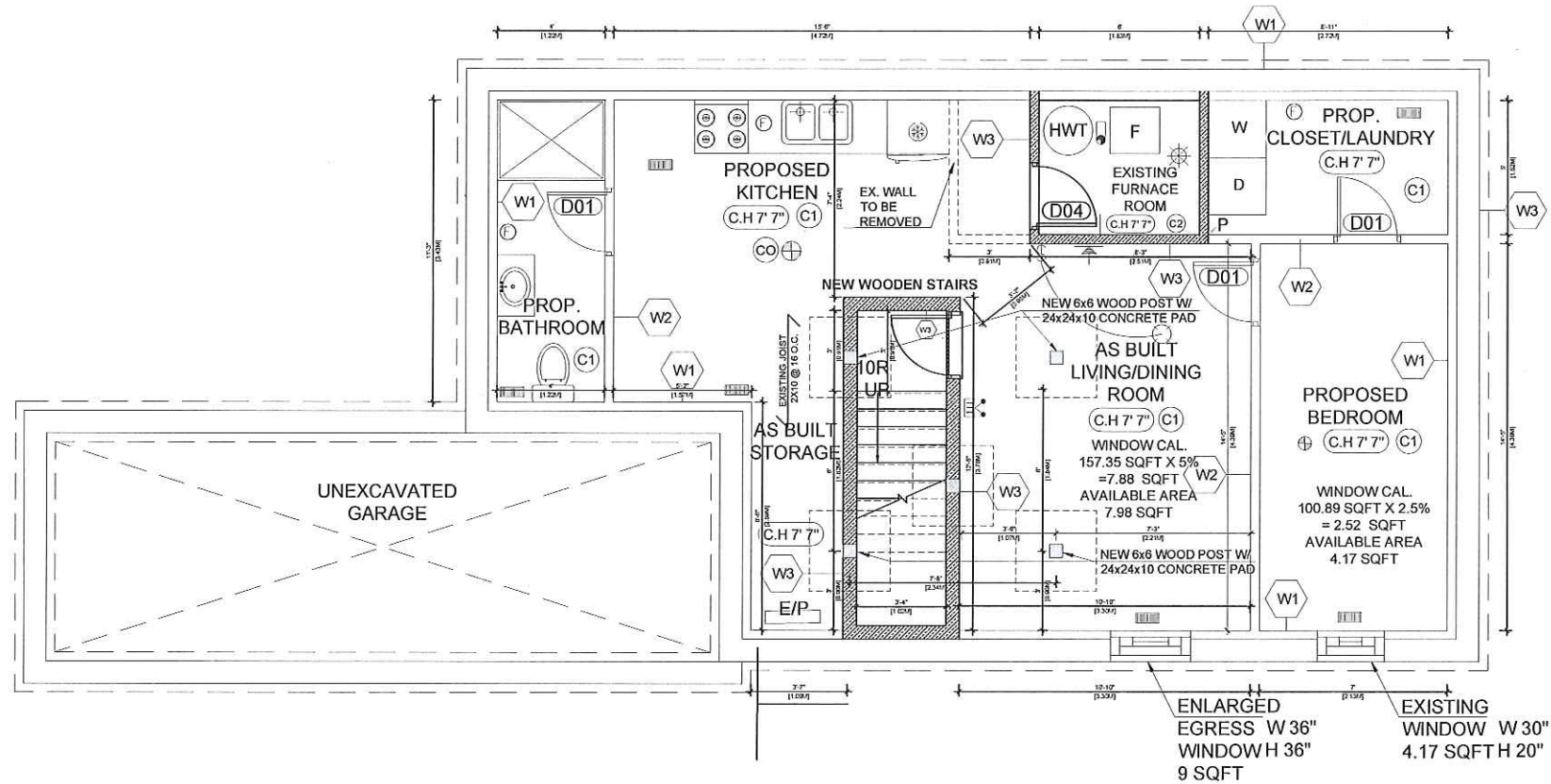
NOTES:
1- CONTRACTOR TO CONFIRM ON
SITE PRIOR TO COMMENCEMENT
THAT ALL
THE EXISTING STRUCTURAL
MEMBERS MATCH THE
INFORMATION STATED IN
ALL THIS PERMIT DRAWINGS
2- CONTRACTOR TO REPORT TO THE
DESIGNER TO ANY DISCREPANCIES
BETWEEN THE EXISTING
STRUCTURAL MEMBERS AND
INFORMATION STATED IN ANY OF
THIS PERMIT DRAWINGS

DWG NAME
SITE PLAN
DWG SCALE
1 : 125

DRAWN BY	VG
CHECKED BY	VG
DATE	2020-06-06

DWG. NO.
A-01
SH. SIZE 11" x 17"

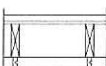
2020/06/06 – REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT
19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE



WALL LEGENDS

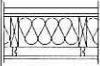
C1 EXISTING FULL HEIGHT CEILING TO REMAIN 15 MIN FRR

1 - WOOD 2X10" @ 16 O.C.
2 - 1/2" REGULAR GYPSUM




C2 SB-3 (ASSEMBLY F9h) FULL HEIGHT CEILING 45 MIN FIRE SEPARATION

1 - WOOD 2X8" @ 16 O.C.
2 - 50 STC SOUND INSULATION
3 - RESILIENT CHANNEL @ 24" O/C
4 - 1/2" TYPE 'X' GYPSUM




W1 SB-3 (ASSEMBLY EW1b) EXTERIOR INSULATED WALL (45 MIN):

1 - 1/2" GYPSUM BOARD ON ONE SIDE OF 2" X 4" WOODEN STUDS @ 16" O.C. FILLED WITH R20 NON COMBUSTIBLE INSULATION WITH VAPOR BARRIER ON WARM SIDE.
2 - TOP PLATE AND BOTTOM PLATE. TAPED, SANDED AND READY TO RECEIVE FINISH, AS PER OWNER'S CHOICE OF COLOR.




W2 SB-3 (ASSEMBLY W1c) INT. PARTITION WALL (30 MIN.):

1 - 1/2" REGULAR GYPSUM
2 - 2"x4" OR 2"x6" @ 16" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE
3 - 1/2" REGULAR GYPSUM 5- 32 STC











W3 SB-3 (ASSEMBLY W1d) FRR INTERIOR PARTITION WALL (1 HOUR):

1 - 5/8" TYPE X DRYWALL ON BOTH SIDES
2 - 2"x4" OR 2"x6" @ 14" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE
3 - SOUND INSULATION (TO FILL STUD CAVITY) 49 STC



LEGENDS

-  - WARM AIR REGISTERS
-  - WALL FAN VENTED
-  - 3.2.2.17. Sprinklers in Lieu of Roof Rating (1) The requirements in Articles 3.2.2.20. to 3.2.2.83. for roof assemblies to have a fire-resistance rating are permitted to be waived provided, (a) Except as provided by Sentence (2), the building is sprinklered
-  - CARBON MONOXIDE DETECTOR
-  - INTERCONNECTED SMOKE DETECTOR AND ALARM WITH STROBE LIGHT

-  - EMERGENCY LIGHTS
-  - RETURN AIR REGISTER (low wall)
-  - A DUCT TYPE SMOKE DETECTOR INSTALLED IN THE SUPPLY AND RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION.

DOOR SCHEDULE			
NO.	TYPE	SIZE (DOOR LEAF)	REMARKS
D01	INTERIOR	30" X 80"	NEW INTERIOR DOOR
D03	EXTERIOR	32" X 80"	NEW 20 MIN FIRE-RATED DOOR WITH FRAME AND CLOSING DEVICE
D04	INTERIOR	32" X 80"	NEW 20 MIN FIRE RATED DOOR WITH SELF CLOSING DEVICE
ED			EXISTING DOOR TO REMAIN

BASEMENT AREA

655.70 SQ FT

60.91 SQ M

A-02 - PROPOSED BASEMENT

603 Argus Rd, Suit 201
Oakville, ON
itipermits.com
(647) 973-1733

The undersigned has reviewed & taken responsibility for this design,
and the Qualifications and meets the requirements set out in the
Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5 of Div.C, of the building code

WVEK GUPTA	3958H
Name	BCIN
<i>WVEK</i>	#CURDATE
Signature	Date

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.5 of Div. C, of the building code

ITI PERMIT DESIGNERS INC.	—
Firm Name	BCIN

ADDRESS:
29 LANGSTON DRIVE,
BRAMPTON, ON

PROJECT NAME:
AS BUILT BELOW GRADE SIDE YARD
ENTRANCE AND LEGAL BASEMENT
DEPARTMENT


NOTES:

