

## **Public Notice**

## Committee of Adjustment

APPLICATION # A-2021-0189 WARD #9

## **DEFERRED APPLICATION FOR MINOR VARIANCE**

WHEREAS an **amended** application for minor variance has been made by **PIRATHEEBAN RANENDRARAJAH** under Section 45 of the <u>Planning Act</u>, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lots 180 and 181, Plan M-303, Parts 32 and 64, Plan 43R-10219 municipally known as **29 LANGSTON DRIVE**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

- 1. To permit an existing below grade entrance in a required interior side yard whereas the by-law does not permit a below grade entrance in a required interior side yard;
- 2. To permit a 0.90m (2.95 ft.) side yard setback to an existing below grade entrance whereas the by-law requires a minimum side yard setback of 1.2m (3.94 ft.).

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision:	NO	File Number:	
Application for Consent:	NO	File Number:	

The Committee of Adjustment has appointed TUESDAY, August 23, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS. If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

## PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

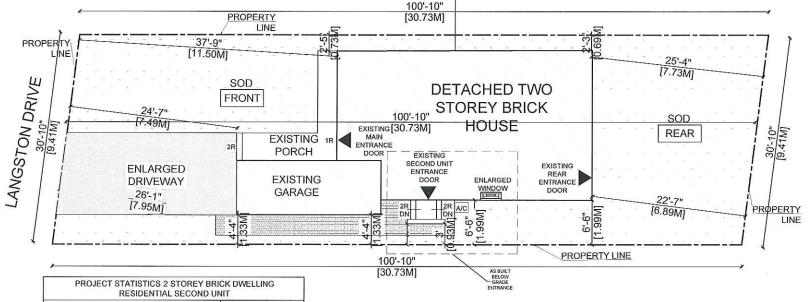
DATED at Brampton Ontario, this 11th Day of August, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer Committee of Adjustment, City Clerk's Office, Brampton City Hall, 2 Wellington Street West, Brampton, Ontario L6Y 4R2

Phone: (905)874-2117 Fax: (905)874-2119 jeanie.myers@brampton.ca

# 2020/06/06 - REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT 19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE



LEGAL LAND ZONING: R2A(2) LOT NUMBER ADDRESS: 29 LANGSTON DRIVE, BRAMPTON 286.87 SQM LOT FRONTAGE LOT AREA: LOT COVERAGE: PROPOSED EXISTING TOTAL **DWELLING FOOTPRINT** 87.77 SQM 0.00 SQM INCLUDING GARAGE: PORCH: 8.64 SQM 0.00 SQM DECK: 0.00 SQM 0.00 SQM ACCESSORY 3.83 SQM 0.00 SQM STRUCTURES: LAND LEGAL DESCRIPTION AND DIMENSIONS **EXISTING** PROPOSED REMARKS DEPTH 30.73M 0.00M FRONT 7.49M 0.00M YARD SETBACK REAR 6.89M 0.00M YARD SETBACK RIGHT SIDE 1.33M 0.41M YARD SETBACK LEFT SIDE 0.69M 0.00M YARD SETBACK

603 Argus Rd, Suit 201 Oakville, ON itipermit.com (647) 973-1733

The undersigned has referred & taken responsibility for this design, and has the controlled must be frequented as each of it the controlled building Code to be a designer.

Required unless design it seempt under 3.2.5 of Dir. C, of the building code VVEX CUPTA 39587 Name BCIN HOLD ATE Signature BCIN HOLD ATE Signature Date

Required unless designs are seempt under 3.2.5 of Dir. C, of the building code MCURDATE Signature Date

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## ADDRESS:

29 LANGSTON DRIVE, BRAMPTON, ON

## PROJECT NAME:

AS BUILT BELOW GRADE SIDE YARD ENTRANCE AND LEGAL BASEMENT DEPARTMENT

## NOTES:

1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN ALL THIS PERMIT DRAWINGS

2- CONTRACTOR TO REPORT TO THE DESIGNER TO ANY DISCREPANCIES BETWEEN THE EXISTING STRUCTURAL MEMBERS AND INFORMATION STATED IN ANY OF THIS PERMIT DRAWINGS

## DWG NAME

SITE PLAN

DWG SCALE

1:125

DRAWN BY	VG
CHECKED BY	VG
DATE	2020-06-06



DWG. NO.

A-01



Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both inperson and electronically).

## Electronic/Hybrid Hearing Procedures How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **August 23, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

## How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than 4:30 pm, Thursday, August 18, 2022.

- Advance registration for applicants, agents and other interested persons is required by one or two options:
  - 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at <a href="mailto:cityclerksoffice@brampton.ca">cityclerksoffice@brampton.ca</a> or <a href="mailto:jeanie.myers@brampton.ca">jeanie.myers@brampton.ca</a> by 4:30 pm Thursday, August 18, 2022.
  - 2. To participate in-person, please email the Secretary–Treasurer at <a href="mailto:cityclerksoffice@brampton.ca">cityclerksoffice@brampton.ca</a> or <a href="mailto:jeanie.myers@brampton.ca">jeanie.myers@brampton.ca</a> by 4:30 pm Thursday, August 18, 2022.
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or inperson. You can register by calling 905-874-2117 and leave a message with your name, phone number and
  the application you wish to speak to by Thursday, August 18, 2022. City staff will contact you and provide
  you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

 All Hearings will be livestreamed on the City of Brampton YouTube account at: https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx or http://video.isilive.ca/brampton/live.html.

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to <a href="mailto:cityclerksoffice@brampton.ca">cityclerksoffice@brampton.ca</a> or <a href="mailto:jeanie.myers@brampton.ca">jeanie.myers@brampton.ca</a>. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act* (*MFIPPA*), collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

The City of Brampton is reviewing its Committee of Adjustment process. As a participant in this process, if you have comments or input you would like to share about your experience with the Committee of Adjustment, please email <a href="mailto:cityclerksoffice@brampton.ca">cityclerksoffice@brampton.ca</a> to indicate your interest and you will be contacted with more information.

## **AMENDMENT LETTER**

August 5, 2022

To: Committee of Adjustment

RE: APPLICATION FOR MINOR VARIANCE

PIRATHEEBAN RANEDRAARAJAH

PART OF LOTS 180 AND 181, PLAN M-303

PARTS 32 AND 64, PLAN 43R-10219 A-2022-0189 – 29 LANGSTON DRIVE

Please amend application A-2022-0189 to reflect the following:

- To permit an existing below grade entrance in a required interior side yard whereas the by-law does not permit a below grade entrance in a required interior side yard;
- 2. To permit a 0.90m (2.95 ft.) side yard setback to an existing below grade entrance whereas the by-law requires a minimum side yard setback of 1.2m (3.94 ft.).

Vivek Gupta
Applicant/Authorized Agent

# AS BUILT BELOW GRADE SIDE YARD ENTRANCE AND LEGAL BASEMENT DEPARTMENT

29 LANGSTON DRIVE, BRAMPTON

## DRAWING LIST

A00 - COVER PAGE

A01 - SITE PLAN

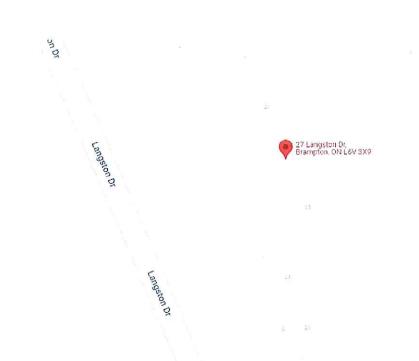
A02 - BASEMENT PLAN

A03 - MAIN FLOOR PLAN

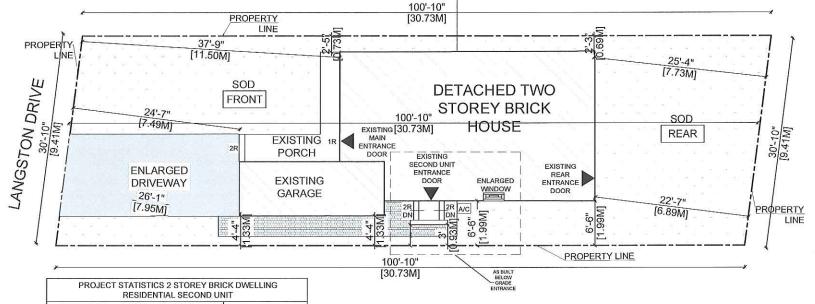
A04 - SECOND FLOOR PLAN

A05 - ELEVATION

A06 - DETAILS



# 2020/06/06 - REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT 19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE



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Oakville, ON itipermit.com (647) 973-1733

The underlighed has reviewed & laten responsibility for this design, and has the objective conditions and meast be represented as at out in the contract building Code to be a designer.

