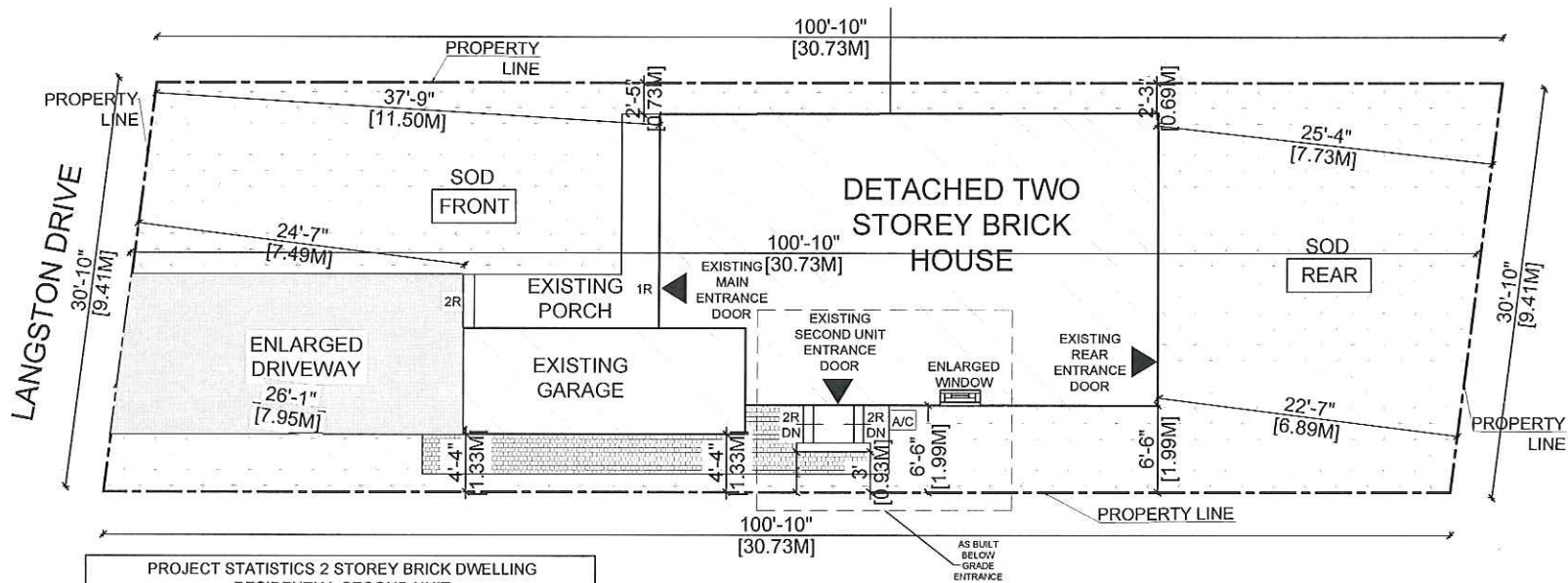


Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

2020/06/06 - REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT
19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE



| PROJECT STATISTICS 2 STOREY BRICK DWELLING RESIDENTIAL SECOND UNIT | | | |
|---|-----------|----------------|------------|
| LEGAL LAND LOT NUMBER | 10 | ZONING: R2A(2) | |
| ADDRESS: 29 LANGSTON DRIVE, BRAMPTON | | | |
| LOT FRONTAGE: | 9.41 M | LOT AREA: | 286.87 SQM |
| LOT COVERAGE: | | | |
| | EXISTING | PROPOSED | TOTAL |
| DWELLING FOOTPRINT INCLUDING GARAGE: | 87.77 SQM | 0.00 SQM | |
| PORCH: | 8.64 SQM | 0.00 SQM | |
| DECK: | 0.00 SQM | 0.00 SQM | |
| ACCESSORY STRUCTURES: | 3.83 SQM | 0.00 SQM | |
| LAND LEGAL DESCRIPTION AND DIMENSIONS : | | | |
| | EXISTING | PROPOSED | REMARKS |
| DEPTH | 30.73M | 0.00M | |
| FRONT YARD SETBACK | 7.49M | 0.00M | |
| REAR YARD SETBACK | 6.89M | 0.00M | |
| RIGHT SIDE YARD SETBACK | 1.33M | 0.41M | |
| LEFT SIDE YARD SETBACK | 0.69M | 0.00M | |

603 Argus Rd, Suit 201
Oakville, ON
itipermits.com
(647) 973-1733

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.2.5 of Div. C, of the building code

| | |
|-------------|----------|
| VIVEK GUPTA | 39587 |
| Name | BCIN |
| Signature | #CURDATE |
| Date | |

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.2.5 of Div. C, of the building code

| | |
|---------------------------|------|
| ITI PERMIT DESIGNERS INC. | |
| Firm Name | BCIN |

ADDRESS:

29 LANGSTON DRIVE,
BRAMPTON, ON

PROJECT NAME:

AS BUILT BELOW GRADE SIDE YARD
ENTRANCE AND LEGAL BASEMENT
DEPARTMENT

NOTES:

- 1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN ALL THIS PERMIT DRAWINGS
- 2- CONTRACTOR TO REPORT TO THE DESIGNER TO ANY DISCREPANCIES BETWEEN THE EXISTING STRUCTURAL MEMBERS AND INFORMATION STATED IN ANY OF THIS PERMIT DRAWINGS

DWG NAME

SITE PLAN

DWG SCALE

1 : 125

DRAWN BY

VG

CHECKED BY

VG

DATE

2020-06-06



DWG. NO.

A-01

SH. SIZE 11" x 17"

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **August 23, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, August 18, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, August 18, 2022.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, August 18, 2022.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, August 18, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

The City of Brampton is reviewing its Committee of Adjustment process. As a participant in this process, if you have comments or input you would like to share about your experience with the Committee of Adjustment, please email cityclerksoffice@brampton.ca to indicate your interest and you will be contacted with more information.

AMENDMENT LETTER

August 5, 2022

To: Committee of Adjustment

**RE: APPLICATION FOR MINOR VARIANCE
PIRATHEEBAN RANEDRAARAJAH
PART OF LOTS 180 AND 181, PLAN M-303
PARTS 32 AND 64, PLAN 43R-10219
A-2022-0189 – 29 LANGSTON DRIVE**

Please **amend** application **A-2022-0189** to reflect the following:

1. To permit an existing below grade entrance in a required interior side yard whereas the by-law does not permit a below grade entrance in a required interior side yard;
2. To permit a 0.90m (2.95 ft.) side yard setback to an existing below grade entrance whereas the by-law requires a minimum side yard setback of 1.2m (3.94 ft.).

Vivek Gupta

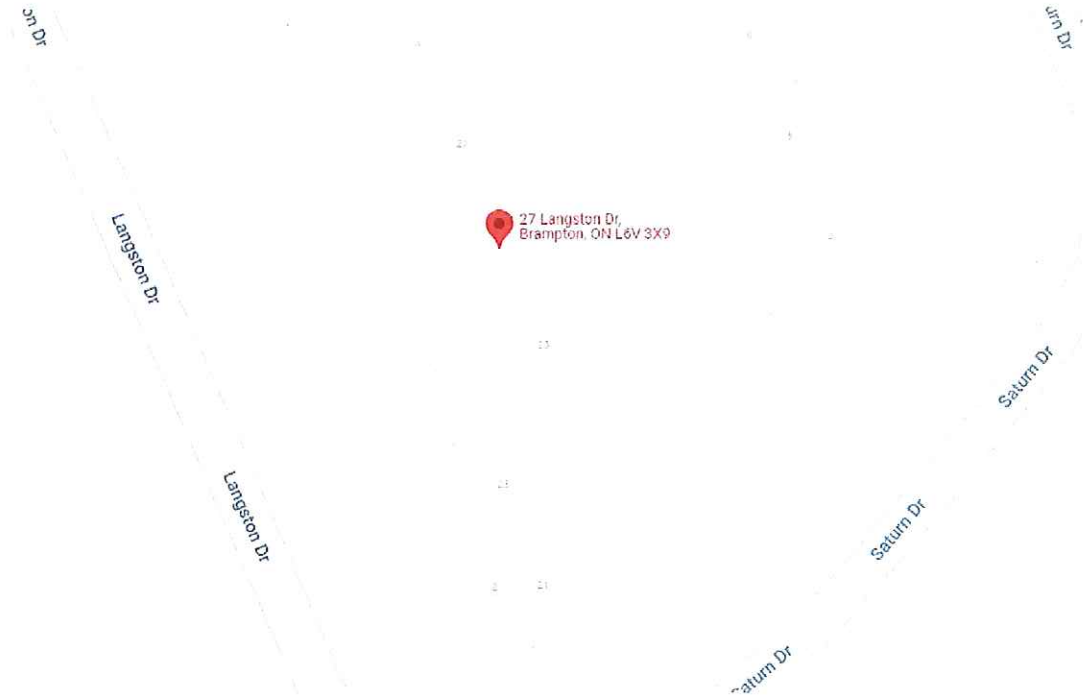
Applicant/Authorized Agent

AS BUILT BELOW GRADE SIDE YARD ENTRANCE AND LEGAL BASEMENT DEPARTMENT

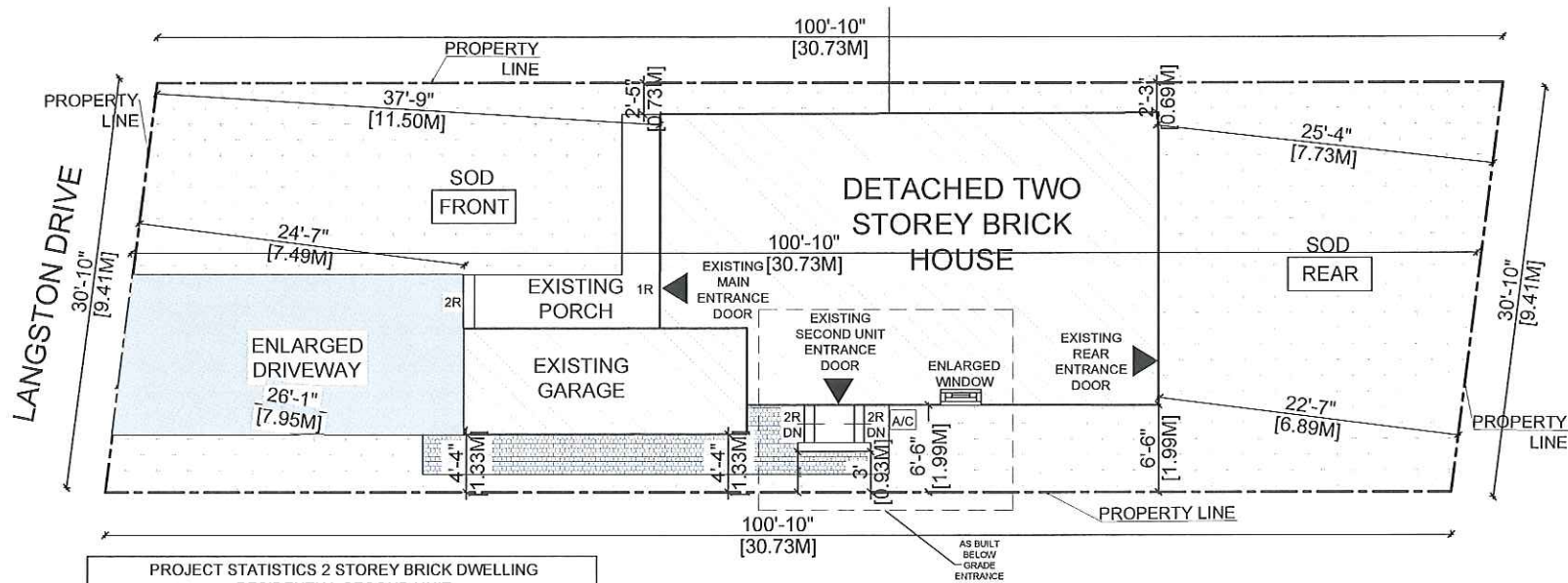
29 LANGSTON DRIVE, BRAMPTON

DRAWING LIST

- A00 - COVER PAGE
- A01 - SITE PLAN
- A02 - BASEMENT PLAN
- A03 - MAIN FLOOR PLAN
- A04 - SECOND FLOOR PLAN
- A05 - ELEVATION
- A06 - DETAILS



2020/06/06 - REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT
19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE



| PROJECT STATISTICS 2 STOREY BRICK DWELLING RESIDENTIAL SECOND UNIT | | | |
|---|-----------|----------------|------------|
| LEGAL LAND LOT NUMBER | 10 | ZONING: R2A(2) | |
| ADDRESS: 29 LANGSTON DRIVE, BRAMPTON | | | |
| LOT FRONTAGE: | 9.41 M | LOT AREA: | 286.87 SQM |
| LOT COVERAGE: | | | |
| | EXISTING | PROPOSED | TOTAL |
| DWELLING FOOTPRINT INCLUDING GARAGE: | 87.77 SQM | 0.00 SQM | |
| PORCH: | 8.64 SQM | 0.00 SQM | |
| DECK: | 0.00 SQM | 0.00 SQM | |
| ACCESSORY STRUCTURES: | 3.83 SQM | 0.00 SQM | |
| LAND LEGAL DESCRIPTION AND DIMENSIONS : | | | |
| | EXISTING | PROPOSED | REMARKS |
| DEPTH | 30.73M | 0.00M | |
| FRONT YARD SETBACK | 7.49M | 0.00M | |
| REAR YARD SETBACK | 6.89M | 0.00M | |
| RIGHT SIDE YARD SETBACK | 1.33M | 0.41M | |
| LEFT SIDE YARD SETBACK | 0.69M | 0.00M | |

603 Angus Rd, Suit 201
Oakville, ON
itipermits.com
(647) 973-1733

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Required unless design is exempt under 3.2.5 of Div.C, of the building code

QUALIFICATION INFORMATION

VIVEK GUPTA

39587

BCIN

Signature

Date

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.5. of Div. C, of the building code

ITI PERMIT DESIGNERS INC.

BCIN

Firm Name

BCIN

ADDRESS:
29 LANGSTON DRIVE,
BRAMPTON, ON

PROJECT NAME:
AS BUILT BELOW GRADE SIDE YARD
ENTRANCE AND LEGAL BASEMENT
DEPARTMENT

NOTES:
1- CONTRACTOR TO CONFIRM ON
SITE PRIOR TO COMMENCEMENT
THAT ALL
THE EXISTING STRUCTURAL
MEMBERS MATCH THE
INFORMATION STATED IN
ALL THIS PERMIT DRAWINGS

2- CONTRACTOR TO REPORT TO THE
DESIGNER TO ANY DISCREPANCIES
BETWEEN THE EXISTING
STRUCTURAL MEMBERS AND
INFORMATION STATED IN ANY OF
THIS PERMIT DRAWINGS

