

APPLICATION # A-2022-0254
WARD 6

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **ANDREA CARNEIRO AND STEVE MACEDO** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 4, Plan 43M-2090 municipally known as **584 QUEEN MARY DRIVE**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit an accessory structure (cabana) to include a habitable floor area (installation of washroom) whereas the by-law does not permit an accessory structure to be used for human habitation.

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO

Application for Consent: NO

File Number: _____

File Number: _____

The Committee of Adjustment has appointed **TUESDAY, September 13, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

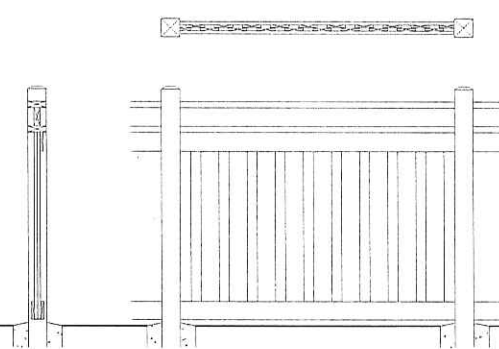
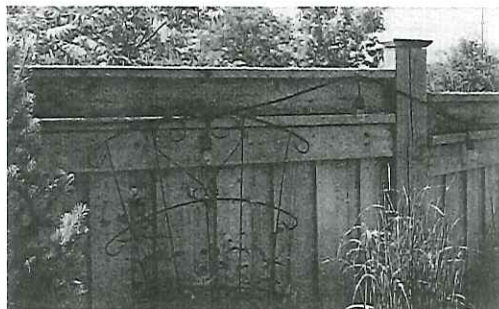
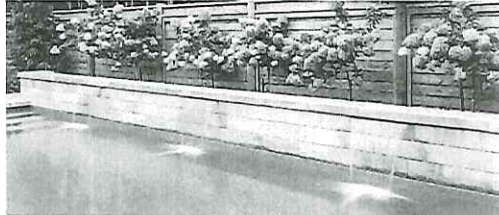
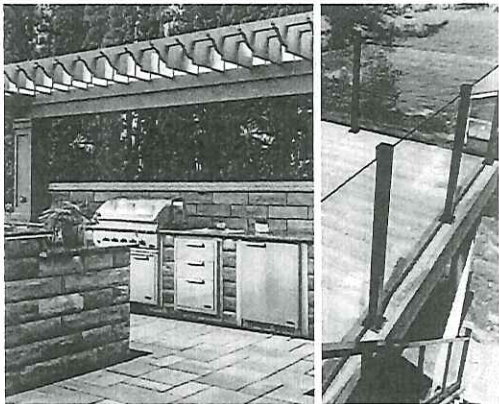
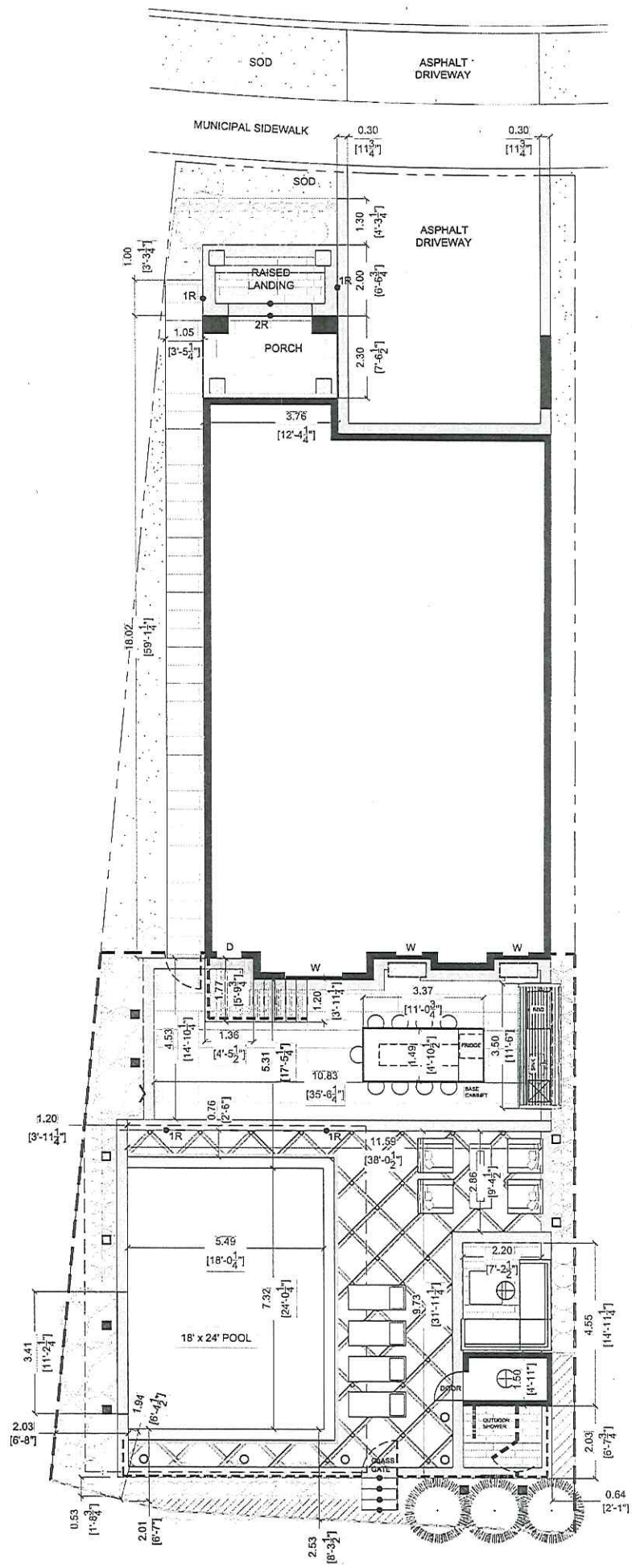
PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 1st Day of September, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