Required unless design is exempt under \$2.5 or Dirc. or the building code where the code of the

ADDRESS:

29 LANGSTON DRIVE, BRAMPTON, ON

PROJECT NAME:

AS BUILT BELOW GRADE SIDE YARD ENTRANCE AND LEGAL BASEMENT DEPARTMENT

## NOTES:

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## DWG NAME

SITE PLAN

DWG SCALE

1:125

DRAWN BY	VG	
CHECKED BY	VG	
DATE	2020-06-06	



DWG. NO.

A-01

2020/06/06 - REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT 19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE 1 (1224) PROP. (a) (b) (4) HWT CLOSET/LAUNDRY (e) (e) (W3) (C.H 7' 7") 11111 PROPOSED EXISTING D (C1) FURNACE KITCHEN EX. WALL W1) (D01 ROOM W3 D04 (C.H 7' 7") (C1) D01 REMOVED (C.H 7'7') (C2) (co)(1) (D01) ( W3) NEW WOODEN STAIRS (W2) NEW 6x6 WOOD POST W/ 24x24x10 CONCRETE PAD PROP. (W2) **BATHROOM** AS BUILT (W1) W1 LIVING/DINING **PROPOSED** ROOM BEDROOM (C.H 7' 7")(C1) SBUIL ⊕ (C.H 7' 7") (C1) WINDOW CAL STORAGE 157.35 SQFT X 5% =7.88 SQFT W2 WINDOW CAL. UNEXCAVATED W3 AVAILABLE AREÀ 100.89 SQFT X 2.5% 7.98 SQFT **GARAGE** = 2.52 SQFT AVAILABLE AREA NEW 6x6 WOOD POST W 4.17 SQFT 24x24x10 CONCRETE PAD W3) W1 E/P MIII 10103 ENLARGED EXISTING EGRESS W36" WINDOW W30" WINDOW H 36" 4.17 SQFTH 20" 9 SQFT WALL LEGENDS SB-3 (ASSEMBLY W1c) W1 SB-3 (ASSEMBLY EW1b)
EXTERIOR INSULATED WALL W2 INT. PARTITION WALL W3 FRR INTERIOR PARTITION SB-3 (ASSEMBLY F9h) C2 SB-3 (ASSENDE: EXISTING FULL HEIGHT (30 MIN ) WALL (1 HOUR): CEILING TO REMAIN (45 MINS): 1- 1/2" REGULAR GYPSUM 45 MIN FIRE SEPARATION 1 -WOOD 2X8" @ 16 O.C. 15 MIN FRR 1 -1/2" GYPSUM BOARD ON ONE SIDE OF 2" X 4" WOODEN STUDS @ 2- 2"X4" OR 2"X6" @16" C1 1 -WOOD 2X10" @ 16 O.C. ON BOTH SIDES O/C WOOD STUDS WITH 6 2 -50 STC SOUND 16" O.C. FILLED WITH R20 NON 2 -2"X4" OR 2"X6" @14" 2 -1/2" REGULAR GYPSUM MIL POLY UNDER BOTTOM INSHIATION O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM COMBUSTIBLE INSULATION WITH 3 -RESILIENT CHANNEL VAPOR BARRIER ON WARM SIDE. 3- 1/2" REGULAR GYPSUM @24" O/C 4 -1/2" TYPE 'X' GYPSUM 2- TOP PLATE AND BOTTOM PLATE 5- 32 STC 3- SOUND INSULATION TAPED, SANDED AND READY TO RECEIVE FINISH, AS PER OWNER'S (TO FILL STUD CAVITY) CHOICE OF COLOR. 49 STC BOTTOP NO. TYPE SIZE (DOOR LEAF) LEGENDS REMARKS - WARM AIR REGISTERS NEW INTERIOR DO1 INTERIOR 30" X 80" · EMERGENCY LIGHTS (F) - WALL FAN VENTED -322.17. Sprinklers in Lieu of Roof Rating (1) The - RETURN AIR REGISTER (low wall) NEW 20 MIN D03 EXTERIOR 32" X 80" in Articles 3.2.2.20, to 3.2.2.83, for roof assemblies to FIRE-RATED DOOR WITH FRAME AND BASEMENT AREA 503.92 SQ FT - A DUCT TYPE SMOKE DETECTOR a fire-resistance rating are permitted to be waived CLOSING DEVICE 46 82 SQ M INSTALLED IN THE SUPPLY AND RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING provided,
(a) Except as provided by Sentence (2), the building is TIEW 20 MIN FIRE RATED DOOR WITH SELF D04 INTERIOR 32" X 80" MUST TURN OFF THE FUEL SUPPLY CO - CARBON MONOXIDE DETECTOR AND ELECTRICAL POWER TO THE CLOSING DEVICE INTERCONNECTED SMOKE DETECTOR
 AND ALARM WITH STROBE LIGHT EXISTING DOOR A-02 - PROPOSED BASEMENT ACTIVATION. TORFHAIN

Oakville, ON itipermit.com (647) 973-1733

The undersposed has reviewed & token responsibility for this design and hose the Quoticoulous and metals the requirements set out in the Ontion Building Code to be a designer.

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## ADDRESS:

29 LANGSTON DRIVE, BRAMPTON, ON

#### PROJECT NAME:

AS BUILT BELOW GRADE SIDE YARD ENTRANCE AND LEGAL BASEMENT DEPARTMENT

## NOTES:

- 1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN ALL THIS PERMIT DRAWINGS
- 2- CONTRACTOR TO REPORT TO THE DESIGNER TO ANY DISCREPANCIES BETWEEN THE EXISTING STRUCTURAL MEMBERS AND INFORMATION STATED IN ANY OF THIS PERMIT DRAWINGS

## DWG NAME

PROPOSED BASEMENT PLAN

DWG SCALE

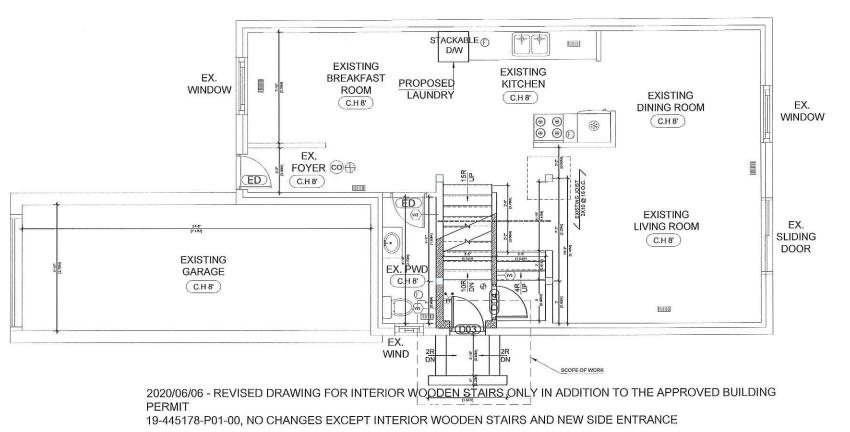
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Vu
VG
2021-11-24



DWG. NO.

