

**APPLICATION # A-2022-0273**  
**WARD 7**

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **ADMINS BRAMPTON INVESTMENT CORP** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Block E, Plan 720 municipally known as **17 BRAMALEA ROAD**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a commercial, technical or recreational school in Building B (2,018 sq. m building) whereas the by-law does not permit the proposed use;
2. To permit 374 parking spaces on site whereas the by-law requires a minimum of 387 parking spaces.

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____	NO	File Number: _____
Application for Consent: _____	NO	File Number: _____

The Committee of Adjustment has appointed **TUESDAY, September 13, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT.** This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

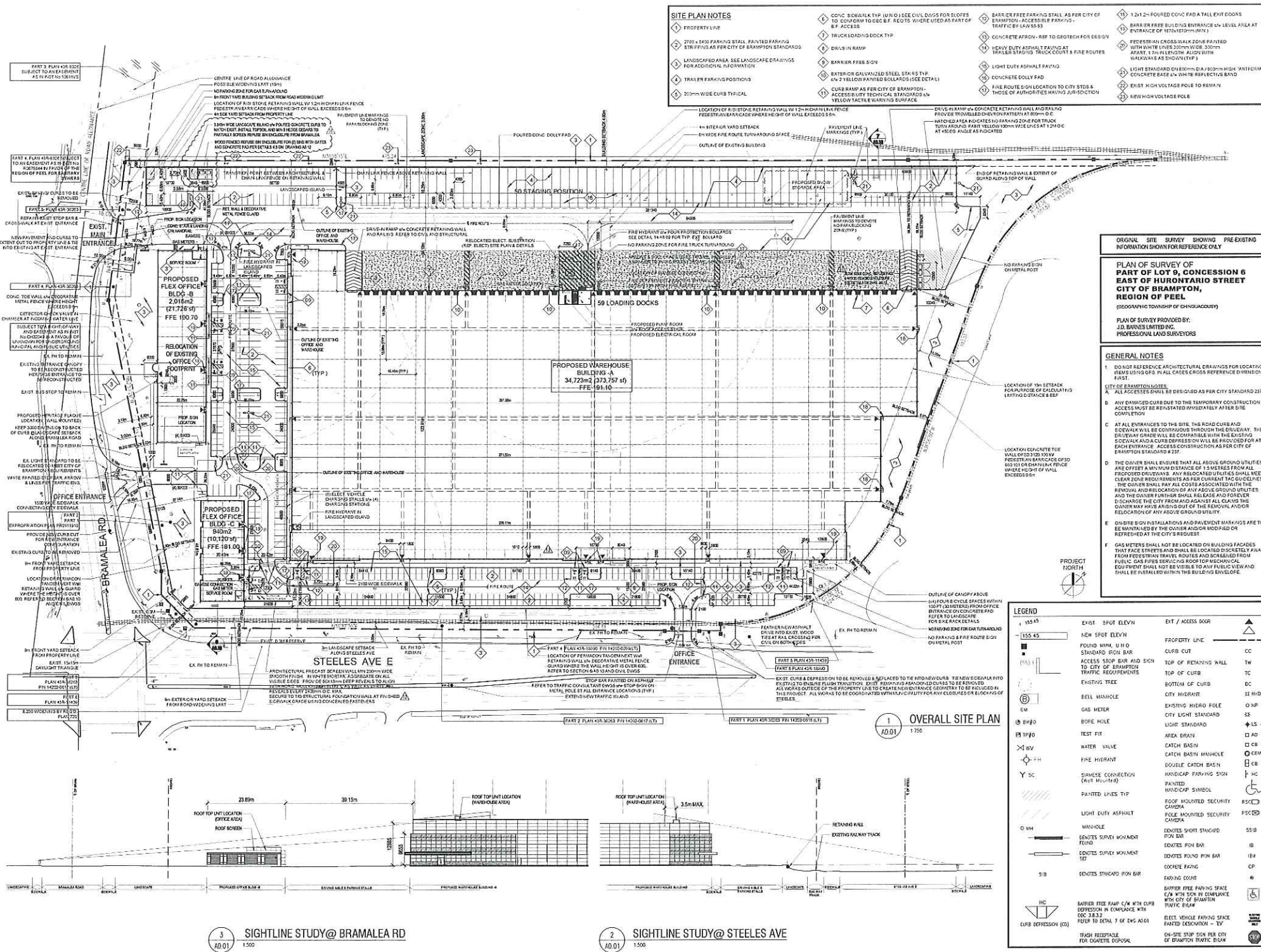
**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 1st Day of September, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer  
Committee of Adjustment, City Clerk's Office,  
Brampton City Hall, 2 Wellington Street West,  
Brampton, Ontario L6Y 4R2  
Phone: (905)874-2117  
Fax: (905)874-2119  
[jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca)