QUEEN MARY DRIVE



584 Queen Mary Drive
Andrea Carneiro

Front Yard & Backyard - Dimensioned Plan
March 22, 2022
Plans prepared by byPATH: landscape architecture



byPATH:
landscape architecture

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **September 13, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, September 8, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, September 8, 2022.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, September 8, 2022.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, September 8, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

The City of Brampton is reviewing its Committee of Adjustment process. As a participant in this process, if you have comments or input you would like to share about your experience with the Committee of Adjustment, please email cityclerksoffice@brampton.ca to indicate your interest and you will be contacted with more information.



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2022-0254

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Andrea Carneiro & Steve Macedo
Address 584 Queen Mary Drive, brampton Ontario L7A5H5

Phone # 416 457-9002 **Fax #** _____
Email dreac_88@hotmail.com

2. **Name of Agent** Not Applicable
Address _____

Phone # _____ **Fax #** _____
Email _____

3. **Nature and extent of relief applied for (variances requested):**
We are building a Cabana and want to include a bathroom/change room attached to the Cabana to use when we/our guests are using the outdoor pool in our backyard.

4. **Why is it not possible to comply with the provisions of the by-law?**
The City of Brampton does not allow plumbing to be included in an outdoor accessory structure such as a Cabana so we are asking the Committee for permission to allow us to build a small bathroom.

5. **Legal Description of the subject land:**
Lot Number 1004 1504
Plan Number/Concession Number _____
Municipal Address 584 Queen Mary Drive Brampton Ontario L7A5H5

6. **Dimension of subject land (in metric units)**
Frontage 11.21 meters
Depth 37.64 meters
Area 422 square Meters

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

We currently have a two-car detached home around 2900 square feet (269.41 square meters)

PROPOSED BUILDINGS/STRUCTURES on the subject land:

A pool being installed August 17 2022. Measuring 18X24 (40.1 square meters)
We are requesting permission to build an open-faced cabana with a small bathroom/change room attached to the end of the Cabana. Cabana Size 4.57 meters in length by 2.5 meters in width. Bathroom size would be 1.5 meters by 2.2 meters. The total gross floor area of the cabana including the bathroom would be 11.425 square meters.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	4.26 meters from property line to home
Rear yard setback	15.2 meters from property line to back corner of house
Side yard setback	1.25 meters from property line to front corner of house
Side yard setback	2.91 meters from property line to back corner of house