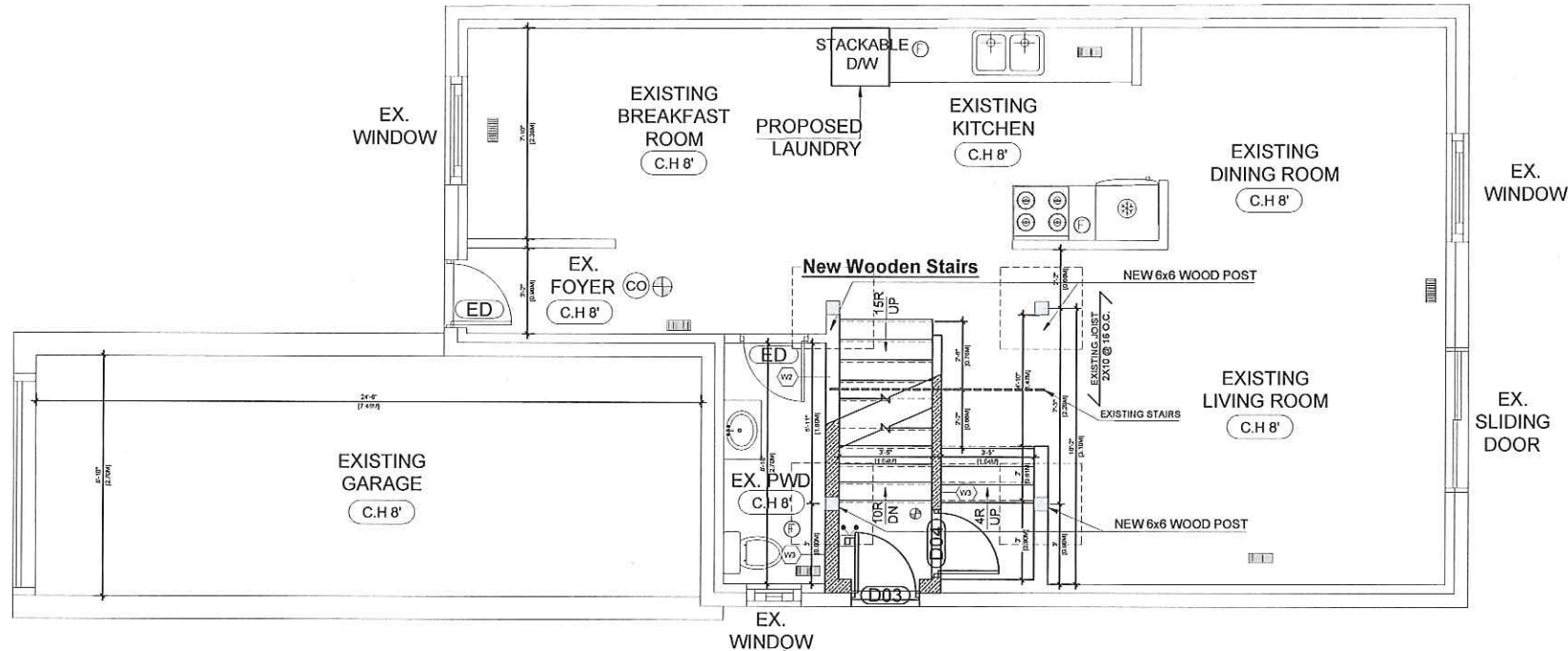
1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN ALL THIS PERMIT DRAWINGS

2- CONTRACTOR TO REPORT TO THE DESIGNER TO ANY DISCREPANCIES BETWEEN THE EXISTING STRUCTURAL MEMBERS AND INFORMATION STATED IN ANY OF THIS PERMIT DRAWINGS

DWG NAME	PROPOSED BASEMENT PLAN
DWG SCALE	1 : 60

DRAWN BY	VG
CHECKED BY	VG
DATE	2021-11-24





2020/06/06 – REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT
19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE

WALL LEGENDS				
C1 EXISTING FULL HEIGHT CEILING TO REMAIN 15 MIN FRR 1-WOOD 2X10" @ 16 O.C. 2-1/2" REGULAR GYPSUM	C2 SB-3 (ASSEMBLY F9h) FULL HEIGHT CEILING 45 MIN FIRE SEPARATION 1-WOOD 2X8" @ 16 O.C. 2-50 STC SOUND INSULATION 3-RESILIENT CHANNEL @24" O/C 4-1/2" TYPE 'X' GYPSUM	W1 SB-3 (ASSEMBLY EW1b) EXTERIOR INSULATED WALL (45 MINS): 1-1/2" GYPSUM BOARD ON ONE SIDE OF 2" X 4" WOODEN STUDS @ 16" O.C. FILLED WITH R20 NON COMBUSTIBLE INSULATION WITH VAPOR BARRIER ON WARM SIDE. 2- TOP PLATE AND BOTTOM PLATE, TAPED, SANDED AND READY TO RECEIVE FINISH, AS PER OWNER'S CHOICE OF COLOR.	W2 SB-3 (ASSEMBLY W1c) INT. PARTITION WALL (30 MIN.) 1- 1/2" REGULAR GYPSUM 2- 2"x4" OR 2"x6" @16" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE 3- 1/2" REGULAR GYPSUM 5- 32 STC	W3 SB-3 (ASSEMBLY W1d) FRR INTERIOR PARTITION WALL (1 HOUR): 1- 5/8" TYPE X DRYWALL ON BOTH SIDES 2- 2"x4" OR 2"x6" @14" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE 3- SOUND INSULATION (TO FILL STUD CAVITY) 49 STC

LEGENDS

- WARM AIR REGISTERS
- WALL FAN VENTED
- 3.2.2.17. Sprinklers in Lieu of Roof Rating (1) The requirements in Articles 3.2.2.20. to 3.2.2.83. for roof assemblies to have a fire-resistance rating are permitted to be waived provided, (a) Except as provided by Sentence (2), the building is sprinklered
- CARBON MONOXIDE DETECTOR
- INTERCONNECTED SMOKE DETECTOR AND ALARM WITH STROBE LIGHT
- EMERGENCY LIGHTS
- RETURN AIR REGISTER (low wall)
- A DUCT TYPE SMOKE DETECTOR INSTALLED IN THE SUPPLY AND RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION.

DOOR SCHEDULE			
NO.	TYPE	SIZE (DOOR LEAF)	REMARKS
D01	INTERIOR	30" X 80"	NEW INTERIOR DOOR
D03	EXTERIOR	32" X 80"	NEW 20 MIN FIRE-RATED DOOR WITH FRAME AND CLOSING DEVICE
D04	INTERIOR	32" X 80"	NEW 20 MIN FIRE RATED DOOR WITH SELF CLOSING DEVICE
ED			EXISTING DOOR TO REMAIN

MAIN FLOOR AREA
689.66 SQ FT
64.07 SQ M

603 Argus Rd, Suit 201
Oakville, ON
itipermits.com
(647) 973-1733

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.3. of Div. C, of the building code
Name: VIVEK GUPTA
BCIN: 39587
Signature: [Signature]
Date: [Date]
Firm Name: ITI PERMIT DESIGNERS INC.
BCIN: [BCIN]

ADDRESS:
29 LANGSTON DRIVE,
BRAMPTON, ON

PROJECT NAME:
AS BUILT BELOW GRADE SIDE YARD
ENTRANCE AND LEGAL BASEMENT
DEPARTMENT

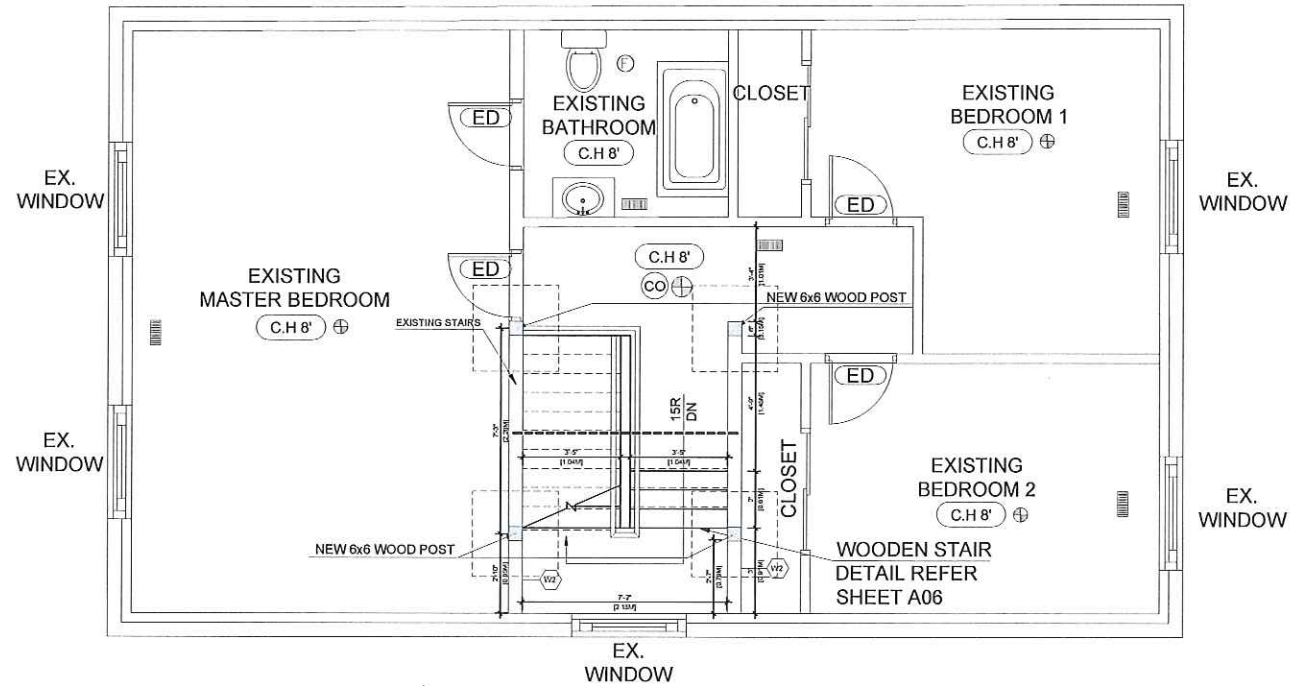
NOTES:
1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN ALL THIS PERMIT DRAWINGS
2- CONTRACTOR TO REPORT TO THE DESIGNER TO ANY DISCREPANCIES BETWEEN THE EXISTING STRUCTURAL MEMBERS AND INFORMATION STATED IN ANY OF THIS PERMIT DRAWINGS