- SITE PLAN NOTES**
  - 1. PROPERTY LINE
  - 2. 750 x 300 PARKING STALL, PAINTED PARKING STRIPES AS PER CITY OF BRAMPTON STANDARDS
  - 3. LANDSCAPED AREA, SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION
  - 4. TRAILER PARKING POSITIONS
  - 5. 200mm WIDE CURB TYPICAL
  - 6. CONC. SIDEWALK TYP. (W/O) SEE CIVIL DIVISION FOR SLOPE TO COMPLY TO GDE B.F. REQTS WHERE USED AS PART OF B.F. ACCESS
  - 7. TRUCK LOADING DOCK TYP.
  - 8. DRIVE-IN RAMP
  - 9. BARRIER FREE ZONE
  - 10. EXTERIOR GALVANIZED STEEL STAIRS TYP. (W/O) SEE CIVIL DIVISION FOR SLOPE TO COMPLY TO GDE B.F. REQTS WHERE USED AS PART OF B.F. ACCESS
  - 11. CUBIC RAMP AS PER CITY OF BRAMPTON ACCESSIBILITY TECHNICAL STANDARDS ON YELLOW TACTILE WARNING SURFACE
  - 12. BARRIER FREE PARKING STALL AS PER CITY OF BRAMPTON ACCESSIBILITY TECHNICAL STANDARDS ON YELLOW TACTILE WARNING SURFACE
  - 13. CONCRETE AFFRON - REF TO GDECH FOR DESIGN
  - 14. HEAVY DUTY ASPHALT PAVING AT TRAILER STAGING TRUCK COURT & FIRE ROUTES
  - 15. LIGHT DUTY ASPHALT PAVING
  - 16. CONCRETE DOLLY PAD
  - 17. FIRE ROUTE 5/8" LOCATION TO CITY STOPS & THOSE OF AUTHORITIES HAVING JURISDICTION
  - 18. 1.2x1.2m POURED CONC. PAD A TALL EXIT DOORS
  - 19. BARRIER FREE BUILDING ENTRANCE (W/O) LEVEL AREA AT ENTRY POINT OF RETAINING WALL
  - 20. FERRUGINOUS CROSSWALK ZONE PAINTED WITH WHITE LINES 200mm WIDE, 300mm DEEP, 1.7m IN LENGTH, ALIGNED WITH BUILDING'S SIDE CURBLINE
  - 21. LIGHT STANDARD (800mm DIA / 800mm HIGH) ANTI-CRASH CONCRETE BASE (W/O) WHITE REFLECTIVE BAND
  - 22. LIGHT STANDARD (800mm DIA / 800mm HIGH) ANTI-CRASH CONCRETE BASE (W/O) WHITE REFLECTIVE BAND
  - 23. EXIST. HIGH VOLTAGE POLE TO REMAIN
  - 24. NEW HIGH VOLTAGE POLE
- GENERAL NOTES**
  - DO NOT REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF UTILITY DEFS. IN ALL CASES CROSS REFERENCE TO THE CITY'S FIRST.
  - ALL ACCESS SHALL BE DESIGNED AS PER CITY STANDARD 237.
  - ANY DAMAGED CURB DUE TO THE TEMPORARY CONSTRUCTION ACCESS MUST BE REINSTATED IMMEDIATELY AFTER SITE COMPLETION.
  - AT ALL ENTRANCES TO THE SITE, THE ROAD CURB AND SIDEWALK WILL BE CONTIGUOUS THROUGH THE DRIVEWAY. THE DRIVEWAY GROUND WILL BE COMPATIBLE WITH THE CITY'S SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED FOR AT EACH ENTRANCE. ACCESS CONSTRUCTION AS PER CITY OF BRAMPTON STANDARD 237.
  - THE OWNER SHALL ENSURE THAT ALL ABOVE GROUND UTILITIES ARE OFFERED A MINIMUM DISTANCE OF 15 METRES FROM ALL PROPOSED DRIVEWAYS. ANY RELOCATED UTILITIES SHALL MEET CLEAR ZONE REQUIREMENTS AS PER CURRENT TAG GUIDELINES. THE OWNER SHALL PAY ALL COSTS ASSOCIATED WITH THE REMOVAL AND RELOCATION OF ANY ABOVE GROUND UTILITIES AND THE COVER FURTHER SHALL BE RELEASED AND FOREVER DISCHARGE THE CITY FROM AND AGAINST ALL CLAIMS THE OWNER MAY HAVE ARISING OUT OF THE REMOVAL AND/OR RELOCATION OF ANY ABOVE GROUND UTILITY.
  - ON-SITE SIGN INSTALLATIONS AND PAVEMENT MARKINGS ARE TO BE MAINTAINED BY THE OWNER AND/OR MODIFIED OR REMOVED AT THE CITY'S REQUEST.
  - GAS METERS SHALL NOT BE LOCATED ON BUILDING FACADES THAT FACE STREETS AND SHALL BE LOCATED DISCREETELY AWAY FROM PEDESTRIAN TRAVEL ROUTES AND SCREENED FROM PUBLIC. GAS PIPES SERVING ROOF TOP MECHANICAL EQUIPMENT SHALL NOT BE VISIBLE TO ANY PUBLIC VIEW AND SHALL BE INSTALLED WITHIN THE BUILDING ENVELOPE.

REV	DATE	DESCRIPTION
1	AUG 14, 2017	ISSUED FOR SITE PLAN APPLICATION
2	JAN 14, 2018	ISSUED FOR REVIEW COORDINATION
3	JAN 28, 2018	ISSUED FOR REVIEW COORDINATION
4	JAN 28, 2018	ISSUED FOR REVIEW COORDINATION
5	FEB 15, 2018	ISSUED FOR SITE PLAN APPLICATION
6	MAY 28, 2018	ISSUED FOR REVIEW COORDINATION
7	AUG 14, 2018	REVISED PER CITY COMMENTS
8	AUG 14, 2018	ISSUED FOR REVIEW COORDINATION
9	OCT 18, 2020	ISSUED FOR BUILDING PERMIT
10	NOV 24, 2020	ISSUED FOR BUILDING PERMIT
11	NOV 24, 2020	ISSUED FOR BUILDING PERMIT
12	DEC 15, 2020	REVISED PER CITY COMMENTS
13	MAY 27, 2021	ISSUED FOR CONSTRUCTION
14	JUN 22, 2021	ISSUED FOR REVIEW COORDINATION
15	MAY 13, 2022	ISSUED FOR REVIEW COORDINATION
16	APR 19, 2022	ISSUED FOR REVIEW COORDINATION

City of Brampton - Planning Division  
Excluded from Site Plan Control  
Site Plan Approval - Limited  
Description:  
Addition of garbage enclosure.

Authorized by: Elahia Saifi  
Date: 05/20/2022  
Signature: [Signature]

NOTE: APPLICANT IS TO CONFIRM IF ZONING AND/OR BUILDING PERMIT REVIEW ARE REQUIRED.

SYMBOL LEGEND	
DETAIL REF	1
SHEET REF	A1.01
DETAIL REF	1
SHEET REF	A1.01
DETAIL REF	1
SHEET REF	ASP.1
DETAIL REF	1
SHEET REF	1



Glenn Piotrowski Architect

PROPOSED DEVELOPMENT  
15 BRAMALEA RD  
BRAMPTON, ONTARIO  
SPA# SP17-064.000  
SHEET NO.

PROPOSED OVERALL SITE PLAN

DATE: APR 2017  
SCALE: 1/250  
PROJECT NO.  
SHEET NO.

**A0.01**



Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures**  
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **September 13, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, September 8, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
  1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, September 8, 2022.**
  2. To participate in-person, please email the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, September 8, 2022.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, September 8, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:  
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or  
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

***The City of Brampton is reviewing its Committee of Adjustment process. As a participant in this process, if you have comments or input you would like to share about your experience with the Committee of Adjustment, please email [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) to indicate your interest and you will be contacted with more information.***

**AMENDMENT LETTER**

August 30, 2022

To: Committee of Adjustment

**RE: APPLICATION FOR MINOR VARIANCE  
ADMINS BRAMPTON INVESTMTN CORPORATION  
PART OF LOT 9, CONCESSION 6 E.H.S.  
A-2022-0273 17 BRAMALEA ROAD**

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Please **amend** application **A-2022-0273** to reflect the following:

1. To permit a commercial, technical or recreational school in Building B (2,018 sq. m building) whereas the by-law does not permit the proposed use;
2. To permit 374 parking spaces on site whereas the by-law requires a minimum of 387 parking spaces.