DWG NAME
SITE PLAN

DWG SCALE
1 : 125

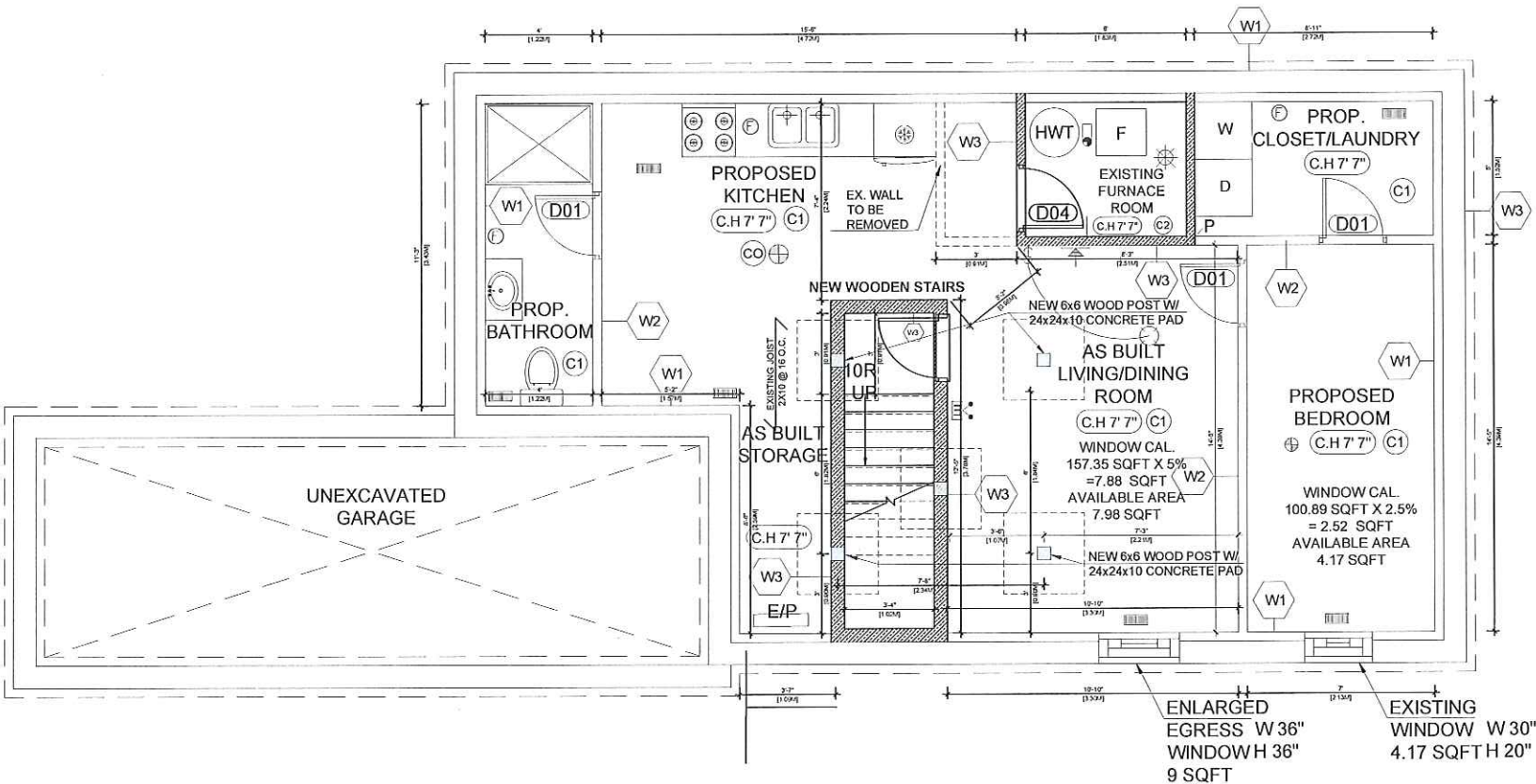
DRAWN BY
VG

CHECKED BY
VG

DATE
2020-06-06

DWG. NO.
A-01
SH. SIZE 11" x 17"

2020/06/06 - REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT
19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE



WALL LEGENDS

C1 EXISTING FULL HEIGHT CEILING TO REMAIN 15 MIN FRR
1 - WOOD 2X10" @ 16 O.C.
2 - 1/2" REGULAR GYPSUM

C2 SB-3 (ASSEMBLY F9h) FULL HEIGHT CEILING 45 MIN FIRE SEPARATION
1 - WOOD 2X8" @ 16 O.C.
2 - 50 STC SOUND INSULATION
3 - RESILIENT CHANNEL @ 24" O/C
4 - 1/2" TYPE 'X' GYPSUM

W1 SB-3 (ASSEMBLY EW1b) EXTERIOR INSULATED WALL (45 MINS):
1 - 1/2" GYPSUM BOARD ON ONE SIDE OF 2" X 4" WOODEN STUDS @ 16" O.C. FILLED WITH R20 NON COMBUSTIBLE INSULATION WITH VAPOR BARRIER ON WARM SIDE.
2 - TOP PLATE AND BOTTOM PLATE. TAPED, SANDED AND READY TO RECEIVE FINISH, AS PER OWNER'S CHOICE OF COLOR.

W2 SB-3 (ASSEMBLY W1c) INT. PARTITION WALL (30 MIN.):
1 - 1/2" REGULAR GYPSUM
2 - 2"X4" OR 2"X6" @ 16" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE
3 - 1/2" REGULAR GYPSUM
5 - 32 STC

W3 SB-3 (ASSEMBLY W1d) FRR INTERIOR PARTITION WALL (1 HOUR):
1 - 5/8" TYPE 'X' DRYWALL ON BOTH SIDES
2 - 2"X4" OR 2"X6" @ 16" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE
3 - SOUND INSULATION (TO FILL STUD CAVITY) 49 STC

LEGENDS

- WARM AIR REGISTERS
- WALL FAN VENTED
- 3.2.2.17, Sprinklers in Lieu of Roof Rating (1) The requirements in Articles 3.2.2.20. to 3.2.2.83. for roof assemblies to have a fire-resistance rating are permitted to be waived provided, (a) Except as provided by Sentence (2), the building is sprinklered
- CARBON MONOXIDE DETECTOR
- INTERCONNECTED SMOKE DETECTOR AND ALARM WITH STROBE LIGHT
- EMERGENCY LIGHTS
- RETURN AIR REGISTER (low wall)
- A DUCT TYPE SMOKE DETECTOR INSTALLED IN THE SUPPLY AND RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION.

| DOOR SCHEDULE | | |
|---------------|--------------------|--|
| NO. | TYPE | REMARKS |
| D01 | INTERIOR 30" X 80" | NEW INTERIOR DOOR |
| D03 | EXTERIOR 32" X 80" | NEW 20 MIN FIRE-RATED DOOR WITH FRAME AND CLOSING DEVICE |
| D04 | INTERIOR 32" X 80" | NEW 20 MIN FIRE-RATED DOOR WITH SELF CLOSING DEVICE |
| ED | | EXISTING DOOR TO REMAIN |

BASEMENT AREA
503.92 SQ FT
46.82 SQ M

A-02 - PROPOSED BASEMENT

603 Argus Rd, Suite 201
Oakville, ON
itipermits.com
(647) 973-1733

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Required unless design is exempt under 3.2.5 of Div. C, of the building code

| QUALIFICATION INFORMATION | |
|---------------------------|----------|
| Name | 39587 |
| BCIN | BCIN |
| Signature | #CURDATE |
| Date | |

Required unless design is exempt under 3.2.5 of Div. C, of the building code

| REGISTRATION INFORMATION | |
|--------------------------|------|
| Firm Name | BCIN |

ADDRESS:
29 LANGSTON DRIVE,
BRAMPTON, ON

PROJECT NAME:
AS BUILT BELOW GRADE SIDE YARD
ENTRANCE AND LEGAL BASEMENT
DEPARTMENT

NOTES:
1- CONTRACTOR TO CONFIRM ON
SITE PRIOR TO COMMENCEMENT
THAT ALL
THE EXISTING STRUCTURAL
MEMBERS MATCH THE
INFORMATION STATED IN
ALL THIS PERMIT DRAWINGS

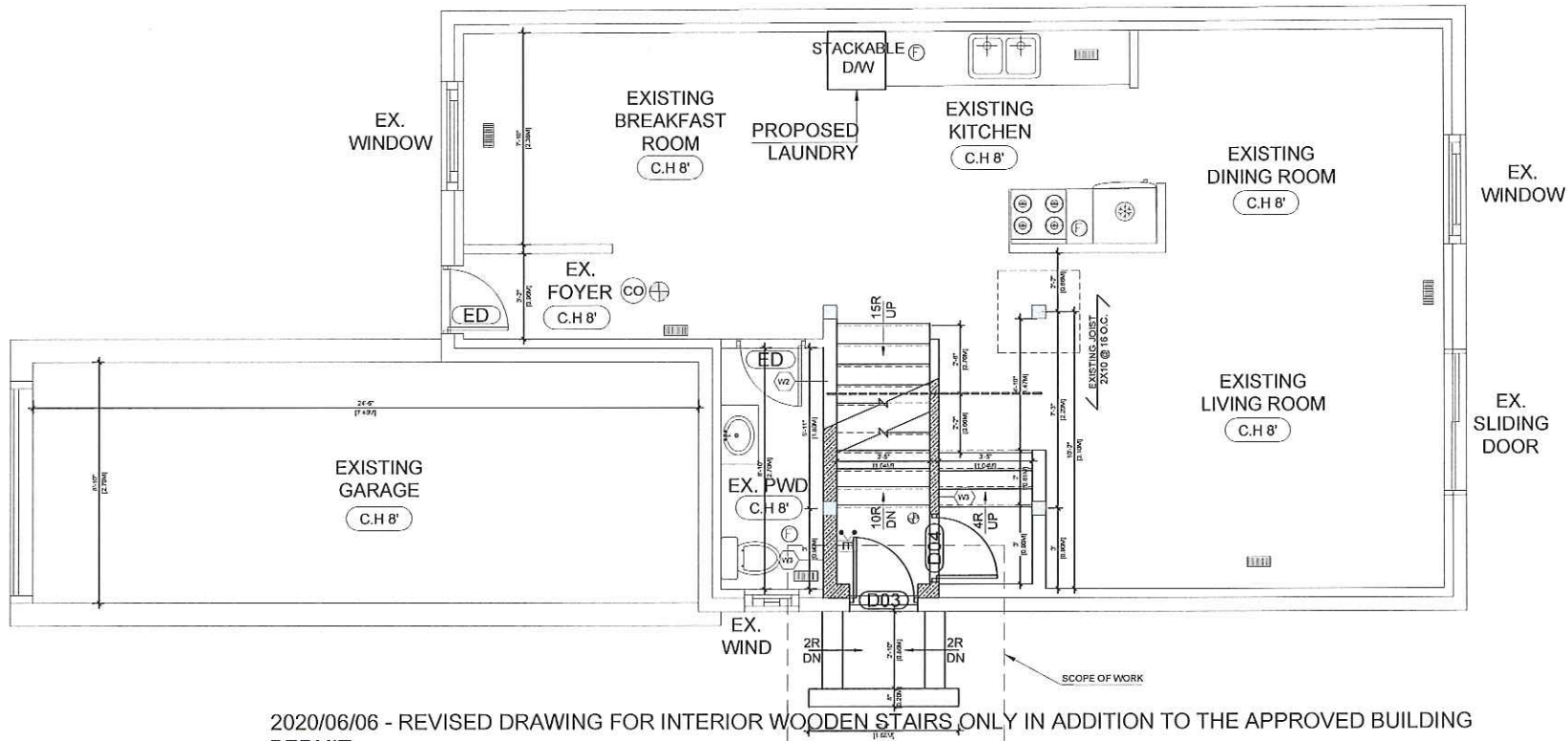
2- CONTRACTOR TO REPORT TO THE
DESIGNER TO ANY DISCREPANCIES
BETWEEN THE EXISTING
STRUCTURAL MEMBERS AND
INFORMATION STATED IN ANY OF
THIS PERMIT DRAWINGS

DWG NAME
PROPOSED BASEMENT PLAN

DWG SCALE
1 : 60

| DRAWN BY | VG |
|------------|------------|
| CHECKED BY | VG |
| DATE | 2021-11-24 |

DWG. NO.
A-02
SH. SIZE 11" x 17"



2020/06/06 - REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT
19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE

| WALL LEGENDS | | | | |
|--|--|---|--|--|
| C1 EXISTING FULL HEIGHT CEILING TO REMAIN 15 MIN FRR 1- WOOD 2X10" @ 16 O.C. 2- 1/2" REGULAR GYPSUM | C2 SB-3 (ASSEMBLY F9h) FULL HEIGHT CEILING 45 MIN FIRE SEPARATION 1- WOOD 2X8" @ 16 O.C. 2- 50 STC SOUND INSULATION 3- RESILIENT CHANNEL @24" O/C 4- 1/2" TYPE 'X' GYPSUM | W1 SB-3 (ASSEMBLY EW1b) EXTERIOR INSULATED WALL (45 MINS): 1- 1/2" GYPSUM BOARD ON ONE SIDE OF 2" X 4" WOODEN STUDS @ 16" O.C. FILLED WITH R20 NON COMBUSTIBLE INSULATION WITH VAPOR BARRIER ON WARM SIDE. 2- TOP PLATE AND BOTTOM PLATE. TAPED, SANDED AND READY TO RECEIVE FINISH, AS PER OWNER'S CHOICE OF COLOR. | W2 SB-3 (ASSEMBLY W1c) INT. PARTITION WALL (30 MIN.) 1- 1/2" REGULAR GYPSUM 2- 2"x4" OR 2"x6" @16" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE 3- 1/2" REGULAR GYPSUM 5- 32 STC | W3 SB-3 (ASSEMBLY W1d) FRR INTERIOR PARTITION WALL (1 HOUR): 1- 5/8" TYPE X DRYWALL ON BOTH SIDES 2- 2"x4" OR 2"x6" @14" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE 3- SOUND INSULATION (TO FILL STUD CAVITY) 49 STC |

LEGENDS

- WARM AIR REGISTERS
- WALL FAN VENTED
- 3.2.2.17. Sprinklers in Lieu of Roof Rating (1) The requirements in Articles 3.2.2.20, to 3.2.2.83, for roof assemblies to have a fire-resistance rating are permitted to be waived provided, (a) Except as provided by Sentence (2), the building is sprinklered
- CARBON MONOXIDE DETECTOR
- INTERCONNECTED SMOKE DETECTOR AND ALARM WITH STROBE LIGHT
- EMERGENCY LIGHTS
- RETURN AIR REGISTER (low wall)
- A DUCT TYPE SMOKE DETECTOR INSTALLED IN THE SUPPLY AND RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION.

| DOOR SCHEDULE | | | |
|---------------|----------|------------------|--|
| NO. | TYPE | SIZE (DOOR LEAF) | REMARKS |
| D01 | INTERIOR | 30" X 80" | NEW INTERIOR DOOR |
| D03 | EXTERIOR | 32" X 80" | NEW 20 MIN FIRE-RATED DOOR WITH FRAME AND CLOSING DEVICE |
| D04 | INTERIOR | 32" X 80" | NEW 20 MIN FIRE RATED DOOR WITH SELF CLOSING DEVICE |
| ED | | | EXISTING DOOR TO REMAIN |

MAIN FLOOR AREA
604.49 SQ FT
56.16 SQ M

603 Argus Rd, Suit 201
Oakville, ON
itipermits.com
(647) 973-1733

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.3 of Div. C, of the building code

| | |
|-------------|----------|
| VIVEK GUPTA | 39587 |
| Home | BCIN |
| Signature | #CURDATE |
| | Date |

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.3. of Div. C, of the building code

| | |
|--------------------------|------|
| ITIPERMIT DESIGNERS INC. | |
| Firm Name | BCIN |

ADDRESS:
29 LANGSTON DRIVE,
BRAMPTON, ON

PROJECT NAME:
AS BUILT BELOW GRADE SIDE YARD
ENTRANCE AND LEGAL BASEMENT
DEPARTMENT

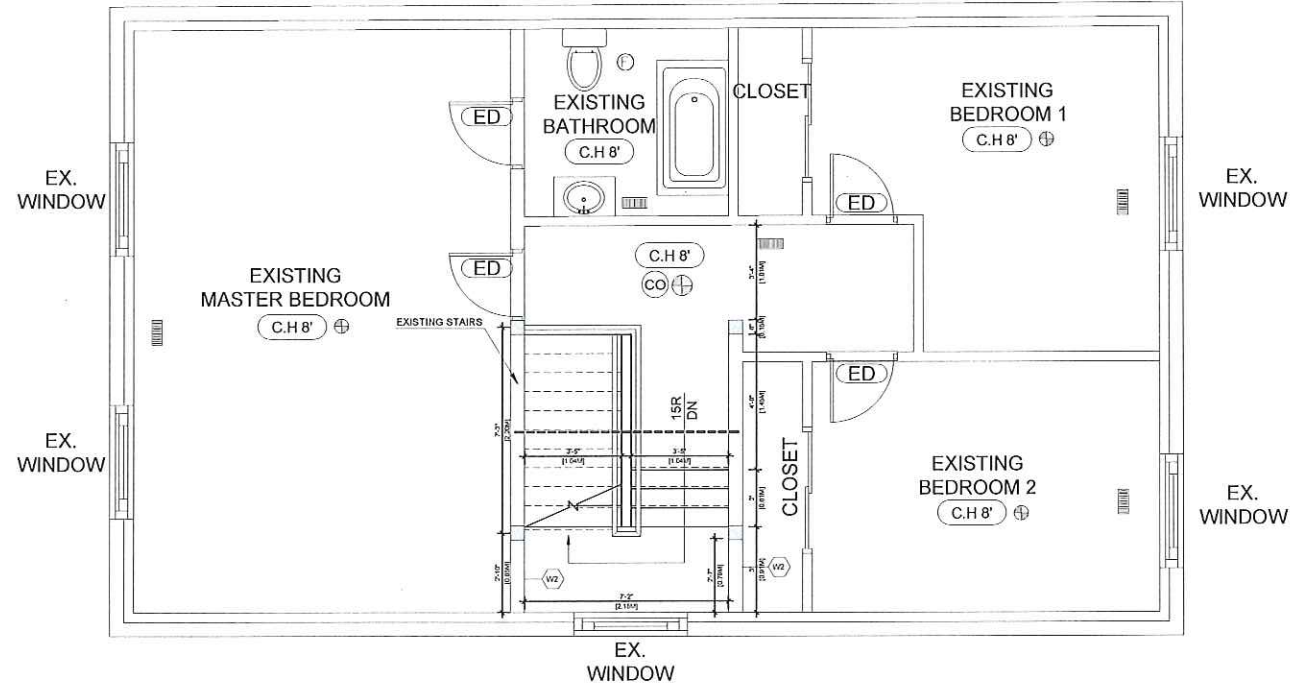
NOTES:
1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN ALL THIS PERMIT DRAWINGS
2- CONTRACTOR TO REPORT TO THE DESIGNER TO ANY DISCREPANCIES BETWEEN THE EXISTING STRUCTURAL MEMBERS AND INFORMATION STATED IN ANY OF THIS PERMIT DRAWINGS

DWG NAME
EXISTING MAIN FLOOR PLAN

DWG SCALE
1 : 60

| | |
|------------|------------|
| DRAWN BY | VG |
| CHECKED BY | VG |
| DATE | 2021-11-24 |

| | |
|--------------------|----------|
| | DWG. NO. |
| | A-03 |
| SH. SIZE 11" x 17" | |



2020/06/06 - REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT
19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE

WALL LEGENDS

C1 EXISTING FULL HEIGHT CEILING TO REMAIN 15 MIN FRR
1 - WOOD 2X10" @ 16 O.C.
2 - 1/2" REGULAR GYPSUM

C2 SB-3 (ASSEMBLY F9h)
FULL HEIGHT CEILING
45 MIN FIRE SEPARATION
1 - WOOD 2X8" @ 16 O.C.
2 - 50 STC SOUND INSULATION
3 - RESILIENT CHANNEL @24" O/C
4 - 1/2" TYPE 'X' GYPSUM

W1 SB-3 (ASSEMBLY EW1b)
EXTERIOR INSULATED WALL (45 MINS):
1 - 1/2" GYPSUM BOARD ON ONE SIDE OF 2" X 4" WOODEN STUDS @ 16" O.C. FILLED WITH R20 NON COMBUSTIBLE INSULATION WITH VAPOR BARRIER ON WARM SIDE.
2 - TOP PLATE AND BOTTOM PLATE. TAPED, SANDED AND READY TO RECEIVE FINISH, AS PER OWNER'S CHOICE OF COLOR.