DWG NAME
EXISTING MAIN FLOOR PLAN

DWG SCALE
1 : 60

DRAWN BY VG
CHECKED BY VG
DATE 2021-11-24

DWG. NO.
A-03
SH. SIZE 11" x 17"



2020/06/06 – REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT
19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE

WALL LEGENDS
C1 EXISTING FULL HEIGHT CEILING TO REMAIN 15 MIN FRR
1- WOOD 2X10" @ 16 O.C.
2- 1/2" REGULAR GYPSUM

C2 SB-3 (ASSEMBLY F9h) FULL HEIGHT CEILING 45 MIN FIRE SEPARATION
1- WOOD 2X8" @ 16 O.C.
2- 50 STC SOUND INSULATION
3- RESILIENT CHANNEL @24" O/C
4- 1/2" TYPE 'X' GYPSUM

W1 SB-3 (ASSEMBLY EW1b) EXTERIOR INSULATED WALL (45 MINS):
1- 1/2" GYPSUM BOARD ON ONE SIDE OF 2" X 4" WOODEN STUDS @ 16" O.C. FILLED WITH R20 NON COMBUSTIBLE INSULATION WITH VAPOR BARRIER ON WARM SIDE.
2- TOP PLATE AND BOTTOM PLATE, TAPED, SANDED AND READY TO RECEIVE FINISH, AS PER OWNER'S CHOICE OF COLOR.

W2 SB-3 (ASSEMBLY W1c) INT. PARTITION WALL (30 MIN.)
1- 1/2" REGULAR GYPSUM
2- 2"x4" OR 2"x6" @16" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE
3- 1/2" REGULAR GYPSUM
5- 32 STC

W3 SB-3 (ASSEMBLY W1d) FRR INTERIOR PARTITION WALL (1 HOUR):
1- 5/8" TYPE X DRYWALL ON BOTH SIDES
2- 2"x4" OR 2"x6" @14" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE
3- SOUND INSULATION (TO FILL STUD CAVITY) 49 STC

LEGENDS
 - WARM AIR REGISTERS
 - WALL FAN VENTED
 - 3.2.2.17. Sprinklers in Lieu of Roof Rating (1) The requirements in Articles 3.2.2.20. to 3.2.2.83. for roof assemblies to have a fire-resistance rating are permitted to be waived provided, (a) Except as provided by Sentence (2), the building is sprinklered
 - CARBON MONOXIDE DETECTOR
 - INTERCONNECTED SMOKE DETECTOR AND ALARM WITH STROBE LIGHT
 - EMERGENCY LIGHTS
 - RETURN AIR REGISTER (low wall)
 - A DUCT TYPE SMOKE DETECTOR INSTALLED IN THE SUPPLY AND RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION.

DOOR SCHEDULE

NO.	TYPE	SIZE (DOOR LEAF)	REMARKS
D01	INTERIOR	30" X 80"	NEW INTERIOR DOOR
D03	EXTERIOR	32" X 80"	NEW 20 MIN FIRE-RATED DOOR WITH FRAME AND CLOSING DEVICE
D04	INTERIOR	32" X 80"	NEW 20 MIN FIRE RATED DOOR WITH SELF CLOSING DEVICE
ED			EXISTING DOOR TO REMAIN

SECOND FLOOR AREA
776.79 SQ FT
72.16 SQ M

A-04 – EXISTING SECOND FLOOR

603 Argus Rd, Sui 201
Oakville, ON
itipermits.com
(647) 973-1733

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Required unless design is exempt under 3.2.3. of Div. C, of the building code

QUALIFICATION INFORMATION	
NAME	WVEK GUPTA
BCIN	39587
SIGNATURE	
DATE	#CURDATE

Required unless design is exempt under 3.2.3. of Div. C, of the building code

REGISTRATION INFORMATION	
FIRM NAME	ITM PERMIT DESIGNERS INC.
BCIN	---

ADDRESS:
29 LANGSTON DRIVE,
BRAMPTON, ON

PROJECT NAME:
AS BUILT BELOW GRADE SIDE YARD
ENTRANCE AND LEGAL BASEMENT
DEPARTMENT

NOTES:
1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN ALL THIS PERMIT DRAWINGS
2- CONTRACTOR TO REPORT TO THE DESIGNER TO ANY DISCREPANCIES BETWEEN THE EXISTING STRUCTURAL MEMBERS AND INFORMATION STATED IN ANY OF THIS PERMIT DRAWINGS

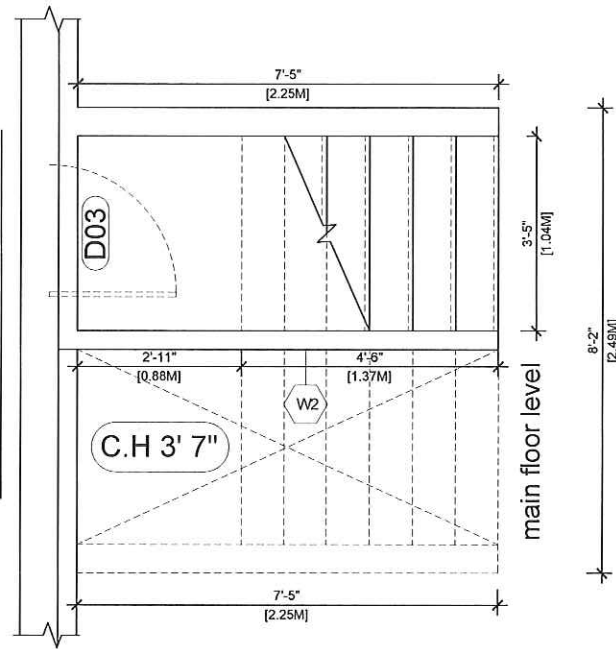
DWG NAME
EXISTING SECOND FLOOR

DWG SCALE
1 : 60

DRAWN BY	VG
CHECKED BY	VG
DATE	2021-11-24

DWG. NO.
A-04
SH. SIZE 11" x 17"

