



DEFERRED APPLICATION FOR MINOR VARIANCE

WHEREAS an **amended** application for minor variance has been made by **MOHAMMAD FAISCAL MOLEDINA AND SAMIARA FAISAL MOLEDINA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 80, Plan 43M-1885 municipally known as **38 AMBIANCE COURT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a covered porch to encroach 4.4m (14.44 ft.) into the required rear yard resulting in a rear yard setback of 3.1m (10.17 ft.) whereas the by-law permits a maximum covered porch encroachment of 1.8m (5.91 ft.) resulting in a rear yard setback of 5.7m (18.70 ft.);
2. To permit a driveway width of 8.2m (26.90 ft.) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, August 23 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

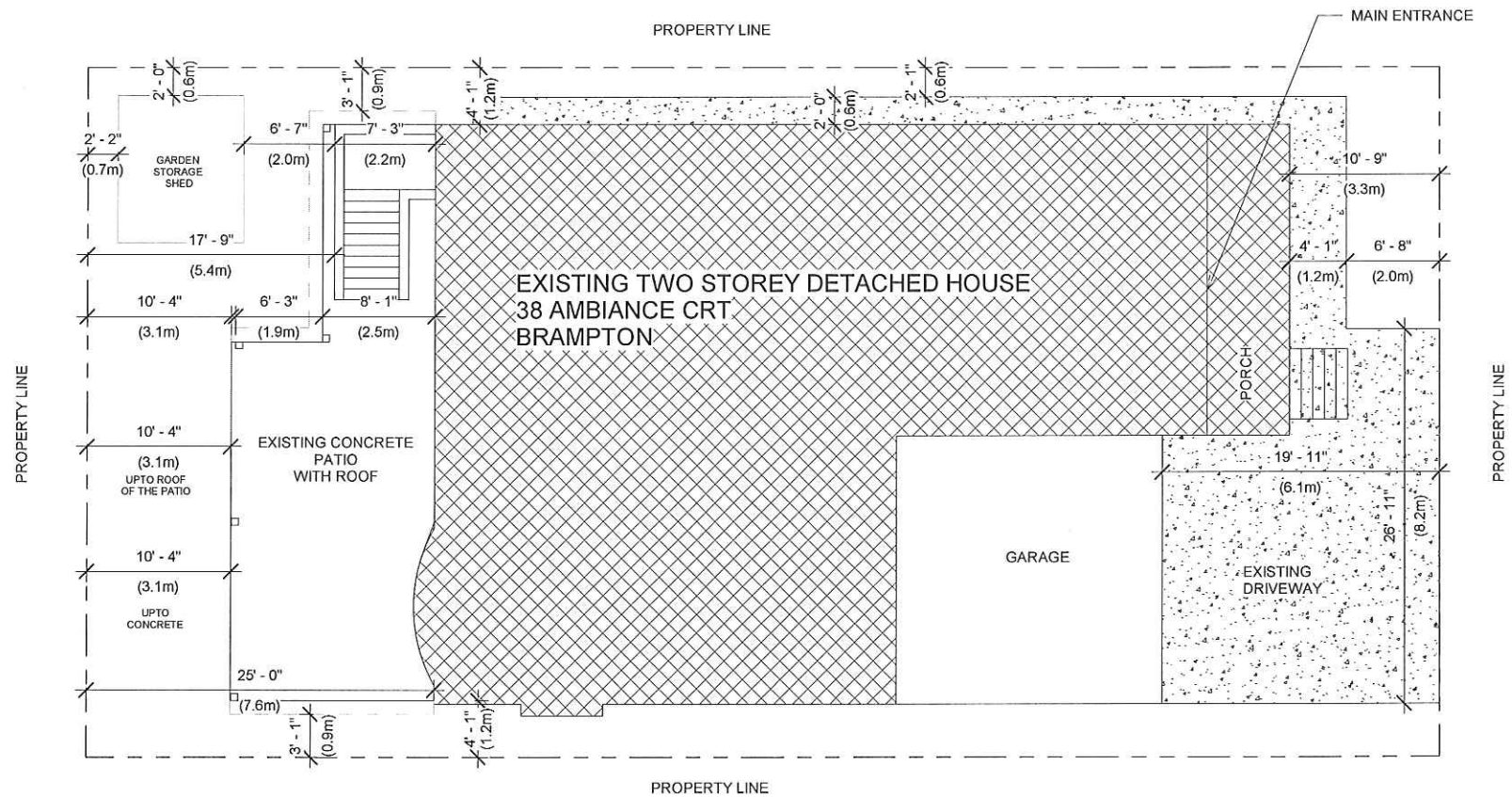
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 11th Day of August, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



1.	ISSUED FOR APPROVAL	JUNE 27/2022
No.	REVISION	DATE

38 AMBIANCE COURT BRAMPTON ON	Date JUNE 27/2022	Scale 1/8" = 1'-0"
	Drawn By DP	Checked By KS
EXISTING SITE PLAN	Project Number 0001	
RJ CAD SOLUTIONS	SHEET NUMBER A2	

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **August 23, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, August 18, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, August 18, 2022.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, August 18, 2022.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, August 18, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

The City of Brampton is reviewing its Committee of Adjustment process. As a participant in this process, if you have comments or input you would like to share about your experience with the Committee of Adjustment, please email cityclerksoffice@brampton.ca to indicate your interest and you will be contacted with more information.

AMENDMENT LETTER

August 5, 2022

To: Committee of Adjustment

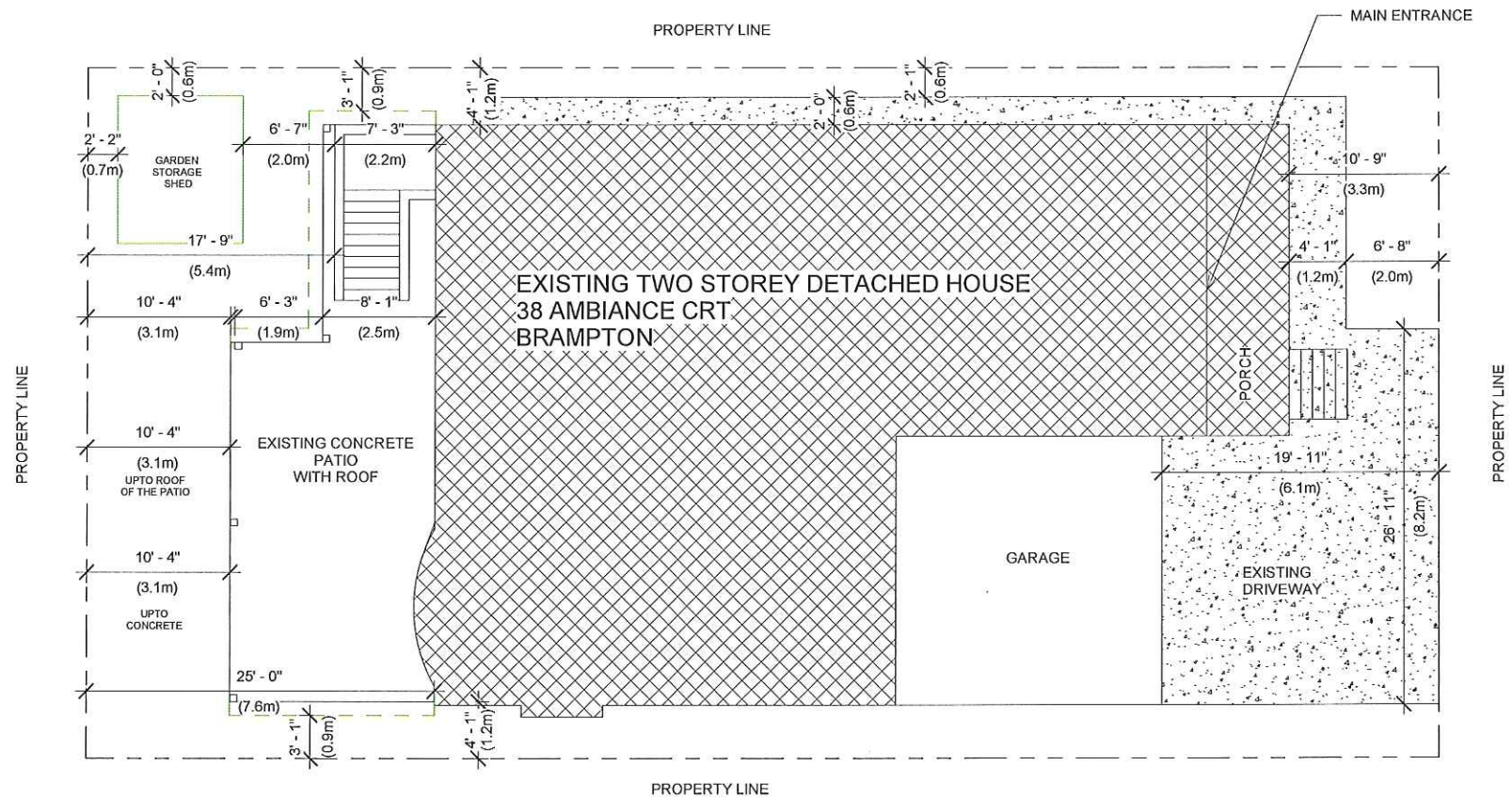
RE: APPLICATION FOR MINOR VARIANCE
MAOHAMMAD FAISCAL MOLEDINA AND SAMIARA FAISAL MOLEDINA
LOT 80, PLAN 43M-1885
A-2022-0046 – 38 AMBIANCE COURT

Please **amend** application **A-2022-0046** to reflect the following:

1. To permit a balcony/deck and covered patio to encroach 4.4m (14.44 ft.) into the required rear yard resulting in a rear yard setback of 3.1m (10.17 ft.) whereas the by-law permits a maximum deck and covered porch encroachment of 1.8m (5.91 ft.) resulting in a rear yard setback of 5.7m (18.70 ft.);
2. To permit a driveway width of 8.2m (26.90 ft.) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.).