W2 SB-3 (ASSEMBLY W1c)
INT. PARTITION WALL (30 MIN.)
1 - 1/2" REGULAR GYPSUM
2 - 2"X4" OR 2"X6" @16" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE
3 - 1/2" REGULAR GYPSUM
5 - 32 STC

W3 SB-3 (ASSEMBLY W1d)
FRR INTERIOR PARTITION WALL (1 HOUR):
1 - 5/8" TYPE X DRYWALL ON BOTH SIDES
2 - 2"X4" OR 2"X6" @14" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE
3 - SOUND INSULATION (TO FILL STUD CAVITY)
49 STC

LEGENDS

- WARM AIR REGISTERS

- WALL FAN VENTED

- 3.2.2.17. Sprinklers in Lieu of Roof Rating (1) The requirements in Articles 3.2.2.20. to 3.2.2.83. for roof assemblies to have a fire-resistance rating are permitted to be waived provided, (a) Except as provided by Sentence (2), the building is sprinklered

- CARBON MONOXIDE DETECTOR

- INTERCONNECTED SMOKE DETECTOR AND ALARM WITH STROBE LIGHT

- EMERGENCY LIGHTS

- RETURN AIR REGISTER (low wall)

- A DUCT TYPE SMOKE DETECTOR INSTALLED IN THE SUPPLY AND RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION.

| DOOR SCHEDULE | | | |
|---------------|----------|------------------|--|
| NO. | TYPE | SIZE (DOOR LEAF) | REMARKS |
| D01 | INTERIOR | 30" X 80" | NEW INTERIOR DOOR |
| D03 | EXTERIOR | 32" X 80" | NEW 20 MIN FIRE-RATED DOOR WITH FRAME AND CLOSING DEVICE |
| D04 | INTERIOR | 32" X 80" | NEW 20 MIN FIRE RATED DOOR WITH SELF CLOSING DEVICE |
| ED | | | EXISTING DOOR TO REMAIN |

SECOND FLOOR AREA
738.65 SQ FT
68.62 SQ M

603 Argus Rd, Sult 201
Oakville, ON
itipermits.com
(647) 973-1733

The undersigned has reviewed & taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5 of Div. C, of the building code

| | |
|-------------|----------|
| VIVEK GUPTA | 39587 |
| Name | BCIN |
| Signature | #CURDATE |
| Date | |

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.5 of Div. C, of the building code

| | |
|---------------------------|------|
| ITI PERMIT DESIGNERS INC. | |
| Firm Name | BCIN |

ADDRESS:
29 LANGSTON DRIVE,
BRAMPTON, ON

PROJECT NAME:
AS BUILT BELOW GRADE SIDE YARD
ENTRANCE AND LEGAL BASEMENT
DEPARTMENT

NOTES:

1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN ALL THIS PERMIT DRAWINGS

2- CONTRACTOR TO REPORT TO THE DESIGNER TO ANY DISCREPANCIES BETWEEN THE EXISTING STRUCTURAL MEMBERS AND INFORMATION STATED IN ANY OF THIS PERMIT DRAWINGS

DWG NAME
EXISTING SECOND FLOOR

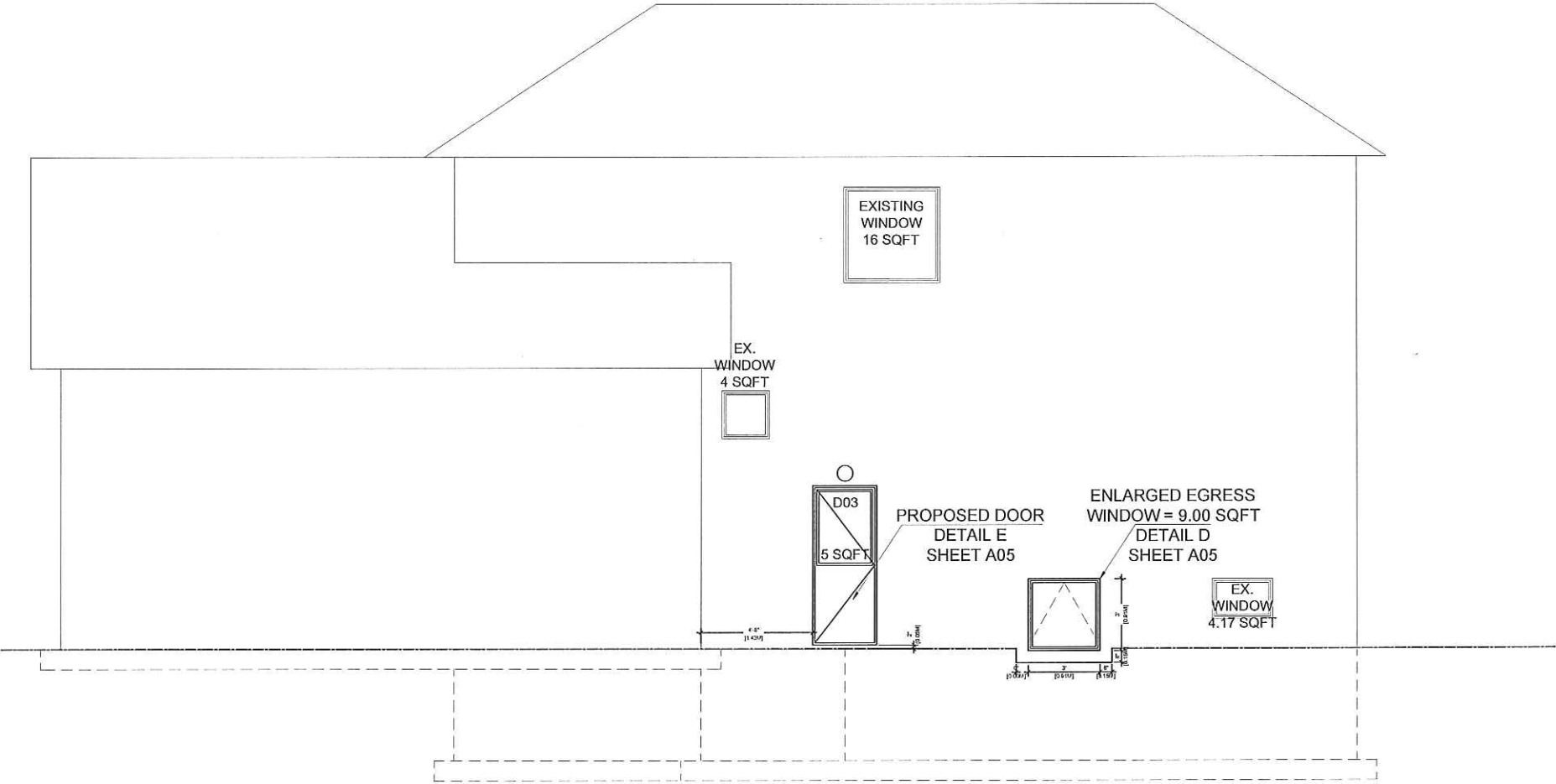
DWG SCALE
1 : 60

| | |
|-------------------|------------|
| DRAWN BY | VG |
| CHECKED BY | VG |
| DATE | 2021-11-24 |

| |
|--------------------------------|
| DWG. NO. A-04 |
| SH. SIZE 11" x 17" |

A-04 - EXISTING SECOND FLOOR

2020/06/06 - REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT
19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE



SOUTH ELEVATION GLAZED OPENING CALCULATION:
SETBACK: 4' 10" - 1.48 M
WALL AREA 604.35 SQFT
WINDOW OPENING ALLOW:
7% OF THE WALL AREA = 42.30 SQFT
PROPOSED WINDOWS AREA = 33.17 SQFT

The undersigned has reviewed & taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5 of Div. C, of the building code

| | |
|-------------|----------|
| VIVEK GUPTA | 39587 |
| Name | BCIN |
| Signature | #CURDATE |
| Date | |

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.5 of Div. C, of the building code

| | |
|---------------------------|------|
| ITI PERMIT DESIGNERS INC. | |
| Firm Name | BCIN |

ADDRESS:
29 LANGSTON DRIVE,
BRAMPTON, ON

PROJECT NAME:
AS BUILT BELOW GRADE SIDE YARD
ENTRANCE AND LEGAL BASEMENT
DEPARTMENT

NOTES:

1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN ALL THIS PERMIT DRAWINGS

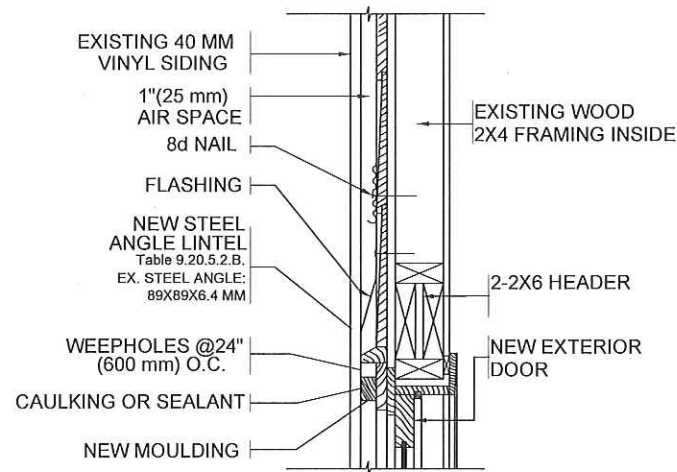
2- CONTRACTOR TO REPORT TO THE DESIGNER TO ANY DISCREPANCIES BETWEEN THE EXISTING STRUCTURAL MEMBERS AND INFORMATION STATED IN ANY OF THIS PERMIT DRAWINGS

DWG NAME
ELEVATION

DWG SCALE
1:60

| | |
|------------|------------|
| DRAWN BY | VG |
| CHECKED BY | VG |
| DATE | 2021-07-13 |

| | |
|--------------------|------|
| DWG. NO. | A-05 |
| SH. SIZE 11" x 17" | |

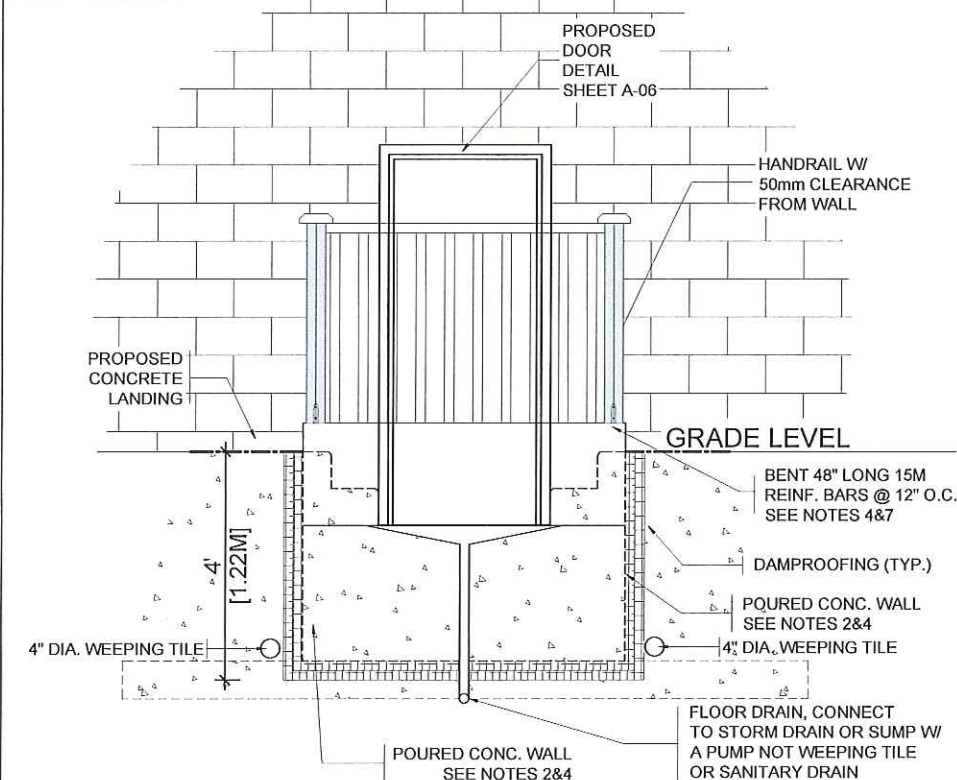


DOOR LINTEL DETAIL

1:30

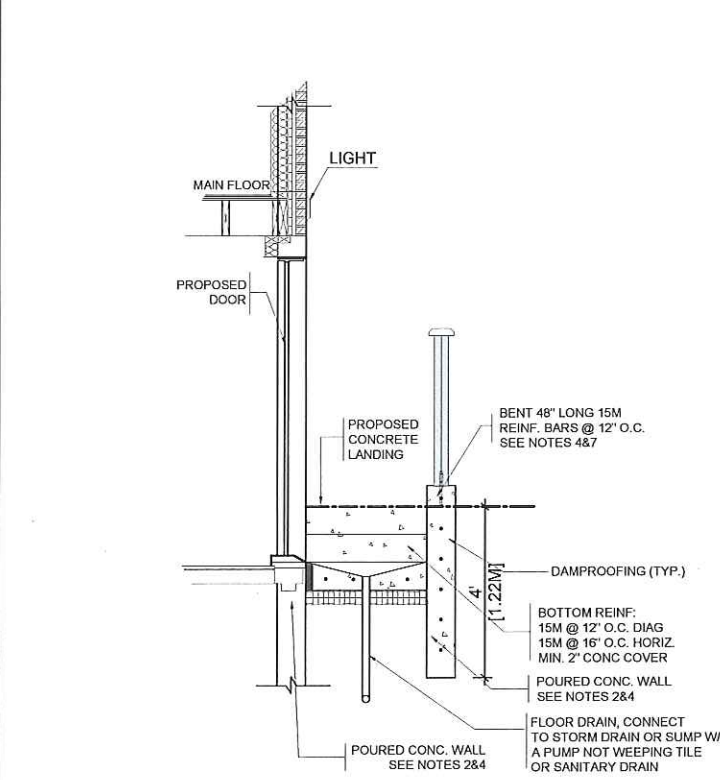
CONSTRUCTION NOTES

- NOTES:
1. GENERAL
- A) BACKFILL HEIGHTS OF GREATER THAN 7'-0" REQUIRED A PROFESSIONAL ENGINEER DESIGN.
- B) POURED CONCRETE WALLS ONLY, NOT CONCRETE BLOCK
- POURED CONCRETE STEPS.
2. CONCRETE
- MINIMUM COMPRESSIVE STRENGTH OF 25 MPa @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.
3. FOOTING
- 16" X 6" POURED CONCRETE FOOTING c/w 2- 15M BARS. FOOTING SHALL REST ON UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.
4. RETAINING WALL
- 8" POURED CONC. WALL DOES NOT REQUIRE REBAR IF BACKFILL HEIGHT DOES NOT EXCEED 3'11". PROVIDE 15M REBAR @ 16" O.C. EACH WAY FOR BACKFILL HEIGHTS EXCEEDING 3'11". AN ENGINEER'S DESIGN IS REQUIRED FOR HEIGHTS EXCEEDING 7'-0".
5. STAIRS
- FOR CONCRETE: RISE - 8" MAX TREAD - 10".
FOR WOODEN STEPS: RISE- 7" MAX TREAD- 11" MAX
NOTE: ALL RISERS & TREADS SHALL BE UNIFORM
6. GUARDS
- GUARDS SHALL BE MIN. 35" HIGH (42" IF > 71" FROM TO OF THE STAIRS TO BOTTOM OF STAIRS SHALL NOT ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE THROUGH OPENINGS, BE DESIGN TO PREVENT CLIMBING AND DESIGNED TO WITHSTAND THE LOADING IN TABLE 9.8.8.2 PROVIDE GUARD DETAILS TO INSPECTOR ON SITE, PRIOR TO INSTALLATION OF GUARD.
7. INSPECTIONS
- AN INSPECTION OF ALL REBAR IS REQ'D PRIOR TO POURING CONC.