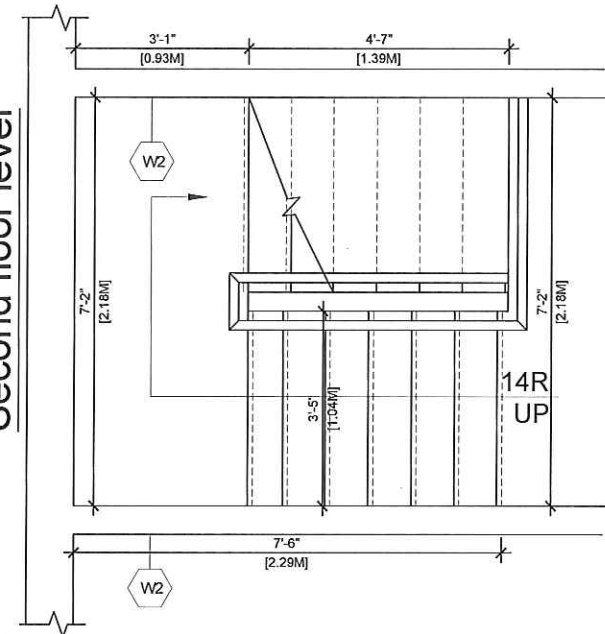
Basement floor level



EXISTING BASEMENT STAIR PLAN

1:30

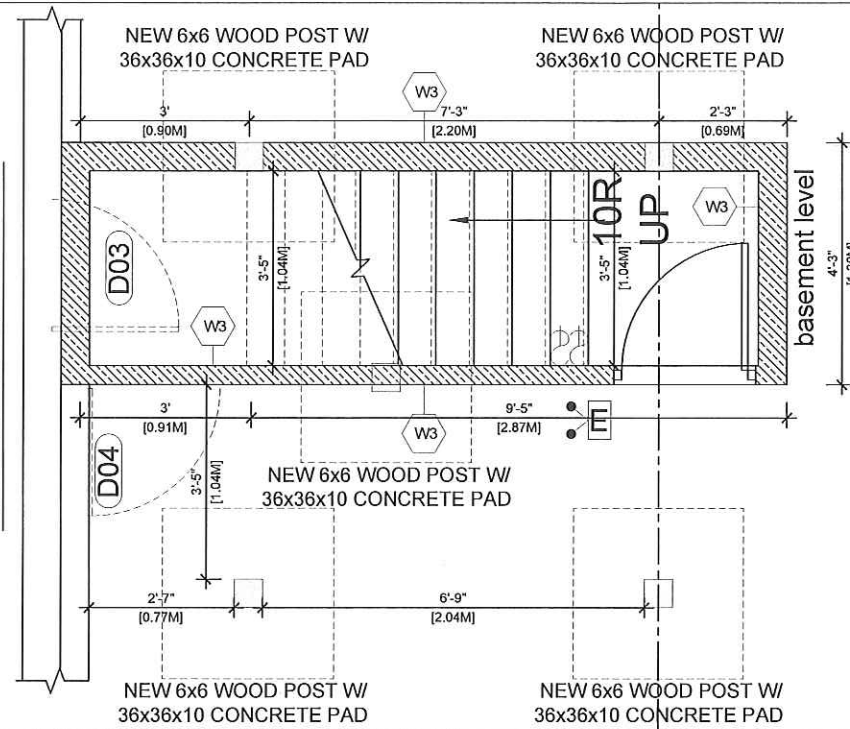
Second floor level



EXISTING SECOND FLOOR STAIR PLAN

1:30

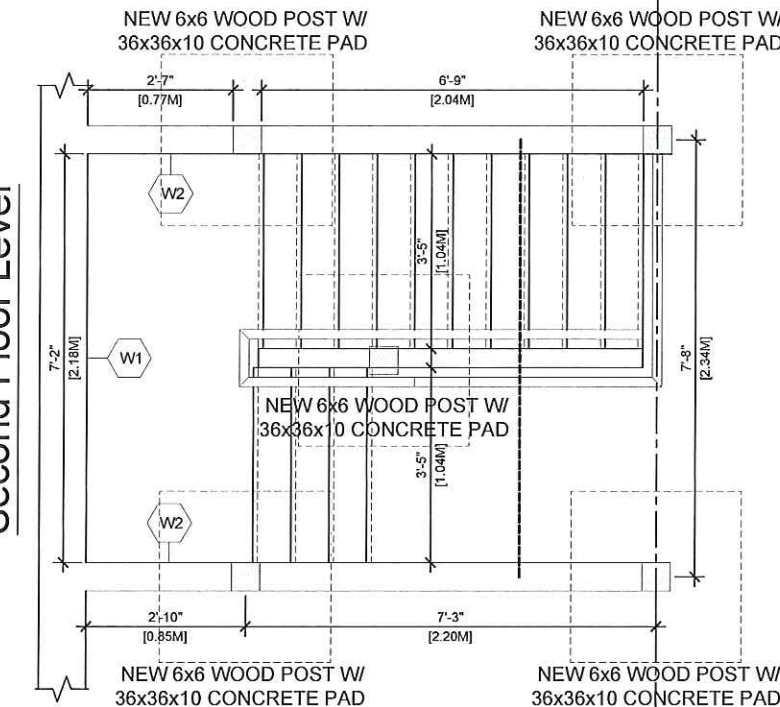
Basement floor level



PROPOSED BASEMENT STAIR PLAN

1:30

Second Floor Level



PROPOSED SECOND FLOOR STAIR PLAN

1:30

603 Argus Rd, Suit 201
Oakville, ON
itipermits.com
(647) 973-1733

The undersigned has reviewed & taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5 of Div. C. of the building code

VIVEK GUPTA	39587
Name	BCIN
Signature	#CURDATE
Date	

Required unless design is exempt under 3.2.5 of Div. C. of the building code

REGISTRATION INFORMATION
ITI PERMIT DESIGNERS INC.

Firm Name	BCIN
-----------	------

ADDRESS:

29 LANGSTON DRIVE,
BRAMPTON, ON

PROJECT NAME:

AS BUILT BELOW GRADE SIDE YARD
ENTRANCE AND LEGAL BASEMENT
DEPARTMENT

NOTES:

- 1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN ALL THIS PERMIT DRAWINGS
- 2- CONTRACTOR TO REPORT TO THE DESIGNER TO ANY DISCREPANCIES BETWEEN THE EXISTING STRUCTURAL MEMBERS AND INFORMATION STATED IN ANY OF THIS PERMIT DRAWINGS

DWG NAME BASEMENT &
2ND FLOOR STAIR PLAN

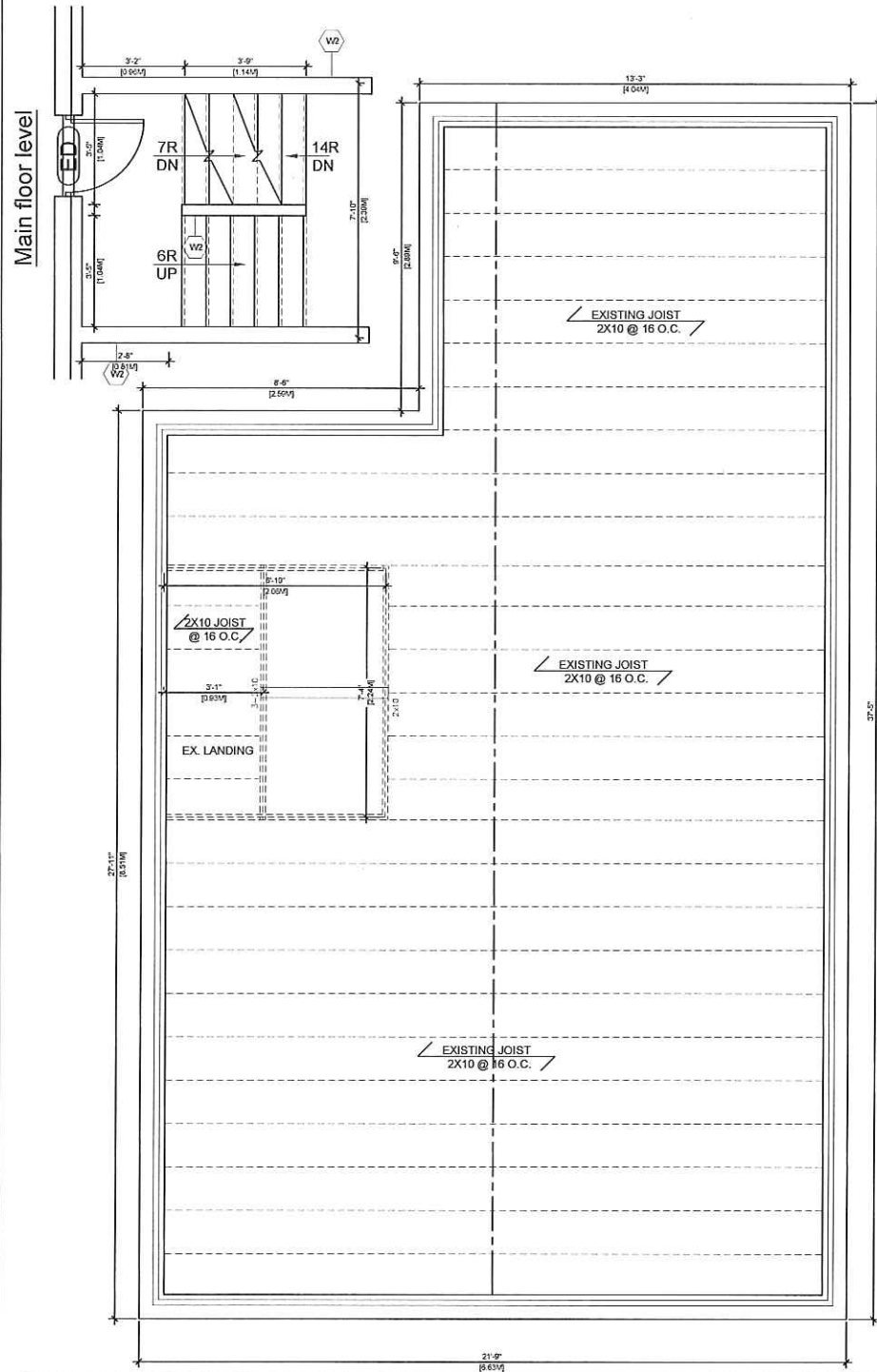
DWG SCALE 1:30

DRAWN BY	FB
CHECKED BY	VG
DATE	2021-11-24

DWG. NO.