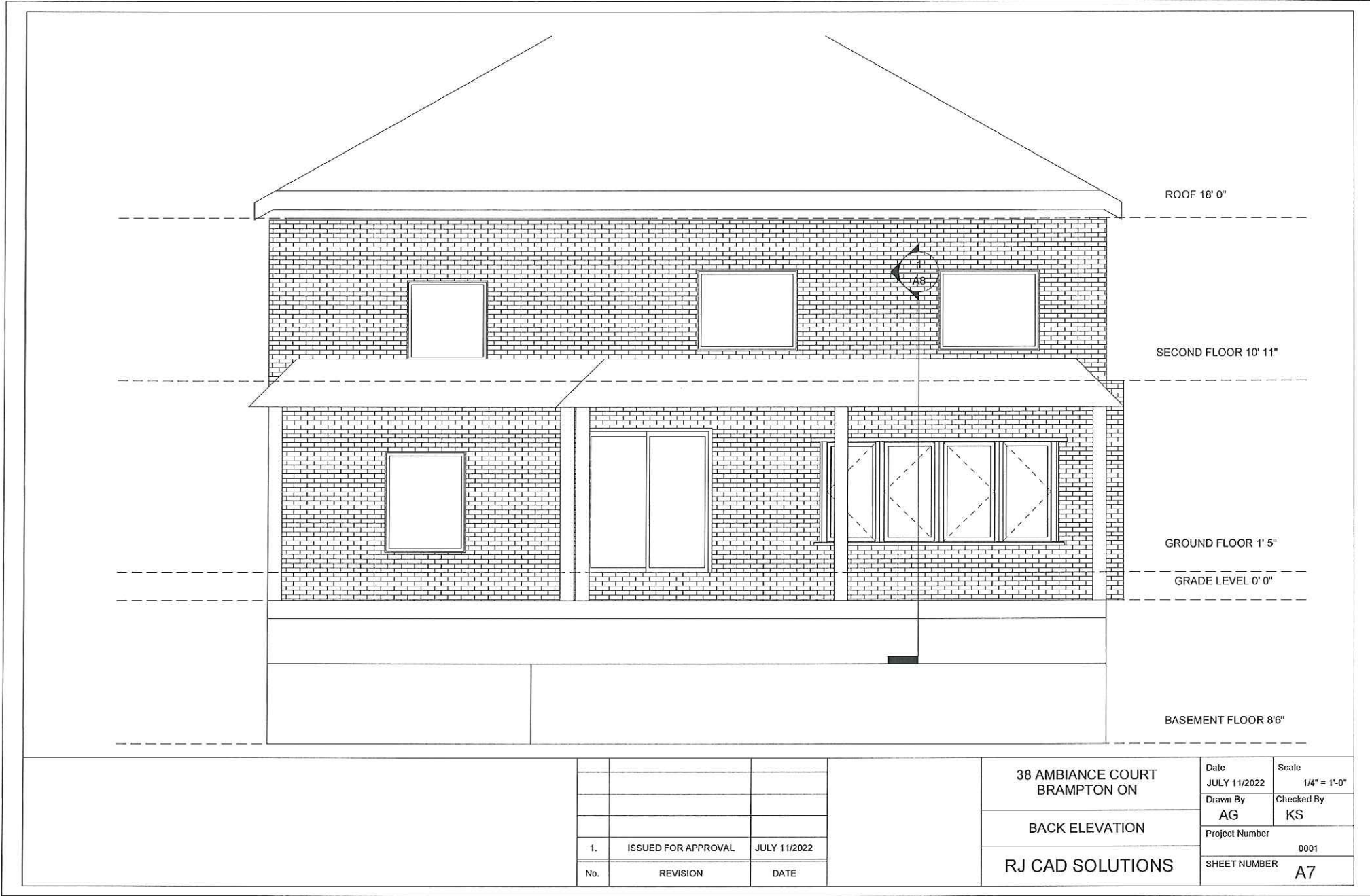


Applicant/Authorized Agent

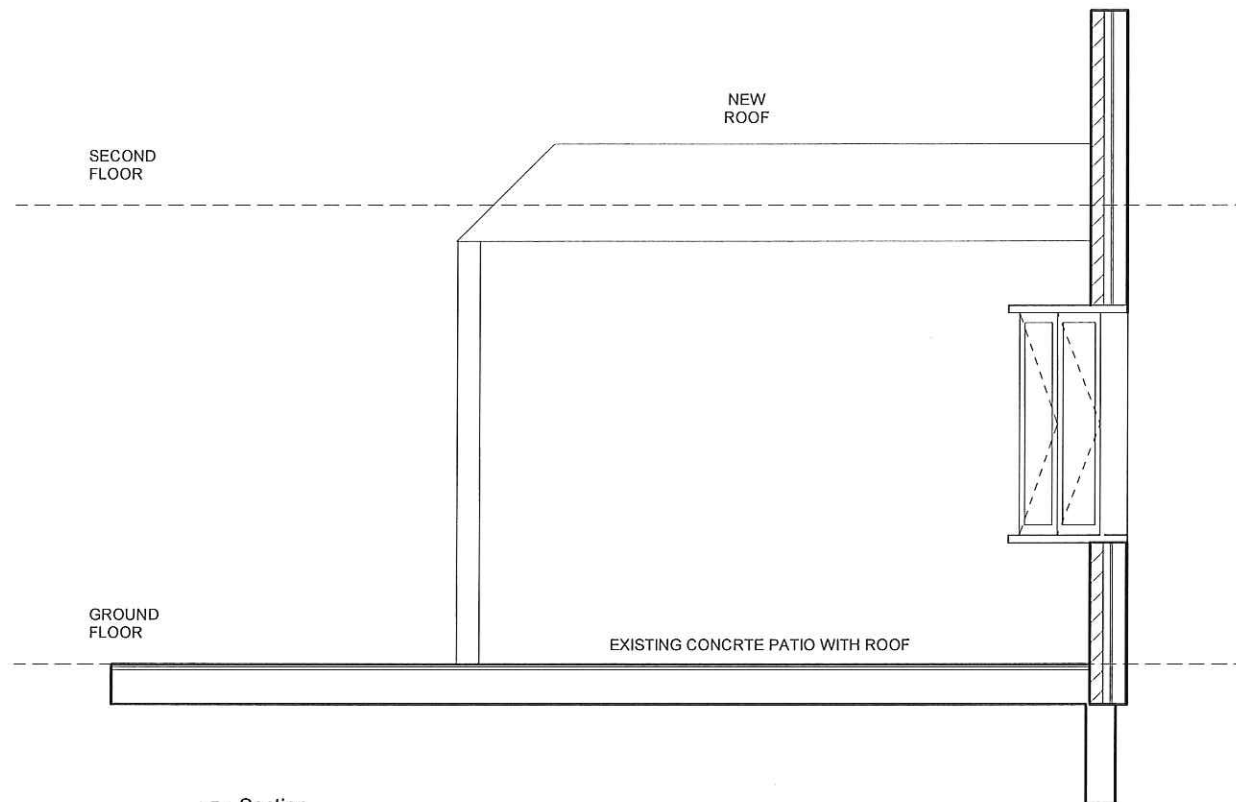


1.	ISSUED FOR APPROVAL	JUNE 27/2022
No.	REVISION	DATE

38 AMBIANCE COURT BRAMPTON ON		Date JUNE 27/2022	Scale 1/8" = 1'-0"
EXISTING SITE PLAN		Drawn By DP	Checked By KS
RJ CAD SOLUTIONS		Project Number 0001	SHEET NUMBER A2



① Elevation 1 - c
1/4" = 1'-0"



② Section
3/8" = 1'-0"

1.	ISSUED FOR APPROVAL	JULY 11/2022
No.	REVISION	DATE

38 AMBIANCE COURT BRAMPTON ON	Date JULY 11/2022	Scale 3/8" = 1'-0"
	Drawn By AG	Checked By KS
SECTION	Project Number 0001	
RJ CAD SOLUTIONS	SHEET NUMBER	A8

AMENDMENT LETTER

April 26, 2022

To: Committee of Adjustment

RE: APPLICATION FOR MINOR VARIANCE
MOHAMMAD FAISCAL MOLEDINA AND SAMIARA FAISAL MOLEDINA
LOT 80, PLAN 43M-1885
A-2022-0046 – 38 AMBIANCE COURT

Please **amend** application **A-2022-0046** to reflect the following:

1. To permit a balcony/deck and covered patio to encroach 3.3m (10.83 ft.) into the required rear yard resulting in a rear yard setback of 4.2m (13.78 ft.) whereas the by-law permits a maximum deck and covered porch encroachment of 1.8m (5.91 ft.) resulting in a rear yard setback of 5.7m (18.70 ft.);
2. To permit a driveway width of 8.2m (26.90 ft.) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.).

