



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **PARTHEEPAN DITHENUKA, ARIYARANTNAM PARTHEEPAN, PARTHEEPAN KOMATHY AND JASINGAM AGENNITH** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 49, Plan 43M-2054 municipally known as **4 HENRY MOODY DRIVE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit an above grade door in the side wall where a minimum side yard width of 0.67m (2.20 ft.) is provided extending from the front wall of the dwelling up to the door, whereas the by-law does not permit a door in the side wall unless there is a minimum side yard width of 1.2m (3.94 ft.) extending from the front wall of the dwelling up to and including the door;
2. To permit a 0.67m (2.20 ft.) path of travel leading to a principle entrance for a second unit whereas the by-law requires a minimum unencumbered side yard width of 1.2m (3.94 ft.) be provided as a path of travel from the front yard to the entrance for a second unit.

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____	NO	File Number: _____
Application for Consent: _____	NO	File Number: _____

The Committee of Adjustment has appointed **TUESDAY, September 13, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

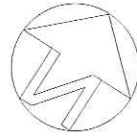
PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 1st Day of September, 2022

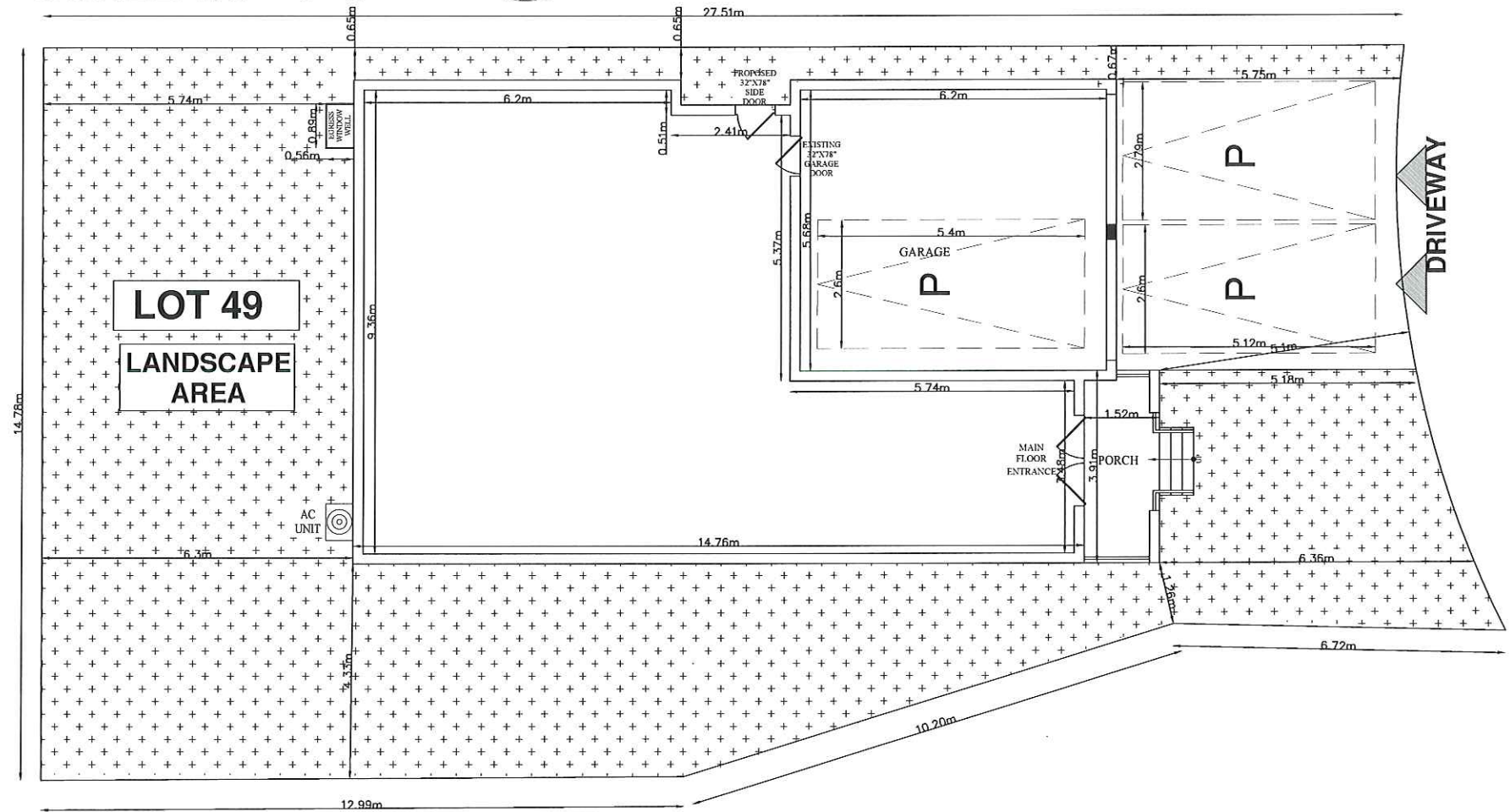
Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

