

**APPLICATION # A-2022-0252**  
**WARD 2**

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **SUKHBIR KAUR AND HARPAL SINGH** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 217, Plan M-1426 municipally known as **209 VAN SCOTT DRIVE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a landing and associated steps for an above grade entrance with a side yard setback of 0.31m (1.02 ft.) whereas the by-law requires a minimum setback of 0.9m (2.95 ft.) for any steps or landing associated with an above-grade entrance from the side lot line;
2. To permit a driveway width of 7.47m (24.51 ft.) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.);
3. To permit 0.10m (0.33 ft.) of permeable landscaping between the driveway and the side lot line whereas the by-law requires a minimum of 0.6m (1.97 ft.) of permeable landscaping between the driveway and the side lot line.

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO

Application for Consent: NO

File Number: \_\_\_\_\_

File Number: \_\_\_\_\_

The Committee of Adjustment has appointed **TUESDAY, September 13, 2022 at 9:00 A.M.** by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT.** This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 1st Day of September, 2022

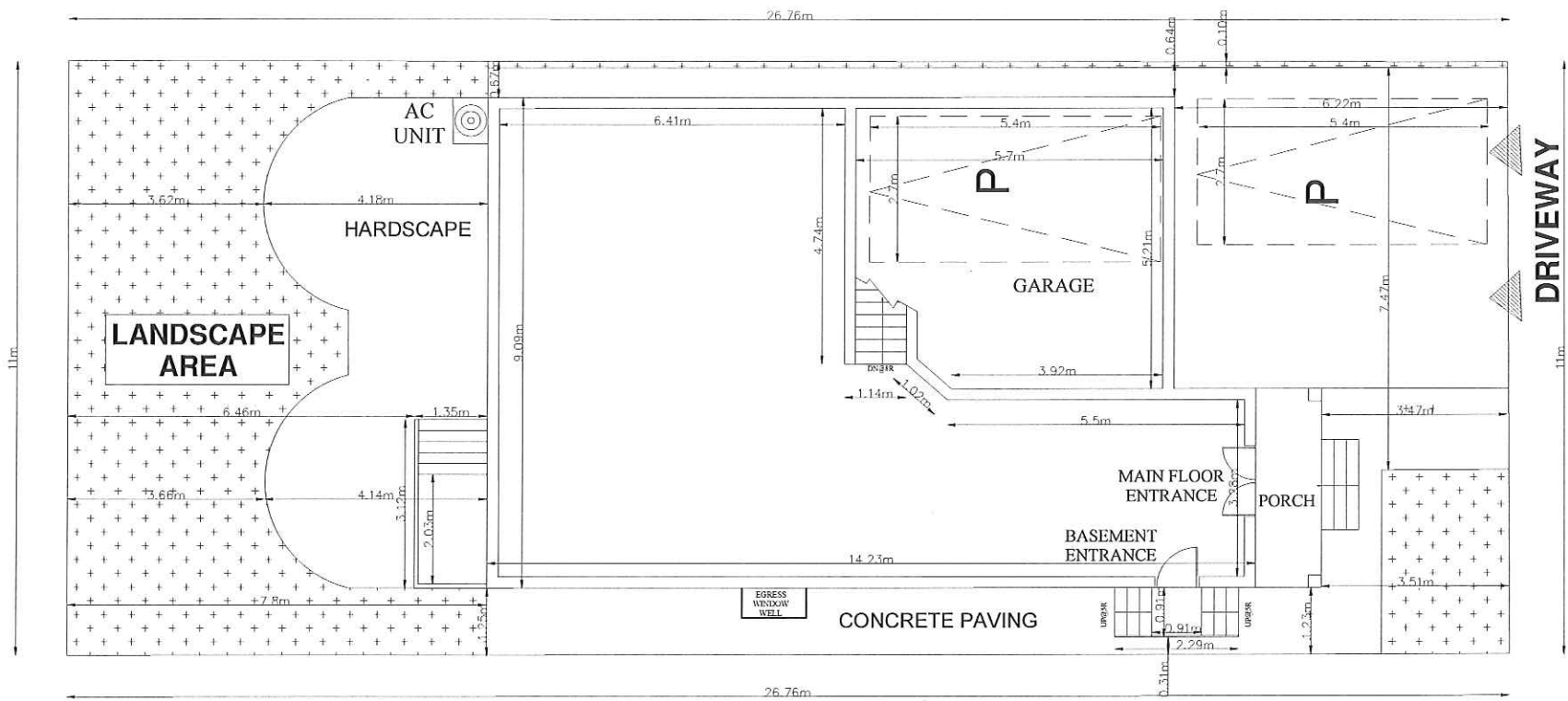
Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer  
Committee of Adjustment, City Clerk's Office,  
Brampton City Hall, 2 Wellington Street West,  
Brampton, Ontario L6Y 4R2  
Phone: (905)874-2117  
Fax: (905)874-2119  
[jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca)

**SITE PLAN**  
**SCALE 1/8"=1'-0"**



**209 VAN SCOTT DRIVE**



**GENERAL NOTES**

DO NOT SCALE DRAWINGS  
PROPERTY RIGHTS RETAINED BY:  
BG CONSTRUCTION DESIGN  
ANY REPRODUCTION IN WHOLE OR IN PART  
UNDER THE RULES AND BY-LAWS OF THE  
CORPORATION IS STRICTLY FORBIDDEN.  
ANY REPRODUCTIONS MUST BE  
AUTHORIZED BY  
ALL DRAWINGS ARE IN METRIC SCALE

**SCOPE OF WORK**

PROPOSAL TO CONSTRUCT  
SECONDARY UNIT  
INCLUDING SIDE DOOR  
ENTRANCE.