A-02



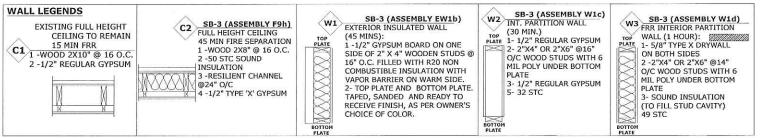


			PLATE
LEG	ENDS		
(F)	- WARM AIR REGISTERS - WALL FAN VENTED	<b>:</b> - E	MERGENCY LIGHTS
*	- 3.2.2.17. Sprinklers in Lieu of Roof Rating (1) The requirements in Articles 3.2.2.20. to 3.2.2.83. for roof assemblies to have	-	ETURN AIR REGISTER (low wall)
	a fire-resistance rating are permitted to be waived provided, (a) Except as provided by Sentence (2), the building is sprinklered	INS RE SE	DUCT TYPE SMOKE DETECTOR STALLED IN THE SUPPLY AND TURN AIR DUCT SYSTEM RVING THE ENTIRE BUILDING
(0)	- CARBON MONOXIDE DETECTOR	7000	IST TURN OFF THE FUEL SUPPLY ID ELECTRICAL POWER TO THE
0	- INTERCONNECTED SMOKE DETECTOR AND ALARM WITH STROBE LIGHT	-	ATING SYSTEM UPON TIVATION.

NO.	TYPE	SIZE (DOOR LEAF)	REMARKS
(D01)	INTERIOR	30" X 80"	NEW INTERIOR DOOR
(D03)	EXTERIOR	32" X 80"	NEW 20 MIN FIRE-RATED DOOR WITH FRAME AND CLOSING DEVICE
(D04)	INTERIOR	32" X 80"	NEW 20 MIN FIRE RATED DOOR WITH SELF CLOSING DEVICE
(ED)			EXISTING DOOR TO REMAIN

MAIN FLOOR AREA 604.49 SQ FT 56.16 SQ M Oakville, ON itipermit.com (647) 973-1733

The underliped has releved & talen responsibility for this design and has the designation and means the respectments set out in the contains building Code to be a designer.

Required unless design is exempt under 12.5 of Divic, of the building code

MERCHARD STATE

BCIN

HOME

BCIN

Signature

Required unless design is exempt under 12.5 of Divic, of the building code

WILLIAM BCIN

BCIN

Signature

Required unless design is exempt under 12.5 of Divic, of the building code

The PERMIT DESIGNERS INC.

From Name

BCIN

ADDRESS:

29 LANGSTON DRIVE, BRAMPTON, ON

PROJECT NAME:

AS BUILT BELOW GRADE SIDE YARD ENTRANCE AND LEGAL BASEMENT DEPARTMENT

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## DWG NAME

EXISTING MAIN FLOOR PLAN

DWG SCALE

1:60

DRAWN BY	VG
CHECKED BY	VG
DATE	2021-11-24

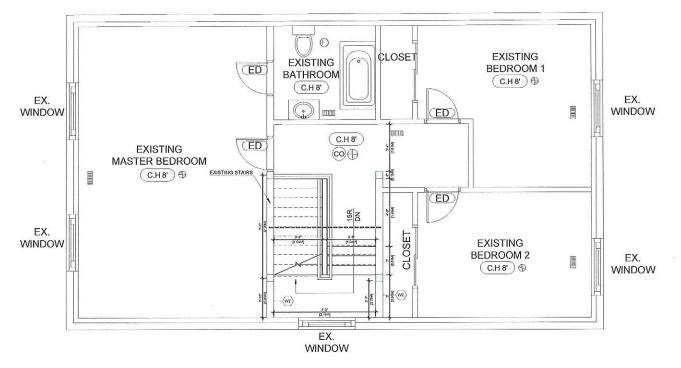


DWG. NO.

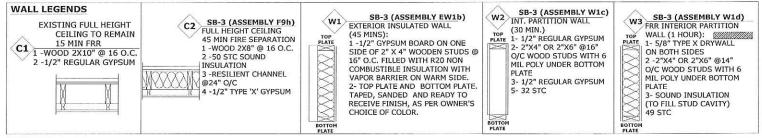
A-03

SH. SIZE 11" x 17"

A-03 - EXISTING MAIN FLOOR



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**LEGENDS** - WARM AIR REGISTERS - WALL FAN VENTED - EMERGENCY LIGHTS - 3.2.2.17. Sprinklers in Lieu of Roof Rating (1) The - RETURN AIR REGISTER (low wall) in Articles 3.2.2.20. to 3.2.2.83. for roof assemblies to - A DUCT TYPE SMOKE DETECTOR a fire-resistance rating are permitted to be waived provided INSTALLED IN THE SUPPLY AND (a) Except as provided by Sentence (2), the building is RETURN AIR DUCT SYSTEM sprinklered SERVING THE ENTIRE BUILDING MUST TURN OFF THE FUEL SUPPLY - CARBON MONOXIDE DETECTOR AND ELECTRICAL POWER TO THE

HEATING SYSTEM UPON

ACTIVATION.

- INTERCONNECTED SMOKE DETECTOR

AND ALARM WITH STROBE LIGHT

		DOOR SCHEDULI	
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(D04)	INTERIOR	32" X 80"	NEW 20 MIN FIRE RATED DOOR WTH SELF CLOSING DEVICE
(ED)			EXISTING DOOR TO REMAIN

SECOND FLOOR AREA 738.65 SQ FT 68.62 SQ M 603 Argus Rd, Suit 201 Oakville, ON itipermit.com (647) 973-1733

The understgrad has reviewed, it is then responsibility for this design, and hos the operations and means the reciprocerements set out in the Onlice Building Code to be a destymer.

Required unless setting in secretary secretary and the secretary of the Sulfang Code WKEK CUPTA BUILDING BUIL

ADDRESS:

29 LANGSTON DRIVE, BRAMPTON, ON

PROJECT NAME:

AS BUILT BELOW GRADE SIDE YARD ENTRANCE AND LEGAL BASEMENT DEPARTMENT

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DWG NAME

EXISTING SECOND FLOOR

DWG SCALE

1:60

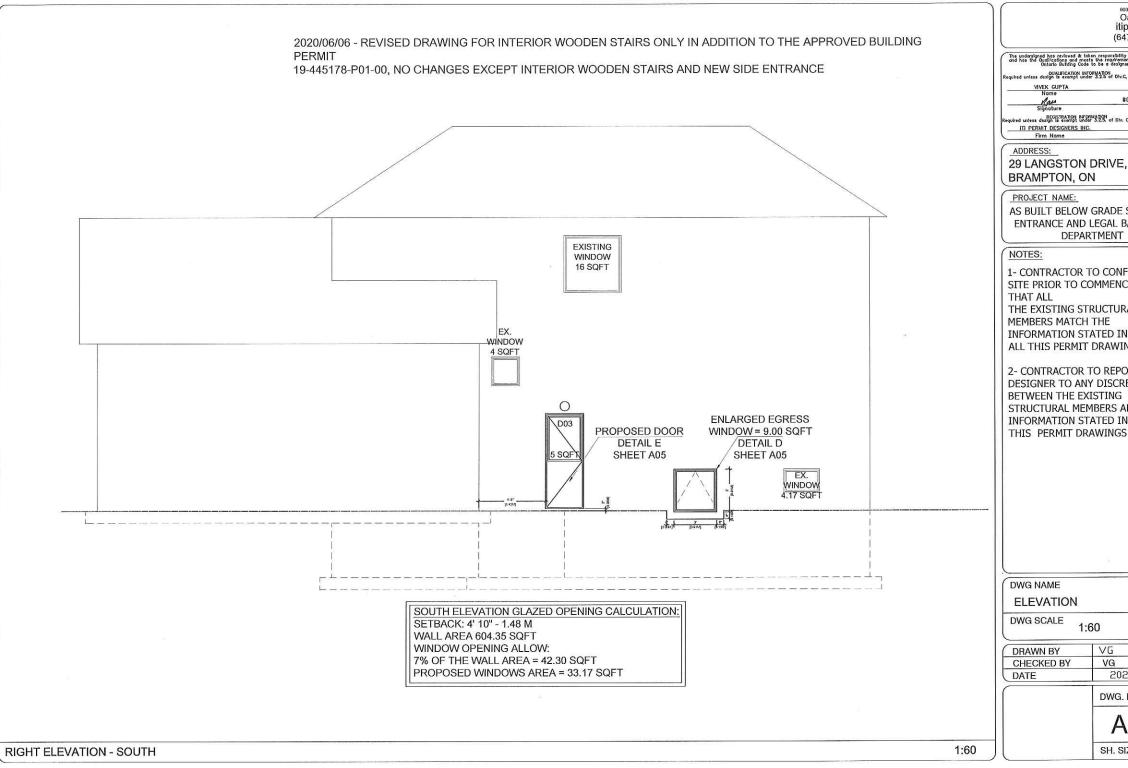
DRAWN BY	VG
CHECKED BY	VG
DATE	2021-11-24



A-04 - EXISTING SECOND FLOOR

DWG. NO.