*M. Rogers*

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Applicant/Authorized Agent

**JOHN D. ROGERS & ASSOCIATES INC.**  
**PLANNERS & DEVELOPMENT CONSULTANTS**

74 ROY DRIVE  
MISSISSAUGA, ONTARIO L5M 1A7  
TEL. 416.565.4390  
e-mail: mrogers@jdrplan.com

**MEMORANDUM**

A-2022-0273

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**Date:** August 25, 2022  
**To:** City of Brampton  
Committee of Adjustment  
**Attn:** Ms. J. Myers, Secretary-Treasurer  
**Re:** Application for Minor Variance – 17 Bramalea Road

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Dear Ms. Myers,

Kindly find attached a completed application for Minor Variance for the property municipally known as 11, 15 and 17 Bramalea Road. The subject lands are currently under construction consisting of a 34,723m<sup>2</sup> warehouse, a 2,018m<sup>2</sup> free standing flex office building and a 940m<sup>2</sup> free standing flex office building. The subject lands are zoned M2-2936.

The requested variances are as follows:

1. To permit the establishment of a commercial, technical or recreational school entirely within the 2,018m<sup>2</sup> building; and
2. To provide a total of 374 parking spaces on-site where the by-law would require a total of 394 parking spaces on-site in this instance.

While Section 30.7(c) of Zoning By-law 270-2004 would permit a commercial, technical or recreational school in this instance if situated in an industrial mall; at this time the development does not meet the defined criteria for an industrial mall.

With respect to parking, the site currently provides 374 spaces, whereas 374 spaces are required. Parking for a commercial, technical or recreation school is slightly greater than the parking ratio for an office use, as such the required parking increases to 394 spaces whereas 374 spaces are provided resulting in a deficiency of 20 spaces (5%).





August 25, 2022

I trust that you will find the materials satisfactory, however, should you have any questions, or require any additional information, please do not hesitate to contact me directly.

*Yours truly,*

*M. Rogers*

*Mark Rogers*

**C.C.:**

FILE NUMBER: A-2022-0273

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1.

Name of Owner(s)

ADMINS Brampton Investment Corporation c/o Carttera Management LP

Address

20Adelaide Street East, Suite 501, Toronto ON, M5C 2T6

Phone #

416-723-7730

Fax #

416-867-7790

Email

jbagbasi@carttera.com

2.

Name of Agent

John D. Rogers & Associates Inc. - Mark Rogers

Address

74 Roy Drive, Mississauga ON, L5M 1A7

Phone #

416-565-4390

Fax #

Email

mrogers@jdrplan.com

3.

Nature and extent of relief applied for (variances requested):

The applicant requests the Committee's authorization to permit the establishment of a commercial, technical or recreational school and provide a total of 374 on-site parking spaces (1 space per 25m2 floor area for the commercial, technical or recreational school); whereas 394 on-site parking spaces are required (1 space per 20m2 floor area for commercial, technical or recreational school).

4.

Why is it not possible to comply with the provisions of the by-law?

Section 30.7(c) of Zoning by-law 270-2004, as amended, permits a commercial, technical or recreational school in an industrial zone provided the use is located within an industrial mall and requires parking to be provided at 1 space per 20m2 floor area. At this time it is not known if the development will have five separate users to be defined as an industrial mall and parking is provided at the "office" rate of 1 space per 25m2 floor area.

5.

Legal Description of the subject land:

Lot Number

Part of Lot 9

Plan Number/Concession Number

Concession 6, E.H.S

Municipal Address

17 Bramalea Road

6.

Dimension of subject land (in metric units)

Frontage

191m

Depth

475m

Area

7.97ha

7.

Access to the subject land is by:

Provincial Highway

Municipal Road Maintained All Year

Private Right-of-Way

Seasonal Road

Other Public Road

Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

Bldg A - 34,723m<sup>2</sup> Warehouse - 15 Bramalea Road  
Bldg B - 2,018m<sup>2</sup> Office - 17 Bramalea Road  
Bldg C - 940.16 Office - 11 Bramalea Road

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

N/A

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback 9.25m  
Rear yard setback 5.65m  
Side yard setback 12.15m  
Side yard setback 5.65m

**PROPOSED**

Front yard setback Same as existing  
Rear yard setback Same as existing  
Side yard setback Same as existing  
Side yard setback Same as existing

10. Date of Acquisition of subject land: 2010
11. Existing uses of subject property: Industrial
12. Proposed uses of subject property: Industrial
13. Existing uses of abutting properties: Industrial
14. Date of construction of all buildings & structures on subject land: 2022
15. Length of time the existing uses of the subject property have been continued: Since constructed
16. (a) What water supply is existing/proposed?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Well ☐
- (b) What sewage disposal is/will be provided?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Septic ☐
- (c) What storm drainage system is existing/proposed?  
Sewers ☒ Other (specify) \_\_\_\_\_  
Ditches ☐  
Swales ☐



17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Mark Rogers

M. Rogers  
Signature of Applicant(s) or Authorized Agent

DATED AT THE \_\_\_\_\_ City \_\_\_\_\_ OF \_\_\_\_\_ Mississauga \_\_\_\_\_

THIS 8th \_\_\_\_\_ DAY OF August \_\_\_\_\_, 2022.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Mark Rogers \_\_\_\_\_, OF THE \_\_\_\_\_ City \_\_\_\_\_ OF \_\_\_\_\_ Mississauga \_\_\_\_\_

IN THE \_\_\_\_\_ Region \_\_\_\_\_ OF \_\_\_\_\_ Peel \_\_\_\_\_ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton  
IN THE Region OF \_\_\_\_\_  
Peel THIS 16th DAY OF  
August, 2022

Jeanie Cecilia Myers  
A Commissioner etc.

Jeanie Cecilia Myers  
a Commissioner, etc.,  
Province of Ontario  
for the Corporation of the  
City of Brampton  
Expires April 8, 2024.