Kewin Shah



Applicant/Authorized Agent

A-2022-0046 – 38 AMBIANCE COURT

Revised covering letter dated April 7, 2022

Amended Page 1 – Question 3

Existing Site Plan

Proposed Site Plan

Date: 2022/04/07
Committee of Adjustment
City of Brampton
2 Wellington Street West,
Brampton
ON L3Z 2A9

RE: Minor Variance application for 38 Ambiance Court, Brampton

Dear member of the Committee of Adjustment and Secretary-Treasurer,

I am writing this cover letter for the property of 38 Ambiance Court, Brampton, ON, on behalf of a homeowner who wants to build a balcony with a roof in a backyard. As per the property survey, the setback between the dwelling and rear lot line is 7.6m.

The minimum rear yard setback requirement is 5.7m from the lot line.

The width of the proposed balcony is 3.4m. Therefore, providing a rear yard setback of 3.1m. Hence, there is a shortage of $5.7\text{m} - 3.1\text{m} = 2.6\text{m}$.

Reasons to build a balcony with a roof:

Currently, the owner has already built the balcony with a setback of 2.6m.

I am appealing for a minor variance for a 2.6m space.

My kind request is to consider this application and grant a permit for the above matter as this situation is minor in nature.

Thank you,

Kruti Shah, P.Eng.



RJ Cad Solutions

FILE NUMBER: A-2022-0046
AMENDED PAGE 1.

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Mohammad Faisal Moledina, Samira Faisal Moledina
Address 38 AMBIANCE CRT, BRAMPTON, ON, L6Y 0X4

Phone # 416-434-3102 **Fax #** _____
Email info.mypropertyguy@gmail.com

2. **Name of Agent** KRUTI SHAH
Address 202-275 GARDENBROOKE TRAIL, BRAMPTON, ON, L6P 4M6

Phone # 647 532 3593 **Fax #** _____
Email kruti@rjcadolutions.com

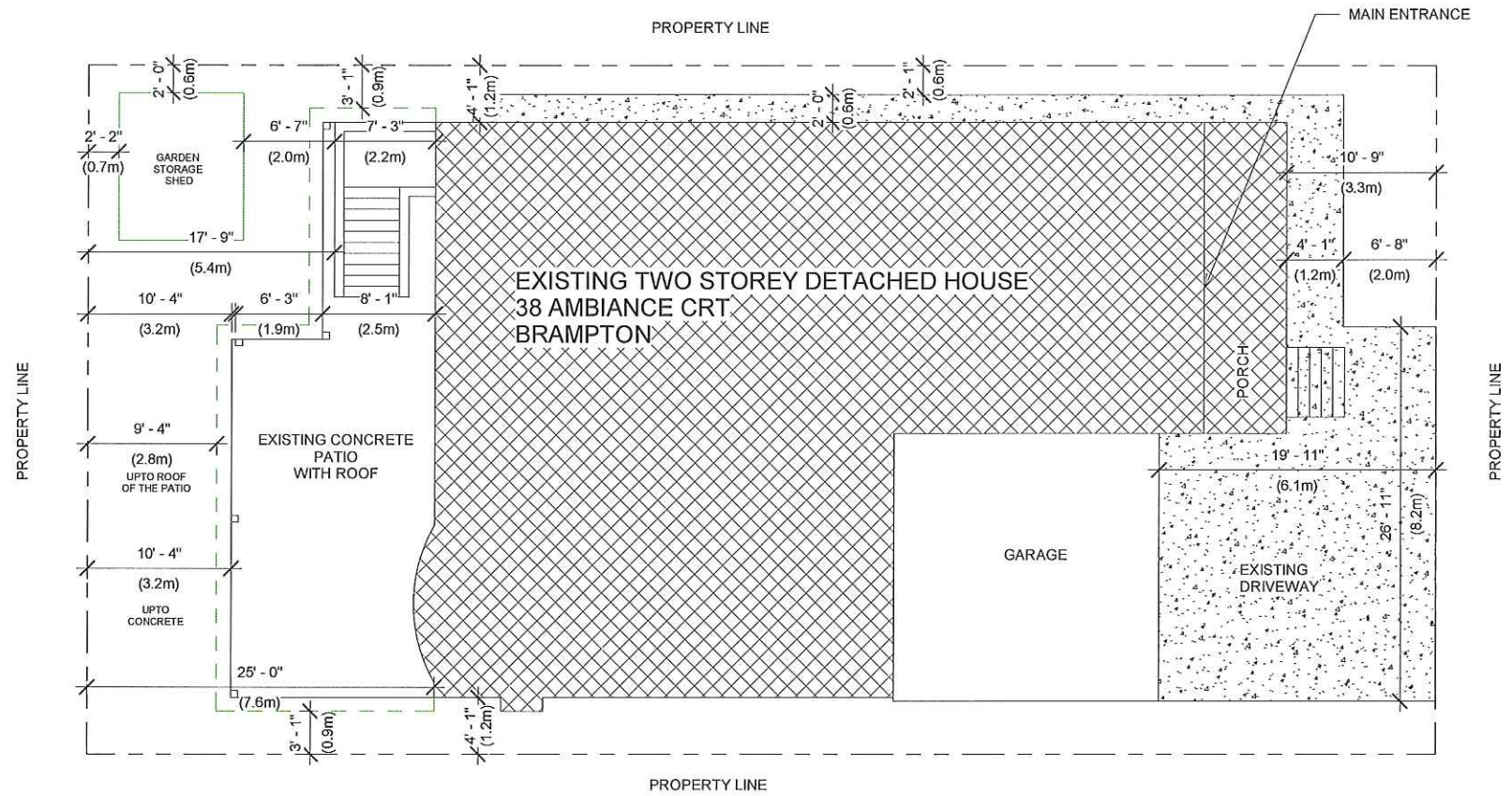
3. **Nature and extent of relief applied for (variances requested):**
To permit an exterior rear yard setback of 3.1 meters to roof of balcony (the By-law requires a minimum of 5.2 meters)

4. **Why is it not possible to comply with the provisions of the by-law?**
Setback from the existing building of exterior rear yard is 7.6m. We are proposing balcony with roof from rear yard which is 3.1m. Which does not affect any drainage of neighbor. .

5. **Legal Description of the subject land:**
Lot Number 80
Plan Number/Concession Number 43M-1885
Municipal Address 38 AMBIANCE CRT

6. **Dimension of subject land (in metric units)**
Frontage 15.2
Depth 28.8
Area 436.3

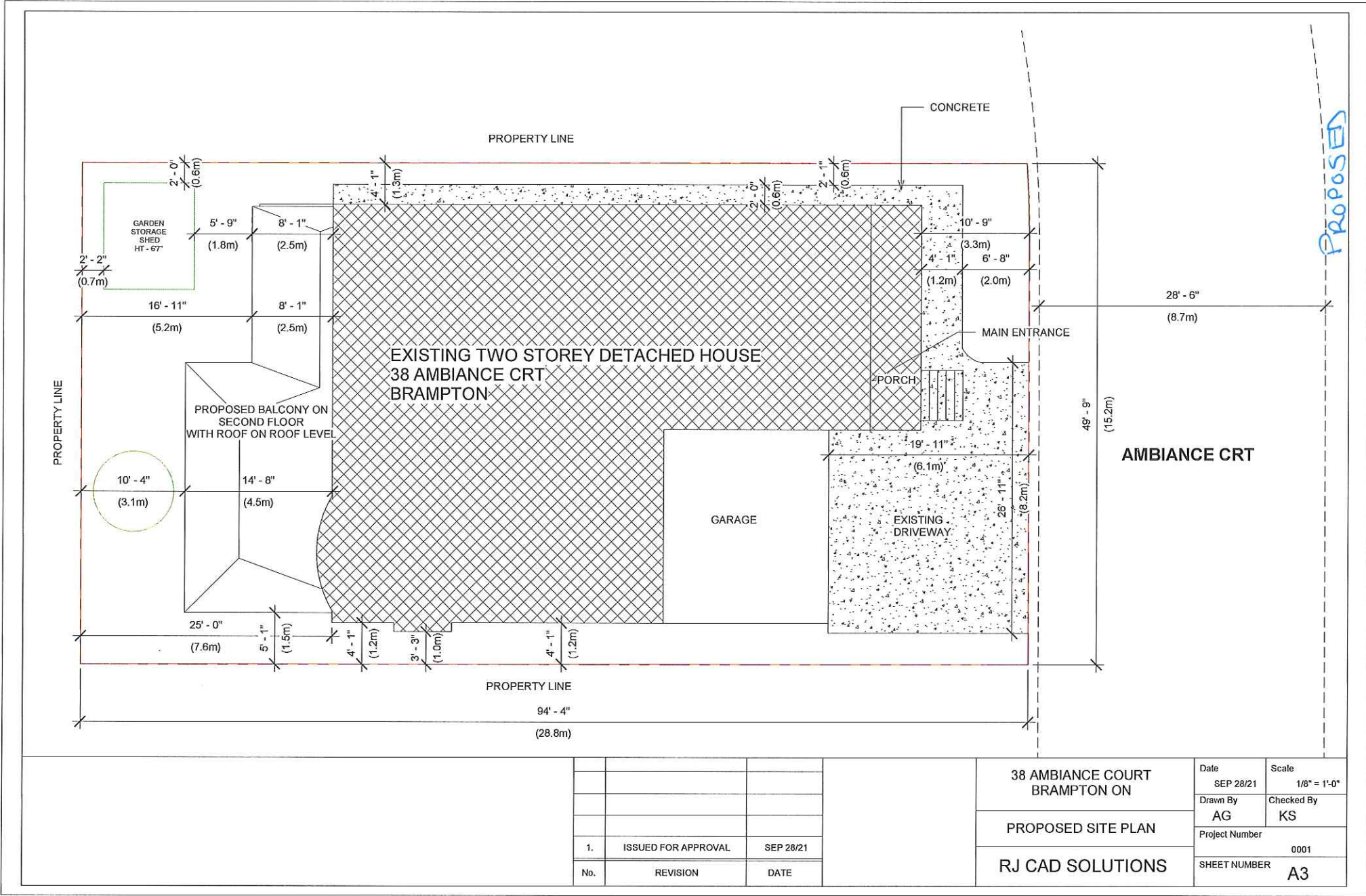
7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐



EXISTING.

1.	ISSUED FOR APPROVAL	SEP 28/21
No.	REVISION	DATE

38 AMBIANCE COURT BRAMPTON ON	Date SEP 28/21	Scale 1/8" = 1'-0"
	Drawn By AG	Checked By KS
EXISTING SITE PLAN	Project Number 0001	
RJ CAD SOLUTIONS	SHEET NUMBER A2	



1.	ISSUED FOR APPROVAL	SEP 28/21
No.	REVISION	DATE

38 AMBIANCE COURT BRAMPTON ON	Date SEP 28/21	Scale 1/8" = 1'-0"
	Drawn By AG	Checked By KS
PROPOSED SITE PLAN	Project Number 0001	
RJ CAD SOLUTIONS	SHEET NUMBER A3	

A-2022-0046

Date: 2022/02/22
Committee of Adjustment
City of Brampton
2 Wellington Street West,
Brampton
ON L3Z 2A9

RE: Minor Variance application for 38 Ambiance Court, Brampton

Dear member of the Committee of Adjustment and Secretary-Treasurer,

I am writing this cover letter for the property of 38 Ambiance Court, Brampton, ON, on behalf of a homeowner who wants to build a balcony with a roof in a backyard. As per the property survey, the setback between the dwelling and rear lot line is 7.6m.

The minimum rear yard setback requirement is 5.7m from the lot line.

The width of the proposed balcony is 3.4m. Therefore, providing a rear yard setback of 4.2m. Hence, there is a shortage of $5.7\text{m} - 4.2\text{m} = 1.5\text{m}$.

Reasons to build a balcony with the roof:

Currently, the owner has already built the balcony with a setback of 1.1m.

I am appealing for a minor variance for 1.5m(5'9") space.

My kind request is to consider this application and grant a permit for the above matter as this situation is minor in nature.

Thank you,

Kruti Shah, P.Eng.



RJ Cad Solutions

FILE NUMBER: A-2022-0046

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

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(Please read Instructions)

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The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Mohammad Faisal Moledina, Samira Faisal Moledina
Address 38 AMBIANCE CRT, BRAMPTON, ON, L6Y 0X4

Phone # 416 424 21 02 **Fax #** _____
Email info.mypropertyguy@gmail.com

2. **Name of Agent** KRUTI SHAH
Address 202-275 GARDENBROOKE TRAIL, BRAMPTON, ON, L6P 4M6

Phone # 947 532 3593 **Fax #** _____
Email kruti@rjcdsolutions.com

3. **Nature and extent of relief applied for (variances requested):**
To permit an exterior rear yard setback of 4.2 meters to roof of balcony (the By-law requires a minimum of 5.7 meters)

4. **Why is it not possible to comply with the provisions of the by-law?**
Setback from the existing building of exterior rear yard is 7.6m. We are proposing balcony with roof from rear yard which is 4.2m. Which does not affect any drainage of neighbor. However, home owner already built the balcony with roof with setback from rear yard which is 1.1m.

5. **Legal Description of the subject land:**
Lot Number 80
Plan Number/Concession Number 43M-1885
Municipal Address 38 AMBIANCE CRT

6. **Dimension of subject land (in metric units)**
Frontage 15.2
Depth 28.8
Area 438.3

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

GROUND FLOOR AREA- 175.7, GROSS FLOOR AREA- 382.49, NUMBER OF STOREYS- 2,

PROPOSED BUILDINGS/STRUCTURES on the subject land:

CONSTRUCTION OF BALCONY WITH ROOF IN REAR YARD

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	3.3
Rear yard setback	7.6
Side yard setback	1.25
Side yard setback	1.24

PROPOSED

Front yard setback	3.3
Rear yard setback	4.2
Side yard setback	1.25
Side yard setback	1.24

10. Date of Acquisition of subject land: 2012
11. Existing uses of subject property: TWO UNIT DWELLING
12. Proposed uses of subject property: TWO UNIT DEWLLING
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 2012
15. Length of time the existing uses of the subject property have been continued: 10 YEARS
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

K. Koffler
Signature of Applicant(s) or Authorized Agent

DATED AT THE February OF 2022

THIS 24 DAY OF February, 20 22.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, KRUTI SHAH, P.ENG, OF THE CITY OF BRAMPTON

IN THE PROVINCE OF ONTARIO SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF BRAMPTON

IN THE PROVINCE OF

ONTARIO THIS 24 DAY OF

February, 2022.

[Signature]
A Commissioner etc.

[Signature]
Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1F-12.4-2101

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L Barbuto

Zoning Officer

March 17, 2022

Date

DATE RECEIVED March 11, 2022

Date Application Deemed Complete by the Municipality March 17, 2022

Revised 2020/01/07

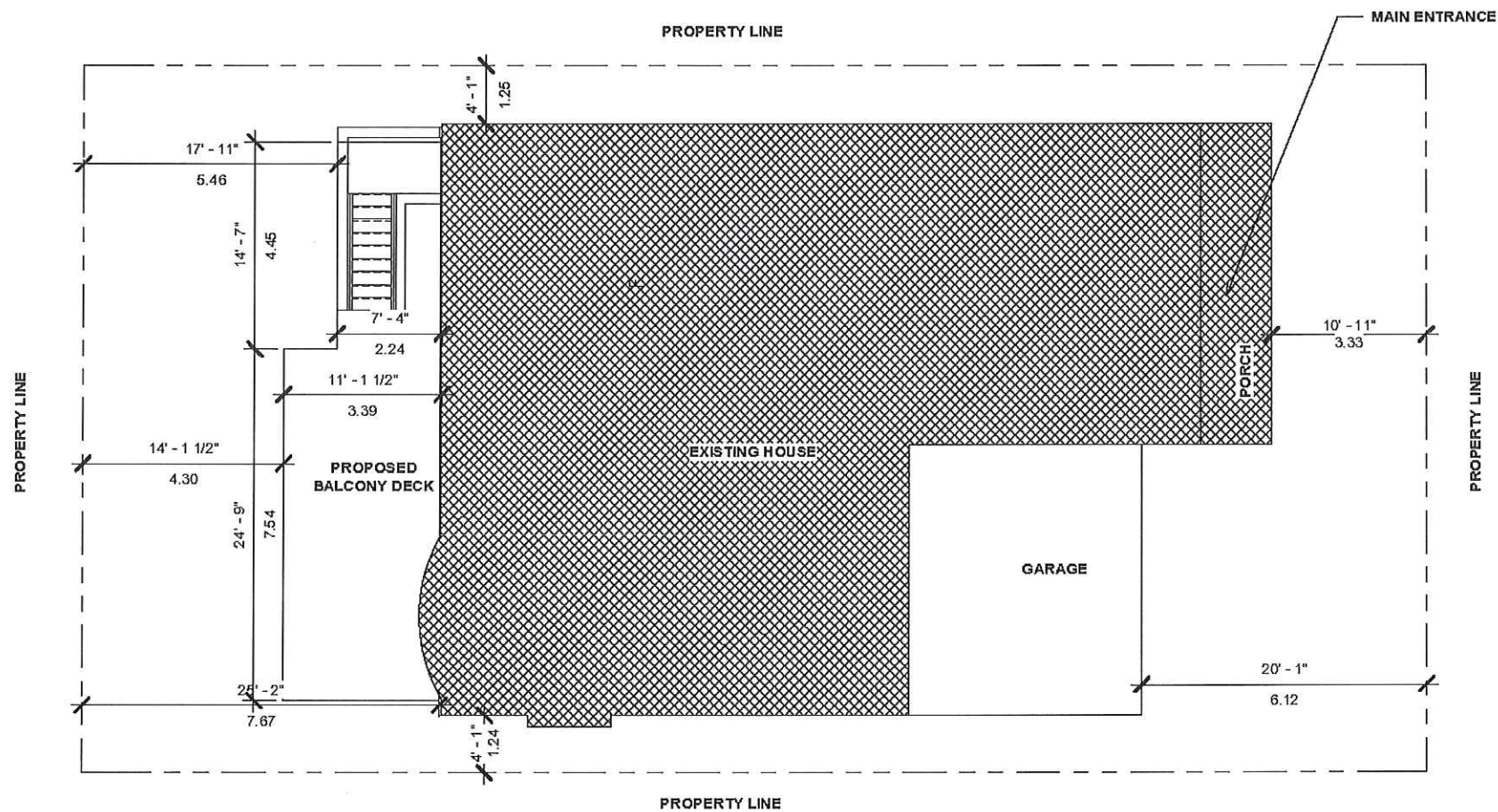
Vijay Kumar Shastri
Barrister, Solicitor & Notary Public
4535 Ebenezer Road, Unit 8
Brampton, ON L6P 2P7
T: 905-794-4900 F: 905-794-4964