SITE PLAN
SCALE 1/8"=1'-0"



4 HENRY MOODY DRIVE



GENERAL NOTES

DO NOT SCALE DRAWINGS
PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN
ANY REPRODUCTION IN WHOLE OR IN PART
UNDER THE RULES AND BY-LAWS OF THE
CORPORATION IS STRICTLY FORBIDDEN.
ANY REPRODUCTIONS MUST BE
AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

SCOPE OF WORK

PROPOSAL TO CONSTRUCT
SECONDARY UNIT

THE UNDERSIGNED HAS REVIEWED AND
TAKES RESPONSIBILITY FOR THIS DESIGN,
AND HAS THE QUALIFICATIONS AND
MEETS THE REQUIREMENTS SET OUT
IN THE ONTARIO BUILDING CODE
TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT
UNDER DIV. C.32.5.1 OF THE BUILDING CODE

SHIVANG TARIKA 106440
NAME SIGNATURE BCIN

SHIVANG TARIKA

NO.	REVISION / ISSUE	DATE
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SITE PLAN

CITY : BRAMPTON

4 HENRY MOODY DRIVE

EXISTING DWELLING

PROJECT
AUG 2022
SCALE 1/8"=1'-0"

SHEET
A1

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **September 13, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, September 8, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, September 8, 2022.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, September 8, 2022.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, September 8, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

The City of Brampton is reviewing its Committee of Adjustment process. As a participant in this process, if you have comments or input you would like to share about your experience with the Committee of Adjustment, please email cityclerksoffice@brampton.ca to indicate your interest and you will be contacted with more information.

FILE NUMBER: A-2022-0256

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** PARTHEEPAN DITHENUKA, ARIYARATNAM PARTHEEPAN, PARTHEEPAN KOMATHY, THURAIRAJASINGAM AGENNTH
Address 4 HENRY MOODY DR. BRAMPTON, ON, L7A5A8

Phone # 647-881-1720 **Fax #** _____
Email Agennth@gmail.com

2. **Name of Agent** Pardeep Gogna
Address 106 Morningside Dr. Georgetown, ON L0P 1K0

Phone # 416-821-2630 **Fax #** _____
Email Shivang@relysolution.com

3. **Nature and extent of relief applied for (variances requested):**
To permit a side door entrance with the side yard setback of 0.65 meters whereas the by-law requires a minimum rear yard setback of 1.21 meters.

4. **Why is it not possible to comply with the provisions of the by-law?**
The owner wants to build a deck in the rear yard in coming future and he doesn't want to use backyard for the entrance of the second dwelling for the privacy reasons.