PROPOSED

Front yard setback	30 meters from property line to Cabana
Rear yard setback	1.09 meters from property line to Cabana
Side yard setback	
Side yard setback	

10. Date of Acquisition of subject land: April 28 2021 we received possession of the house
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential and Conservation Land
14. Date of construction of all buildings & structures on subject land: April 28 2021
15. Length of time the existing uses of the subject property have been continued: 1 year and 4 months
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Andrea Carneiro

Signature of Applicant(s) or Authorized Agent

DATED AT THE city OF brampton

THIS 6th DAY OF August, 2022.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Andrea Carneiro, OF THE city OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF Peel
THIS 10th DAY OF Aug., 2022

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Andrea Carneiro
Signature of Applicant or Authorized Agent

Submit by Email

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1F - 2452

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

HOTHIS.
Zoning Officer

AUGUST 09 2022
Date

DATE RECEIVED

Date Application Deemed
Complete by the Municipality

Revised 2022/02/17



**Credit Valley
Conservation**
inspired by nature

August 3, 2022

Andrea Carneiro
584 Queen Mary Drive
Brampton, ON L7A 5H5

Dear Ms. Carneiro,

Re: CVC File No. FF 22/083 – 584 Queen Mary Drive, Brampton, ON

This letter is supplementary to the CVC permit No. FF 22/083 issued on March 31, 2022. The drawing included in that permit identifies that a cabana/change room/bathroom structure is proposed. This letter confirms that there are no concerns with this structure and an additional permit from CVC is not required. All works are to be carried out in accordance with the approved plan prepared by byPath: landscape architecture dated March 12, 2022 stamped by CVC March 31, 2022.

Please do not hesitate to contact the undersigned at 905-670-1615 ext. 406 or 647-286-7427.

Regards,

Tyler Slaght
Senior Regulations Officer

Flower City Community Campus
8850 McLaughlin Road South, Unit #2
Brampton, ON L6Y 5T1
T: 905.458.3424
F: 905.458.5224

Address: 584 Queen Mary Dr
Owner/Applicant: Andrew Carneiro/ Steve Lopes Macedo

**THE FENCE AND GATES AT THE ABOVE NOTED ADDRESS HAVE BEEN INSPECTED
AND FOUND TO CONFORM WITH BY-LAW NO. 202-2011.**

As of this date: Aug 2/22

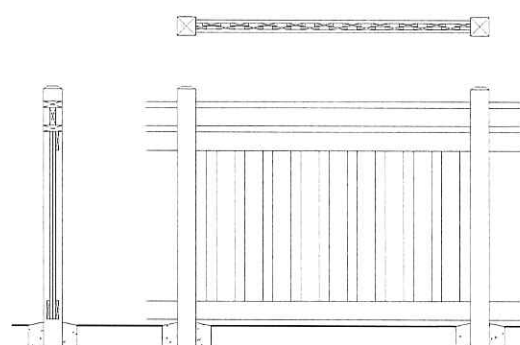
Inspector: Konstantin Ilic

Badge# B733

Signed: [Signature]

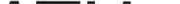

Architectural floor plan showing a residential layout with various rooms and dimensions. Key features include:

- Pool:** 18' x 24' POOL (18'-0" x 24'-0").
- Kitchen:** Includes a BASE CABINET (3'-0" x 11'-6") and a central island (4'-10" x 1'-4").
- Dining/Living Area:** Features a fireplace (11'-0" x 3'-7") and a large open space (38'-0" x 11'-5").
- Bedroom:** 11'-5" x 11'-5".
- Bathroom:** 7'-3" x 5'-1".
- Porch:** 10'-8" x 3'-5".
- Setbacks:** 10'-0" (front), 10'-0" (side), 10'-0" (rear).
- Other Dimensions:** 18'-0" x 24'-0" (pool), 11'-5" x 11'-5" (bedroom), 7'-3" x 5'-1" (bathroom), 10'-8" x 3'-5" (porch), 10'-0" (setback), 10'-0" (setback), 10'-0" (setback).