Mark Rogers

M. Rogers  
Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

\_\_\_\_\_  
Zoning Officer

\_\_\_\_\_  
Date

DATE RECEIVED

Date Application Deemed  
Complete by the Municipality

Revised 2022/02/17

GENERAL NOTES	
(1)	THE DIMENSIONS OF THE BUILDINGS, THE MAJOR ARCHITECTURAL ELEMENTS, AND THE STRUCTURAL, MECHANICAL, ELECTRICAL, & FIRE SYSTEMS DOCUMENTED ON DRAWINGS AND SPECIFICATIONS DO NOT NECESSARILY INDICATE OR DEFINE ALL OF THE WORK REQUIRED FOR FULL PERFORMANCE OR COMPLETION OF THE PROJECT.
(2)	ALL WORK SHALL CONFORM WITH ALL APPLICABLE PROVISIONS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT, AND THE LAWS, RULES, REGULATIONS AND REQUIREMENTS OF THE LOCAL BUILDING CODE AND ANY OTHER APPLICABLE LAWS, ORDINANCES OR THIS PARTICULAR PROJECT. IN THE CASE WHERE MORE THAN ONE REQUIREMENT OR RESTRICTION FOR A COMMON EXIST, THE MOST RESTRICTIVE REQUIREMENT SHALL APPLY.
(3)	NOTES APPEAR IN VARIOUS PLACES FOR UNFINISHED SYSTEMS AND CONSTRUCTION MATERIALS. ALL DRAWINGS ARE TO BE READ TOGETHER IN CONJUNCTION WITH THE SPECIFICATIONS. NOTES APPEARING IN ANY CASE SHALL BE UNDERSTOOD TO APPLY TO ALL RELATED DRAWINGS, SYSTEMS AND DETAILS UNLESS OTHERWISE NOTED.
(4)	CONTRACTOR TO SITE VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
(5)	ALL SECTIONS SHALL BE PROVIDED FROM INTERIOR AND EXISTING STORM DRAINAGE SYSTEMS IN ACCORDANCE WITH THE EROSION CONTROL MEASURES OF LOCAL CODE. REQUIREMENTS AND OTHER APPLICABLE LAWS. JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT RESULTING FROM THIS PROJECT FROM STORM DRAINAGE AND DRAINAGE STRUCTURES.
(6)	CONSTRUCTION OPERATIONS SHALL BE CONDUCTED IN SUCH A MANNER AS TO PREVENT TRACKING OF MUD AND SOIL ONTO PUBLIC INFRASTRUCTURE. AT THE END OF EACH DAY, THE CONTRACTOR SHALL PAY FOR AND CLEAN-UP ALL MUD OR SOIL WHICH HAS BEEN TRACKED ONTO PUBLIC STREETS.
(7)	THE CONTRACTOR SHALL PROVIDE FOR THE SAFE AND PROPER PASSAGE OF PEDESTRIANS AND TRAFFIC WHERE THEIR CROSSINGS ARE PUBLIC INFRASTRUCTURE AND ADJACENT PROPERTY IN COMPLIANCE WITH LOCAL CODE AND REGULATIONS OF ANY APPLICABLE LAWS JURISDICTION.
(8)	IF IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSTALL ALL NECESSARY SHAFT BATTERIES, PREVENTING TO WELL CODE & MAINTAIN PERMITTED FOR SEPARATIONS AS MAY BE NOTED. WHERE THE PROPOSED WALLS ARE NOTED TO BE OVER THE DRAINAGE, THE FIRE RATING SHALL APPLY TO THE ENTIRE PERIMETER ENCLOSURE OF THE ROOM OR SPACE FOR THE FULL HEIGHT AND LENGTH OF THE AREA BEING SEPARATED. MAINTAIN FIRE SEPARATIONS AS NOTED.
(9)	ROUGH-IN FOR SANITARY & WATER SERVICE IS REQUIRED AT LOCATIONS NOTED. G.C. TO COORDINATE TIE-IN TO BOTH MUNICIPAL & TO SITE SERVICES AS REQUIRED.
(10)	CONNECTION OF ROOF DRAINAGE TO SITE STORM SYSTEM IS PROVIDED AT LOCATIONS INDICATED (REFER TO CALL FOR COORDINATION), G.C. TO COORDINATE BOTH AS REQUIRED.
(11)	ALL SURFACES TO BE CLEANED AFTER CONSTRUCTION TO SATISFACTION OF CLIENT.
(12)	ALL REMOVAL DEBRIS TO BE REMOVED FROM SITE AND LEGALLY DISPOSED OF BY GENERAL CONTRACTOR AT CONTRACTOR'S EXPENSE. RECYCLE WHERE POSSIBLE TO REDUCE OVERALL ENVIRONMENTAL IMPACT. REFER TO SPECIFICATION FOR SCOPE, ADDITIONAL RESPONSIBILITIES & FEES.
(13)	BEFORE WORK COMMENCES NEW WORK, THE CONTRACTOR SHALL FIELD CHECK ALL CONDITIONS. DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.
(14)	CONTRACTOR'S SCOPE OF WORK TO INCLUDE, BUT NOT BE LIMITED TO CONSTRUCTION OF NEW FINISHED SHELL BUILDINGS, CIVILS, SITEWORK & LANDSCAPING AS NOTED. (SEE OVERALL PLANS FOR ADDITIONAL NOTES AND REFER TO SPECIFICATIONS).
(15)	PROTECT ALL SURFACES & APPURTENANCES TO REMAIN FROM DAMAGE DUE TO CONSTRUCTION. ALL DAMAGES TO BE REPAIRED, OR REPAIRED AT CONTRACTOR'S COST.
(16)	GAS METERS SHALL NOT BE LOCATED ON BUILDING PROVIDED THAT THEY EXIST AND SHALL BE LOCATED DISCREETLY, AWAY FROM PEDESTRIAN TRAVEL ROUTES AND SCREENED FROM PUBLIC VIEW.
(17)	GAS PIPES SERVING ROOF TOP MECHANICAL EQUIPMENT SHALL NOT BE VISIBLE TO ANY PUBLIC VIEW AND SHALL BE INSTALLED WITHIN THE WALL CONSTRUCTION.