5. **Legal Description of the subject land:**
Lot Number 49
Plan Number/Concession Number M2054
Municipal Address 4 HENRY MOODY DR, BRAMPTON, ON, L7A5A8

6. **Dimension of subject land (in metric units)**
Frontage 11.78 m
Depth 27.51 m
Area 324.06 Sqm

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Existing building GFA = 362.69 Sqm, Ground floor area = 109.33 sqm, Height = 6.24m, Number of storeys = 2, Width = 9.77 m , Length = 14.76 m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Second dwelling unit in existing basement = 113.59 Sqm.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 5.18 m

Rear yard setback 6.30 m

Side yard setback 1.26 m

Side yard setback 0.65 m

PROPOSED

Front yard setback 5.18 m

Rear yard setback 6.30 m

Side yard setback 1.26 m

Side yard setback 0.65 m

10. Date of Acquisition of subject land: 2019
11. Existing uses of subject property: Single Dwelling unit
12. Proposed uses of subject property: Two Dwelling Unit
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 2018
15. Length of time the existing uses of the subject property have been continued: 4 Years
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Aminder Singh
Signature of Applicant(s) or Authorized Agent

DATED AT THE City _____ OF Brampton _____

THIS 10 DAY OF August, 2022.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Aminder Singh, OF THE City OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF _____

Peel THIS 10th DAY OF

August, 2022

Jeanie Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024. J.M.

Aminder Singh
Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1F-9-2452

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Todd Payne
Zoning Officer

Aug 5, 2022

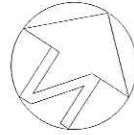
Date

DATE RECEIVED

Date Application Deemed
Complete by the Municipality

Revised 2020/01/07

SCALE 1/8"=1'-0"



The site plan for Lot 49 shows a rectangular lot with a total width of 14.75m and a total depth of 12.99m. The lot is divided into a landscape area on the left and a proposed house on the right. The landscape area is 5.74m wide and 9.36m deep, containing an AC unit and a proposed well. The proposed house is 14.76m wide and 9.36m deep, featuring a main floor entrance, a porch, a garage, and a side door. A driveway is shown on the right side of the lot, leading to the garage. The plan includes various dimensions for the building, driveway, and surrounding areas, as well as labels for 'LOT 49', 'LANDSCAPE AREA', 'GARAGE', 'PORCH', 'MAIN FLOOR ENTRANCE', 'SIDE DOOR', 'AC UNIT', 'PROPOSED WELL', and 'DRIVEWAY'.

DO NOT SCALE DRAWINGS
PROPERTY RIGHTS RETAINED BY:
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ANY REPRODUCTION IN WHOLE OR IN PART
UNDER THE RULES AND BY-LAWS OF THE
CORPORATION IS STRICTLY FORBIDDEN.
ANY REPRODUCTIONS MUST BE
AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