BELOW GRADE FRONT DETAIL

1:30



BELOW GRADE CROSS SECTION

1:40

603 Argus Rd, Unit 201
Oakville, ON
itipermits.com
(647) 973-1733

The undersigned has reviewed & taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.5. of Div. C, of the building code

| | |
|-------------|----------|
| VIVEK GUPTA | 39587 |
| Name | BCIN |
| Signature | BCURDATE |
| Date | |

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.5. of Div. C, of the building code

| | |
|---------------------------|------|
| ITI PERMIT DESIGNERS INC. | |
| Firm Name | BCIN |

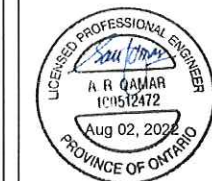
ADDRESS:

29 LANGSTON DRIVE,
BRAMPTON, ON

PROJECT NAME:

AS BUILT BELOW GRADE SIDE YARD
ENTRANCE AND LEGAL BASEMENT
DEPARTMENT

- NOTES:
- 1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN ALL THIS PERMIT DRAWINGS
- 2- CONTRACTOR TO REPORT TO THE DESIGNER TO ANY DISCREPANCIES BETWEEN THE EXISTING STRUCTURAL MEMBERS AND INFORMATION STATED IN ANY OF THIS PERMIT DRAWINGS



DWG NAME

DETAILS

DWG SCALE

AS NOTED

| | |
|------------|------------|
| DRAWN BY | VG |
| CHECKED BY | VG |
| DATE | 2021-07-13 |

| | |
|----------|-----------|
| DWG. NO. | A-06 |
| SH. SIZE | 11" x 17" |

FILE NUMBER: A-2022-0189

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** PIRATHEEBAN RANENDRARAJAH
Address 29 LANGSTON DRIVE, BRAMPTON ONTARIO L6V 3X9
Phone # (647) 733-8755 **Fax #** _____
Email GODTHEEP@YAHOO.COM

2. **Name of Agent** VIVEK GUPTA
Address 603 ARGUS ROAD, OAKVILLE ONTARIO L6J 6G6
Phone # (647) 973-1733 **Fax #** _____
Email ITIPERMIT@GMAIL.COM

3. **Nature and extent of relief applied for (variances requested):**
1. To permit an existing below grade entrance in a required interior side yard whereas the by-law does not permit a below grade entrance in the required interior side yard.
2. To permit a 0.98m setback to an existing below grade entrance whereas the by-law does requires a minimum side yard setback of 1.2m.

4. **Why is it not possible to comply with the provisions of the by-law?**
We're unable to comply with the by-law as it is an existing below grade entrance along with the interior staircase.

5. **Legal Description of the subject land: (Roll # : 10-09-0-040-99300-0000-1)**
Lot Number 181
Plan Number/Concession Number M - 303
Municipal Address 29 Langston Drive

6. **Dimension of subject land (in metric units)**
Frontage 9.41m
Depth 30.73m
Area 288.87m

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Two-storey detached dwelling with a GFA of approx. 180,19m

Second unit basement with an area of 60.91m

As built below grade entrance 3.83 sqm

PROPOSED BUILDINGS/STRUCTURES on the subject land:

As build below grade entrance 3.83sqm

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 7.49m

Rear yard setback 6.89m

Side yard setback 1.99m (right)

Side yard setback 0.69m (left)

PROPOSED

Front yard setback 7.49m

Rear yard setback 6.89m

Side yard setback 0.98m (right)

Side yard setback 0.69m (left)

10. Date of Acquisition of subject land: 2012
11. Existing uses of subject property: Single unit dwelling
12. Proposed uses of subject property: Second unit basement
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 1970
15. Length of time the existing uses of the subject property have been continued: 52 Years
16. (a) What water supply is existing/proposed?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Well | <input type="checkbox"/> | |
- (b) What sewage disposal is/will be provided?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Septic | <input type="checkbox"/> | |
- (c) What storm drainage system is existing/proposed?
- | | | |
|---------|-------------------------------------|-----------------------|
| Sewers | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Ditches | <input type="checkbox"/> | |
| Swales | <input type="checkbox"/> | |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

| | | |
|--------------|----------------|--------------|
| File # _____ | Decision _____ | Relief _____ |
| File # _____ | Decision _____ | Relief _____ |
| File # _____ | Decision _____ | Relief _____ |

[Signature]
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF OF BRAMPTON
THIS 07 DAY OF JUNE, 20 22

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, VIBER KUPITZ, OF THE TOWN OF WAKVILLE
IN THE UNION OF HALTOM SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 7th DAY OF
June, 20 22

[Signature]
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

[Signature]
Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R2A(2)-172

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

[Signature]
Zoning Officer

June 7, 2022

Date

DATE RECEIVED

June 7, 2022

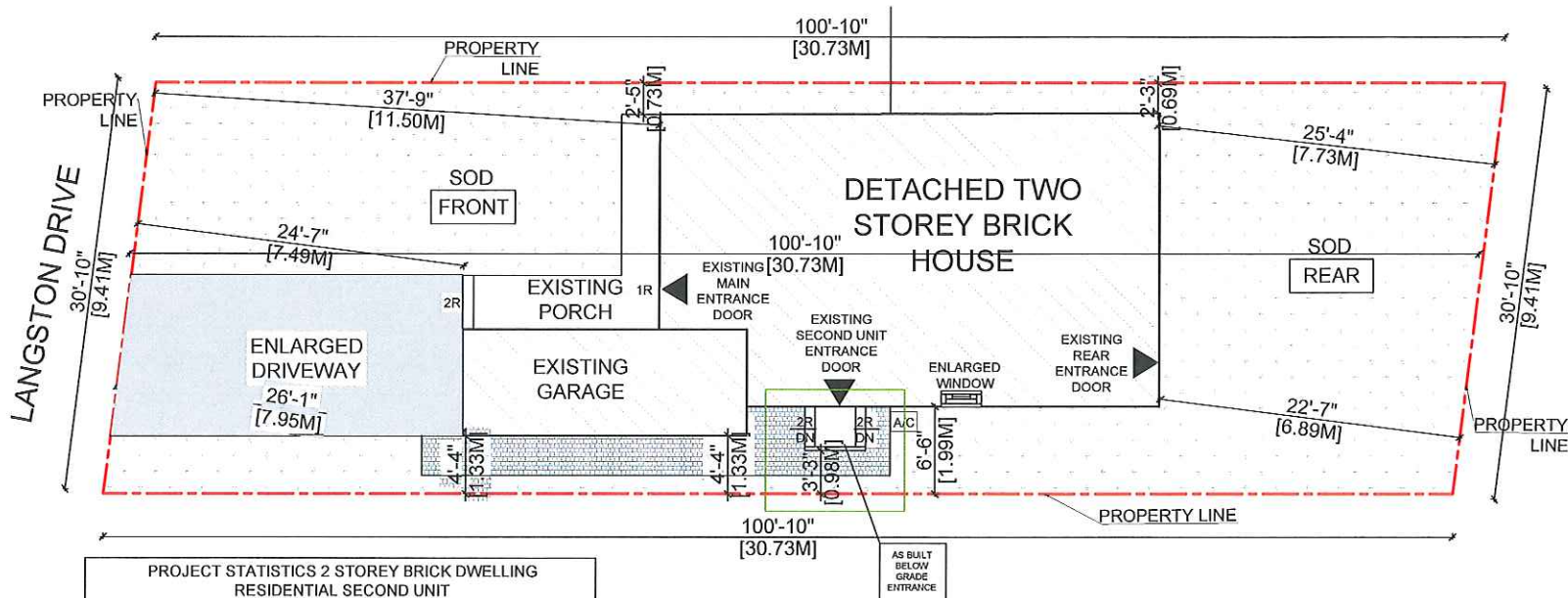
AS BUILT BELOW GRADE SIDE YARD ENTRANCE **AND LEGAL BASEMENT DEPARTMENT**

29 LANGSTON DRIVE, BRAMPTON

DRAWING LIST

- A00 - COVER PAGE
- A01 - SITE PLAN
- A02 - BASEMENT PLAN
- A03 - MAIN FLOOR PLAN
- A04 - SECOND FLOOR PLAN
- A05 - BASEMENT AND 2nd FLOOR STAIRS
- A06 - MAIN FLOOR FRAMING AND STAIRS
- A07 - SECOND FLOOR FRAMING PLAN
- A08 - ELEVATIONS
- A09 - SECTIONS
- A10 - DETAILS

2020/06/06 - REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT
19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE



| PROJECT STATISTICS 2 STOREY BRICK DWELLING RESIDENTIAL SECOND UNIT | | | |
|---|-----------|----------------|------------|
| LEGAL LAND LOT NUMBER | 10 | ZONING: R2A(2) | |
| ADDRESS: 29 LANGSTON DRIVE, BRAMPTON | | | |
| LOT FRONTAGE: | 9.41 M | LOT AREA: | 286.87 SQM |
| LOT COVERAGE: | | | |
| | EXISTING | PROPOSED | TOTAL |
| DWELLING FOOTPRINT INCLUDING GARAGE: | 87.77 SQM | 0.00 SQM | |
| PORCH: | 8.64 SQM | 0.00 SQM | |
| DECK: | 0.00 SQM | 0.00 SQM | |
| ACCESSORY STRUCTURES: | 3.83 SQM | 0.00 SQM | |
| LAND LEGAL DESCRIPTION AND DIMENSIONS : | | | |
| | EXISTING | PROPOSED | REMARKS |
| DEPTH | 30.73M | 0.00M | |
| FRONT YARD SETBACK | 7.49M | 0.00M | |
| REAR YARD SETBACK | 6.89M | 0.00M | |
| RIGHT SIDE YARD SETBACK | 1.33M | 0.41M | |
| LEFT SIDE YARD SETBACK | 0.69M | 0.00M | |

603 Argus Rd, Suit 201
Oakville, ON
itipermits.com
(647) 973-1733

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5 of Div. C, of the building code

VIVEK GUPTA

BCIN

39587

Name

#CURDATE

Date

Signature

—

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.5 of Div. C, of the building code

ITI PERMIT DESIGNERS INC.

—

Firm Name

BCIN

ADDRESS:
29 LANGSTON DRIVE,
BRAMPTON, ON

PROJECT NAME:
AS BUILT BELOW GRADE SIDE YARD
ENTRANCE AND LEGAL BASEMENT
DEPARTMENT

NOTES:
1- CONTRACTOR TO CONFIRM ON
SITE PRIOR TO COMMENCEMENT
THAT ALL
THE EXISTING STRUCTURAL
MEMBERS MATCH THE
INFORMATION STATED IN
ALL THIS PERMIT DRAWINGS

2- CONTRACTOR TO REPORT TO THE
DESIGNER TO ANY DISCREPANCIES
BETWEEN THE EXISTING
STRUCTURAL MEMBERS AND
INFORMATION STATED IN ANY OF
THIS PERMIT DRAWINGS

DWG NAME
SITE PLAN

DWG SCALE
1 : 125

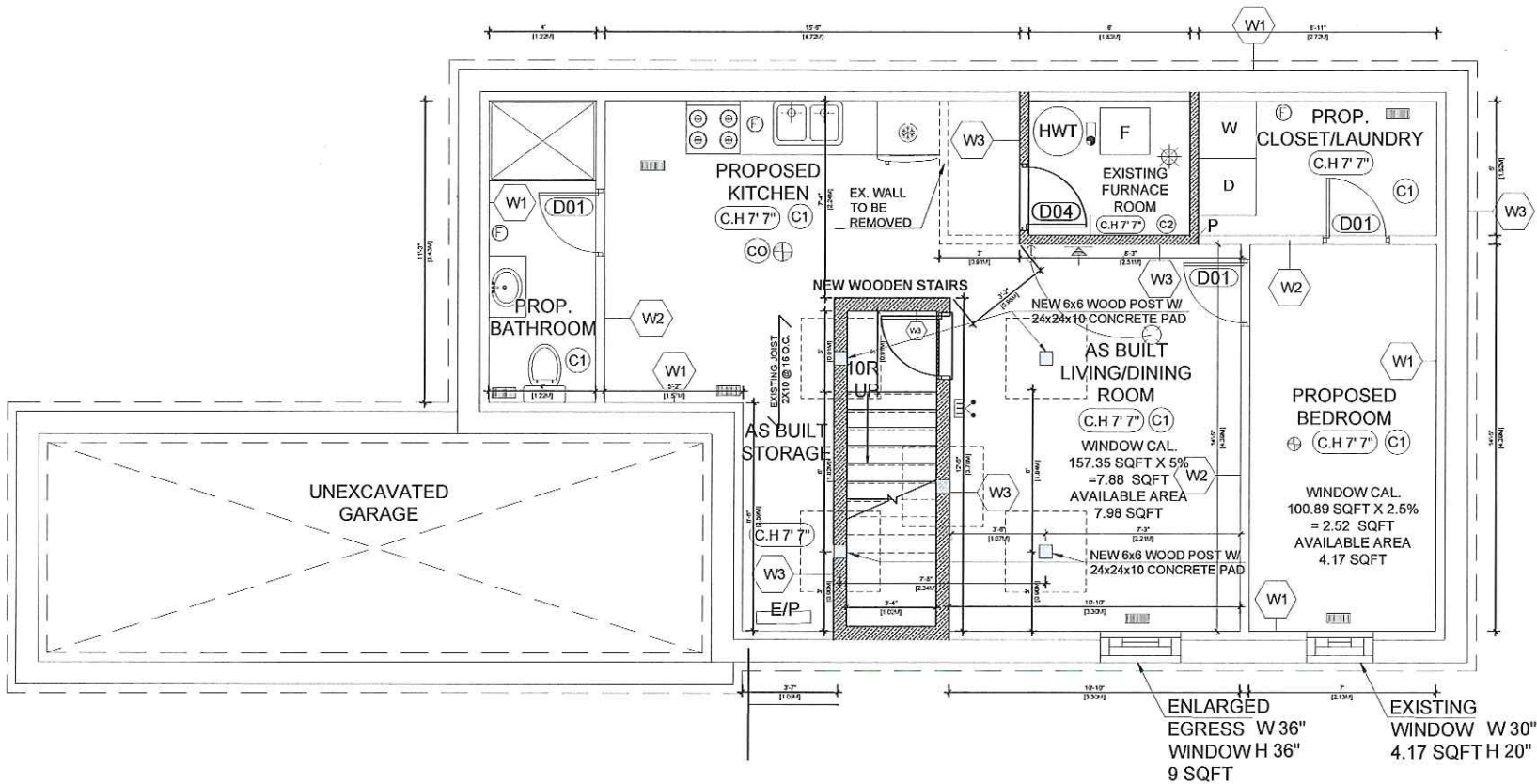
DRAWN BY
VG

CHECKED BY
VG

DATE
2020-06-06

DWG. NO.
A-01
SH. SIZE 11" x 17"

2020/06/06 – REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT
19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE



WALL LEGENDS

C1 EXISTING FULL HEIGHT CEILING TO REMAIN 15 MIN FRR
1 - WOOD 2X10" @ 16 O.C.
2 - 1/2" REGULAR GYPSUM

C2 SB-3 (ASSEMBLY F9h) FULL HEIGHT CEILING 45 MIN FIRE SEPARATION
1 - WOOD 2X8" @ 16 O.C.
2 - 50 STC SOUND INSULATION
3 - RESILIENT CHANNEL @ 24" O/C
4 - 1/2" TYPE 'X' GYPSUM

W1 SB-3 (ASSEMBLY EW1b) EXTERIOR INSULATED WALL (45 MINS):
1 - 1/2" GYPSUM BOARD ON ONE SIDE OF 2" X 4" WOODEN STUDS @ 16" O.C. FILLED WITH R20 NON COMBUSTIBLE INSULATION WITH VAPOR BARRIER ON WARM SIDE.
2 - TOP PLATE AND BOTTOM PLATE. TAPE, SANDED AND READY TO RECEIVE FINISH, AS PER OWNER'S CHOICE OF COLOR.