# 15 BRAMALEA RD PROPOSED WAREHOUSE & FLEX OFFICE DEVELOPMENT BRAMPTON, ONTARIO

REV	DATE	DESCRIPTION
1	AUG 14, 2017	ISSUED FOR SITE PLAN PRELIMINARY
2	FEB 15, 2018	ISSUED FOR SITE PLAN APPLICATION
3	MAY 28, 2018	ISSUED FOR IFA RE-SUBMISSION
4	OCT 18, 2020	ISSUED FOR REVIEW
5	JAN 11, 2022	ISSUED FOR PUBLIC CONSULTATION
6	JAN 17, 2022	ISSUED FOR IFA RE-SUBMISSION

ZONING & OTHER GENERAL INFORMATION

CURRENT USE -

WAREHOUSE & DISTRIBUTION - TO BE DEMOLISHED

PROPOSED USE -

ALL USES PERMITTED IN AN M2 ZONE (INDUSTRIAL ZONE)

ZONING - (EXISTING)

BUILDING SETBACKS (CITY OF BRAMPTON)

REQUIRED

PROVIDED

FRONT YARD

9.0m

9.25m

SIDE YARD

4.0m

12.15m

REAR YARD

0.0m

3.65m

FACING RAIL

0.0m

3.65m

OTHER LIMITATIONS -

N/A

(CITY OF BRAMPTON)

OVERALL SITE STATISTICS

	IMPERIAL	METRIC
- TOTAL SITE AREA	19.70 Ac	7.97 Ha
- TOTAL GFA	9.31 Ac	3.77 Ha
- LOT COVERAGE (GFA AS PERCENTAGE OF LOT AREA)	47.26 %	
- TOTAL LANDSCAPED AREA	3.11 Ac	1.26 Ha
- LANDSCAPED ARE AS PERCENTAGE OF SITE	15.60 %	
- TOTAL H2O SURFACE AREA	7.28 Ac	2.95 Ha

OVERALL BUILDING STATISTICS

	Phase - I	
BUILDING - A - WAREHOUSE	373,756 sq ft	34,723.11 m <sup>2</sup>
BUILDING - B - OFFICE	21,726 sq ft	2,018.33 m <sup>2</sup>
BUILDING - C - OFFICE	19,120 sq ft	1,768.16 m <sup>2</sup>
TOTAL BUILDING AREA	405,602 sq ft (9.31 Ac)	37,681.64 m <sup>2</sup> (3.77 Ha)

OVERALL PARKING STATISTICS

Based on the City of Brampton requirement of 168 @ 1,170/m<sup>2</sup> (over 20,000/m<sup>2</sup>) - Warehouse and 1,250/m<sup>2</sup> - Office areas

Bldg Area	Stalls Req'd	Stalls Provided
34,723.11 m <sup>2</sup>	255	255
2,018.33 m <sup>2</sup>	81	81
1,768.16 m <sup>2</sup>	33	38
37,681.64 m <sup>2</sup>	374	374

SUBTOTAL PARKING REQ'D

TOTAL PARKING PROVIDED (including 14 barrier-free stalls)

374

TRAILER STAGING PROVIDED

50

LOADING POSITIONS REQUIRED (341/9,300m<sup>2</sup> above 14,000m<sup>2</sup>) (3,740m)

5

LOADING POSITIONS PROVIDED

57

DESIGNATED PARKING REQ'TS

Per City of Brampton Bylaw -

7 Type A - Accessible Stalls Provided

Bldg A - (251-300 req'd) @ 8 Accessible stalls

7 Type B - Accessible Stalls Provided

Bldg B - (76-100 req'd) @ 4 Accessible stalls

Esg C - (26-50 req'd) @ 2 Accessible stalls

DESIGNATED STALLS REQUIRED = 14

TOTAL DESIGNATED BARRIER FREE STALLS PROVIDED

14 Spaces

\*\*Note: All Designated stalls Req'd by Brampton are indicated on the Site Plan

BIKE STALLS

TOTAL BIKE STALLS PROVIDED

20 - Bldg A Stalls

HISTORIC PRESERVATION		LANDSCAPE		LANDSCAPE		CIVIL		ARCHITECTURAL		ELECTRICAL		APPLICANT:	
GBCA ARCHITECTS		INSITE		INSITE		A.M.CANDARAS ASSOCIATES INC		GLENN PIOTROWSKI ARCHITECT LTD.		JANICK ELECTRICAL LTD		CARTERA	
Toronto, ON toronto@gbca.ca	TEL (416) 523-8756 TEL (416) 523-4745	Toronto, ON info@insitearchitects.com	TEL (416) 718-0324 TEL (416) 545-1305	Toronto, ON info@insitearchitects.com	TEL (416) 718-0324 TEL (416) 545-1305	6501 Weston Rd, Suite 203 Weston, ON L4L 1P4 info@amcandaras.com	TEL (905) 850-8039 TEL (905) 850-8039	187 NAVY STREET, OAKVILLE ONTARIO L6J 2Z6 glenn@piotrowski.ca	GLENN PIOTROWSKI TEL (905) 338-8855 TEL (905) 338-8858	JANICK WORKS TEL (416) 883-8959 TEL (416) 883-8959	20 Ashish Street, Unit 101 M5S 2T6, ON, ONTARIO janick@janick.com	LEWIS FORUM TEL (416) 587-2758 TEL (416) 587-3759	

Glenn Piotrowski Architect Ltd. 187 Navy Street, Oakville, On, L6J 2Z6. 1.905.338.8855 / 1.905.338.8868	
Name of Project: BUILDING - A NEW WAREHOUSE FACILITY	
Location (address): 15 BRAMALEA ROAD, BRAMPTON, ONTARIO	
The Architect above has examined and approved the information contained in this document.	
Item Ontario Building Code Data Part 3 OBC Reference	
1. Project Description: On any other building	2.1.1
2. Major Occupancy (s) GROUP F, INDUSTRIAL	3.1.2.1 (1)
3. Building Area Existing	1.1.3.2
4. Gross Area Existing	1.1.3.2
5. Number of Storeys Above Grade ONE (1)	3.2.1.1 & 1.1.3.2
6. Number of Storeys Below Grade ONE (1)	3.2.2.10 & 3.2.5
7. Building Classification CATEGORY F, DIVISION 2, GROUP F	3.2.2.67
8. Sprinkler System	3.2.2.20.63 3.2.1.6 3.2.2.17
9. Standpipe Required	3.2.2.1
10. Fire Alarm	3.2.2.1.1 (2)
11. Water Service/Supply is Adequate	3.2.2.7
12. High Building	3.2.6
13. Permitted Construction	3.2.2.54
14. Maximum Area (m <sup>2</sup> )	3.2.1.1 (3) (4)
15. Occupant Load based on	3.1.1.17
16. Barrier Free Design	3.8
17. Hazardous Substances	3.3.1.2 & 3.3.1.19
18. Required Fire Resistance Rating (FRR) (hours)	3.2.2.20.63 & 3.2.1.4 (Group F2)
19. Spatial Separation - Construction of Exterior Walls	3.2.3
20. Fire Protection - Construction of Exterior Walls	3.2.3