SITE COPY



DRAWN BY	CHECKED BY	PROJECT 11-T7989 B
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PART 22
 PLAN 408-10486
BONNIE BRAES DRIVE
 (BY BY - Low 120-2012 Registered As PR2198461)
 (BY BY - Low 130-2012 Registered As PR220006)
 PART OF LOT 4, CONFESSION 3
 WEST OF HUNTINGBROOK STREET
 Twp 57



1.	ISSUED FOR APPROVAL	SEP 28/21
No.	REVISION	DATE

38 AMBIANCE COURT
BRAMPTON ON

SITE PLAN

RJ CAD SOLUTIONS

Date SEP 28/21	Scale 1/8" = 1'-0"
Drawn By PS	Checked By KS
Project Number 0001	
SHEET NUMBER A3	

1- ALL THE DIMENSIONS ARE IN 'IN' 'FT' U.N.O.
2- ALL DIMENSIONS SHOWN SHALL BE VERIFIED WITH
ARCHITECTURAL DRAWINGS

1- DESIGN STANDARD:
a) ONTARIO BUILDING CODE-2012
b) NATIONAL BUILDING CODE OF CANADA -2015
c) ENGINEERING DESIGN IN WOOD CAN/CSA 086-14

a) DEAD LOAD: 1.0 kPa
b) LIVE LOAD: 2.0 kPa
c) SNOW LOAD: 1.25 kPa*
d) WIND LOAD: 0.80 kPa

- 1- THE DECK POSTS ARE ANCHORED TO THE PIER.
- 2- PIER EMBEDMENT DEPTH SHALL BE MINIMUM 4'-0" INTO GROUND.
- 3- PIER (FOUNDATION) DESIGN IS BASED IN ALLOWABAL SOIL BEARING CAPACITY.**

** NOTE: IF SPECIFIED CAPACITY DOES NOT PREVAIL AT SITE.
ADVISE THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

1-ALL WOOD JOISTS AND BEAM SIZES ARE SELECTED WITH THE HELP OF WOOD DESIGN MANUAL 2015 B THE CANIAN WOOD COUNCIL.

- 1-CONTRACTOR SHALL PERFORM WORK IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, CONSTRUCTION RECOMMENDATION IN C/CSA 086, WOOD DESIGN MANUAL AND CONFIRMING TO GOOD CONSTRUCTION PRACTICE AND METHODS
- 2-CONTRACTOR SHALL VERIFY ALL RELEVANT DIMENSIONS,ELEVATION AND DETAILS ON SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO PROCEEDING WITH THE WORK.
- 3-THE AREA AFFECTED BY CONSTRUCTION ACTIVITIES SHALL BE FULLY REINSTATED TO RECONSTRUCTION OR BETTER CONDITIONS TO THE OWNER SATISFACTION.
- 4-CONTRACTOR IS RESPONSIBLE FOR THE SAFETY ON THE JOB SITE DURING CONSTRUCTION AND ERECTION OF ALL FRAMEWORK, TEMPORARY STRUCTURE,SHORING FRAMEWORK ETC.REQUIRED TO COMPLETE THE PROJECT.

- 1- ANY HOLES AND CUTS IN JOISTS ARE TO BE ONLY AS PER MANUFACTURERS RECOMMENDATIONS.
- 2- WHEN TWO OR MORE LVL BEAMS ARE FASTENED TOGETHER CONTRACTOR SHALL STRICTLY FOLLOW LVL MANUFACTURERS RECOMMENDATIONS.
- 3- ALL JOIST INSTALLATION, ERECTION AND CONNECTIONS INCLUDING NAILS AND HANGERS ARE TO BE IN ACCORDANCE WITH THE JOIST MANUFACTURERS SPECIFICATIONS.
- 4- ALL LVL BEAMS SHALL HAVE FULL BEARING ON SUPPORTS AS PER MANUFACTURERS RECOMMENDATION.
- 5- CONTRACTOR SHALL USE STANDARD SIMPSON STRONG-TIE HARDWARE OR APPROVED EQUIVALENT FOR ALL JOIST HANGERS BEAM HANGERS BEAM SEATS POST ANCHORS ETC. UNO ON DRAWINGS.
- 6- ALL LUMBER TO BE USED AND EXPOSED TO WEATHER SHALL BE PRESSURE TREATED FOR DECAY RESISTANCE.
- 7- ALL FASTENERS SHALL BE CORROSION RESISTANT

- ALL DRAWINGS ARE THE PROPERTY OF BDO CONSULTANTS INC AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE CONSULTANT
- COMMUNICATION TO CLIENT AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER
- ALL CONSTRUCTION TO BE ACCORDING TO THE 31 COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE 2012

NOTES:

CRANE STATUS

CONCEPT DESIGN DOCUMENTS	<input type="checkbox"/>
SCHEMATIC DESIGN DOCUMENTS	<input type="checkbox"/>
DESIGN DEVELOPMENT DOCUMENTS	<input type="checkbox"/>
DETAIL DOCUMENTS	<input type="checkbox"/>
TESTING DOCUMENTATION DOCUMENTS	<input type="checkbox"/>
CONSTRUCTION DOCUMENTATION DOCUMENTS	<input type="checkbox"/>

01	ISSUED FOR REPAY	10/17/02
NO	ISSUED	DATE

STRUCTURAL ENGINEER



PROJECT

33 AMBIANCE COURT,
BRAMPTON ON L6Y 0G8

STRUCTURAL CONSULTANTS

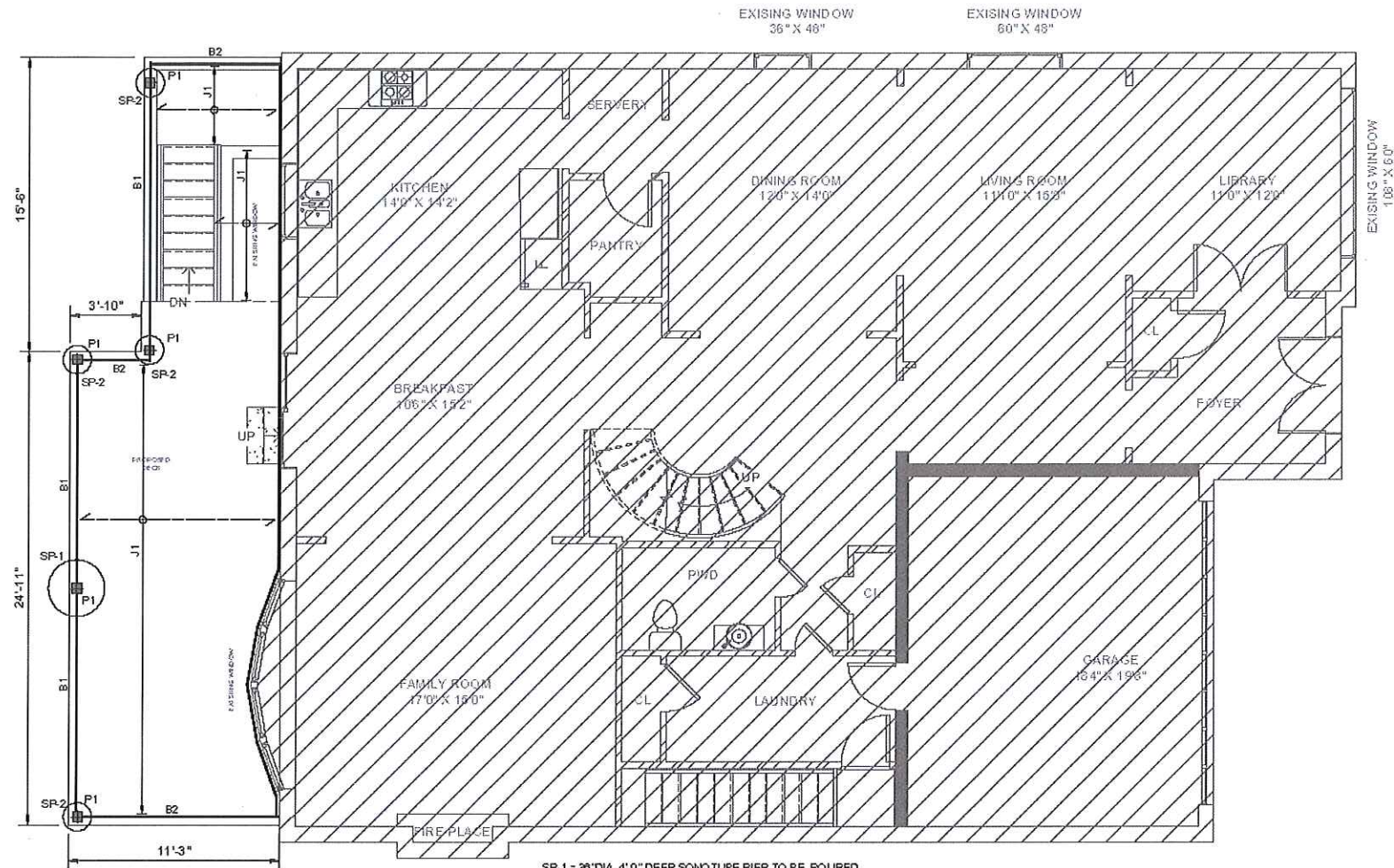
EIDS CONSULTANTS INC.
Legislative and Financial Consultants
 3121, Mission Hill Drive,
 Mississauga, ON L5M 0B2
 Phone: 905 399 5441,
 Email: info@eidsconsultants.com
www.eidsconsultants.com