W2 SB-3 (ASSEMBLY W1c) INT. PARTITION WALL (30 MIN.)
1 - 1/2" REGULAR GYPSUM
2 - 2"X4" OR 2"X6" @16" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE
3 - 1/2" REGULAR GYPSUM
5 - 32 STC

W3 SB-3 (ASSEMBLY W1d) FRR INTERIOR PARTITION WALL (1 HOUR):
1 - 5/8" TYPE X DRYWALL ON BOTH SIDES
2 - 2"X4" OR 2"X6" @14" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE
3 - SOUND INSULATION (TO FILL STUD CAVITY) 49 STC

LEGENDS

WARM AIR REGISTERS
WALL FAN VENTED
- 3.2.2.17. Sprinklers in Lieu of Roof Rating (1) The requirements in Articles 3.2.2.20. to 3.2.2.83. for roof assemblies to have a fire-resistance rating are permitted to be waived provided:
(a) Except as provided by Sentence (2), the building is sprinklered

EMERGENCY LIGHTS
RETURN AIR REGISTER (low wall)
A DUCT TYPE SMOKE DETECTOR INSTALLED IN THE SUPPLY AND RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION.

CARBON MONOXIDE DETECTOR
INTERCONNECTED SMOKE DETECTOR AND ALARM WITH STROBE LIGHT

| NO. | TYPE | SIZE (DOOR LEAF) | REMARKS |
|-----|----------|------------------|--|
| D01 | INTERIOR | 30" X 80" | NEW INTERIOR DOOR |
| D03 | EXTERIOR | 32" X 80" | NEW 20 MIN FIRE-RATED DOOR WITH FRAME AND CLOSING DEVICE |
| D04 | INTERIOR | 32" X 80" | NEW 20 MIN FIRE RATED DOOR WITH SELF CLOSING DEVICE |
| ED | | | EXISTING DOOR TO REMAIN |

BASEMENT AREA
655.70 SQ FT
60.91 SQ M

A-02 – PROPOSED BASEMENT

603 Argus Rd, Suit 201
Oakville, ON
itipermits.com
(647) 973-1733

The undersigned has reviewed & taken responsibility for this design and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Required unless design is exempt under 3.2.5. of Div. C, of the building code

| | |
|---------------------------|----------|
| QUALIFICATION INFORMATION | 39587 |
| NAME | BCIN |
| SIGNATURE | #CURDATE |
| DATE | |

Required unless design is exempt under 3.2.5. of Div. C, of the building code

| | |
|--------------------------|------|
| REGISTRATION INFORMATION | |
| FIRM NAME | BCIN |

ADDRESS:
29 LANGSTON DRIVE,
BRAMPTON, ON

PROJECT NAME:
AS BUILT BELOW GRADE SIDE YARD
ENTRANCE AND LEGAL BASEMENT
DEPARTMENT

NOTES:

1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN ALL THIS PERMIT DRAWINGS

2- CONTRACTOR TO REPORT TO THE DESIGNER TO ANY DISCREPANCIES BETWEEN THE EXISTING STRUCTURAL MEMBERS AND INFORMATION STATED IN ANY OF THIS PERMIT DRAWINGS

DWG NAME
PROPOSED BASEMENT PLAN

DWG SCALE
1 : 60

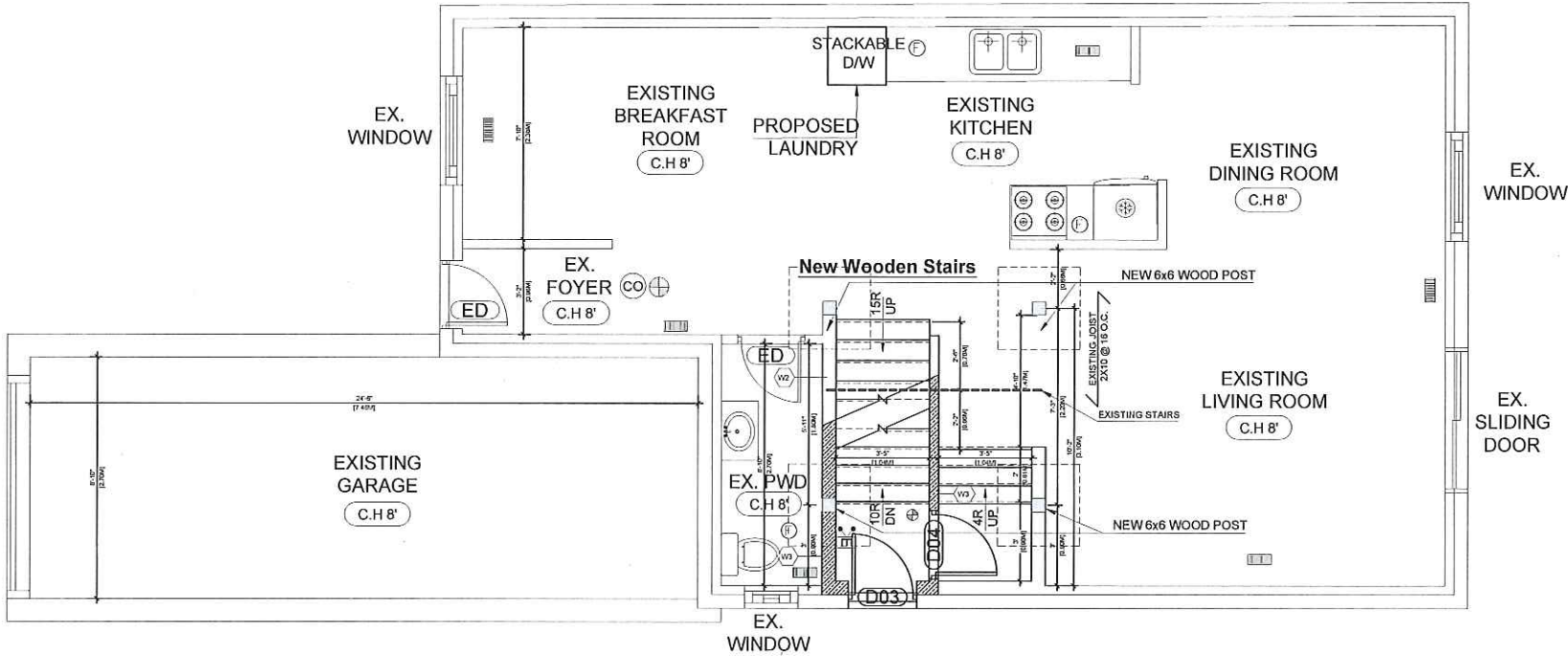
DRAWN BY
VG

CHECKED BY
VG

DATE
2021-11-24

DWG. NO.
A-02

SH. SIZE 11" x 17"



2020/06/06 – REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT
19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE

WALL LEGENDS

C1 EXISTING FULL HEIGHT CEILING TO REMAIN 15 MIN FRR
1-WOOD 2X10" @ 16 O.C.
2 -1/2" REGULAR GYPSUM

C2 SB-3 (ASSEMBLY F9h) FULL HEIGHT CEILING 45 MIN FIRE SEPARATION
1 -WOOD 2X8" @ 16 O.C.
2 -50 STC SOUND INSULATION
3 -RESILIENT CHANNEL @24" O/C
4 -1/2" TYPE 'X' GYPSUM

W1 SB-3 (ASSEMBLY EW1b) EXTERIOR INSULATED WALL (45 MINS):
1 -1/2" GYPSUM BOARD ON ONE SIDE OF 2" X 4" WOODEN STUDS @ 16" O.C. FILLED WITH R20 NON COMBUSTIBLE INSULATION WITH VAPOR BARRIER ON WARM SIDE.
2- TOP PLATE AND BOTTOM PLATE. TAPED, SANDED AND READY TO RECEIVE FINISH, AS PER OWNER'S CHOICE OF COLOR.

W2 SB-3 (ASSEMBLY W1c) INT. PARTITION WALL (30 MIN.)
1- 1/2" REGULAR GYPSUM
2- 2"x4" OR 2"x6" @16" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE
3- 1/2" REGULAR GYPSUM
5- 32 STC

W3 SB-3 (ASSEMBLY W1d) FRR INTERIOR PARTITION WALL (1 HOUR):
1- 5/8" TYPE X DRYWALL ON BOTH SIDES
2 -2"x4" OR 2"x6" @14" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE
3- SOUND INSULATION (TO FILL STUD CAVITY) 49 STC

LEGENDS

- WARM AIR REGISTERS

- WALL FAN VENTED

- 3.2.2.17. Sprinklers in Lieu of Roof Rating (1) The requirements in Articles 3.2.2.20. to 3.2.2.83. for roof assemblies to have a fire-resistance rating are permitted to be waived provided, (a) Except as provided by Sentence (2), the building is sprinklered

- CARBON MONOXIDE DETECTOR

- INTERCONNECTED SMOKE DETECTOR AND ALARM WITH STROBE LIGHT

- EMERGENCY LIGHTS

- RETURN AIR REGISTER (low wall)

- A DUCT TYPE SMOKE DETECTOR INSTALLED IN THE SUPPLY AND RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION.

| DOOR SCHEDULE | | | |
|---------------|----------|------------------|--|
| NO. | TYPE | SIZE (DOOR LEAF) | REMARKS |
| D01 | INTERIOR | 30" X 80" | NEW INTERIOR DOOR |
| D03 | EXTERIOR | 32" X 80" | NEW 20 MIN FIRE-RATED DOOR WITH FRAME AND CLOSING DEVICE |
| D04 | INTERIOR | 32" X 80" | NEW 20 MIN FIRE RATED DOOR WITH SELF CLOSING DEVICE |
| ED | | | EXISTING DOOR TO REMAIN |

MAIN FLOOR AREA
689.66 SQ FT
64.07 SQ M

603 Argus Rd, S#201
Oakville, ON
itipermits.com
(647) 973-1733

The undersigned has reviewed & taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5. of Div.C. of the building code

| | |
|-------------|----------|
| VIVEK GUPTA | 39587 |
| Name | BCIN |
| Signature | #CURDATE |
| Date | |

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.5. of Div. C. of the building code

| | |
|---------------------------|------|
| ITM PERMIT DESIGNERS INC. | |
| Firm Name | BCIN |

ADDRESS:
29 LANGSTON DRIVE,
BRAMPTON, ON

PROJECT NAME:
AS BUILT BELOW GRADE SIDE YARD
ENTRANCE AND LEGAL BASEMENT
DEPARTMENT

NOTES:

1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN ALL THIS PERMIT DRAWINGS

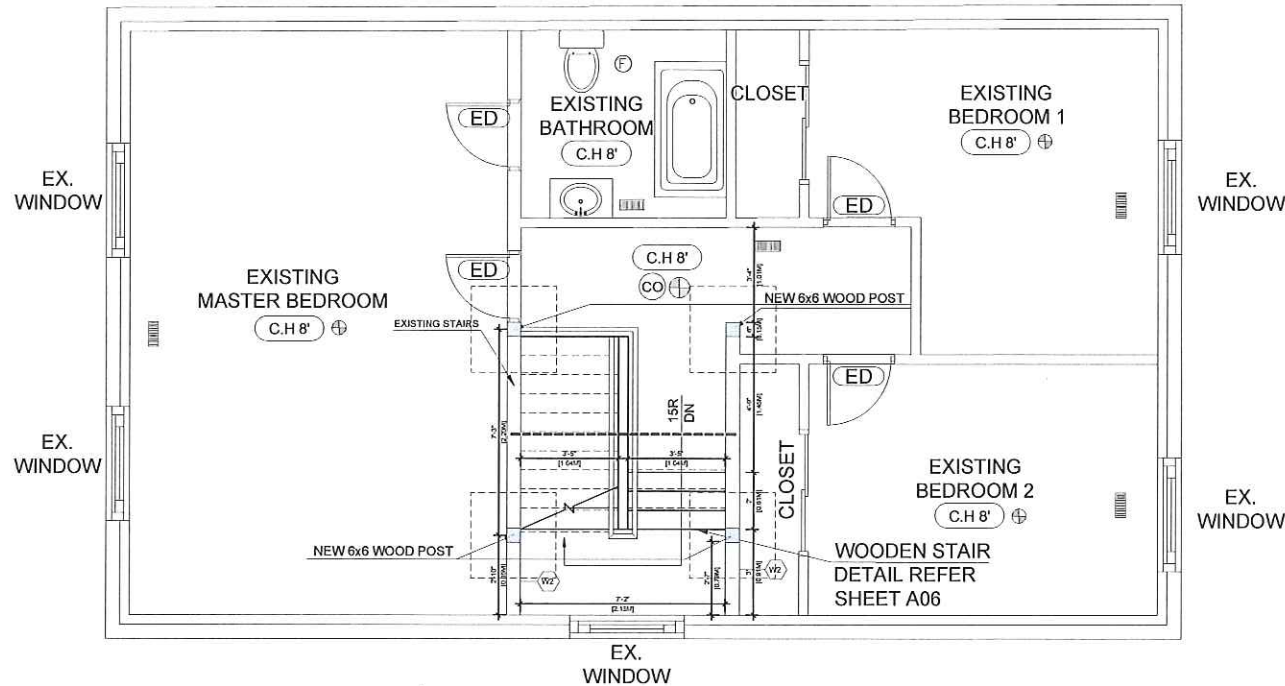
2- CONTRACTOR TO REPORT TO THE DESIGNER TO ANY DISCREPANCIES BETWEEN THE EXISTING STRUCTURAL MEMBERS AND INFORMATION STATED IN ANY OF THIS PERMIT DRAWINGS

DWG NAME
EXISTING MAIN FLOOR PLAN

DWG SCALE
1 : 60

| | |
|-------------------|------------|
| DRAWN BY | VG |
| CHECKED BY | VG |
| DATE | 2021-11-24 |

DWG. NO.
A-03
SH. SIZE 11" x 17"



2020/06/06 – REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT
19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE

WALL LEGENDS

C1

EXISTING FULL HEIGHT CEILING TO REMAIN
15 MIN FRR

1 - WOOD 2X10" @ 16 O.C.
2 - 1/2" REGULAR GYPSUM

C2

SB-3 (ASSEMBLY F9h)
FULL HEIGHT CEILING
45 MIN FIRE SEPARATION

1 - WOOD 2X8" @ 16 O.C.
2 - 50 STC SOUND INSULATION
3 - RESILIENT CHANNEL @ 24" O/C
4 - 1/2" TYPE 'X' GYPSUM

W1

SB-3 (ASSEMBLY EW1b)
EXTERIOR INSULATED WALL (45 MINS):

1 - 1/2" GYPSUM BOARD ON ONE SIDE OF 2" X 4" WOODEN STUDS @ 16" O.C. FILLED WITH R20 NON COMBUSTIBLE INSULATION WITH VAPOR BARRIER ON WARM SIDE.
2 - TOP PLATE AND BOTTOM PLATE. TAPED, SANDED AND READY TO RECEIVE FINISH, AS PER OWNER'S CHOICE OF COLOR.

W2

SB-3 (ASSEMBLY W1c)
INT. PARTITION WALL (30 MIN.)