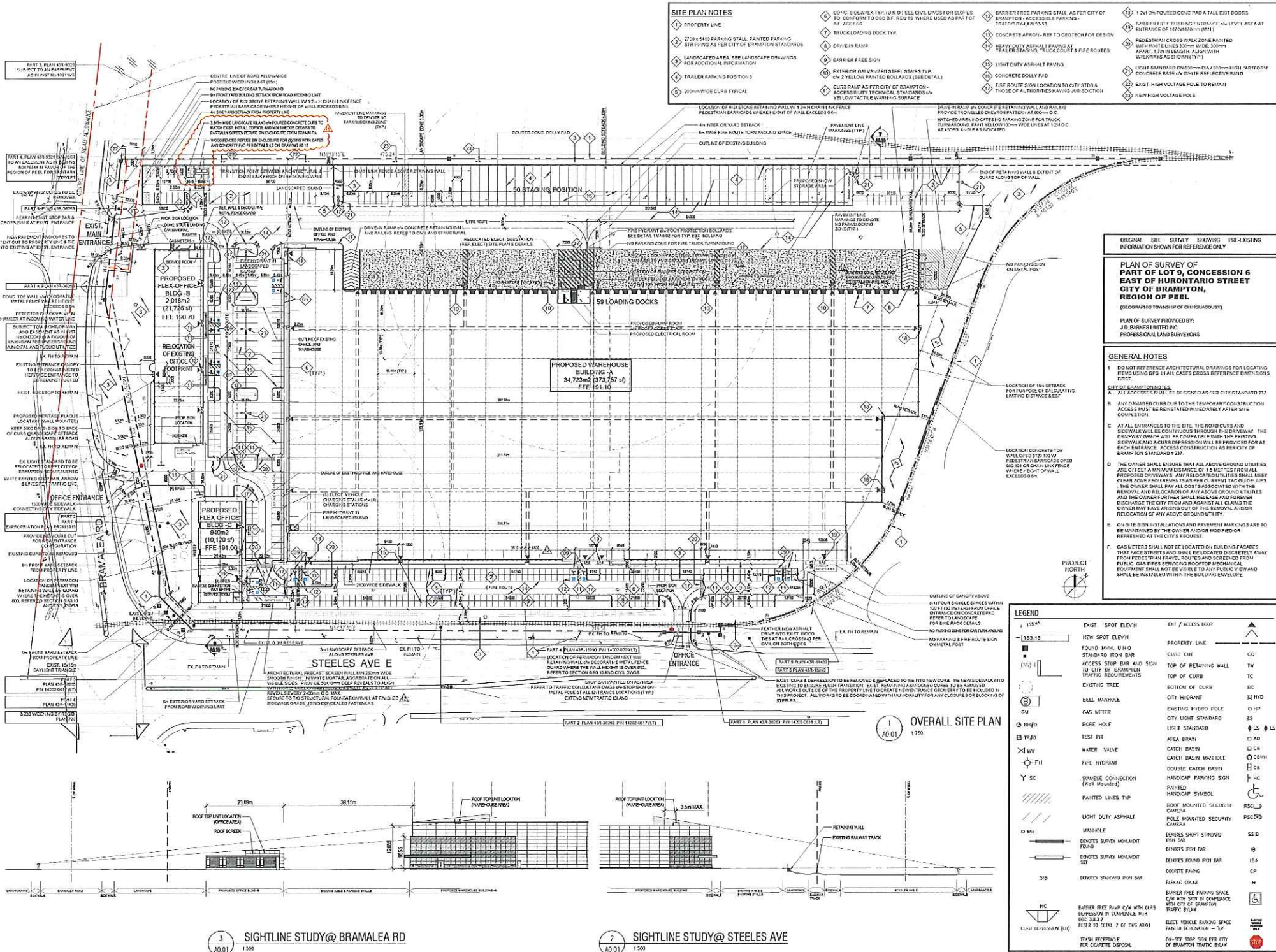
Glenn Piotrowski Architect Ltd. 187 Navy Street, Oakville, On, L6J 2Z6. 1.905.338.8855 / 1.905.338.8868	
Name of Project: BUILDING - B NEW ONE STOREY OFFICE BUILDING	
Location (address): 15 BRAMALEA ROAD, BRAMPTON, ONTARIO	
The Architect above has examined and approved the information contained in this document.	
Item Ontario Building Code Data Part 3 OBC Reference	
1. Project Description: On any other building	2.1.1
2. Major Occupancy (s) GROUP D, BUSINESS & PERSONAL SERVICES	3.1.2.1 (1)
3. Building Area Existing	1.1.3.2
4. Gross Area Existing	1.1.3.2
5. Number of Storeys Above Grade ONE (1)	3.2.1.1 & 1.1.3.2
6. Number of Storeys Below Grade ONE (1)	3.2.2.10 & 3.2.5
7. Building Classification CATEGORY D, up to 2 Storeys, Division 2	3.2.2.67
8. Sprinkler System	3.2.2.20.63 3.2.1.6 3.2.2.17
9. Standpipe Required	3.2.2.1
10. Fire Alarm	3.2.2.1.1 (2)
11. Water Service/Supply is Adequate	3.2.2.7
12. High Building	3.2.6
13. Permitted Construction	3.2.2.54
14. Maximum Area (m <sup>2</sup> )	3.2.1.1 (3) (4)
15. Occupant Load based on	3.1.1.17
16. Barrier Free Design	3.8
17. Hazardous Substances	3.3.1.2 & 3.3.1.19
18. Required Fire Resistance Rating (FRR) (hours)	3.2.2.20.63 & 3.2.1.4 (Group D2)
19. Spatial Separation - Construction of Exterior Walls	3.2.3
20. Fire Protection - Construction of Exterior Walls	3.2.3