Front Yard & Backyard - Dimensioned Plan
March 22, 2022
Plans prepared by byPATH: landscape architecture



byPATH: 

landscape architecture

SURVEYOR'S REAL PROPERTY REPORT PART 1

PLAN OF LOTS 1, 2, 3, 4,
5, 6, 7 AND 8
PLAN 43M-2090

CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1:300

10m 5m 0 10m 20metres

R-PE SURVEYING LTD., O.L.S.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN
BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2153762



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3).

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

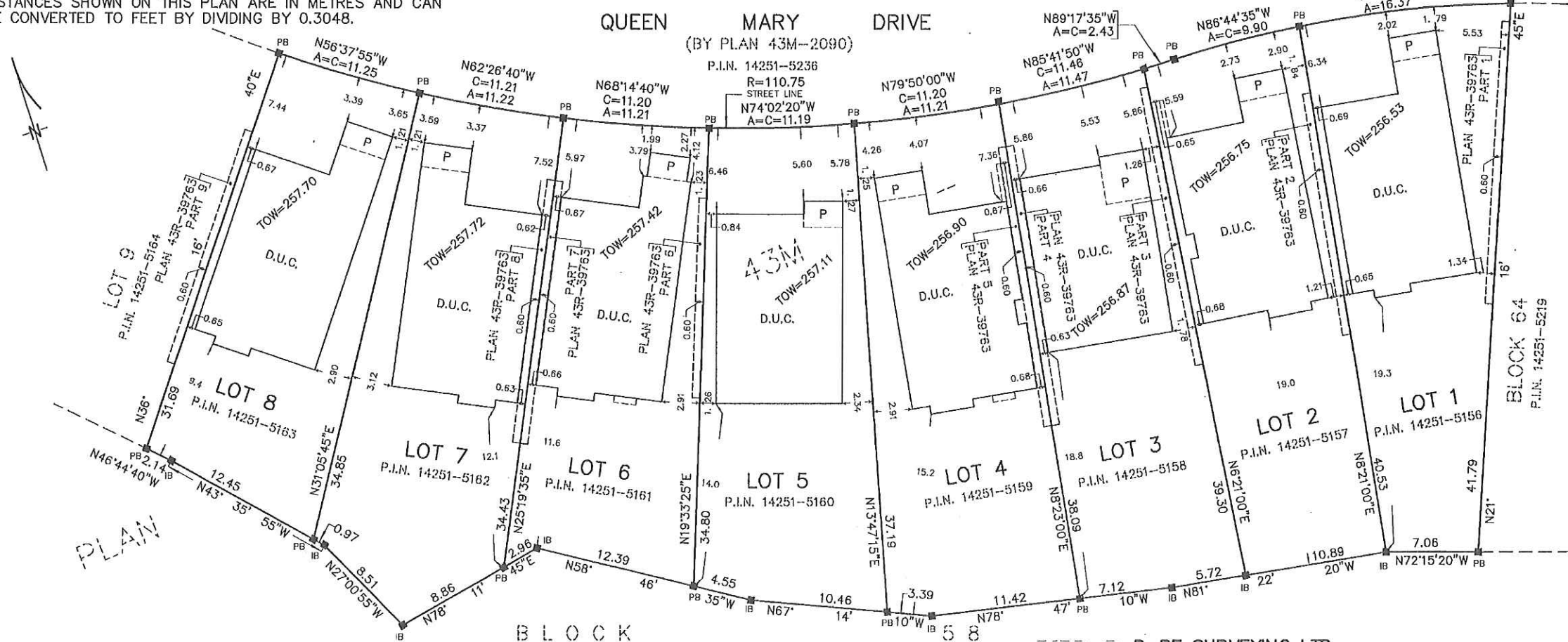
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND
TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 22nd DAY OF DECEMBER, 2020.

DATE FEBRUARY 4, 2021.