1 - 1/2" REGULAR GYPSUM
2 - 2"X4" OR 2"X6" @ 16" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE
3 - 1/2" REGULAR GYPSUM
5 - 32 STC

W3

SB-3 (ASSEMBLY W1d)
FRR INTERIOR PARTITION WALL (1 HOUR):

1 - 5/8" TYPE X DRYWALL ON BOTH SIDES
2 - 2"X4" OR 2"X6" @ 14" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE
3 - SOUND INSULATION (TO FILL STUD CAVITY) 49 STC

LEGENDS

- WARM AIR REGISTERS

- WALL FAN VENTED

- 3.2.2.17. Sprinklers in Lieu of Roof Rating (1) The requirements in Articles 3.2.2.20. to 3.2.2.83, for roof assemblies to have a fire-resistance rating are permitted to be waived provided, (a) Except as provided by Sentence (2), the building is sprinklered

- CARBON MONOXIDE DETECTOR

- INTERCONNECTED SMOKE DETECTOR AND ALARM WITH STROBE LIGHT

- EMERGENCY LIGHTS

- RETURN AIR REGISTER (low wall)

- A DUCT TYPE SMOKE DETECTOR INSTALLED IN THE SUPPLY AND RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION.

| DOOR SCHEDULE | | | |
|---------------|----------|------------------|--|
| NO. | TYPE | SIZE (DOOR LEAF) | REMARKS |
| D01 | INTERIOR | 30" X 80" | NEW INTERIOR DOOR |
| D03 | EXTERIOR | 32" X 80" | NEW 20 MIN FIRE-RATED DOOR WITH FRAME AND CLOSING DEVICE |
| D04 | INTERIOR | 32" X 80" | NEW 20 MIN FIRE RATED DOOR WITH SELF CLOSING DEVICE |
| ED | | | EXISTING DOOR TO REMAIN |

SECOND FLOOR AREA
776.79 SQ FT
72.16 SQ M

603 Argus Rd, Suite 201
Oakville, ON
itipermits.com
(647) 973-1733

This undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5 of Div. C, of the building code

| | | |
|-----------|-------------|-------|
| NAME | VIVEK GUPTA | 39587 |
| BCIN | BCIN | |
| SIGNATURE | | DATE |

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.5 of Div. C, of the building code

| | | |
|-----------|---------------------------|------|
| FIRM NAME | ITI PERMIT DESIGNERS INC. | BCIN |
|-----------|---------------------------|------|

ADDRESS:
29 LANGSTON DRIVE,
BRAMPTON, ON

PROJECT NAME:
AS BUILT BELOW GRADE SIDE YARD
ENTRANCE AND LEGAL BASEMENT
DEPARTMENT

NOTES:

1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN ALL THIS PERMIT DRAWINGS

2- CONTRACTOR TO REPORT TO THE DESIGNER TO ANY DISCREPANCIES BETWEEN THE EXISTING STRUCTURAL MEMBERS AND INFORMATION STATED IN ANY OF THIS PERMIT DRAWINGS

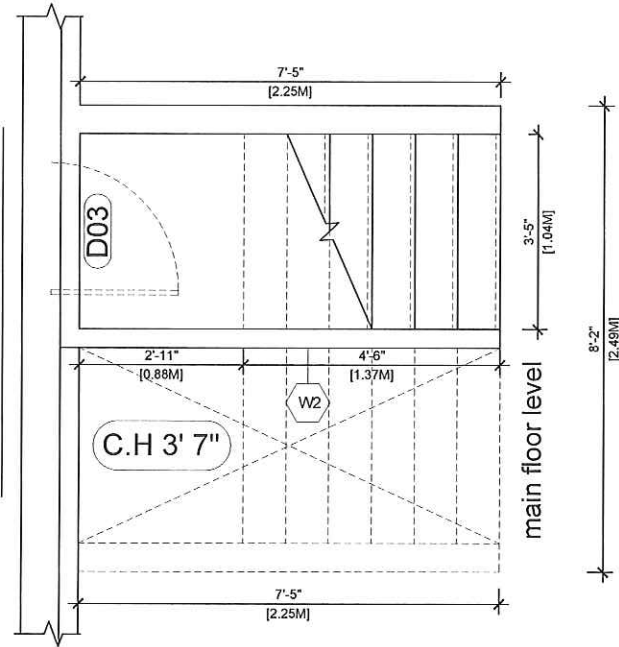
DWG NAME
EXISTING SECOND FLOOR

DWG SCALE
1 : 60

| | |
|------------|------------|
| DRAWN BY | VG |
| CHECKED BY | VG |
| DATE | 2021-11-24 |

DWG. NO.
A-04
SH. SIZE 11" x 17"

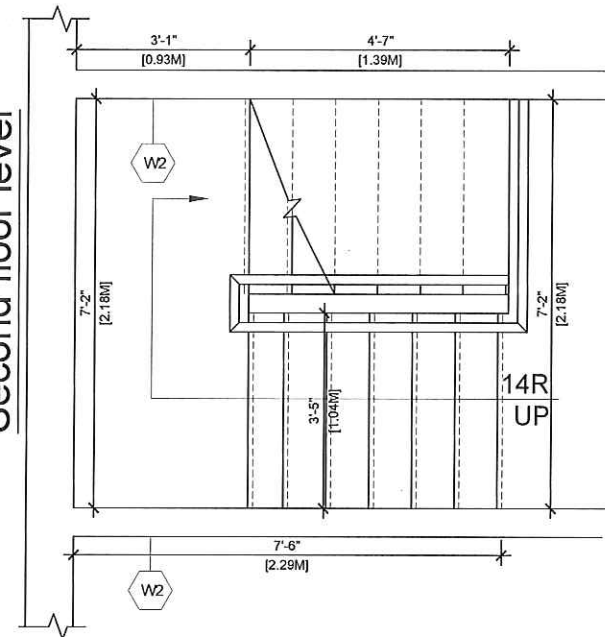
Basement floor level



EXISTING BASEMENT STAIR PLAN

1:30

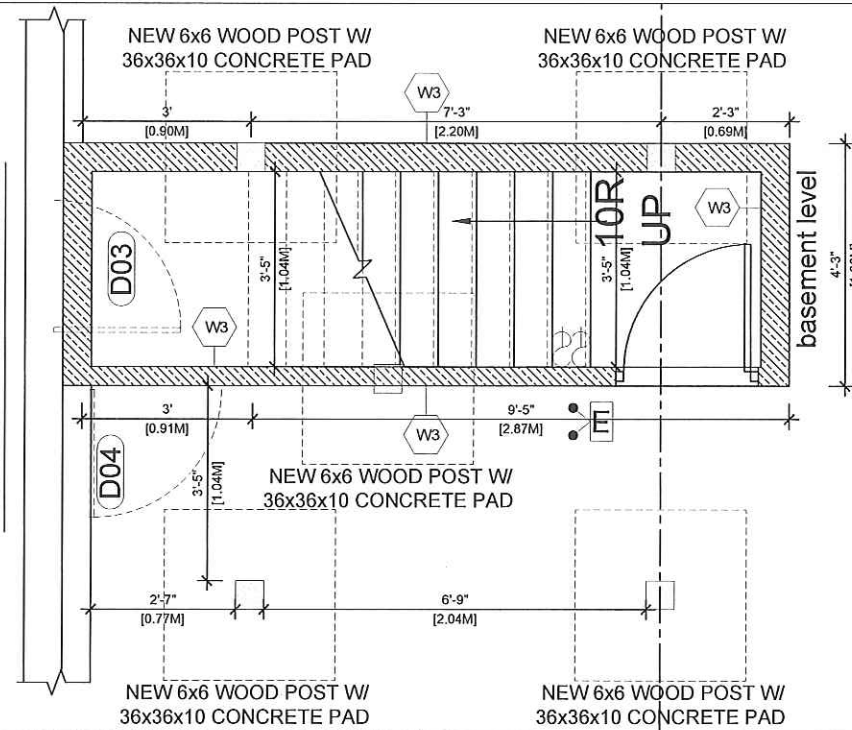
Second floor level



EXISTING SECOND FLOOR STAIR PLAN

1:30

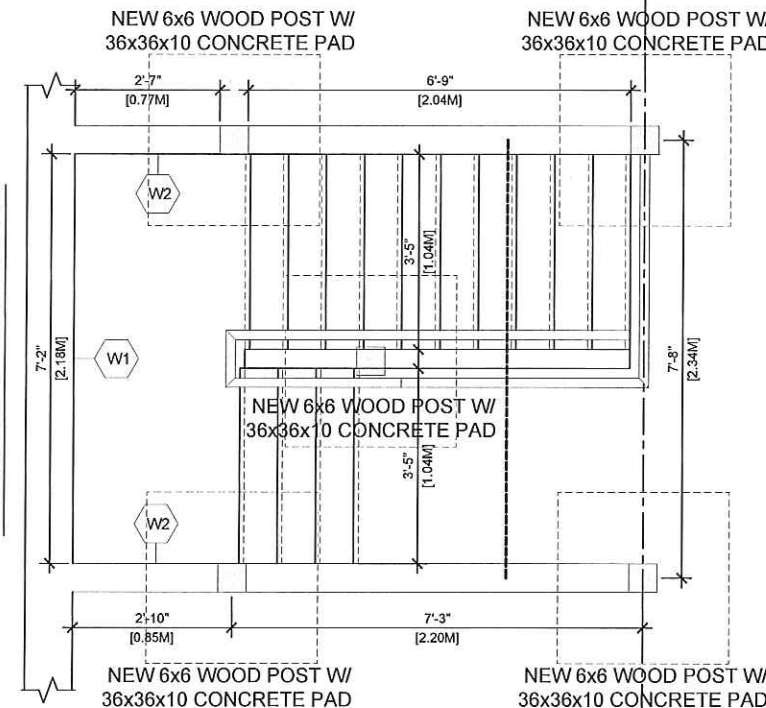
Basement floor level



PROPOSED BASEMENT STAIR PLAN

1:30

Second Floor Level



PROPOSED SECOND FLOOR STAIR PLAN

1:30

603 Argus Rd, Unit 201
Oakville, ON
itipermits.com
(647) 973-1733

The undersigned has reviewed & taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5 of Div. C, of the building code

| | | |
|-----------|---------------------------|-------|
| NAME | VIVEK GUPTA | 39587 |
| BCIN | BCIN | |
| SIGNATURE | <i>[Signature]</i> | Date |
| Firm Name | ITI PERMIT DESIGNERS INC. | BCIN |

Registration Information
Required unless design is exempt under 3.2.5 of Div. C, of the building code

ADDRESS:
29 LANGSTON DRIVE,
BRAMPTON, ON

PROJECT NAME:
AS BUILT BELOW GRADE SIDE YARD
ENTRANCE AND LEGAL BASEMENT
DEPARTMENT

NOTES:

1- CONTRACTOR TO CONFIRM ON
SITE PRIOR TO COMMENCEMENT
THAT ALL
THE EXISTING STRUCTURAL
MEMBERS MATCH THE
INFORMATION STATED IN
ALL THIS PERMIT DRAWINGS

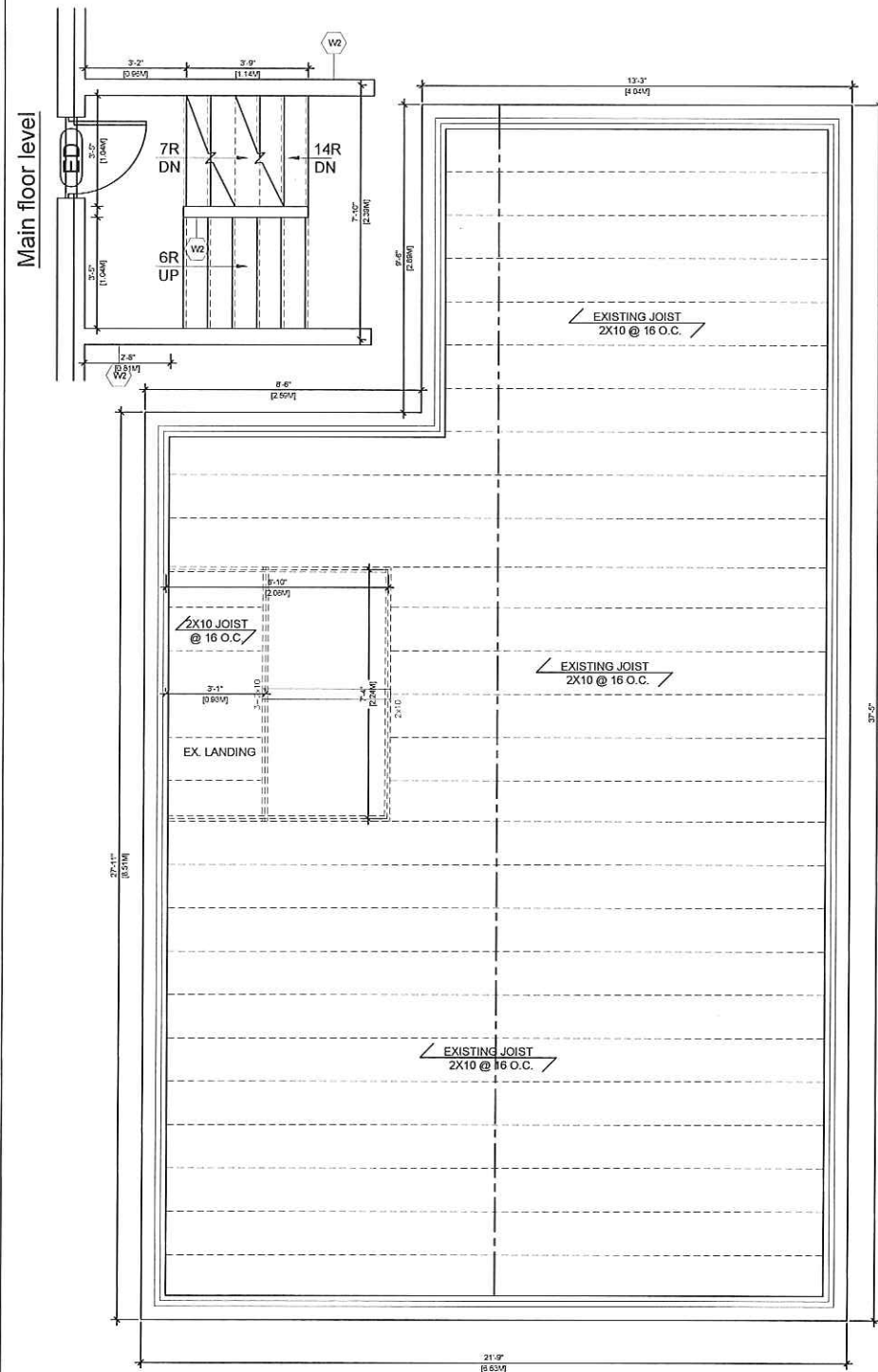
2- CONTRACTOR TO REPORT TO THE
DESIGNER TO ANY DISCREPANCIES
BETWEEN THE EXISTING
STRUCTURAL MEMBERS AND
INFORMATION STATED IN ANY OF
THIS PERMIT DRAWINGS

DWG NAME BASEMENT &
2ND FLOOR STAIR PLAN

DWG SCALE 1:30

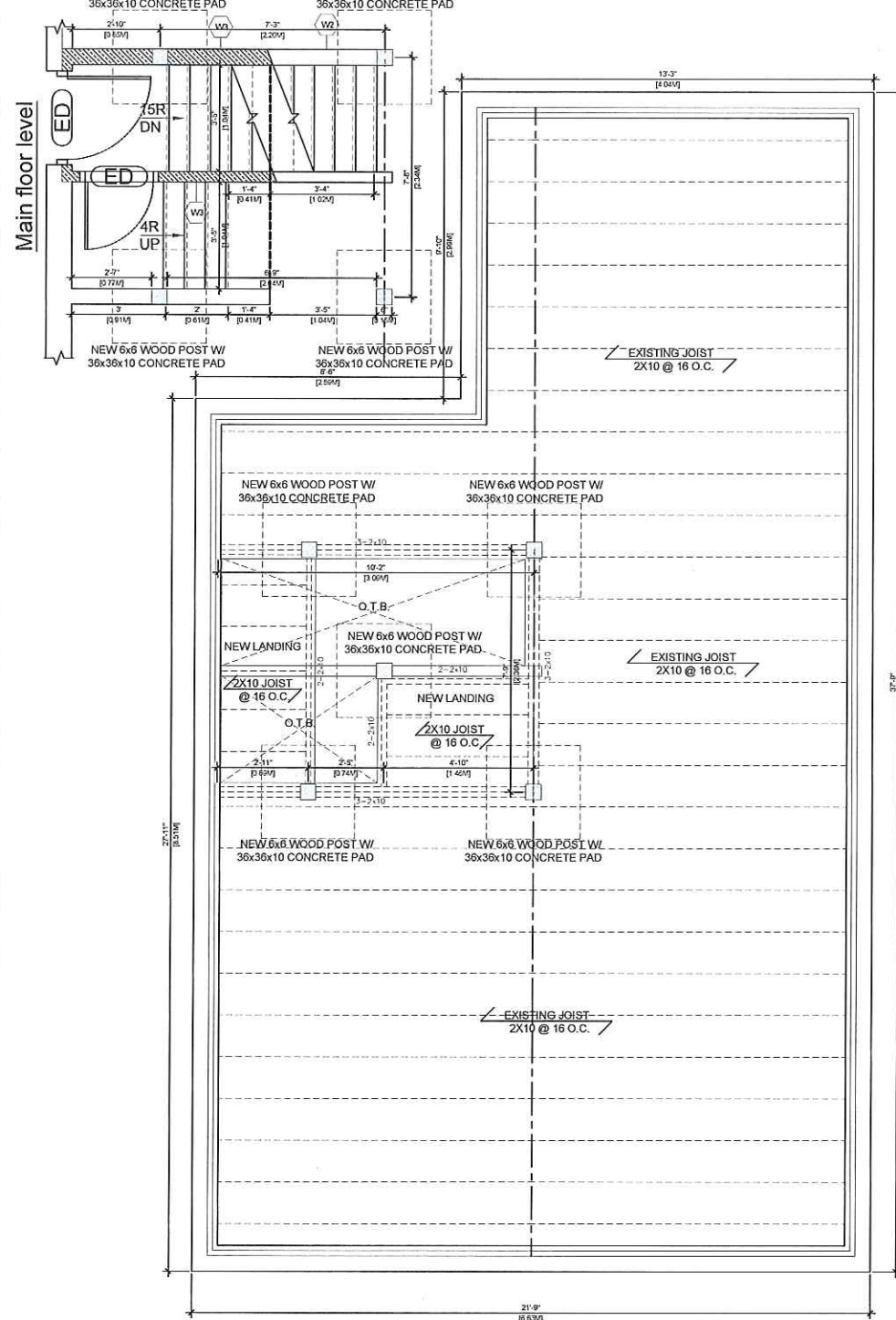
| | |
|------------|------------|
| DRAWN BY | FB |
| CHECKED BY | VG |
| DATE | 2021-11-24 |

| | |
|----------|-----------|
| DWG. NO. | A-05 |
| SH. SIZE | 11" x 17" |



EXISTING MAIN FLOOR FRAMING AND STAIR PLAN

1:50



PROPOSED MAIN FLOOR FRAMING AND STAIR PLAN

1:50

603 Argus Rd, Suite 201
Oakville, ON
itipermits.com
(647) 973-1733

The undersigned has reviewed & taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5 of Div. C, of the building code

| | |
|-------------|----------|
| VIVEK GUPTA | 39587 |
| Name | BCIN |
| Signature | #CURDATE |
| Date | |