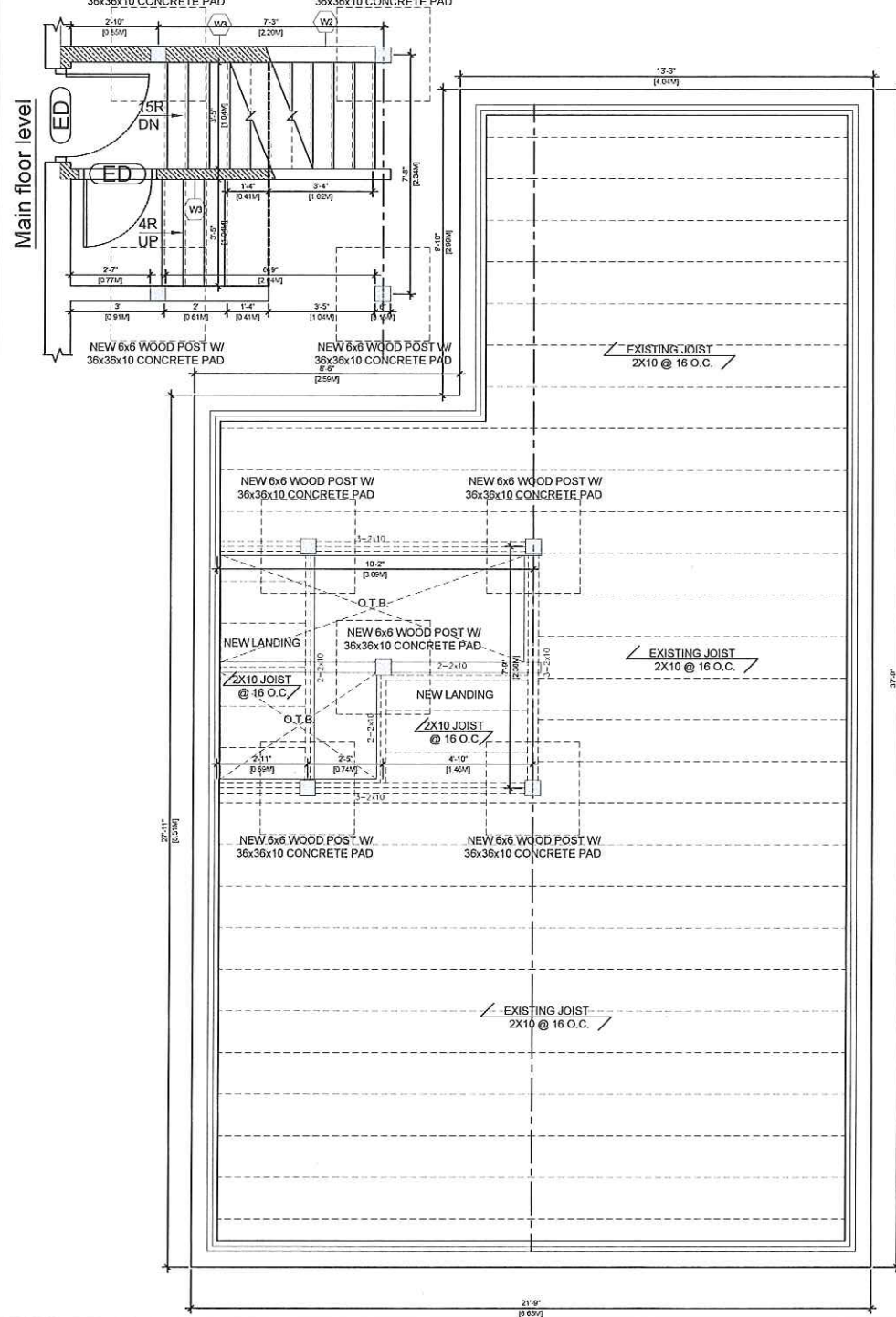
A-05

SH. SIZE 11" x 17"



EXISTING MAIN FLOOR FRAMING AND STAIR PLAN

1: 50



PROPOSED MAIN FLOOR FRAMING AND STAIR PLAN

1: 50

603 Argus Rd, S#2 201
Oakville, ON
itipermits.com
(647) 973-1733

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Required unless design is exempt under 3.2.3. of Div. C, of the building code

QUALIFICATION INFORMATION	
Name	VIVEK GUPTA
BCIN	39587
Signature	<i>[Signature]</i>
Date	

Required unless design is exempt under 3.2.3. of Div. C, of the building code

REGISTRATION INFORMATION	
Firm Name	ITIP PERMIT DESIGNERS INC.
BCIN	

ADDRESS:

29 LANGSTON DRIVE,
BRAMPTON, ON

PROJECT NAME:

AS BUILT BELOW GRADE SIDE YARD
ENTRANCE AND LEGAL BASEMENT
DEPARTMENT

NOTES:

1- CONTRACTOR TO CONFIRM ON
SITE PRIOR TO COMMENCEMENT
THAT ALL
THE EXISTING STRUCTURAL
MEMBERS MATCH THE
INFORMATION STATED IN
ALL THIS PERMIT DRAWINGS

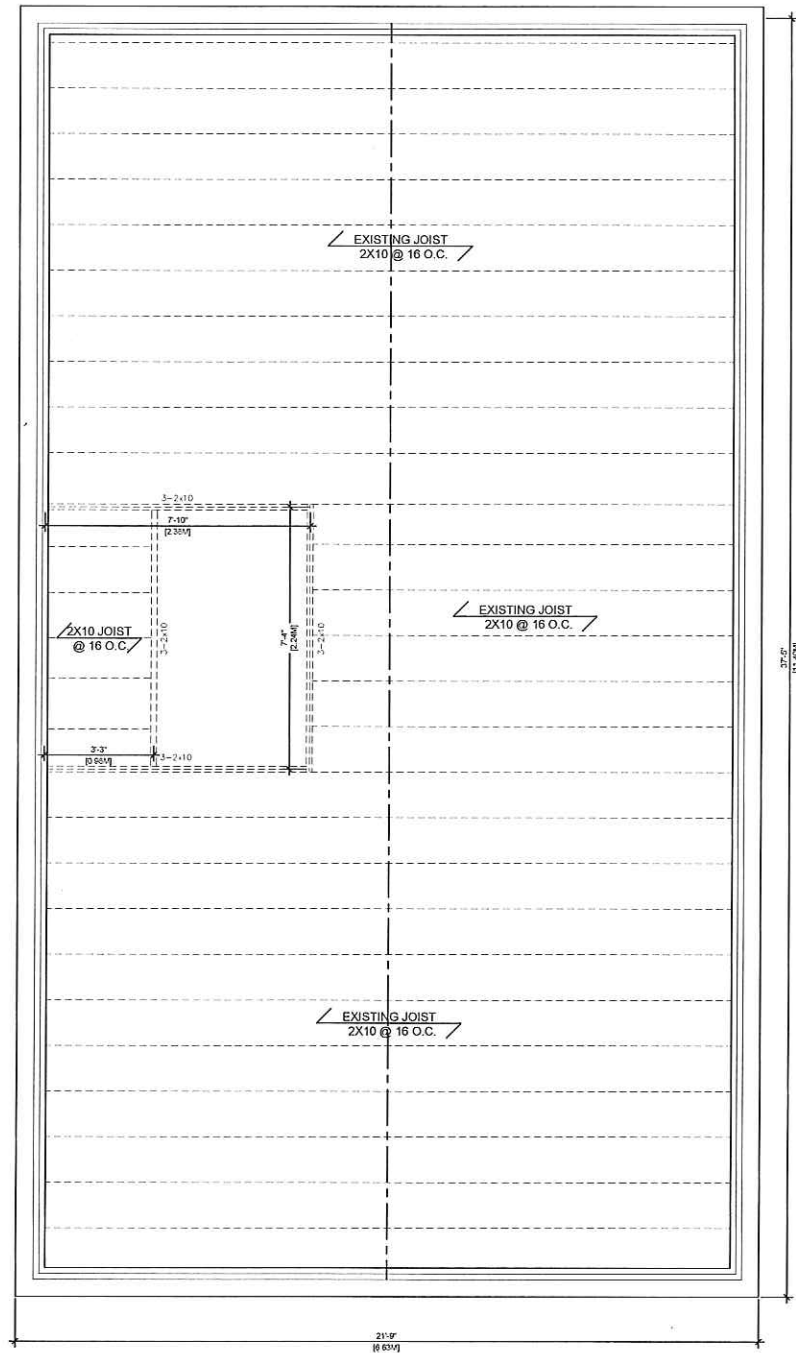
2- CONTRACTOR TO REPORT TO THE
DESIGNER TO ANY DISCREPANCIES
BETWEEN THE EXISTING
STRUCTURAL MEMBERS AND
INFORMATION STATED IN ANY OF
THIS PERMIT DRAWINGS

DWG NAME MAIN FLOOR
FRAMING & STAIR PLAN

DWG SCALE 1: 50

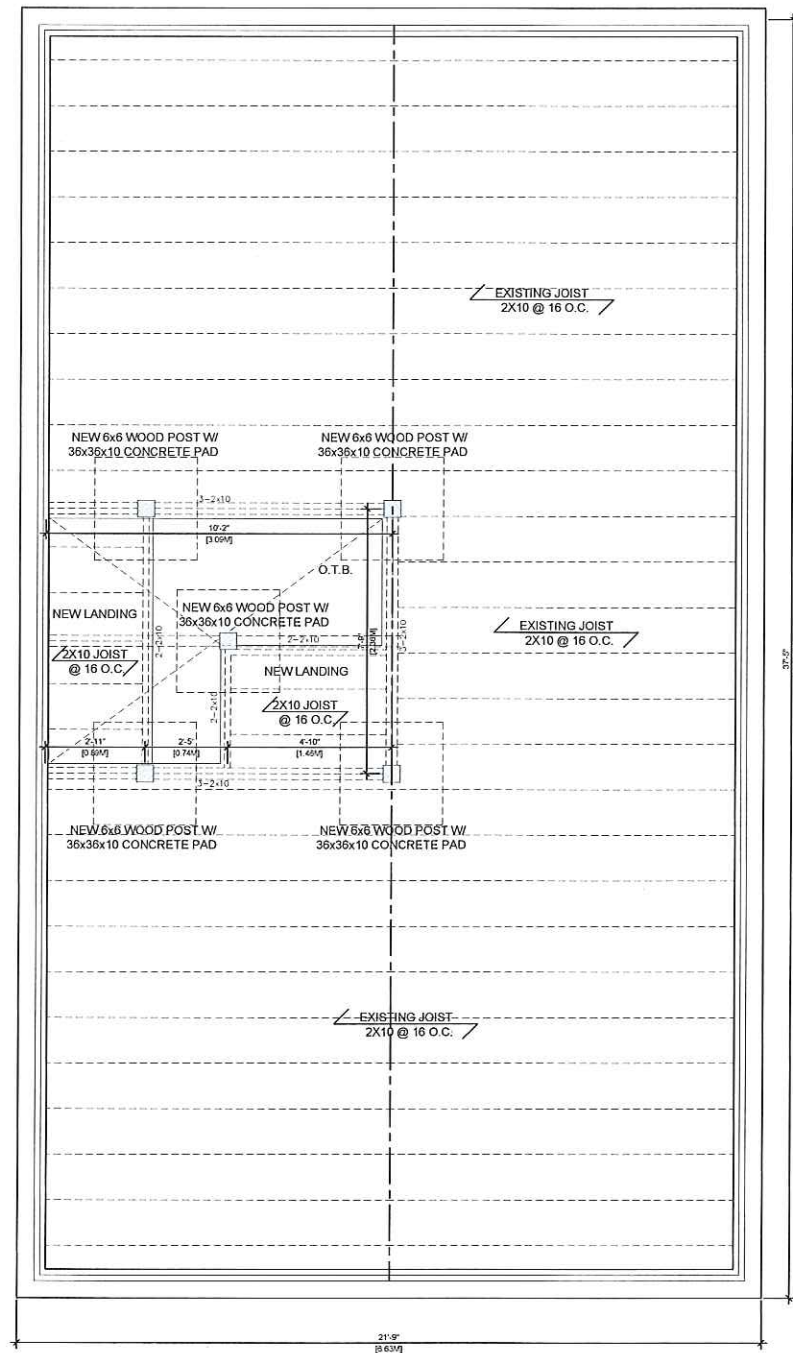
DRAWN BY	FB
CHECKED BY	VG
DATE	2021-11-24