THE UNDERSIGNED HAS REVIEWED AND  
TAKES RESPONSIBILITY FOR THIS DESIGN,  
AND HAS THE QUALIFICATIONS AND  
MEETS THE REQUIREMENTS SET OUT  
IN THE ONTARIO BUILDING CODE  
TO BE A DESIGNER.

QUALIFICATION INFORMATION  
REQUIRED UNLESS DESIGN IS EXEMPT  
UNDER DIV. C.32.5.1 OF THE BUILDING CODE

SHIVANG TARIKA 106440  
NAME SIGNATURE BCIN

SHIVANG TARIKA

NO	REVISION / ISSUE	DATE

SITE PLAN

CITY : BRAMPTON

209 VAN SCOTT DRIVE

EXISTING DWELLING

PROJECT	SHEET
NOV 2021	A1
SCALE 1/8"=1'-0"	



Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures**  
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **September 13, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, September 8, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
  1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, September 8, 2022.**
  2. To participate in-person, please email the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, September 8, 2022.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, September 8, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:  
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or  
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

***The City of Brampton is reviewing its Committee of Adjustment process. As a participant in this process, if you have comments or input you would like to share about your experience with the Committee of Adjustment, please email [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) to indicate your interest and you will be contacted with more information.***

**AMENDMENT LETTER**

August 26, 2022

To: Committee of Adjustment

**RE: APPLICATION FOR MINOR VARIANCE  
SUKHBIR KAUR AND HARPAL SINGH  
LOT 217, PLAN M-1426  
A-2022-0252 – 209 VAN KIRK DRIVE**

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Please **amend** application **A-2022-0252** to reflect the following:

1. To permit a landing and associated steps for an above grade entrance with a side yard setback of 0.31m (1.02 ft.) whereas the by-law requires a minimum setback of 0.9m (2.95 ft.) for any steps or landing associated with an above-grade entrance from the side lot line;
2. To permit a driveway width of 7.47m (24.51 ft.) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.);
3. To permit 0.10m (0.33 ft.) of permeable landscaping between the driveway and the side lot line whereas the by-law requires a minimum of 0.6m (1.97 ft.) of permeable landscaping between the driveway and the side lot line.

*Shivang Tarika*

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Applicant/Authorized Agent



FILE NUMBER: A-2022-0252

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION  
Minor Variance or Special Permission  
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Sukhbir Kaur and Harpal Singh  
**Address** 209 VAN SCOTT DR, BRAMPTON, ON, L7A1V2  
  
**Phone #** 431-777-7013 **Fax #** \_\_\_\_\_  
**Email** Sukhbir.gill@yahoo.ca

2. **Name of Agent** Pardeep Gogna  
**Address** 106 Morningside Dr, Georgetown, L7G0M2  
  
**Phone #** 416-821-2630 **Fax #** \_\_\_\_\_  
**Email** Shivang@relysolution.com

3. **Nature and extent of relief applied for (variances requested):**  
1) To permit stairs in interior side yard setback of 0.31 meters whereas the by-law requires a minimum interior side yard setback of 1.2 meters.

4. **Why is it not possible to comply with the provisions of the by-law?**  
The owner of the property wants to build a second dwelling unit to manage his mortgage. However to provide an access to the second dwelling unit the owner will need to construct stairs in the interior side yard. The required interior side setback after the stairs entrance is 1.2 m whereas the proposed setback is 0.31 m. We would like to ask for minor variance as the design of the stairs still maintains the passage for to the movement to the rear yard.

5. **Legal Description of the subject land:**  
**Lot Number** 217  
**Plan Number/Concession Number** M1426  
**Municipal Address** 209 VAN SCOTT DR, BRAMPTON, ON, L7A1V2

6. **Dimension of subject land (in metric units)**  
**Frontage** 11 m  
**Depth** 26.76 m  
**Area** 294.36 Sq.m

7. **Access to the subject land is by:**  
Provincial Highway ☒ Seasonal Road ☐  
Municipal Road Maintained All Year ☐ Other Public Road ☐  
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES** on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Ground Floor Area = 86.88 Sq Meter, Gross Floor Area= 295.70 Sq Meter, No. of Storeys = 2 storeys, Width = 9.09 Meter, Length = 14.23 Meter, Height = 10.56m  
Deck = 4.23 sq.m, Height = 1.09 m