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.2 of Div. C, of the building code

| | |
|---------------------------|------|
| ITI PERMIT DESIGNERS INC. | |
| Firm Name | BCIN |

ADDRESS:
29 LANGSTON DRIVE,
BRAMPTON, ON

PROJECT NAME:
AS BUILT BELOW GRADE SIDE YARD
ENTRANCE AND LEGAL BASEMENT
DEPARTMENT

NOTES:

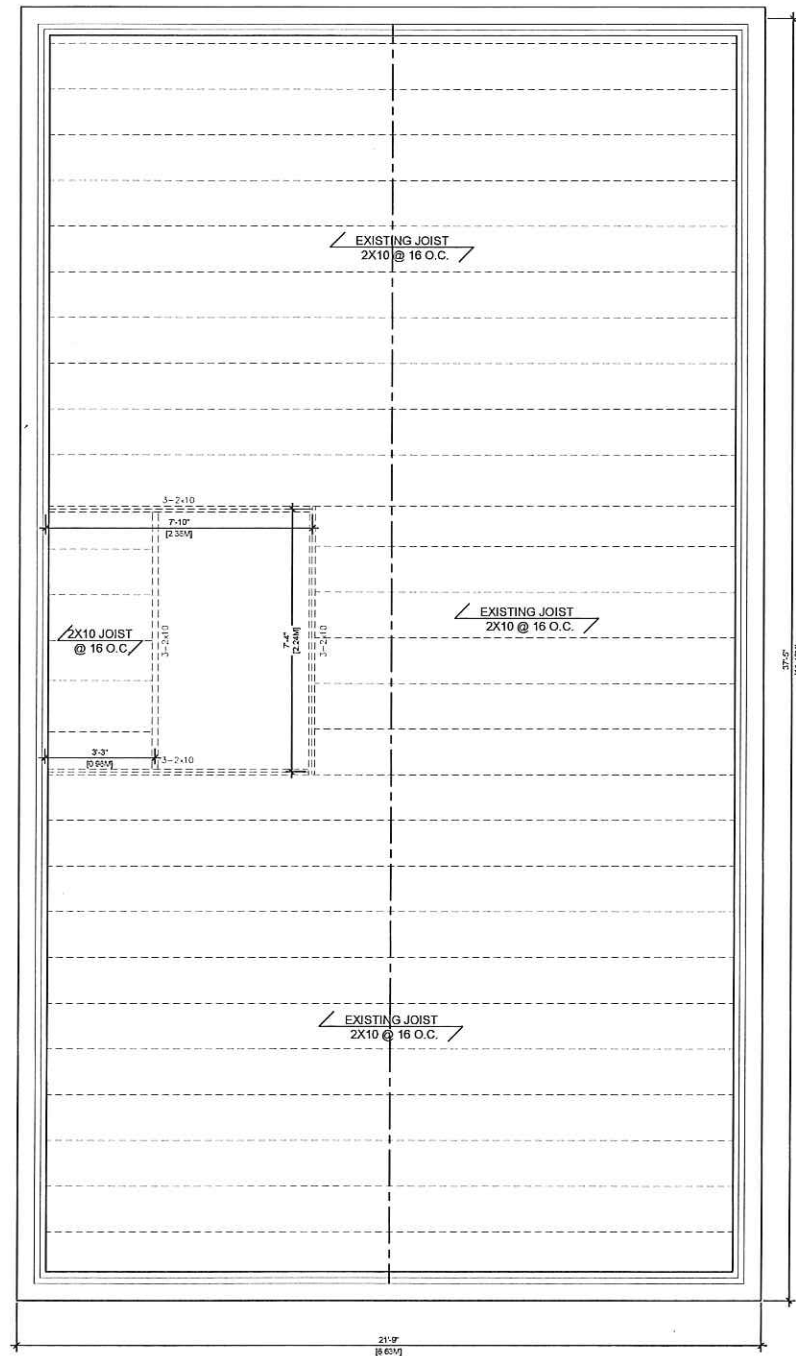
- 1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN ALL THIS PERMIT DRAWINGS
- 2- CONTRACTOR TO REPORT TO THE DESIGNER TO ANY DISCREPANCIES BETWEEN THE EXISTING STRUCTURAL MEMBERS AND INFORMATION STATED IN ANY OF THIS PERMIT DRAWINGS

DWG NAME MAIN FLOOR
FRAMING & STAIR PLAN

DWG SCALE 1:50

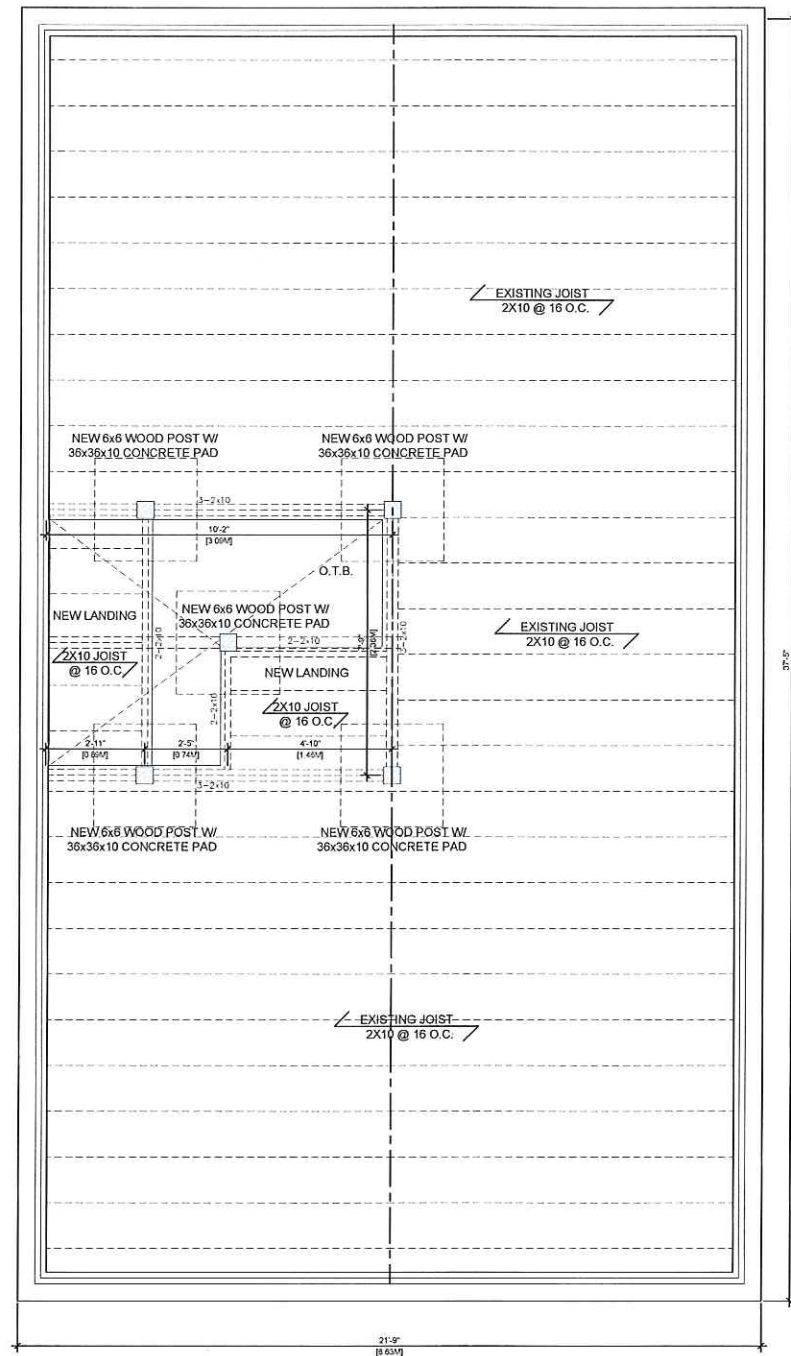
| | |
|------------|------------|
| DRAWN BY | FB |
| CHECKED BY | VG |
| DATE | 2021-11-24 |

| | |
|----------|-----------|
| DWG. NO. | A-06 |
| SH. SIZE | 11" x 17" |



EXISTING SECOND FLOOR FRAMING PLAN

1:50



PROPOSED SECOND FLOOR FRAMING PLAN

1:50

603 Argus Rd, S#1 201
Oakville, ON
itipermits.com
(647) 973-1733

The undersigned has reviewed & taken responsibility for this design, and has the Qualification and meets the requirements set out in the Ontario Building Code to be a designer.

Required unless design is exempt under 3.2.5 of Div. C, of the building code

QUALIFICATION INFORMATION
Name: WVEK GUPTA
BCIN: 39587
Signature: [Signature]
Date: #CURDATE

Required unless design is exempt under 3.2.5 of Div. C, of the building code
REGISTRATION INFORMATION
Firm Name: ITI PERMIT DESIGNERS INC.
BCIN: -

ADDRESS:
29 LANGSTON DRIVE,
BRAMPTON, ON

PROJECT NAME:
AS BUILT BELOW GRADE SIDE YARD
ENTRANCE AND LEGAL BASEMENT
DEPARTMENT

NOTES:
1- CONTRACTOR TO CONFIRM ON
SITE PRIOR TO COMMENCEMENT
THAT ALL
THE EXISTING STRUCTURAL
MEMBERS MATCH THE
INFORMATION STATED IN
ALL THIS PERMIT DRAWINGS

2- CONTRACTOR TO REPORT TO THE
DESIGNER TO ANY DISCREPANCIES
BETWEEN THE EXISTING
STRUCTURAL MEMBERS AND
INFORMATION STATED IN ANY OF
THIS PERMIT DRAWINGS

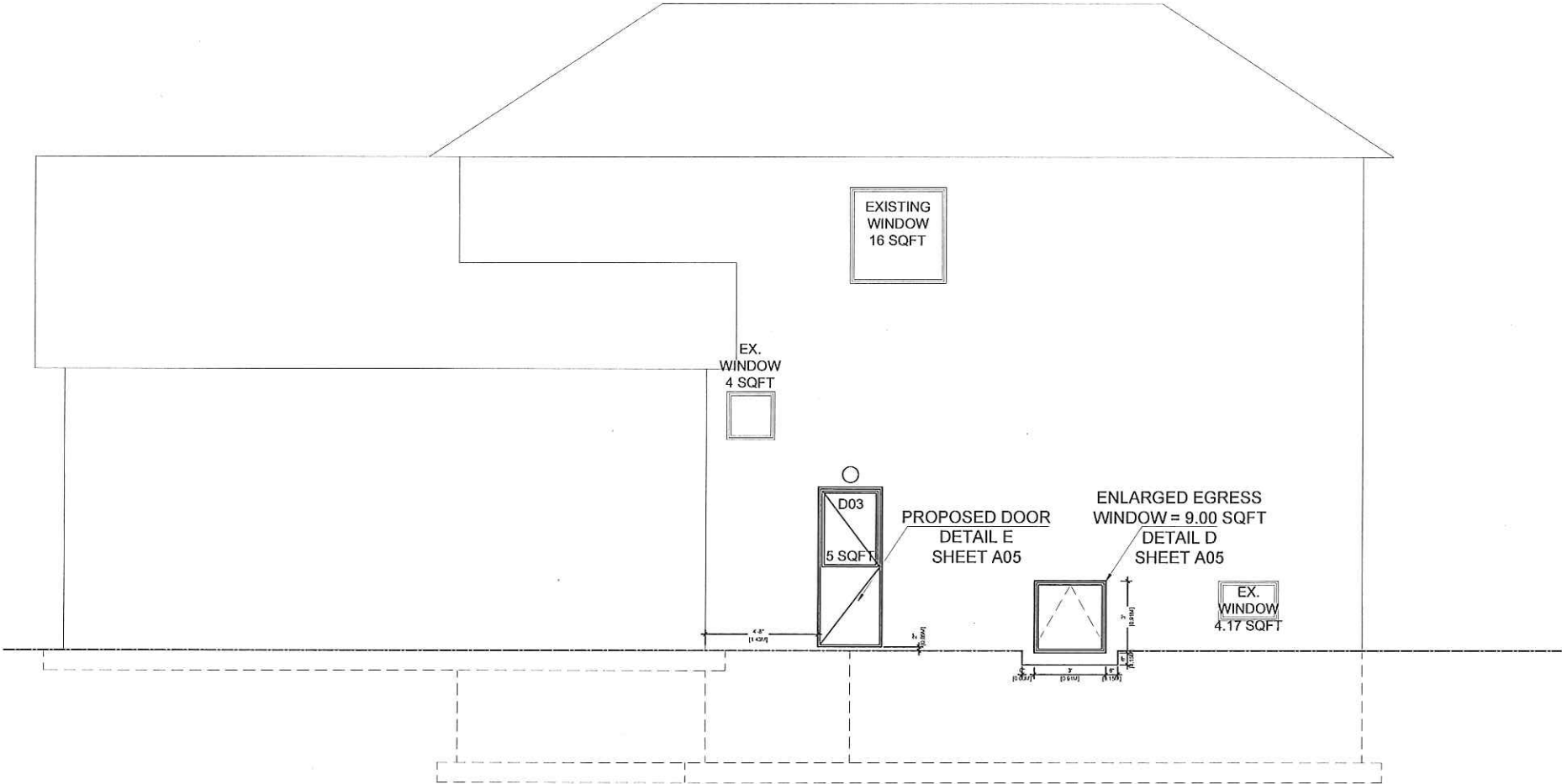
DWG NAME SECOND FLOOR
FRAMING PLAN

DWG SCALE 1:50

DRAWN BY FB
CHECKED BY VG
DATE 2021-11-24

DWG. NO.
A-07
SH. SIZE 11" x 17"

2020/06/06 — REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT
19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE



SOUTH ELEVATION GLAZED OPENING CALCULATION:
SETBACK: 4' 10" - 1.48 M
WALL AREA 604.35 SQFT
WINDOW OPENING ALLOW:
7% OF THE WALL AREA = 42.30 SQFT
PROPOSED WINDOWS AREA = 33.17 SQFT

RIGHT ELEVATION —
SOUTH

1:60

603 Argus Rd, Suit 201
Oakville, ON
itipermits.com
(647) 973-1733

The undersigned has reviewed & taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5 of Div. C, of the building code

| | |
|-------------|----------|
| VIVEK GUPTA | 39587 |
| Name | BCIN |
| Signature | #CURDATE |
| Date | |

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.5 of Div. C, of the building code

| | |
|---------------------------|------|
| ITI PERMIT DESIGNERS INC. | |
| Firm Name | BCIN |

ADDRESS:

29 LANGSTON DRIVE,
BRAMPTON, ON

PROJECT NAME:

AS BUILT BELOW GRADE SIDE YARD
ENTRANCE AND LEGAL BASEMENT
DEPARTMENT

NOTES:

1- CONTRACTOR TO CONFIRM ON
SITE PRIOR TO COMMENCEMENT
THAT ALL
THE EXISTING STRUCTURAL
MEMBERS MATCH THE
INFORMATION STATED IN
ALL THIS PERMIT DRAWINGS

2- CONTRACTOR TO REPORT TO THE
DESIGNER TO ANY DISCREPANCIES
BETWEEN THE EXISTING
STRUCTURAL MEMBERS AND
INFORMATION STATED IN ANY OF
THIS PERMIT DRAWINGS

DWG NAME

ELEVATION

DWG SCALE

1:60

DRAWN BY

VG

CHECKED BY

VG

DATE

2021-07-13

DWG. NO.