DWG. NO.	A-06
SH. SIZE	11" x 17"



EXISTING SECOND FLOOR FRAMING PLAN

1:50



PROPOSED SECOND FLOOR FRAMING PLAN

1:50

603 Argus Rd, S#2 201
Oakville, ON
itipermits.com
(647) 973-1733

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5 of Div. C, of the building code
Name: VIVEK GUPTA 39587
BCIN
Signature: [Signature] #CURDATE
Date

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.5 of Div. C, of the building code
Firm Name: ITI PERMIT DESIGNERS INC.
BCIN

ADDRESS:
29 LANGSTON DRIVE,
BRAMPTON, ON

PROJECT NAME:
AS BUILT BELOW GRADE SIDE YARD
ENTRANCE AND LEGAL BASEMENT
DEPARTMENT

NOTES:
1- CONTRACTOR TO CONFIRM ON
SITE PRIOR TO COMMENCEMENT
THAT ALL
THE EXISTING STRUCTURAL
MEMBERS MATCH THE
INFORMATION STATED IN
ALL THIS PERMIT DRAWINGS

2- CONTRACTOR TO REPORT TO THE
DESIGNER TO ANY DISCREPANCIES
BETWEEN THE EXISTING
STRUCTURAL MEMBERS AND
INFORMATION STATED IN ANY OF
THIS PERMIT DRAWINGS

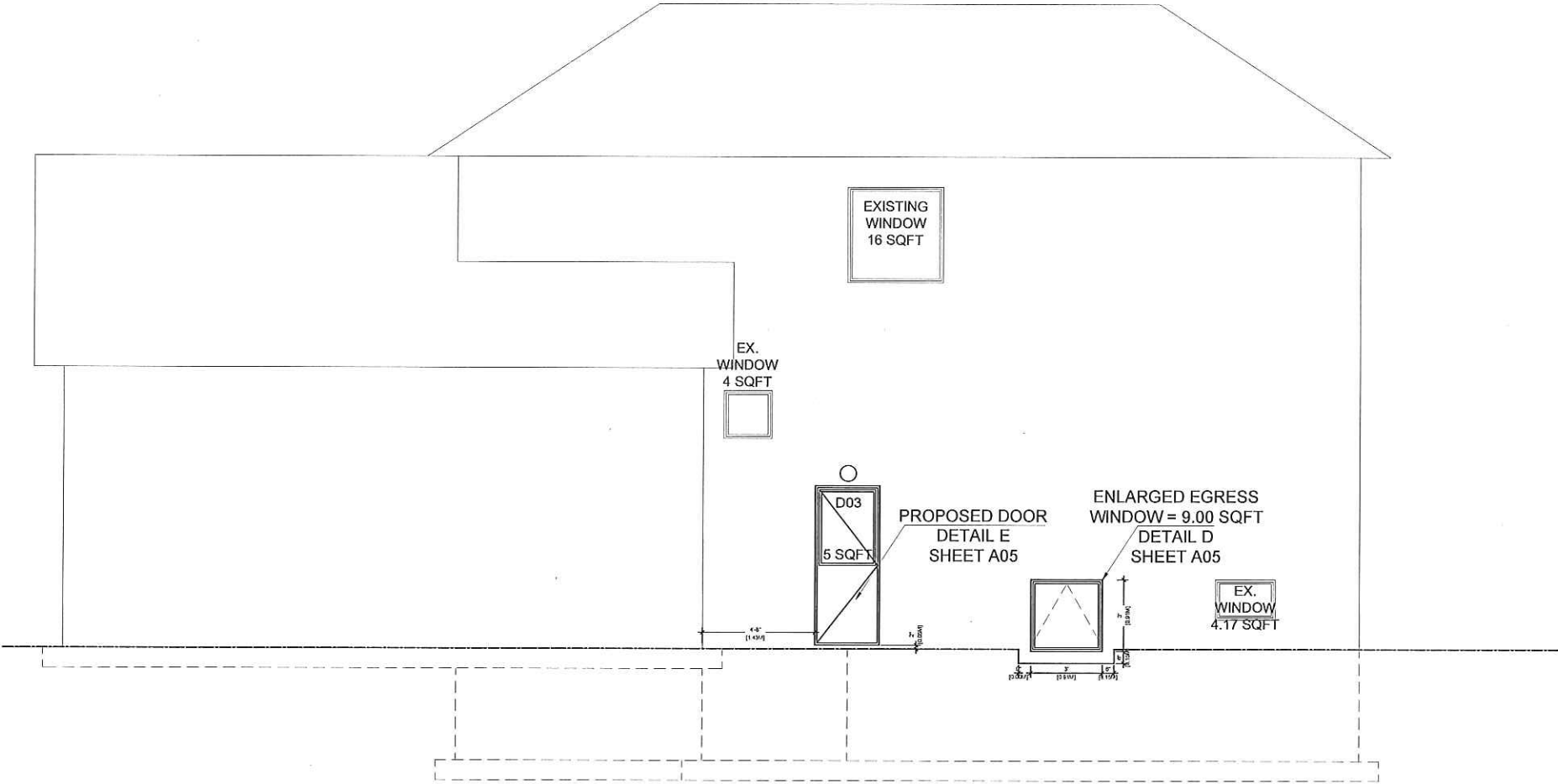
DWG NAME SECOND FLOOR
FRAMING PLAN

DWG SCALE 1:50

DRAWN BY FB
CHECKED BY VG
DATE 2021-11-24

DWG. NO.
A-07
SH. SIZE 11" x 17"

2020/06/06 – REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT
19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE



SOUTH ELEVATION GLAZED OPENING CALCULATION:
SETBACK: 4' 10" - 1.48 M
WALL AREA 604.35 SQFT
WINDOW OPENING ALLOW:
7% OF THE WALL AREA = 42.30 SQFT
PROPOSED WINDOWS AREA = 33.17 SQFT

RIGHT ELEVATION –
SOUTH

1: 60

603 Argus Rd, S#201
Oakville, ON
itipermits.com
(647) 973-1733

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5 of Div. C, of the building code
Name VIVEK GUPTA 39587
BCIN
Signature #CURDATE
Date

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.5 of Div. C, of the building code
Firm Name ITI PERMIT DESIGNERS INC.
BCIN

ADDRESS:
29 LANGSTON DRIVE,
BRAMPTON, ON

PROJECT NAME:
AS BUILT BELOW GRADE SIDE YARD
ENTRANCE AND LEGAL BASEMENT
DEPARTMENT

NOTES:
1- CONTRACTOR TO CONFIRM ON
SITE PRIOR TO COMMENCEMENT
THAT ALL
THE EXISTING STRUCTURAL
MEMBERS MATCH THE
INFORMATION STATED IN
ALL THIS PERMIT DRAWINGS
2- CONTRACTOR TO REPORT TO THE
DESIGNER TO ANY DISCREPANCIES
BETWEEN THE EXISTING
STRUCTURAL MEMBERS AND
INFORMATION STATED IN ANY OF
THIS PERMIT DRAWINGS

DWG NAME
ELEVATION

DWG SCALE
1: 60

DRAWN BY	VG
CHECKED BY	VG
DATE	2021-07-13

DWG. NO.
A-08
SH. SIZE 11" x 17"

The undersigned has reviewed & taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5 of Div. C, of the building code
VIVEK GUPTA 39587
Name BCIN
Signature #CURDATE
Date

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.5 of Div. C, of the building code
ITI PERMIT DESIGNERS INC.
Firm Name BCIN

ADDRESS:

29 LANGSTON DRIVE,
BRAMPTON, ON

PROJECT NAME:

AS BUILT BELOW GRADE SIDE YARD
ENTRANCE AND LEGAL BASEMENT
DEPARTMENT

NOTES:

1- CONTRACTOR TO CONFIRM ON
SITE PRIOR TO COMMENCEMENT
THAT ALL
THE EXISTING STRUCTURAL
MEMBERS MATCH THE
INFORMATION STATED IN
ALL THIS PERMIT DRAWINGS

2- CONTRACTOR TO REPORT TO THE
DESIGNER TO ANY DISCREPANCIES
BETWEEN THE EXISTING
STRUCTURAL MEMBERS AND
INFORMATION STATED IN ANY OF
THIS PERMIT DRAWINGS

DWG NAME

SECTIONS

DWG SCALE

1: 40

DRAWN BY

FJB

CHECKED BY

VG

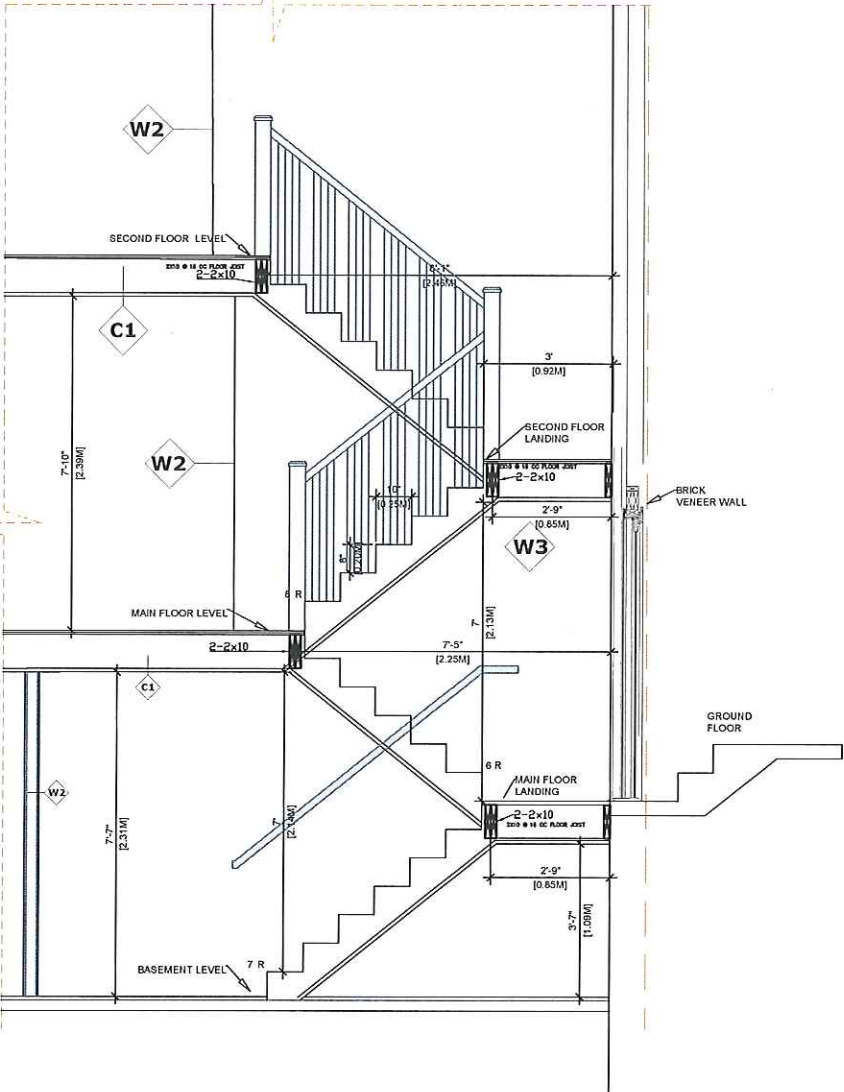
DATE

2021-11-24

DWG. NO.

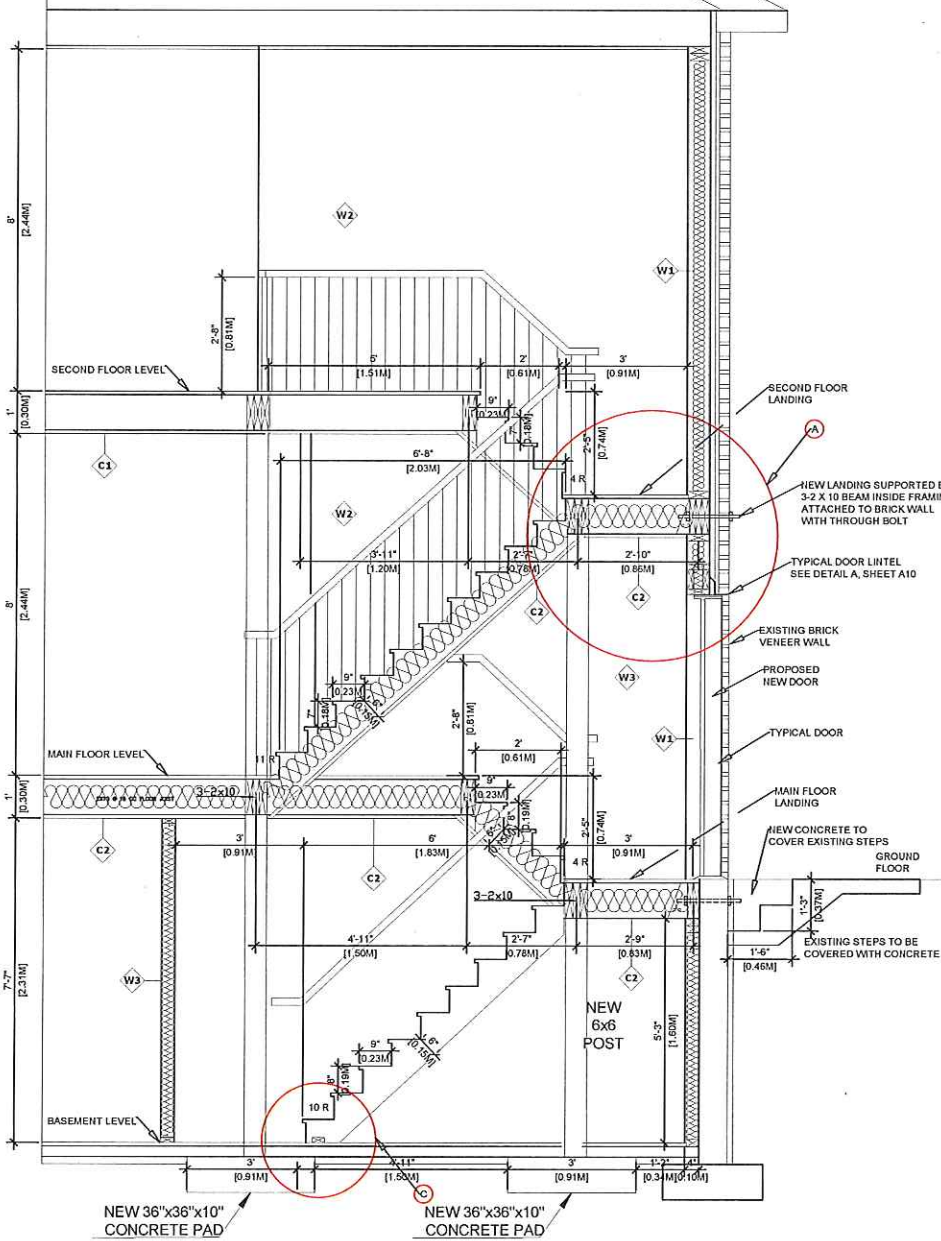
A-09

SH. SIZE 11" x 17"



EXISTING STAIR SECTION

1: 40

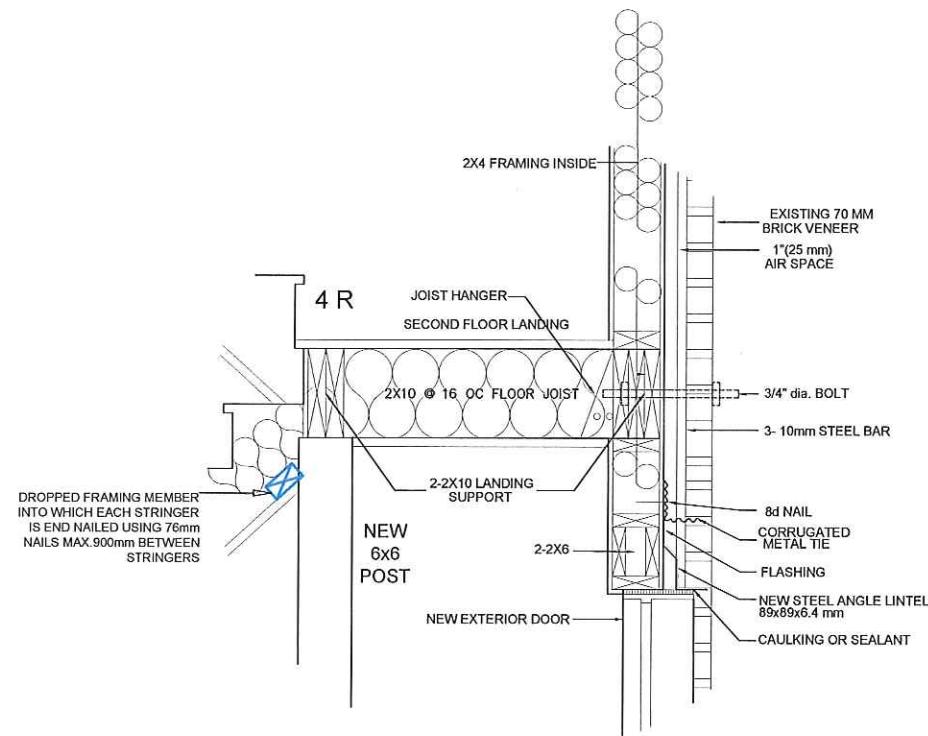


PROPOSED STAIR SECTION

1: 40

2020/06/06 – REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY
IN ADDITION TO THE APPROVED BUILDING PERMIT

19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN
STAIRS AND NEW SIDE ENTRANCE