PROPOSAL TO CONSTRUCT SECONDARY UNIT

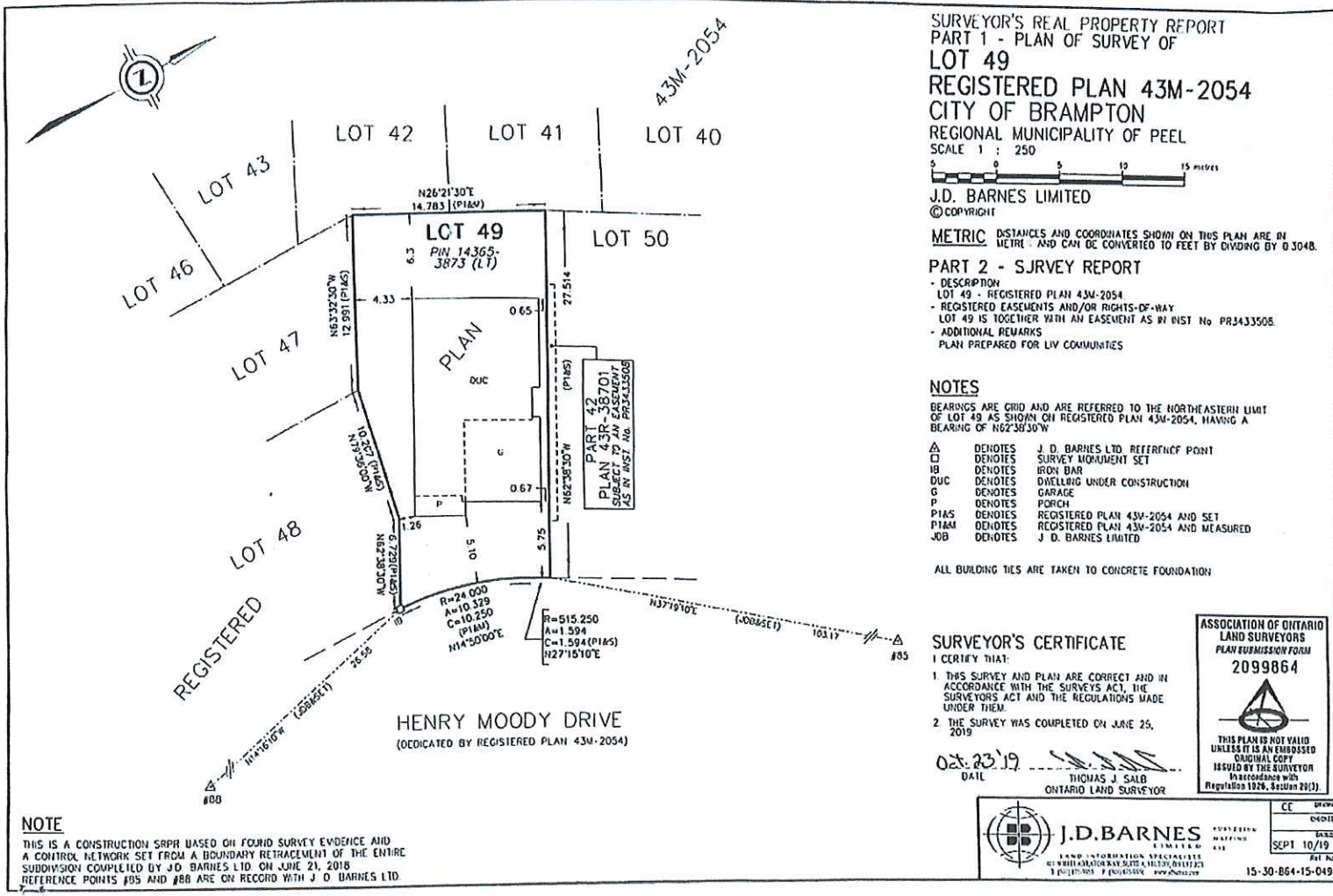
QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT
UNDER DIV. C.32.5.1 OF THE BUILDING CODE

SHAWANG TARICA

NO	REVISION / ISSUE	DATE

EXISTING DWELLING

SHEET
A1



SURVEYOR'S REAL PROPERTY REPORT
PART 1 - PLAN OF SURVEY OF
LOT 49
REGISTERED PLAN 43M-2054
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
SCALE 1 : 250



J.D. BARNES LIMITED
© COPYRIGHT

METRIC DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRE AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PART 2 - SURVEY REPORT
- DESCRIPTION
LOT 49 - REGISTERED PLAN 43M-2054
- REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY
LOT 49 IS TOGETHER WITH AN EASEMENT AS BY DIST No. PR3433008.
- ADDITIONAL REMARKS
PLAN PREPARED FOR LIV COMMUNITIES

NOTES
BEARINGS ARE GRID AND ARE REFERRED TO THE NORTHEASTERN LIMIT OF LOT 49 AS SHOWN ON REGISTERED PLAN 43M-2054, HAVING A BEARING OF N62°38'30"W

Δ	DENOTES	J. D. BARNES LTD. REFERENCE POINT
□	DENOTES	SURVEY MONUMENT SET
IB	DENOTES	IRON BAR
DUC	DENOTES	DWELLING UNDER CONSTRUCTION
G	DENOTES	GARAGE
P	DENOTES	PORCH
P1&S	DENOTES	REGISTERED PLAN 43M-2054 AND SET
P1&M	DENOTES	REGISTERED PLAN 43M-2054 AND MEASURED
JOB	DENOTES	J. D. BARNES LIMITED

ALL BUILDING TIES ARE TAKEN TO CONCRETE FOUNDATION

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON JUNE 25, 2019.