A-08

SH. SIZE 11" x 17"

The undersigned has reviewed & taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

| QUALIFICATION INFORMATION | |
|--|----------|
| Required unless design is exempt under 3.2.5 of Div. C, of the building code | |
| VIVEK GUPTA | 39587 |
| Name | BCIN |
| Signature | #CURDATE |
| Date | |
| REGISTRATION INFORMATION | |
| Required unless design is exempt under 3.2.5 of Div. C, of the building code | |
| ITI PERMIT DESIGNERS INC. | |
| Firm Name | BCIN |

ADDRESS:
29 LANGSTON DRIVE,
BRAMPTON, ON

PROJECT NAME:
AS BUILT BELOW GRADE SIDE YARD
ENTRANCE AND LEGAL BASEMENT
DEPARTMENT

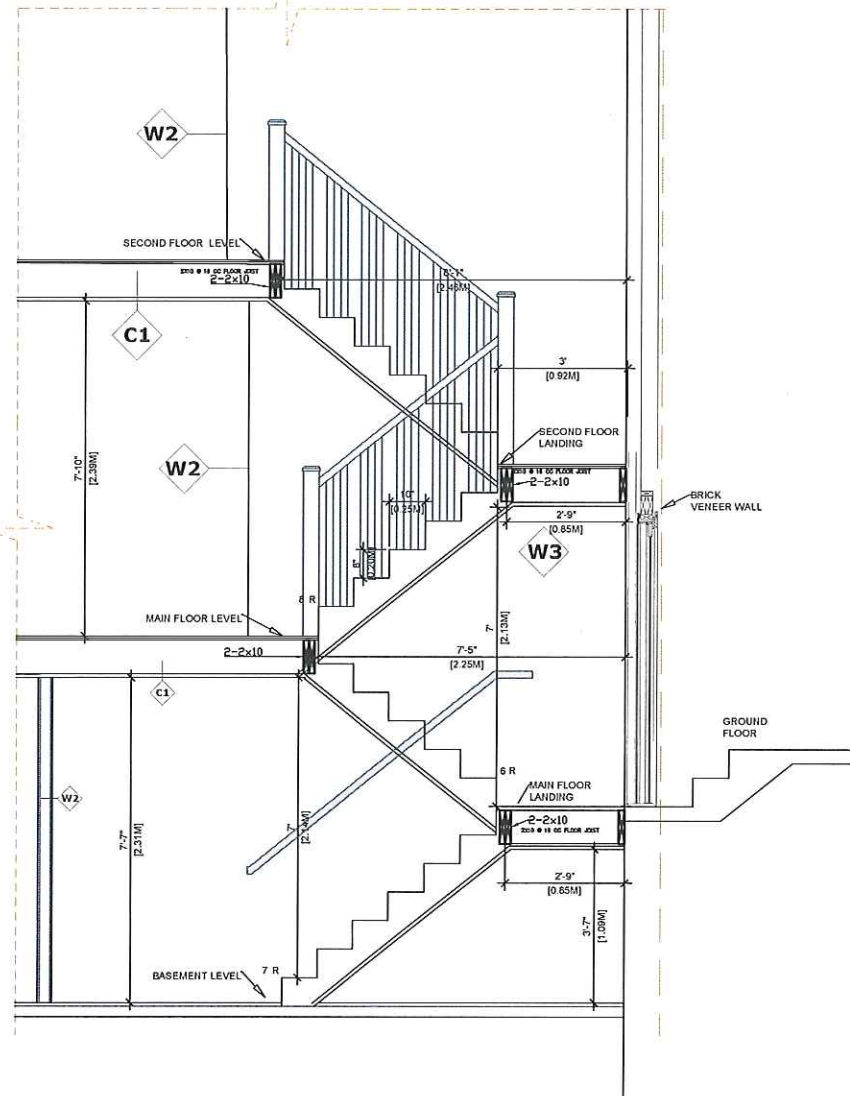
- NOTES:
- 1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN ALL THIS PERMIT DRAWINGS
 - 2- CONTRACTOR TO REPORT TO THE DESIGNER TO ANY DISCREPANCIES BETWEEN THE EXISTING STRUCTURAL MEMBERS AND INFORMATION STATED IN ANY OF THIS PERMIT DRAWINGS

DWG NAME
SECTIONS

DWG SCALE
1: 40

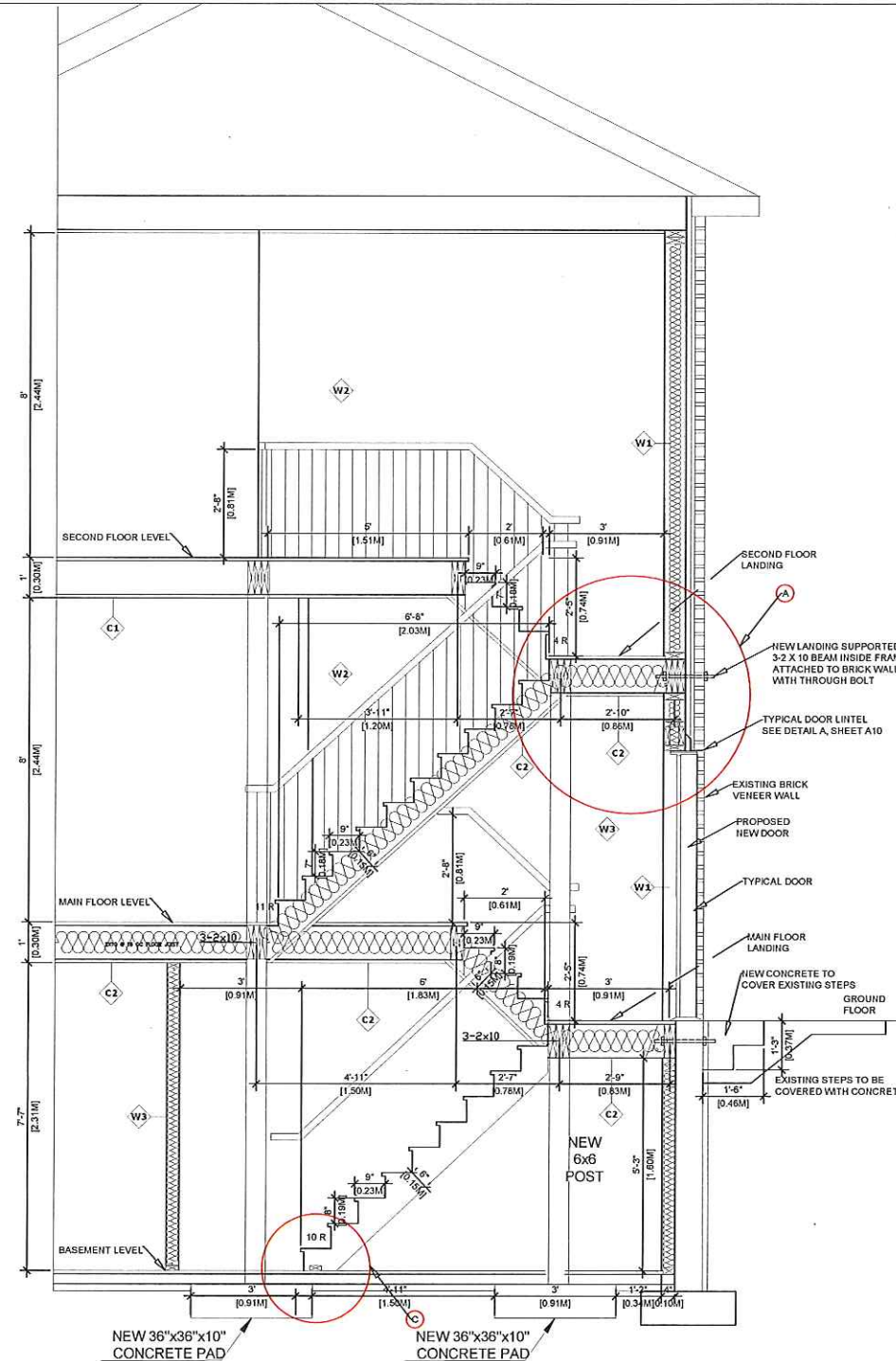
| | |
|------------|------------|
| DRAWN BY | FB |
| CHECKED BY | VG |
| DATE | 2021-11-24 |

| |
|--------------------|
| DWG. NO. |
| A-09 |
| SH. SIZE 11" x 17" |



EXISTING STAIR SECTION

1: 40

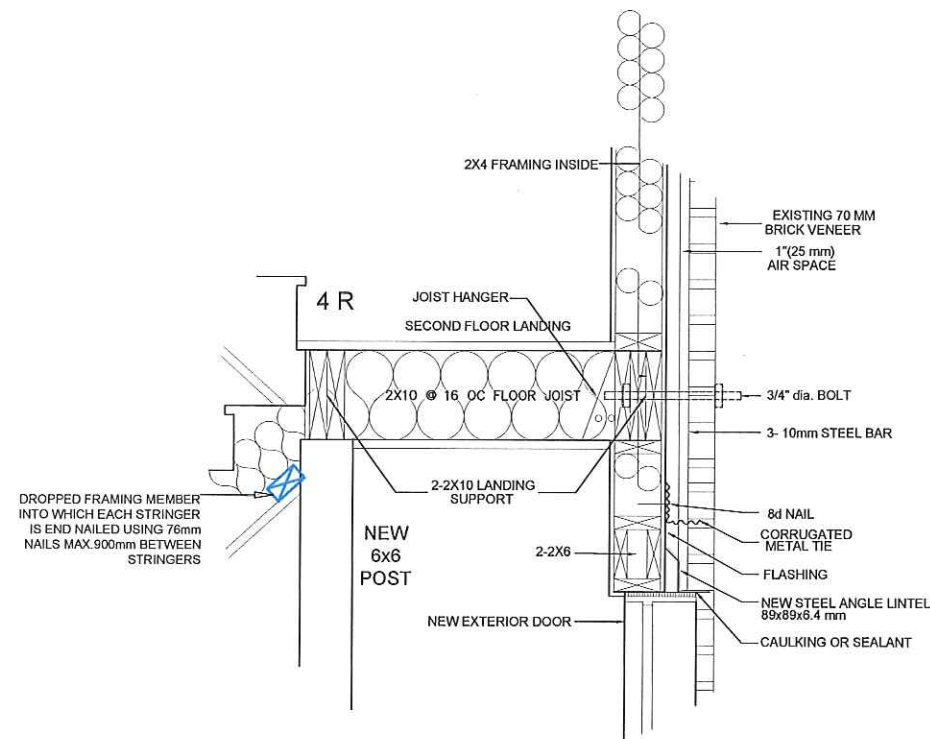


PORPOSED STAIR SECTION

1: 40

2020/06/06 – REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY
IN ADDITION TO THE APPROVED BUILDING PERMIT

19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN
STAIRS AND NEW SIDE ENTRANCE



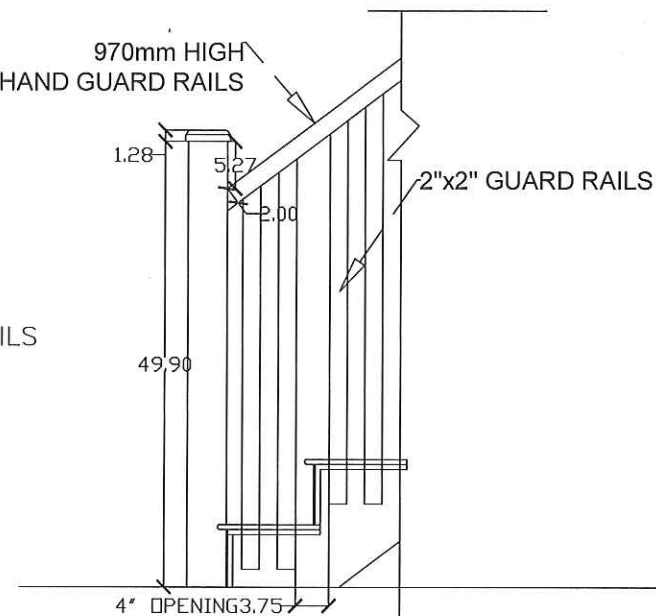
A

STAIR WOOD LANDING CONNECTION AND NEW DOOR LINTEL DETAIL

1:16

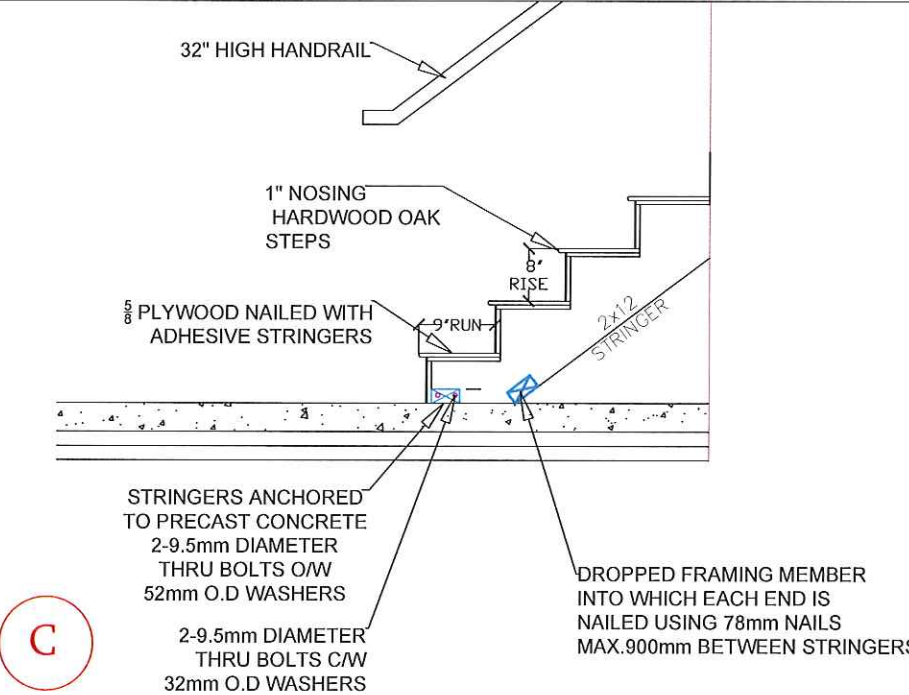
SECOND FLOOR
GUARD RAIL DETAILS

B



SECOND FLOOR GUARD DETAIL

N.T.S



C

STAIR CONCRETE CONNECTION

1:20

603 Argus Rd, Suit 201
Oakville, ON
itipermits.com
(647) 973-1733

The undersigned has reviewed & taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5 of Div. C, of the building code

| | |
|-------------|----------|
| VIVEK GUPTA | 39587 |
| Name | BCIN |
| Signature | #CURDATE |
| Date | |

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.5 of Div. C, of the building code

| | |
|---------------------------|------|
| ITI PERMIT DESIGNERS INC. | |
| Firm Name | BCIN |

ADDRESS:
29 LANGSTON DRIVE,
BRAMPTON, ON

PROJECT NAME:
AS BUILT BELOW GRADE SIDE YARD
ENTRANCE AND LEGAL BASEMENT
DEPARTMENT

NOTES:

1- CONTRACTOR TO CONFIRM ON
SITE PRIOR TO COMMENCEMENT
THAT ALL
THE EXISTING STRUCTURAL
MEMBERS MATCH THE
INFORMATION STATED IN
ALL THIS PERMIT DRAWINGS

2- CONTRACTOR TO REPORT TO THE
DESIGNER TO ANY DISCREPANCIES
BETWEEN THE EXISTING
STRUCTURAL MEMBERS AND
INFORMATION STATED IN ANY OF
THIS PERMIT DRAWINGS

DWG NAME
DETAILS

DWG SCALE
AS NOTED

| | |
|------------|------------|
| DRAWN BY | FB |
| CHECKED BY | VG |
| DATE | 2021-07-07 |

| |
|--------------------|
| DWG. NO. |
| A-10 |
| SH. SIZE 11" x 17" |

A-2022-0189

a

b

c

d

e

H3