DWG TITLE

GENERAL NOTES

SCALE	DATE		JANUARY 2022
1:15"=1'-0"	BT ENG	BAI	REVIEWED BY BAI
	OAC		PM

PROJECT NO	ST-23102021-00	REV NO	0
DWG NO	ST-01		



GROUND FLOOR FRAMING PLAN
(SCALE = 3/16"= 1'-0")

SP-1 = 36" DIA. 4'-0" DEEP SONOTUBE PIER TO BE POURED WITH 25MPA CONCRETE ON UNDISTURBED SOIL WITH MIN. BEARING CAPACITY OF 75KPA.
SP-2 = 18" DIA. 4'-0" DEEP SONOTUBE PIER TO BE POURED WITH 25MPA CONCRETE ON UNDISTURBED SOIL WITH MIN. BEARING CAPACITY OF 75KPA

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- ALL CONSTRUCTION TO BE ACCORDANCE TO THE CANADIAN PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE 1917.

NOTES

DRAWING STATUS	
CONCEPT DESIGN DOCUMENTS	<input type="checkbox"/>
SCHEMATIC DESIGN DOCUMENTS	<input type="checkbox"/>
PRELIMINARY DESIGN DOCUMENTS	<input type="checkbox"/>
PERMIT DOCUMENTS	<input type="checkbox"/>
TENDER DOCUMENTS/ADDENDUMS	<input type="checkbox"/>
CONSTRUCTION DOCUMENTATION DOCUMENTS	<input type="checkbox"/>

SI	ISSUED FOR PROJECT	DATE
NO	ISSUED	DATE

STRUCTURAL ENGINEER



PROJECT
38 AMBIANCE COURT,
BRAMPTON ON L6Y 0G8

STRUCTURAL CONSULTANTS

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DWG TITLE

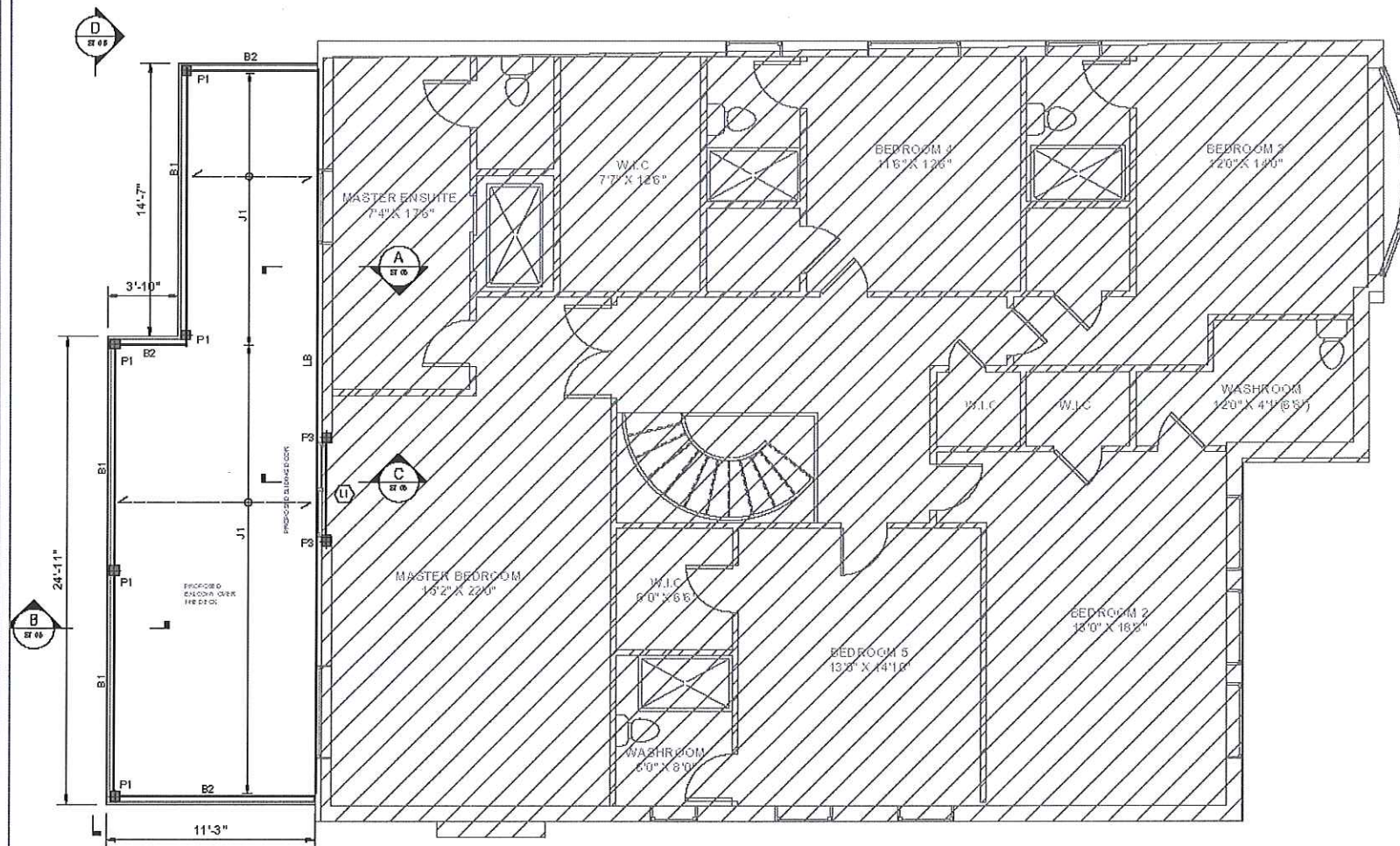
GROUND FLOOR PLAN

SCALE	DATE	BY	CHKD	REV
3/16"=1'-0"	JANUARY 2022	ST	ENG	BAI
		QA/QC	PM	

PROJECT NO ST-23102021-00 REV NO

DWG NO ST-02 0

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BALCONY FRAMING PLAN AT SECOND FLOOR LEVEL
(SCALE = 3/16"=1'-0")

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- ALL CONSTRUCTION TO BE ACCORDING TO THE CANADIAN PRACTICE AND CONFORM TO THE CANADIAN BUILDING CODE 2017.