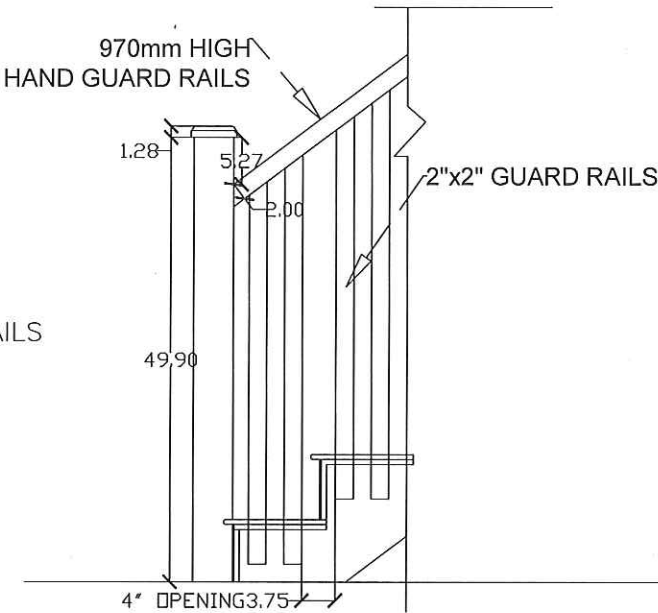
A

STAIR WOOD LANDING CONNECTION AND NEW DOOR LINTEL DETAIL

1:16

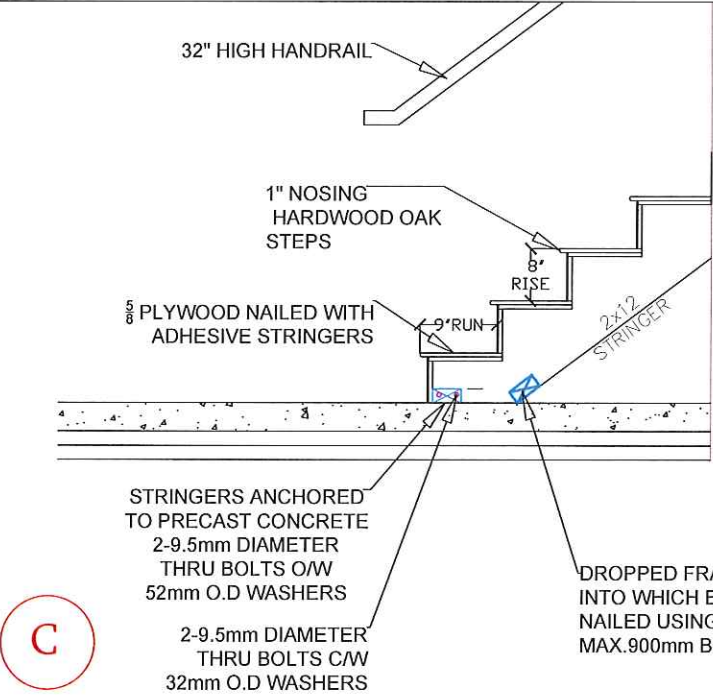
SECOND FLOOR
GUARD RAIL DETAILS

B



SECOND FLOOR GUARD DETAIL

N.T.S



C

STAIR CONCRETE CONNECTION

1:20

603 Argus Rd, Sult 201
Oakville, ON
itipermits.com
(647) 973-1733

The undersigned has reviewed & taken responsibility for this design,
and has the qualifications and meets the requirements set out in the
Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5 of Div. C, of the building code
VIVEK GUPTA 39587
Name BCIN
Signature HCURDATE
Date

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.5 of Div. C, of the building code
ITI PERMIT DESIGNERS INC.
Firm Name BCIN

ADDRESS:
29 LANGSTON DRIVE,
BRAMPTON, ON

PROJECT NAME:
AS BUILT BELOW GRADE SIDE YARD
ENTRANCE AND LEGAL BASEMENT
DEPARTMENT

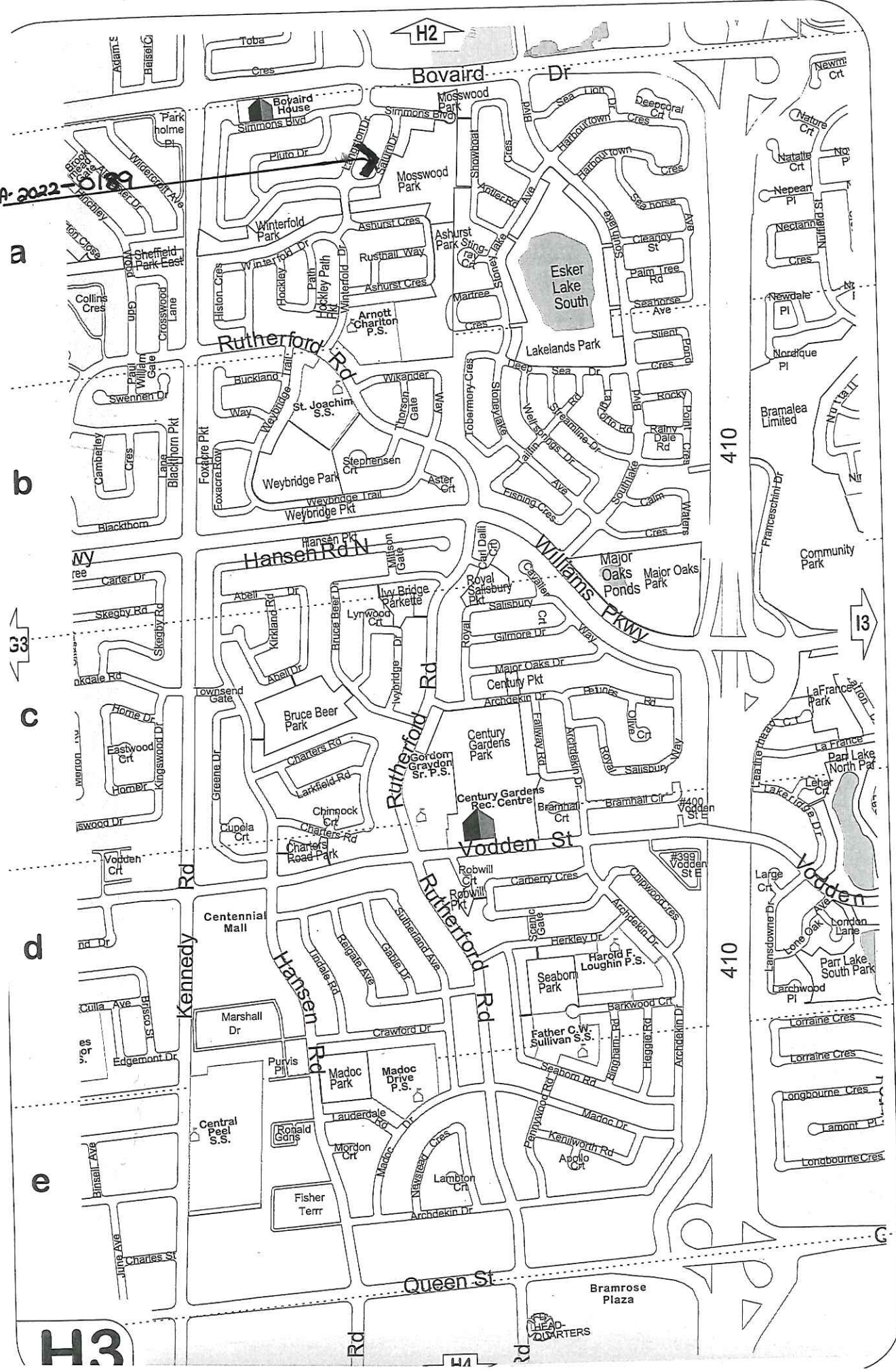
NOTES:
1- CONTRACTOR TO CONFIRM ON
SITE PRIOR TO COMMENCEMENT
THAT ALL
THE EXISTING STRUCTURAL
MEMBERS MATCH THE
INFORMATION STATED IN
ALL THIS PERMIT DRAWINGS

2- CONTRACTOR TO REPORT TO THE
DESIGNER TO ANY DISCREPANCIES
BETWEEN THE EXISTING
STRUCTURAL MEMBERS AND
INFORMATION STATED IN ANY OF
THIS PERMIT DRAWINGS

DWG NAME
DETAILS
DWG SCALE AS NOTED

DRAWN BY FB
CHECKED BY VG
DATE 2021-07-07

DWG. NO.
A-10
SH. SIZE 11" x 17"



Apr 2022

a

b

c

d

e

H3

H2

13

410

410

Queen St

HEAD-QUARTERS