A-04



603 Argus Rd, Suit 201 Oakville, ON itipermit.com (647) 973-1733

BCIN

QUALIFICATION INFORMATION (equired unless design is exempt under 3.25 of Div.C, of the building co 39587 BCIN #CURDATE REGISTRATION INFORMATION of Div. C, of the building co

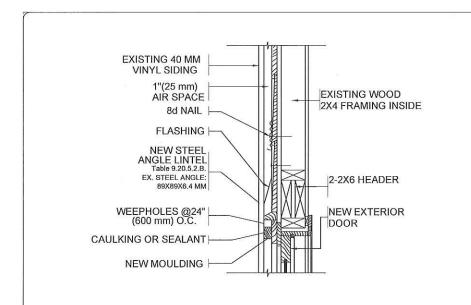
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VG VG 2021-07-13

DWG. NO. A-05 SH. SIZE 11" x 17"



1. GENERAL

- A) BACKFILL HEIGHTS OF GREATER THAN 7'-0" REQUIRED A PROFESSIONAL ENGINEER DESIGN.
- B) POURED CONCRETE WALLS ONLY, NOT CONCRETE BLOCK

POURED CONCRETE STEPS.

2. CONCRETE

MINIMUM COMPRESSIVE STRENGTH OF 25 MPa @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.

3. FOOTING

16" X 6" POURED CONCRETE FOOTING c/w 2- 15M BARS. FOOTING SHALL REST ON UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.

RETAINING WALL

8" POURED CONC. WALL DOES NOT REQUIRE REBAR IF BACKFILL HEIGHT DOES NOT EXCEED 3'11". PROVIDE 15M REBAR @ 16" O.C. EACH WAY FOR BACKFILL HEIGHTS EXCEEDING 3'11".

AN ENGINEER'S DESIGN IS REQUIRED FOR HEIGHTS EXCEEDING 7'-0".

FOR CONCRETE: RISE - 8" MAX TREAD -10". FOR WOODEN STEPS: RISE- 7"MAX TREAD- 11"MAX NOTE: ALL RISERS & TREADS SHALL BE UNIFORM

6. GUARDS

GUARDS SHALL BE MIN. 35" HIGH

(42" IF > 71" FROM TO OF THE STAIRS TO BOTTOM OF STAIRS SHALL NOT ALLOW THE PASSAGE OF

A 4" DIAMETER SPHERE THROUGH OPENINGS, BE DESIGN TO PREVENT CLIMBING AND DESIGNED TO

WITHSTAND THE LOADING IN TABLE 9.8.8.2 PROVIDE GUARD DETAILS TO INSPECTOR ON SITE, PRIOR

TO INSTALLATION OF GUARD.

7. INSPECTIONS

AN INSPECTION OF ALL REBAR IS REQ'D PRIOR TO POURING CONC.

603 Argus Rd, Suit 201 Oakville, ON itipermit.com (647) 973-1733

QUALFICATION INFORMATION equired unless design is exempt under 3.2.5 of Dix.C, of the building cod 39587

#CURDATE

RECISTRATION INFORMATION of Div. C, of the building co-ITI PERMIT DESIGNERS INC. Firm Name

ADDRESS:

29 LANGSTON DRIVE, BRAMPTON, ON

PROJECT NAME:

AS BUILT BELOW GRADE SIDE YARD ENTRANCE AND LEGAL BASEMENT DEPARTMENT

NOTES:

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2- CONTRACTOR TO REPORT TO THE DESIGNER TO ANY DISCREPANCIES BETWEEN THE EXISTING STRUCTURAL MEMBERS AND INFORMATION STATED IN ANY OF THIS PERMIT DRAWINGS



DWG NAME **DETAILS** 

DWG SCALE

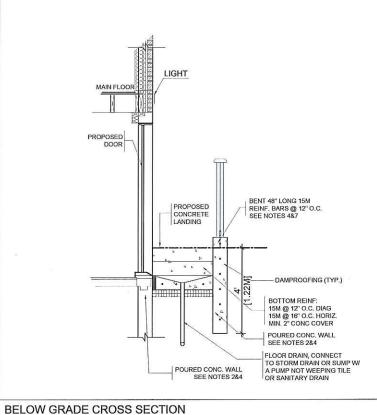
1:40

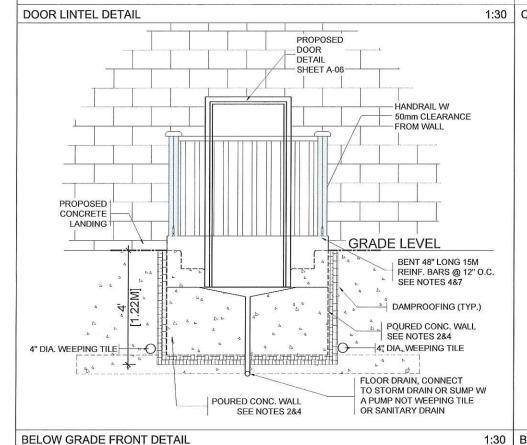
AS NOTED

DRAWN BY	VG
CHECKED BY	VG
DATE	2021-07-13
	DWG. NO.
	A-06
	ACTUAL CONTRACTOR OF THE PARTY

SH. SIZE 11" x 17"

CONSTRUCTION NOTES





## Flower City



FILE NUMBER: A-2022-0189

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

# APPLICATION Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-I aw 270-2004

	the <u>r latin</u>	ing Act, 13	o, for relier as de	scribed iii tilis a	application from By-Law 270-2004.			
1.	Name of Address	Owner(s)	PIRATHEEBAN	RANENDRAR	AJAH			
		29 LANGSTON DRIVE, BRAMPTON ONTARIO L6V 3X9						
	Phone #	(647) 733	3-8755		Fax #			
	Email		EEP@YAHOO.CO	OM.				
0	N	A	VIVER OUDTA					
2.	Name of Address	Agent	VIVEK GUPTA					
	Addicoo	603 ARG	US ROAD, OAKV	ILLE ONTARIO	) L6J 6G6			
	Phone #	(647) 973			Fax #	**		
	Email	THPERM	IT@GMAIL.COM					
3.	Nature ar	nd extent o	f relief applied fo	r (variances re	equested):			
	1. To perm	nit an existir	ng below grade en	trance in a requ	uired interior side yard whereas the	by-law does not		
	permit a be	elow grade	entrance in the re	quired interior s	side yard.			
	2 To norm	ait a 0 00ma	anthonicta au avic	dia a la la como				
			setback to an exis	sting below grad	de entrance whereas the by-law doe	es requires a		
	minimum ;	siue yai u st	ELDACK OF 1.2III.					
						<del></del>		
	1							
	1					- 18		
4.	Why is it	not possib	le to comply with	the provision	s of the by-law?			
	We're unal	ble to comp	ly with the by-law	as it is an exist	ing below grade entrance along with	h the interior staircase		
	3		*			· ·		
	9							
	-							
5.	Legal Des	scription o	f the subject land	l: (Roll # : 10	-09-0-040-99300-0000-1)			
		Lot Number 181 Plan Number/Concession Number M - 303						
			29 Langston Driv	M - 303				
	wumcipa	i Address	20 Langston Dir	VO		- A		
6.	Dimension of subject land (in metric units)							
	Frontage							
	Depth	30.73m				2		
	Area	288.87m						
7.	Access to	the subie	ct land is by:					
		l Highway			Seasonal Road			
	Municipa	l Road Mai	ntained All Year	X	Other Public Road			
	Private R	ight-of-Wa	У		Water			

Particulars of all buildings and structures on or proposed for the subject

8.