DATE: 08-23-19
BY: THOMAS J. SALB
ONTARIO LAND SURVEYOR

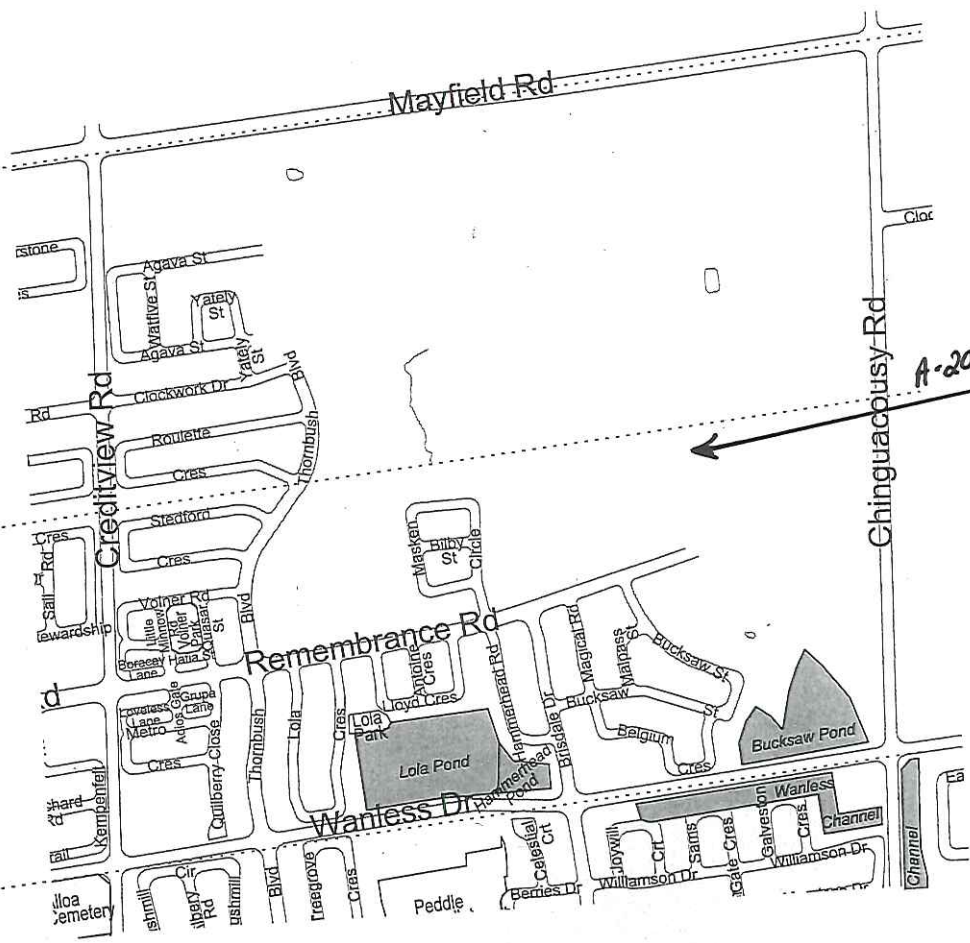
ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2099864

THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1826, Section 29(3)

J.D. BARNES
LAND INFORMATION SPECIALISTS
1000 KENNEDY ROAD SUITE 400 UNIT 121
SCARBOROUGH, ONTARIO M1T 3B7
TEL: (416) 291-1100 FAX: (416) 291-1101 WWW.JDBARNES.COM

CE: OFFICIAL
DATE: 08/23/19
DATE: SEPT 10/19
FILE NO: 15-30-B64-15-049

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A-2022-0256

D1

D2