T. SINGH
ONTARIO LAND SURVEYOR

PART 2 (SURVEY REPORT)

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: NONE
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS



NOTES

THIS REPORT WAS PREPARED FOR
MATTAMY HOMES
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY OTHER PARTIES

©R-PE SURVEYING LTD., O.L.S., 2021.

■ DENOTES MONUMENT FOUND
PB DENOTES PLASTIC BAR
IB DENOTES IRON BAR
P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
P DENOTES PORCH
TOW DENOTES TOP OF WALL ELEVATION

ALL FOUND MONUMENTS BY R-PE SURVEYING LTD., O.L.S.
ALL TIES TO CONCRETE FOUNDATIONS

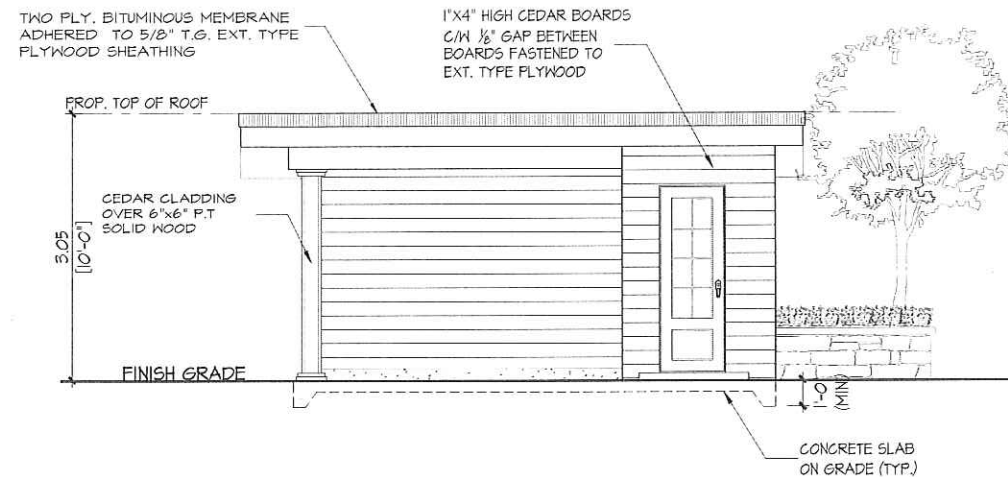
BEARINGS ARE GRID AND ARE REFERRED TO THE
EAST LIMIT OF LOT 1 AS SHOWN ON
PLAN 43M-2090 HAVING A BEARING OF N21°16'45"E.



R-PE SURVEYING LTD.
ONTARIO LAND SURVEYORS
643 Chrislea Road, Suite 7, Woodbridge, Ontario, L4L 8A3
Tel. (416)635-5000 Fax (416)635-5001
Tel. (905)264-0881 Fax (905)264-2099
Website: www.r-pe.ca
DRAWN: V.K.
CAD FILE No. 2090-1
CHECKED: T.S.
JOB No. 20-243