	F 27 75 6		round floor area, gross floor area, number of tc., where possible)		
	EXISTING BUILDINGS/STRUCTURES on the subject land: Two-storey detached dwelling with a GFA of approx. 180,19m				
	Second unit basement with an area of 60.91m As built below grade entrance 3.83 sqm				
	PROPOSED BUILDINGS/STRUCTURES on the subject land: As build below grade entrance 3.83sqm				
	- To Zama Zolow grado	emaanee e.eeeqm			
9.		(A-1)	ructures on or proposed for the subject lands: r and front lot lines in <u>metric units</u> )		
	EXISTING				
	Front yard setback	7.49m			
	Rear yard setback Side yard setback	6.89m 1.99m (right)			
	Side yard setback	0.69m (left)			
	PROPOSED				
	Front yard setback Rear yard setback	7.49m 6.89m			
	Side yard setback	0.98m (right)			
	Side yard setback	0.69m (left)			
10.	Date of Acquisition	of subject land:	2012		
11.	Existing uses of subject property:		Single unit dwelling		
12.	Proposed uses of subject property:		Second unit basement		
13.	Existing uses of abu	utting properties:	Residential		
14.	Date of construction of all buildings & structures on subject land:				
15.	Length of time the existing uses of the subject property have been continued:  52 Years				
16. (a)	What water supply is existing/proposed?  Municipal X Other (specify)  Well				
(b)	What sewage dispose Municipal X Septic	sal is/will be provided ] ]	? Other (specify)		
(c)	The state of the s	e system is existing/p	roposed?		
	Sewers X Ditches Swales	]	Other (specify)		

17.	Is the subject property the subject of an a subdivision or consent?	application under the Planning Act, for approval of a plan of
	Yes No X	
	If answer is yes, provide details: File	# Status
. 18.	Has a pre-consultation application been fi	led?
	Yes No X	
19.	Has the subject property ever been the su	bject of an application for minor variance?
	Yes No	Unknown
	If answer is yes, provide details:	
	File # Decision File # Decision File # Decision	ReliefReliefReliefReliefReliefReliefReliefReliefReliefRelief
		A A MA
		Signature of Applicant(s) or Authorized Agent
DAT	ED AT THE OF	
	S_O7_ DAY OFTUMC	Carlotte and Carlo
		OLICITOR OR ANY PERSON OTHER THAN THE OWNER OF
THE SUE	SJECT LANDS, WRITTEN AUTHORIZATION	OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF LICATION SHALL BE SIGNED BY AN OFFICER OF THE
		, OF THE TOWN OF WAKVILLE
	ENGIOM OF HALTOM	
ALL OF T BELIEVIN OATH.	THE ABOVE STATEMENTS ARE TRUE AND NG IT TO BE TRUE AND KNOWING THAT IT	I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER
DECLAR	ED BEFORE ME AT THE	Jeanie Cecilia Myers a Commissioner, etc.,
CIT	y OF Brampton	Province of Ontario for the Corporation of the
IN THE	Region OF	City of Brampton Expires April 8, 2024.
Pees	1 th	1 cm
1	ine , 20 22	Cinneture of Applicant or Authorized Applicant
	, 20	Signature of Applicant or Authorized Agent
	A Commissioner etc.	
	FOR OF	FICE USE ONLY
	Present Official Plan Designation:	
	Present Zoning By-law Classification:	R2A(2)-172
	This application has been reviewed with res said review are outling	spect to the variances required and the results of the ned on the attached checklist.
	AL	June 7, 2022
	Zoning Officer	Date
	DATE RECEIVED	June 7, 2022
	DATE INDUITING	Revised 2020/01/07

# AS BUILT BELOW GRADE SIDE YARD ENTRANCE AND LEGAL BASEMENT DEPARTMENT

29 LANGSTON DRIVE, BRAMPTON

## DRAWING LIST

A00 - COVER PAGE

A01 - SITE PLAN

A02 - ASEMENT PLAN

A03 - MAIN FLOOR PLAN

A04 - SECOND FLOOR PLAN

A05 - BASEMENT AND 2nd FLOOR STAIRS

A06 - MAIN FLOOR FRAMING AND STAIRS

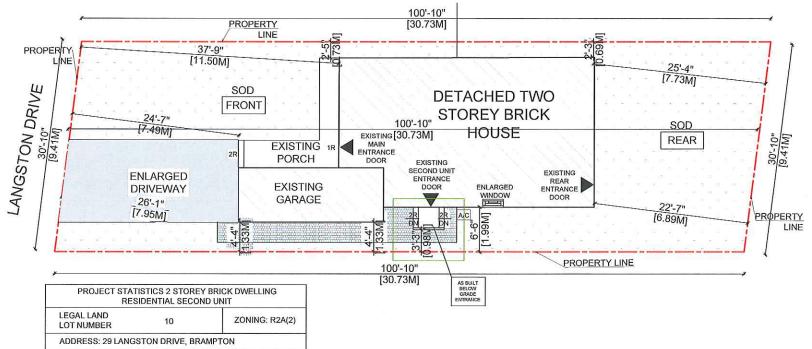
A07 - SECOND FLOOR FRAMING PLAN

**A08 - ELEVATIONS** 

A09 - SECTIONS

A10 - DETAILS

# 2020/06/06 - REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT 19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE



286.87 SQM LOT FRONTAGE: 9.41 M LOT AREA: LOT COVERAGE: EXISTING PROPOSED TOTAL **DWELLING** FOOTPRINT 87.77 SQM 0.00 SQM INCLUDING GARAGE: PORCH: 8.64 SQM 0.00 SQM DECK: 0.00 SQM 0.00 SQM ACCESSORY 3,83 SQM 0.00 SQM STRUCTURES: LAND LEGAL DESCRIPTION AND DIMENSIONS: EXISTING PROPOSED REMARKS DEPTH 30.73M 0.00M FRONT 7.49M 0.00M YARD SETBACK REAR 6.89M 0.00M YARD SETBACK RIGHT SIDE 0.41M 1.33M YARD SETBACK LEFT SIDE 0.00M 0.69M YARD SETBACK

Oakville, ON itipermit.com (647) 973-1733

The undersigned has reduced & token responsibility for this design, and hose the Operitocitions and metals the respiratements set out in the Chicario Budding Code to be a designar.

Required unless design is exempt under 325 of Dix.C, of the building code MEXECURDATE

Name BCIN

HCURDATE

Signature Date

Required unless designation of the Chicario Code

III PERMIT DESIGNERS INC.