Glenn Piotrowski Architect Ltd. 187 Navy Street, Oakville, On, L6J 2Z6. 1.905.338.8855 / 1.905.338.8868	
Name of Project: BUILDING - C NEW ONE STOREY OFFICE BUILDING	
Location (address): 15 BRAMALEA ROAD, BRAMPTON, ONTARIO	
The Architect above has examined and approved the information contained in this document.	
Item Ontario Building Code Data Part 3 OBC Reference	
1. Project Description: On any other building	2.1.1
2. Major Occupancy (s) GROUP D, BUSINESS & PERSONAL SERVICES	3.1.2.1 (1)
3. Building Area Existing	1.1.3.2
4. Gross Area Existing	1.1.3.2
5. Number of Storeys Above Grade ONE (1)	3.2.1.1 & 1.1.3.2
6. Number of Storeys Below Grade ONE (1)	3.2.2.10 & 3.2.5
7. Building Classification CATEGORY D, up to 2 Storeys, Division 2	3.2.2.67
8. Sprinkler System	3.2.2.20.63 3.2.1.6 3.2.2.17
9. Standpipe Required	3.2.2.1
10. Fire Alarm	3.2.2.1.1 (2)
11. Water Service/Supply is Adequate	3.2.2.7
12. High Building	3.2.6
13. Permitted Construction	3.2.2.54
14. Maximum Area (m <sup>2</sup> )	3.2.1.1 (3) (4)
15. Occupant Load based on	3.1.1.17
16. Barrier Free Design	3.8
17. Hazardous Substances	3.3.1.2 & 3.3.1.19
18. Required Fire Resistance Rating (FRR) (hours)	3.2.2.20.63 & 3.2.1.4 (Group D2)
19. Spatial Separation - Construction of Exterior Walls	3.2.3
20. Fire Protection - Construction of Exterior Walls	3.2.3

PROJECT 15 BRAMALEA RD BRAMPTON, ONTARIO SPA# SP17-064.000	
COVER SHEET, GENERAL NOTES AND OBC MATRIX	
PROJECT NO. SHEET NO.	
DATE AS SHOWN	
PROJECT NO. SHEET NO.	
DATE AS SHOWN	

A0.00





- SITE PLAN NOTES**
- 1. PROPERTY LINE
  - 2. 200' x 500' PARKING STALL, PAINTED PARKING STRIPES AS PER CITY OF BRAMPTON STANDARDS
  - 3. LANDSCAPED AREA SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION
  - 4. TRAILER PARKING POSITIONS
  - 5. 200mm WIDE CURB TYPICAL
  - 6. CONC. 1:0.00/1.00 TYP. (UNO) SEE CIVIL DIVISION FOR SLOPES TO CONFORM TO CDD BY REGS WHERE USED AS PART OF TRUCKLOADING DOCK TYP.
  - 7. DRIVEWAY RAMP
  - 8. BARRIER FREE SIGN
  - 9. EXTERIOR GALVANIZED STEEL STAIRS TYP. 6x2 YELLOW PAINTED ROLLERS (SEE DETAIL)
  - 10. CURB RAMP AS PER CITY OF BRAMPTON - ACCESSIBLE TYPICAL, STANDARD 6x2 YELLOW TACTILE WARNING SURFACE
  - 11. CONCRETE APPROX. REF. TO GROUND FOR DESIGN
  - 12. HEAVY DUTY ASPHALT PAVING AT TRAILER STAGING, TRUCK COURT & FIRE ROUTES
  - 13. LIGHT DUTY ASPHALT PAVING
  - 14. CONCRETE DOLLY PAD
  - 15. FIRE ROUTE SIGN LOCATION TO CITY STDS & THOSE OF AUTHORIZED HAULING AIR SECTION
  - 16. 1.2x1.2m POURED CONIC PAD A TALL EXT. DOORS
  - 17. BARRIER FREE BUILDING ENTRANCE 6x4 LEVEL AREA AT ENTRANCE OF 10'x10' (UNO)
  - 18. FEDESTRIAN CROSSWALK 30'x30' WIDE, 30'x30' WIDE WITH WHITE LINES 30'x30' WIDE, 30'x30' WIDE WITH YELLOW 2'x2' SIGN (TYP.)
  - 19. LIGHT STANDARD 6000mm DIA 800mm HIGH "ARTFORM" CONCRETE BASE ON WHITE REFLECTIVE BAND
  - 20. EXIST. HIGH VOLTAGE POLE TO REMAIN
  - 21. NEW HIGH VOLTAGE POLE

REV	DATE	DESCRIPTION
1	JAN 14, 2017	ISSUED FOR SITE PLAN APPLICATION
2	JAN 14, 2017	ISSUED FOR REVIEW/REVISION
3	JAN 14, 2017	ISSUED FOR REVIEW/REVISION
4	JAN 14, 2017	ISSUED FOR REVIEW/REVISION
5	MAY 18, 2017	ISSUED FOR REVIEW/REVISION
6	MAY 18, 2017	ISSUED FOR REVIEW/REVISION
7	MAY 18, 2017	ISSUED FOR REVIEW/REVISION
8	OCT 18, 2017	ISSUED FOR REVIEW/REVISION
9	OCT 18, 2017	ISSUED FOR REVIEW/REVISION
10	NOV 21, 2017	ISSUED FOR REVIEW/REVISION
11	NOV 21, 2017	ISSUED FOR REVIEW/REVISION
12	DEC 15, 2017	ISSUED FOR REVIEW/REVISION
13	MAY 17, 2021	ISSUED FOR REVIEW/REVISION
14	MAY 17, 2021	ISSUED FOR REVIEW/REVISION
15	APR 11, 2022	ISSUED FOR REVIEW/REVISION

ORIGINAL SITE SURVEY SHOWING PRE-EXISTING INFORMATION FOR REFERENCE ONLY

**PLAN OF SURVEY OF PART OF LOT 9, CONCESSION 6 EAST OF HURONTARIO STREET CITY OF BRAMPTON, REGION OF PEEL**  
(GEOGRAPHIC TOWNSHIP OF CHINGACOUSOU)