20-243 *43M-2090 L1-8*

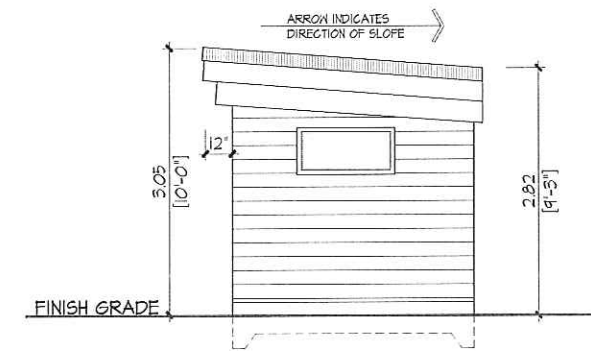




2 FRONT ELEVATION
A3 SCALE : 3/16" = 1'-0"



4 REAR ELEVATION
A3 SCALE : 3/16" = 1'-0"



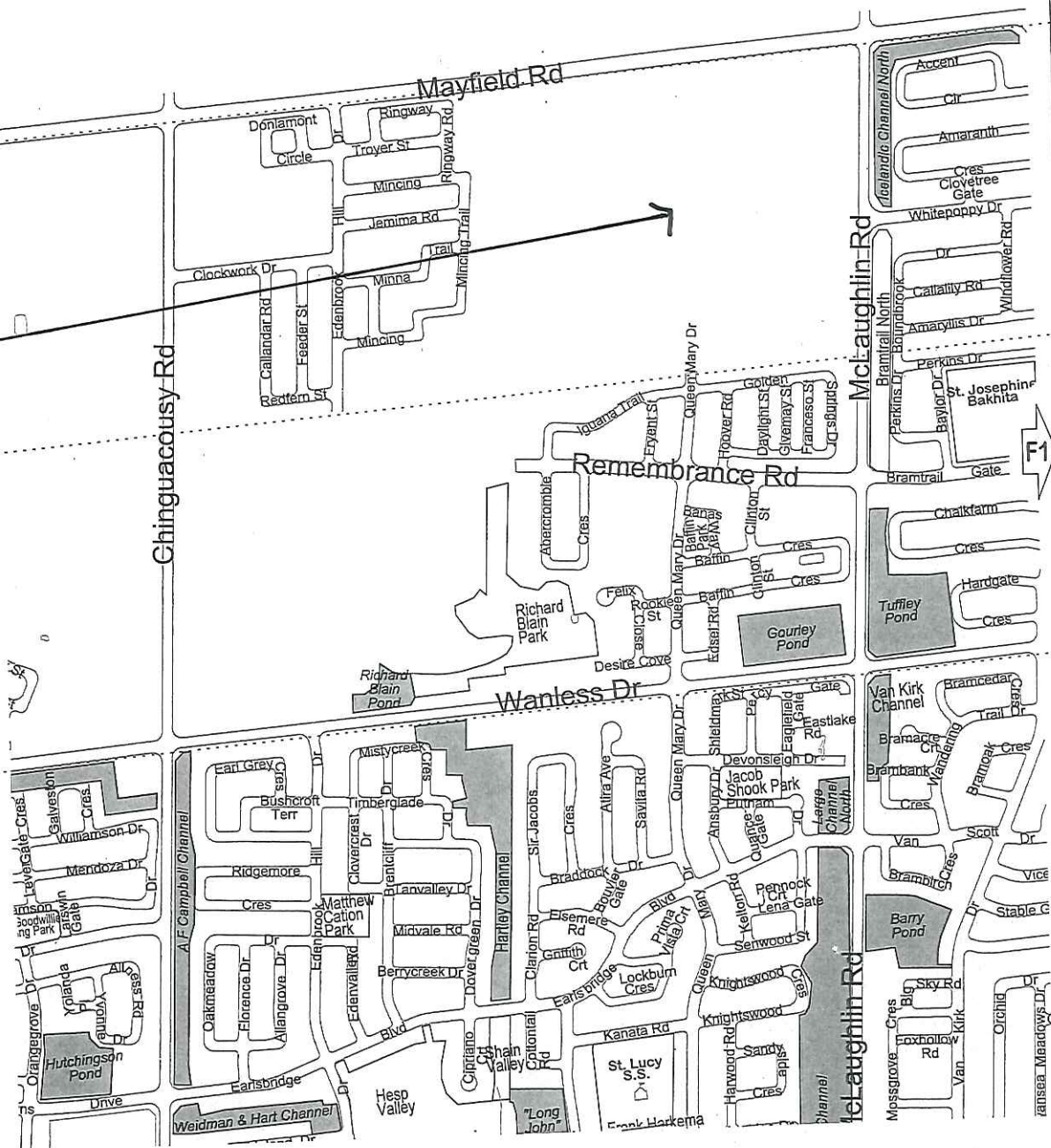
5 SIDE ELEVATION
A3 SCALE : 3/16" = 1'-0"

DESIGNED BY P.R	DRAWN BY P.R	APPROVED BY EKP
PROJECT No. 2022-62	DATE MAY. 2022	SCALE AS SHOWN
FILE: 2022	DRAWING NO. A 3	

A-2022-0254

D1

b



E1

E2