Firm Name BCIN

ADDRESS:

29 LANGSTON DRIVE, BRAMPTON, ON

PROJECT NAME:

AS BUILT BELOW GRADE SIDE YARD ENTRANCE AND LEGAL BASEMENT DEPARTMENT

NOTES:

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DWG NAME

SITE PLAN

DWG SCALE

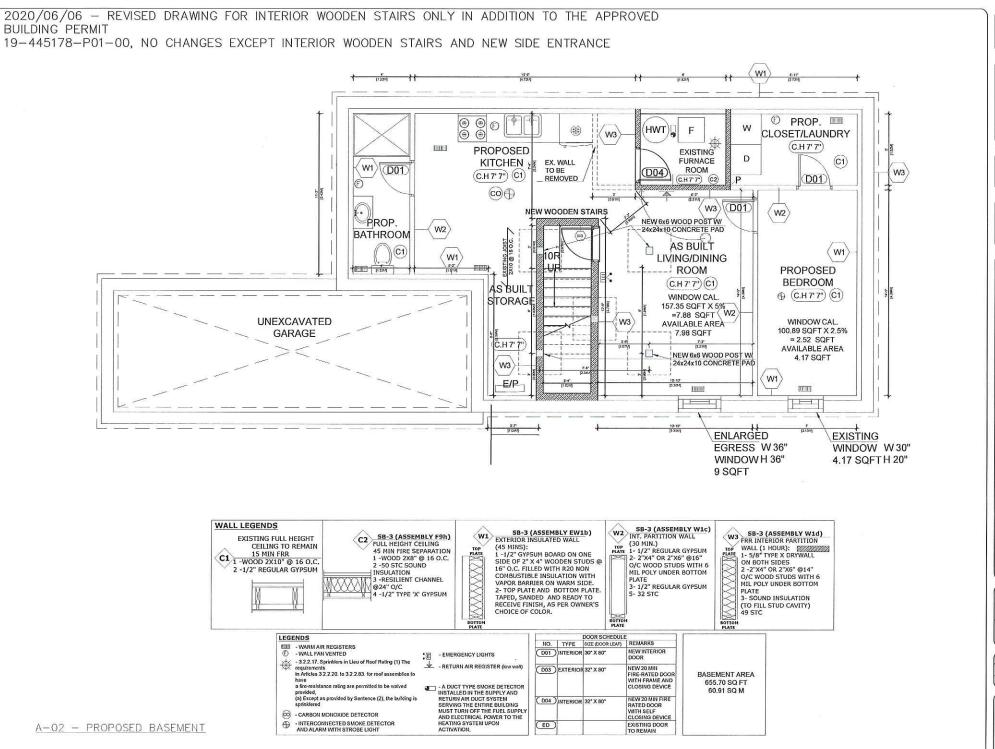
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CHECKED BY	VG
DATE	2020-06-06



DWG. NO.

A-01



Oakville, ON itipermit.com (647) 973-1733

The understands has reviewed & totals responsibility for this design, and has the Outlingtoities and mest the frequirements set out in the Ontario Bulding Code to be a designer.

COUNTERON BEFORMATION POWER TO INC. of the building code WYEK GUPTA 39557

Name BCIN

HCURDATE
Signature

Required unless design and the property of the Control of the Boundard Code of the Code of th

## ADDRESS:

29 LANGSTON DRIVE, BRAMPTON, ON

## PROJECT NAME:

AS BUILT BELOW GRADE SIDE YARD ENTRANCE AND LEGAL BASEMENT DEPARTMENT

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## DWG NAME

PROPOSED BASEMENT PLAN

DWG SCALE

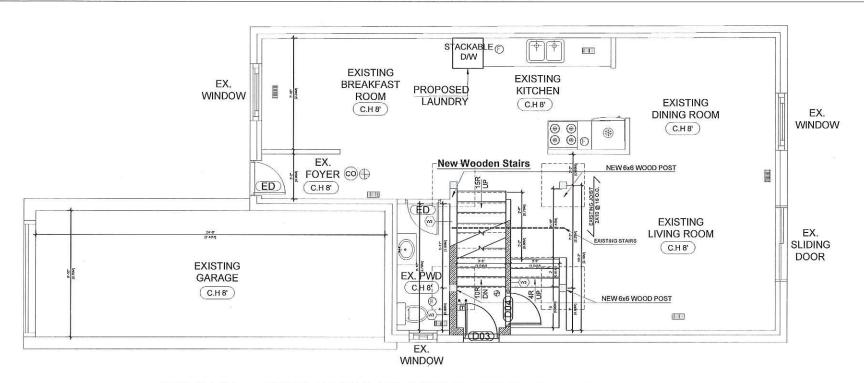
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CHECKED BY	VG
DATE	2021-11-24

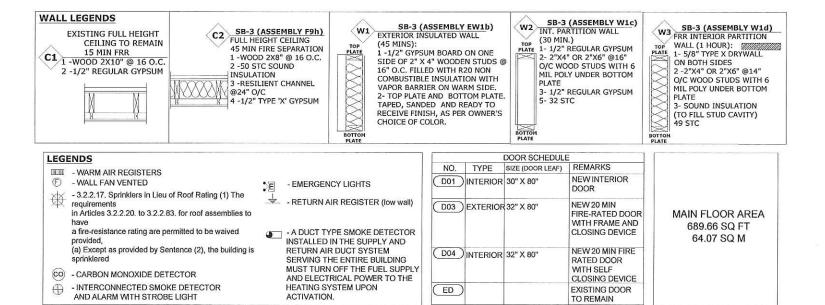


DWG. NO.

A-02



2020/06/06 — REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT 19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE



A-03 - EXISTING MAIN FLOOR

603 Argus Rd, Set 201 Oakville, ON itipermit.com (647) 973-1733

The undersigned has reviewed & taken responsibility for this design, and has the stopping and make the responsibility for this design, and has the confinctions and make the responsibility for this design, and the confinction Building Code to be a designer.

Required unless design in exempt under 3.25 of DN.C, of the building code where the confinction of the confinction o

ADDRESS:

29 LANGSTON DRIVE, BRAMPTON, ON

## PROJECT NAME:

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## DWG NAME

EXISTING MAIN FLOOR PLAN

DWG SCALE

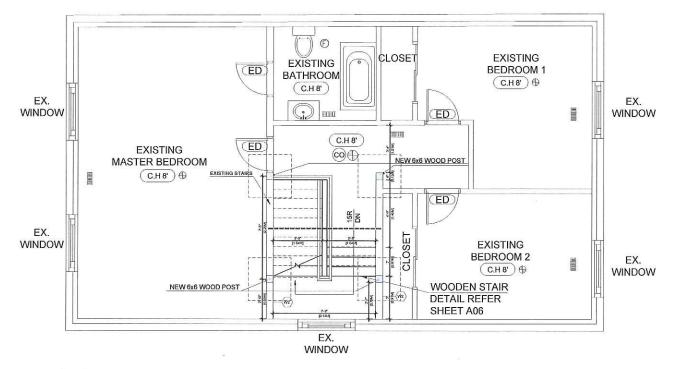
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CHECKED BY	VG
DATE	2021-11-24

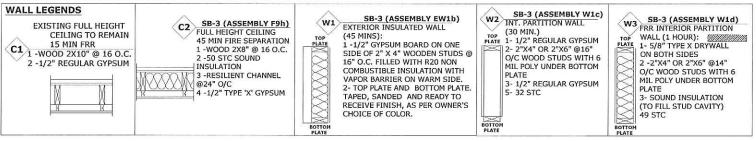


DWG. NO.

A-03



2020/06/06 — REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT 19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE



#### **LEGENDS** - WARM AIR REGISTERS - WALL FAN VENTED - EMERGENCY LIGHTS - 3.2.2.17. Sprinklers in Lieu of Roof Rating (1) The - RETURN AIR REGISTER (low wall) requirements in Articles 3.2.2.20, to 3.2.2.83, for roof assemblies to - A DUCT TYPE SMOKE DETECTOR a fire-resistance rating are permitted to be waived INSTALLED IN THE SUPPLY AND (a) Except as provided by Sentence (2), the building is RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING MUST TURN OFF THE FUEL SUPPLY - CARBON MONOXIDE DETECTOR AND ELECTRICAL POWER TO THE

HEATING SYSTEM UPON

ACTIVATION.