NOTES

DRAWING STATUS	
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SCHEMATIC DESIGN DOCUMENTS	<input type="checkbox"/>
PERMIT DESIGN DOCUMENTS	<input type="checkbox"/>
PERMIT DOCUMENTS	<input type="checkbox"/>
CONSTRUCTION DOCUMENTS	<input type="checkbox"/>

NO.	ISSUED FOR PERMIT	DATE

STRUCTURAL ENGINEER



PROJECT
38 AMBIANCE COURT,
BRAMPTON ON L6Y 0G8

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DWG TITLE

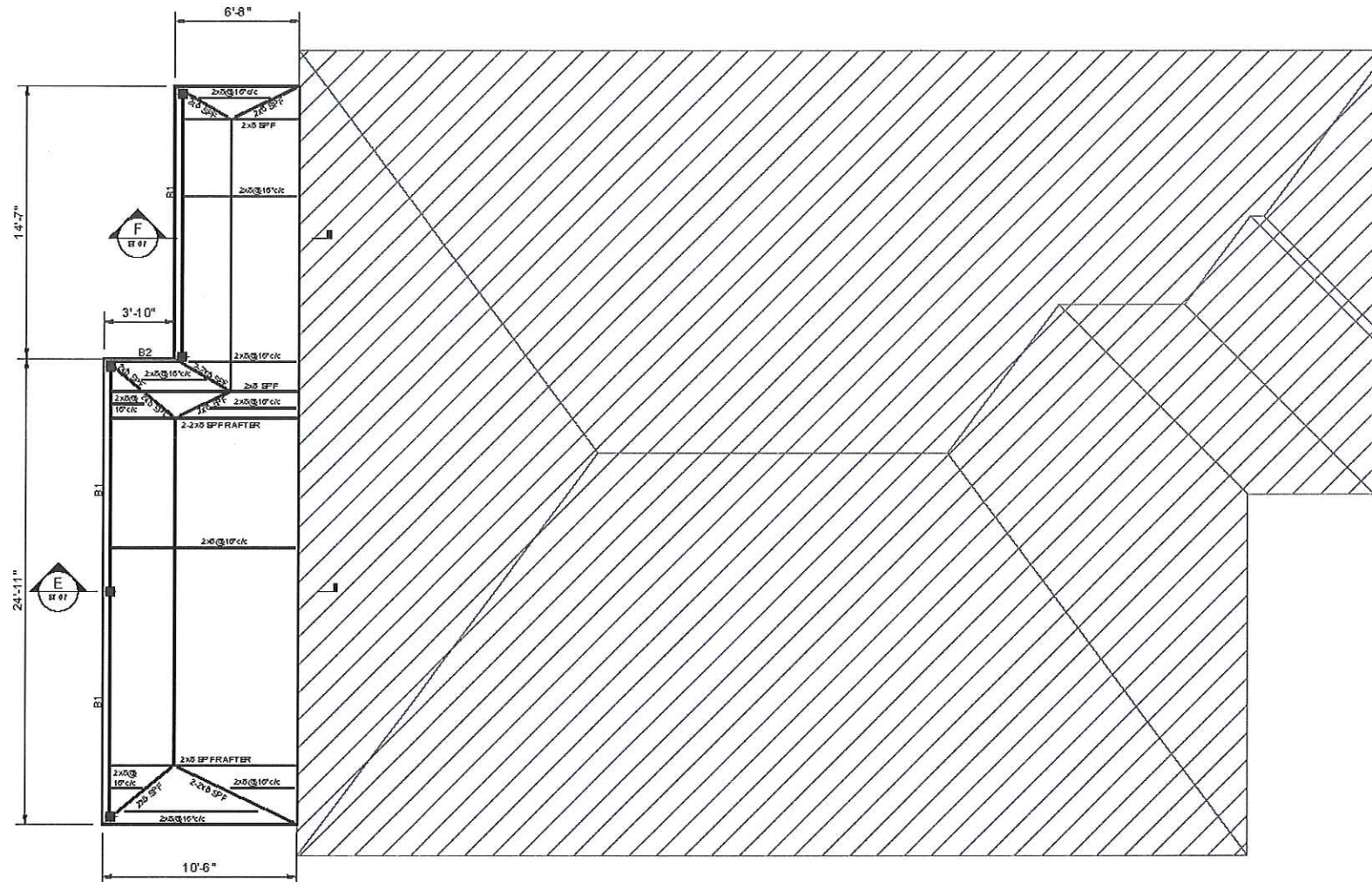
SECOND FLOOR FRAMING PLAN

SCALE	DATE	REVIEWED BY
3/16"=1'-0"	JANUARY 2022	ST-03

PROJECT NO	REV NO
ST-23102021-00	0

DWG NO ST-03

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ROOF FRAMING PLAN
(SCALE = 3/16" = 1'-0")

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- ALL CONSTRUCTION TO BE ACCORDING TO THE COMMON PRACTICE AND CONFORM TO THE CANADIAN BUILDING CODE 2012.

NOTES

DRAWING STATUS	
CONCEPT DESIGN DOCUMENTS	<input type="checkbox"/>
SCHEMATIC DESIGN DOCUMENTS	<input type="checkbox"/>
DESIGN DEVELOPMENT DOCUMENTS	<input type="checkbox"/>
PERMIT DOCUMENTS	<input type="checkbox"/>
TENDER DOCUMENTATION DOCUMENTS	<input type="checkbox"/>
CONSTRUCTION DOCUMENTATION DOCUMENTS	<input type="checkbox"/>

NO.	ISSUED FOR PERMIT	DATE
1	ISSUED	2022

STRUCTURAL ENGINEER



PROJECT
38 AMBANCE COURT,
BRAMPTON ON L6Y 0G8

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DWG TITLE

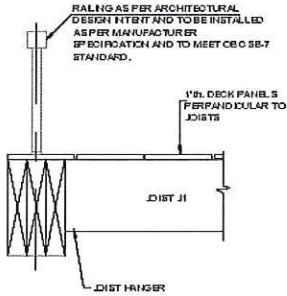
ROOF FRAMING PLAN

SCALE	DATE	JANUARY 2022
BY: BLO, B.A.I.	REVIEWED BY: B.A.I.	
DATE	DATE	

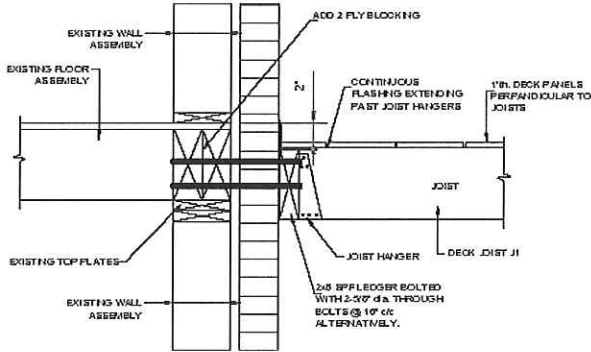
PROJECT NO	ST-23102021-00	REV NO	0
DWG NO	ST-04		

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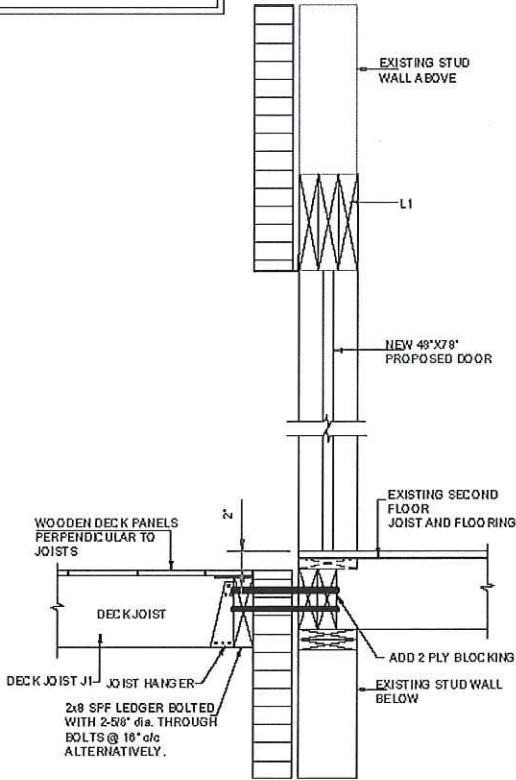
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S #	ID.	DESCRIPTION
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02	P2	RAILING POSTS
03	P3	3 PLY 2X8 SPF
04	B1	3 PLY 2X12 SPF
05	B2	2 PLY 2X12 SPF
06	J1	2X8 SPF @ 16"C/C
07	L1	3 PLY 2X8 SPF
08	LB	2X8 LEDGER BEAM
09	D1	2x6 SPF DIAGONAL BRACING



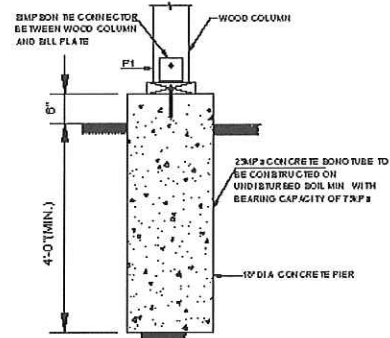
SECTION B-B



SECTION A-A



SECTION C-C
SECTION ACROSS THE DOOR



WOOD COLUMN CONCRETE FOOTING
CONNECTION DETAIL

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- ALL CONSTRUCTION TO BE ACCORDING TO THE CANADIAN PRACTICE AND CONFORM TO THE CANADIAN BUILDING CODE 2012.