PLAN OF SURVEY PROVIDED BY:  
J.D. BARNES LIMITED INC.  
PROFESSIONAL LAND SURVEYORS

- GENERAL NOTES**
1. DO NOT REFERENCE ARCHITECTURAL DRAWINGS FOR LOCATING TRENCHING OR PAVEMENT CROSS REFERENCES TO THIS CITY.
  2. ALL ACCESSORIES SHALL BE DESIGNED AS PER CITY STANDARD 237.
  3. ANY DAMAGED CURB DUE TO THE TEMPORARY CONSTRUCTION ACCESS MUST BE REINSTATED IMMEDIATELY AFTER SITE COMPLETION.
  4. AT ALL ENTRANCES TO THIS SITE, THE ROAD CURB AND SIDEWALK WILL BE CONTIGUOUS THROUGH THE DRIVEWAY. THE DRIVEWAY GRASS WILL BE COMPATIBLE WITH THE EXISTING SIDEWALK AND CURB DEPRESSION WILL BE PROVIDED FOR AT EACH ENTRANCE. ACCESS CONSTRUCTION AS PER CITY OF BRAMPTON STANDARD #237.
  5. THE OWNER SHALL ENSURE THAT ALL ABOVE GROUND UTILITIES ARE OFFSET A MINIMUM DISTANCE OF 1.5 METERS FROM ALL PROPOSED DRIVEWAYS. ANY RELOCATION UTILITIES SHALL BE CLEAR ZONE REQUIREMENTS AS PER CURRENTLY TAC GUIDELINES. THE OWNER SHALL PAY ALL COSTS ASSOCIATED WITH THE REMOVAL AND RELOCATION OF ANY ABOVE GROUND UTILITIES AND THE OWNER SHALL BE RESPONSIBLE FOR THE REMOVAL AND RELOCATION OF ANY ABOVE GROUND UTILITY.
  6. ON SITE SIGN INSTALLATIONS AND PAVEMENT MARKINGS ARE TO BE MAINTAINED BY THE OWNER AND/OR MODIFIED OR REPHASED AT THE CITY'S REQUEST.
  7. GAS METERS SHALL NOT BE LOCATED ON BUILDING FACADES THAT FACE STREETS AND SHALL BE LOCATED DISCREETLY AWAY FROM PEDESTRIAN TRAVEL ROUTES AND SCREENED FROM PUBLIC. GAS FIRES SERVING ROOF TOP MECHANICAL EQUIPMENT SHALL NOT BE VISIBLE TO ANY PUBLIC VIEW AND SHALL BE INSTALLED WITHIN THE BUILDING ENVELOPE.

City of Brampton - Planning Division  
Excluded from Site Plan Control  
Description:  
Addition of garbage enclosure.

Authorized by: Elaha Safi  
Date: 05/20/2022  
Signature: Elaha Safi

NOTE: APPLICANT IS TO CONFIRM IF ZONING AND/OR BUILDING PERMIT REVIEW ARE REQUIRED.

- SYMBOL LEGEND**
- 1. 1:1000 SCALE
  - 2. 1:1000 SCALE
  - 3. 1:1000 SCALE
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Glenn Piotrowski Architect  
15 BRAMALEA RD  
BRAMPTON, ONTARIO  
N6C 3A3  
TEL: 905.874.1111  
FAX: 905.874.1112  
WWW.GPIA.COM

**PROPOSED OVERALL SITE PLAN**  
SPA # SP17-064.000  
SHEET 1

PROPOSED OVERALL SITE PLAN  
DRAWN BY: BCAD  
DATE: APR 2017  
SCALE: 1/50  
PROJECT NO.: 1750  
SHEET NO.: 1

3 SIGHTLINE STUDY@ BRAMALEA RD  
A0.01 1:500

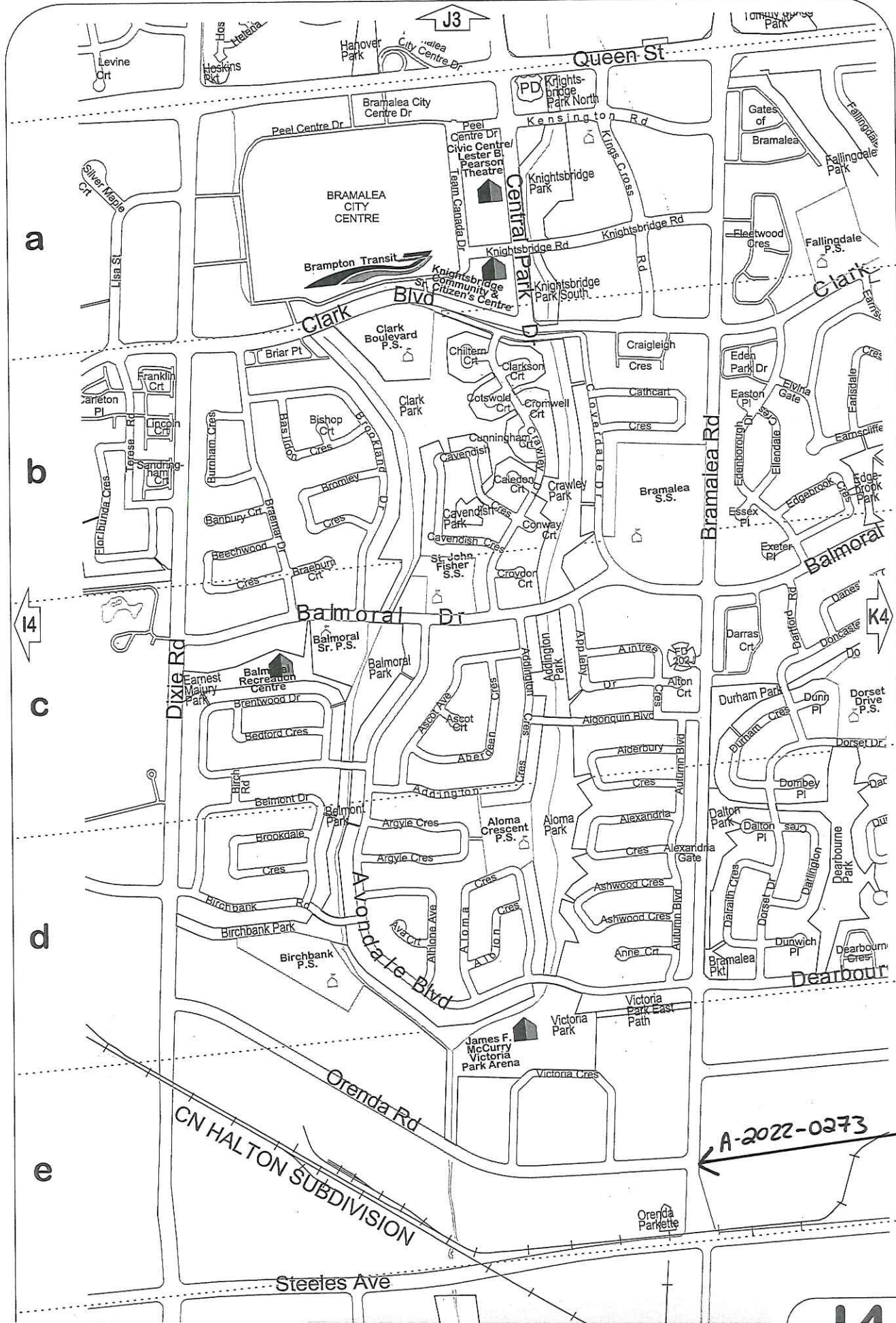
2 SIGHTLINE STUDY@ STEELES AVE  
A0.01 1:500

A0.01









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A-2022-0273