- INTERCONNECTED SMOKE DETECTOR

AND ALARM WITH STROBE LIGHT

NO.	TYPE	SIZE (DOOR LEAF)	REMARKS
(D01)	INTERIOR	30" X 80"	NEW INTERIOR DOOR
D03	EXTERIOR	32" X 80"	NEW 20 MIN FIRE-RATED DOOR WITH FRAME AND CLOSING DEVICE
(D04)	INTERIOR	32" X 80"	NEW 20 MIN FIRE RATED DOOR WTH SELF CLOSING DEVICE
(ED)			EXISTING DOOR TO REMAIN

SECOND FLOOR AREA 776.79 SQ FT 72.16 SQ M 603 Argus Rd, Suit 201 Oakville, ON itipermit.com (647) 973-1733

The understande has tradered at token responsibility for this dealing, and has the Outlinctions and meets the requirements set out in the Ontario Bulding Code to be a designar.

Required unless design is exampl under 325 of Dir.C. of the building code MEEK CUPTA.

Nome BCIN #CURDATE

Signature Dote

Required unless designation of the Dir.C. of the building code in the Cupta of the Sunday of the Sunday of the Cupta of the Sunday of the Sunda

## ADDRESS:

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#### PROJECT NAME:

AS BUILT BELOW GRADE SIDE YARD ENTRANCE AND LEGAL BASEMENT DEPARTMENT

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## DWG NAME

EXISTING SECOND FLOOR

DWG SCALE

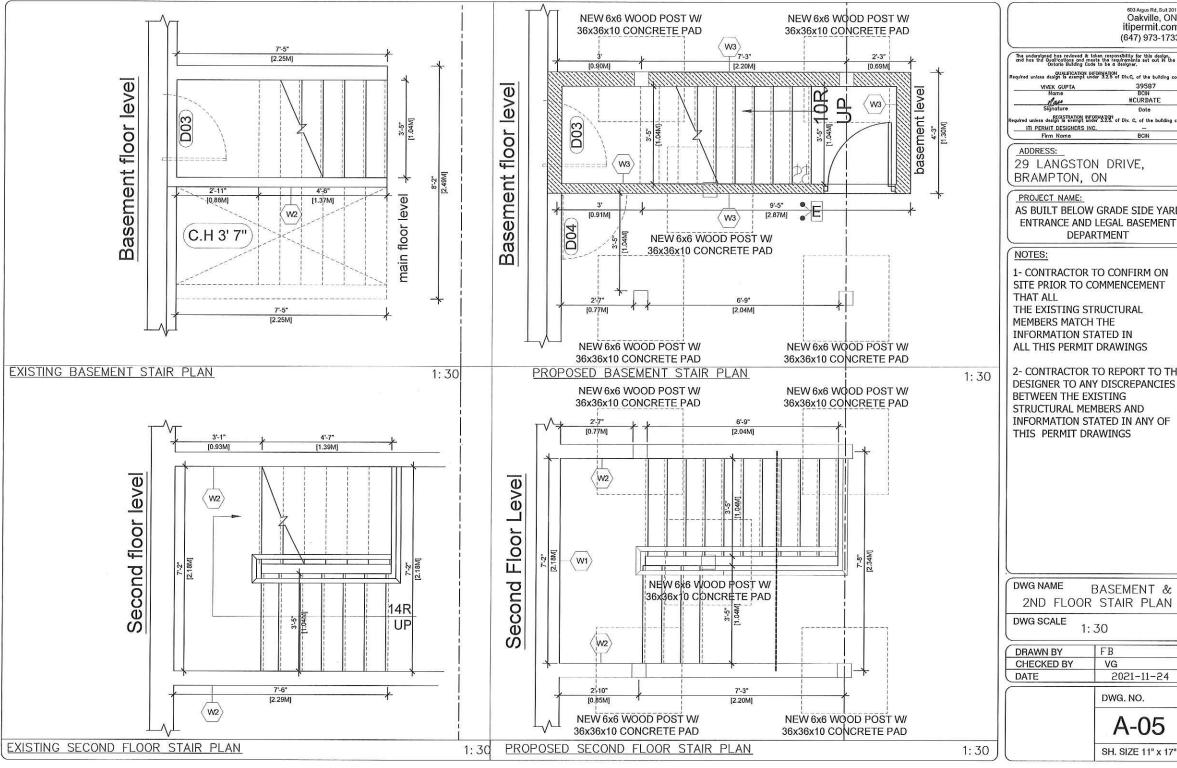
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CHECKED BY	VG
DATE	2021-11-24



DWG. NO.

A-04



603 Argus Rd, Suit 201 Oakville, ON itipermit.com (647) 973-1733

39587 BCIN #CURDATE

REGISTRATION INFORMATION
I unless design is exempt under 3.25 of Div. C, of the building of BCIN

AS BUILT BELOW GRADE SIDE YARD ENTRANCE AND LEGAL BASEMENT

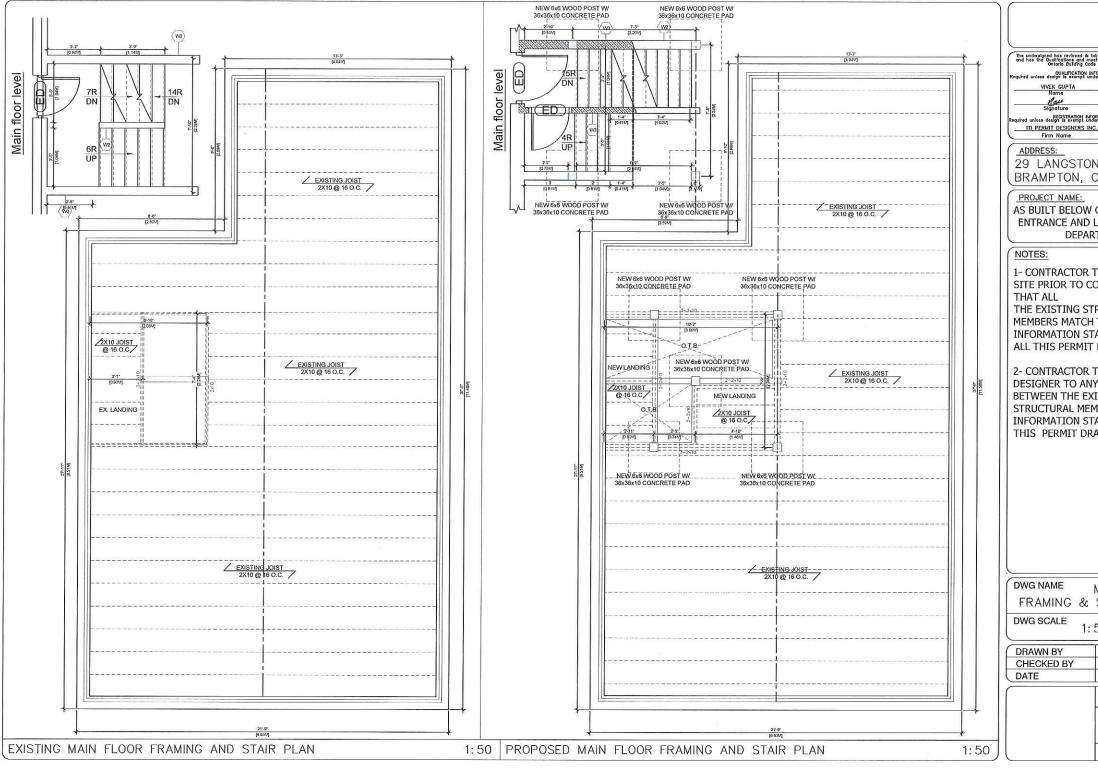
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BASEMENT & 2ND FLOOR STAIR PLAN