NOTES:

DESIGN STATUS	
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SCHEMATIC DESIGN DOCUMENTS	<input type="checkbox"/>
DEVELOPMENTAL DOCUMENTS	<input type="checkbox"/>
PERMIT DOCUMENTS	<input type="checkbox"/>
TENDER DOCUMENTATION DOCUMENTS	<input type="checkbox"/>
CONSTRUCTION DOCUMENTATION DOCUMENTS	<input type="checkbox"/>

41	ISSUED FOR PERMIT	2012072
NO	ISSUED	DATE

STRUCTURAL ENGINEER



PROJECT
38 AMBIANCE COURT,
BRAMPTON ON L6Y 0G8

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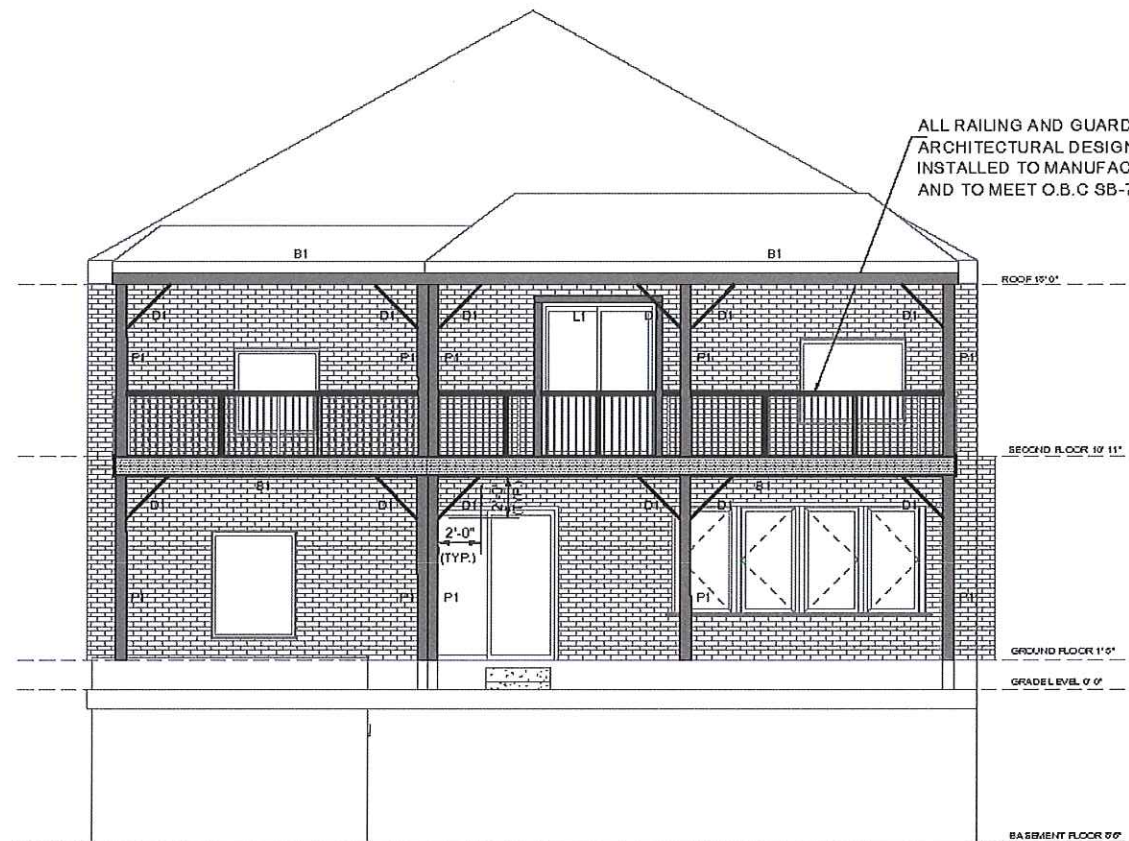
DWG TITLE

SECTION DETAIL

SCALE	DATE	REVIEWED BY
1/4"=1'-0"	2012072	BAI
DATE	DATE	DATE
DATE	DATE	DATE

PROJECT NO	REV NO
ST-23102021-00	0
DWG NO	REV NO
ST-05	0

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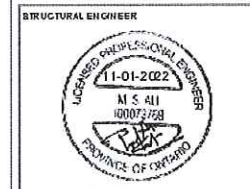
ELEVATION D-D
(SCALE = 3/16"=1'-0")

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NOTES

DRAWING STATUS	
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SCHEMATIC DESIGN DOCUMENTS	<input type="checkbox"/>
DESIGN DEVELOPMENT DOCUMENTS	<input type="checkbox"/>
PERMIT DOCUMENTS	<input type="checkbox"/>
ENGINEER DOCUMENTATION DOCUMENTS	<input type="checkbox"/>
CONSTRUCTION DOCUMENTATION DOCUMENTS	<input type="checkbox"/>

SI	ISSUED FOR PERMIT	DATE
NO	ISSUED	DATE

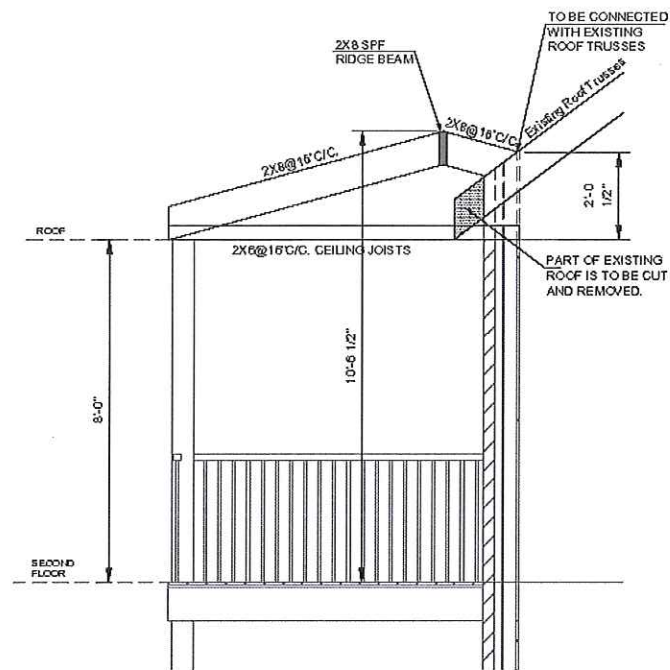


PROJECT
58 AMBIANCE COURT,
BRAMPTON ON LBY 0G8

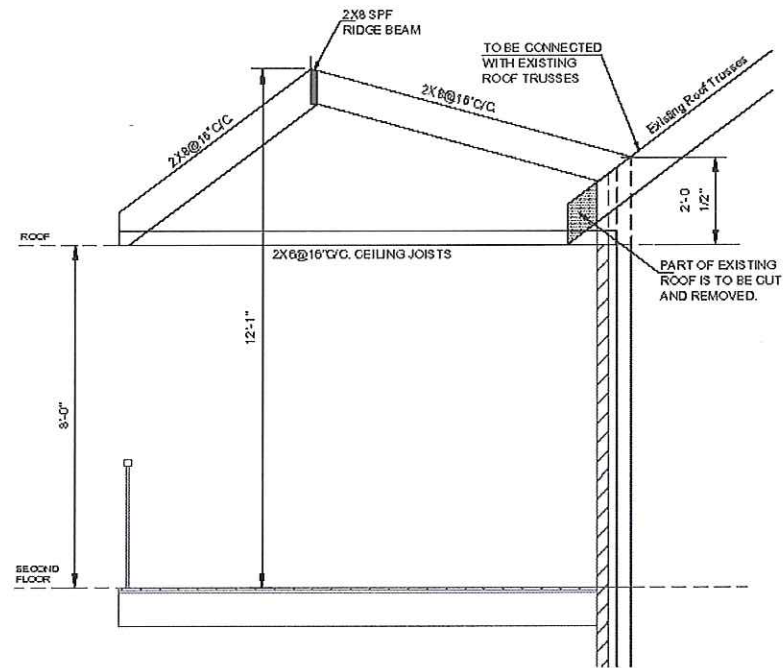
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DWG TITLE ELEVATION D-D			
SCALE	DATE	JANUARY 2022	
3/16"=1'-0"	ST ENG: S Ali	REVIEWED BY: S Ali	
	QA/QC	PM	
PROJECT NO	ST-23102021-00	REV NO	0
DWG NO	ST-06		



SECTION F-F
(SCALE = 3/8"=1'-0")



SECTION E-E
(SCALE = 3/8"=1'-0")

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NOTES:

DRAWING STATUS	
CONCEPT DESIGN DOCUMENTS	<input type="checkbox"/>
SCHEMATIC DESIGN DOCUMENTS	<input type="checkbox"/>
DEVELOPMENTAL DOCUMENTS	<input type="checkbox"/>
PERMIT DOCUMENTS	<input type="checkbox"/>
TENDER DOCUMENTATION DOCUMENTS	<input type="checkbox"/>
CONSTRUCTION DOCUMENTATION DOCUMENTS	<input type="checkbox"/>

NO.	ISSUED FOR PROJECT	DATE
01	ISSUED	2022-01-01

STRUCTURAL ENGINEER



PROJECT
38 AMBIANCE COURT,
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DWG TITLE

SECTION DETAIL

SCALE	DATE	REVIEWED BY	DATE
3/8"=1'-0"	2022-01-01	ST-BIG-BAL	2022-01-01
PROJECT NO	ST-23102021-00	REV NO	0
DWG NO	ST-07		

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