DRAWN BY	FB
CHECKED BY	VG
DATE	2021-11-24

A-05



603 Argus Rd, Suit 201 Oakville, ON itipermit.com (647) 973-1733

BCIN

39587 BCIN #CURDATE REGISTRATION REGISTRATION RECRUATION of Div. C, of the building cod

29 LANGSTON DRIVE, BRAMPTON, ON

AS BUILT BELOW GRADE SIDE YARD ENTRANCE AND LEGAL BASEMENT DEPARTMENT

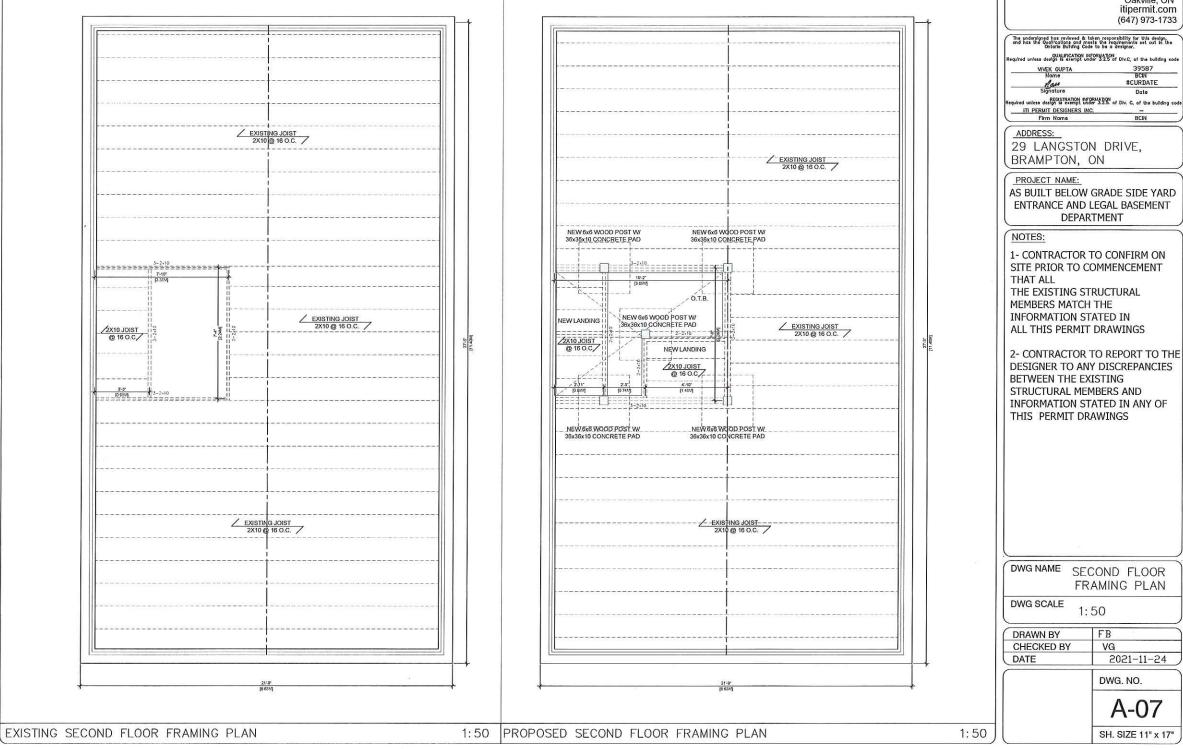
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MAIN FLOOR FRAMING & STAIR PLAN

1:50

DRAWN BY	FB
CHECKED BY	VG
DATE	2021-11-24
	DWG. NO.
	A-06
	SH. SIZE 11" x 17"



603 Argus Rd, Suit 201 Oakville, ON

DRAWN BY	FB
CHECKED BY	VG
DATE	2021-11-24
	DWG. NO.
	A-07
	SH SIZE 11" x 17"

2020/06/06 - REVISED DRAWING FOR INTERIOR WOODEN STAIRS ONLY IN ADDITION TO THE APPROVED BUILDING PERMIT 19-445178-P01-00, NO CHANGES EXCEPT INTERIOR WOODEN STAIRS AND NEW SIDE ENTRANCE ITI PERMIT DESIGNERS INC. Firm Name ADDRESS: BRAMPTON, ON PROJECT NAME: DEPARTMENT **EXISTING** NOTES: WINDOW 16 SQFT THAT ALL WINDOW 4 SQFT 0 ENLARGED EGRESS PROPOSED DOOR WINDOW = 9.00 SQFT **DETAIL E** DETAIL D SHEET A05 SHEET A05 EX. WINDOW 4.17 SQFT DWG NAME **ELEVATION** SOUTH ELEVATION GLAZED OPENING CALCULATION: SETBACK: 4' 10" - 1.48 M DWG SCALE 1:60 WALL AREA 604.35 SQFT WINDOW OPENING ALLOW: 7% OF THE WALL AREA = 42.30 SQFT PROPOSED WINDOWS AREA = 33.17 SQFT RIGHT FLEVATION -SOUTH 1:60

Oakville, ON itipermit.com (647) 973-1733

39587 BCIN #CURDATE RECISTRATION INFORMATION of Div. C, of the building co-BCIN

29 LANGSTON DRIVE,

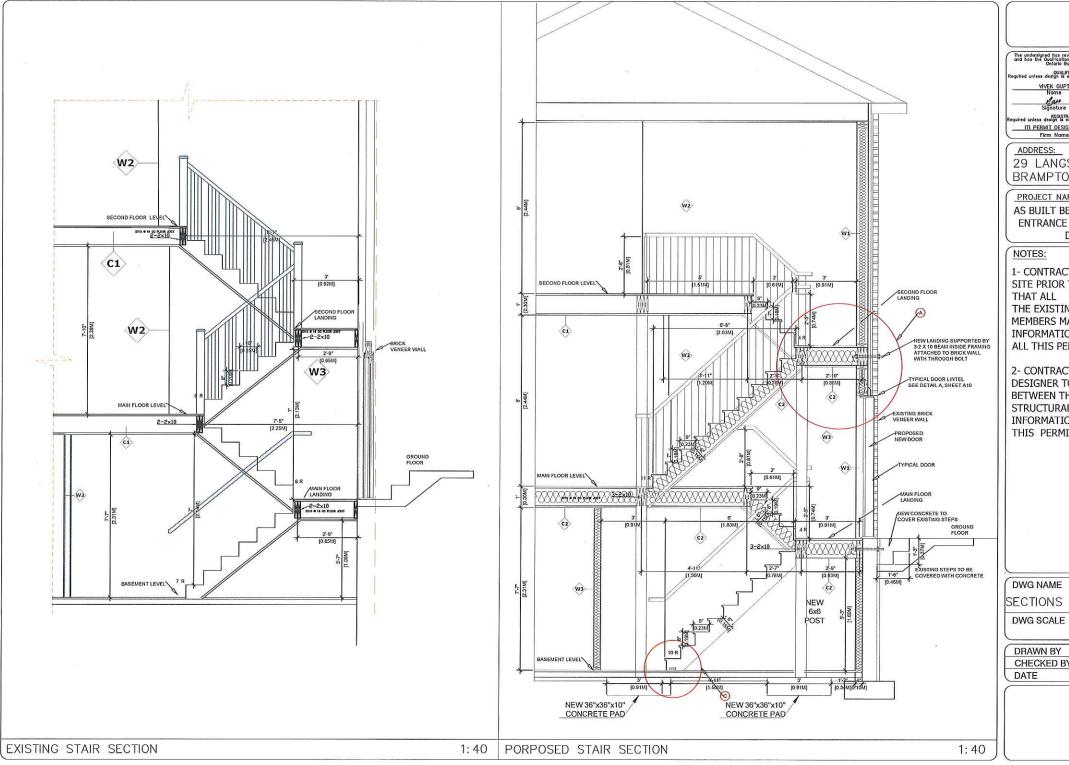
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DRAWN BY	VG
CHECKED BY	VG
DATE	2021-07-13

DWG. NO. A-08 SH. SIZE 11" x 17"



603 Argus Rd, Suit 201 Oakville, ON itipermit.com (647) 973-1733

39587

#CURDATE

ITI PERMIT DESIGNERS INC BCIN

## ADDRESS:

29 LANGSTON DRIVE, BRAMPTON, ON

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AS BUILT BELOW GRADE SIDE YARD ENTRANCE AND LEGAL BASEMENT DEPARTMENT

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DWG NAME

1:40

DRAWN BY FB CHECKED BY DATE 2021-11-24

DWG. NO.

A-09 SH. SIZE 11" x 17"