**PROPOSED BUILDINGS/STRUCTURES** on the subject land:

Second dwelling unit in existing basement = 88.53

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback	3.47 m
Rear yard setback	7.8 m
Side yard setback	0.64 m
Side yard setback	1.23 m

**PROPOSED**

Front yard setback	3.47 m
Rear yard setback	7.8 m
Side yard setback	0.64 m
Side yard setback	0.31 m

10. Date of Acquisition of subject land: January 2017
11. Existing uses of subject property: Single Dwelling Unit
12. Proposed uses of subject property: Two Dwelling Unit
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 2018
15. Length of time the existing uses of the subject property have been continued: 4 YEARS

16. (a) What water supply is existing/proposed?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Well ☐
- (b) What sewage disposal is/will be provided?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Septic ☐
- (c) What storm drainage system is existing/proposed?  
Sewers ☒ Other (specify) \_\_\_\_\_  
Ditches ☐  
Swales ☐



17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Pardeep Jogna Aminder Singh  
Signature of Applicant(s) or Authorized Agent

DATED AT THE City \_\_\_\_\_ OF Halton Hills Brampton

THIS 14 DAY OF July August, 2022.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Aminder Singh, OF THE City OF Brampton.  
IN THE Region OF  Peel  SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton  
IN THE Region OF  
 Peel  THIS 4<sup>th</sup> DAY OF  
August, 2022

Jeanie Cecilia Myers  
a Commissioner, etc.,  
Province of Ontario  
for the Corporation of the  
City of Brampton  
Expires April 8, 2024.

Aminder Singh  
Signature of Applicant or Authorized Agent

Submit by Email

Jeanie Myers  
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

R1D-920

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L. barbuto

Zoning Officer

July 29, 2022

Date

DATE RECEIVED

Date Application Deemed  
Complete by the Municipality

August 4, 2022

# SURVEYOR'S REAL PROPERTY REPORT

## PART 1

PLAN OF LOT 217

PLAN 43M-1426

CITY OF BRAMPTON

REGIONAL MUNICIPALITY OF PEEL

SCALE 1:300

10m 5m 0 10m 20m 30m 40m

RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S., 2001.

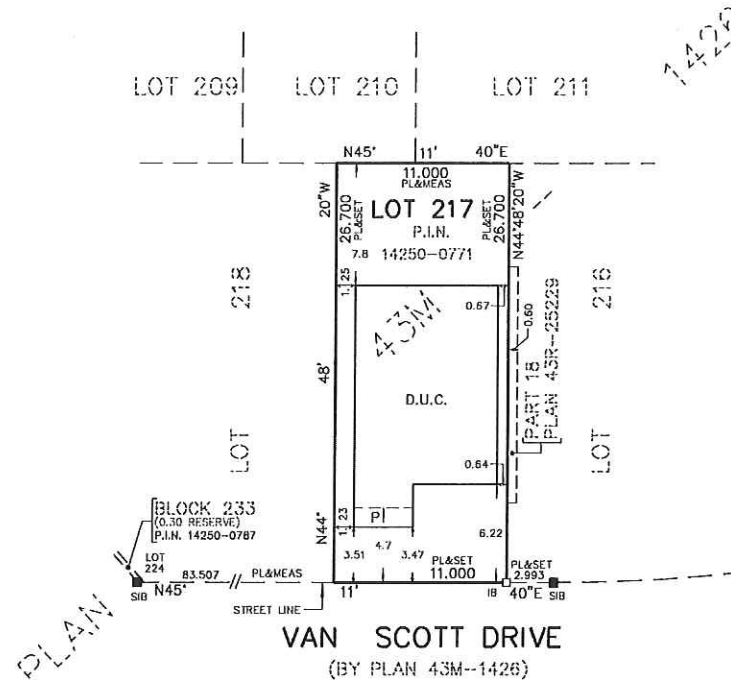
### METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN  
BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



THIS REPORT WAS PREPARED FOR  
MELODY HOMES (BRAMPTON) LTD.  
AND THE UNDERSIGNED ACCEPTS NO  
RESPONSIBILITY FOR USE BY OTHER PARTIES.

©RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S. 2001



## PART 2 (SURVEY REPORT)


REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: NONE  
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

## SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE  
WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND  
TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 12<sup>th</sup> DAY OF June, 2001.

DATE July 4<sup>th</sup>, 2001.

  
T. SINGH  
ONTARIO LAND SURVEYOR

## NOTES

- DENOTES MONUMENT FOUND
- DENOTES MONUMENT SET
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- PL DENOTES PLAN 43M-1426
- D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- P DENOTES PORCH

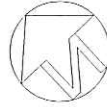
ALL FOUND MONUMENTS BY W. M. FENTON LIMITED SURVEYORS.  
ALL TIES TO CONCRETE FOUNDATION.

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE  
NORTHWEST LIMIT OF VAN SCOTT DRIVE AS SHOWN ON  
PLAN 43M-1426 HAVING A BEARING OF N45°11'40"E.

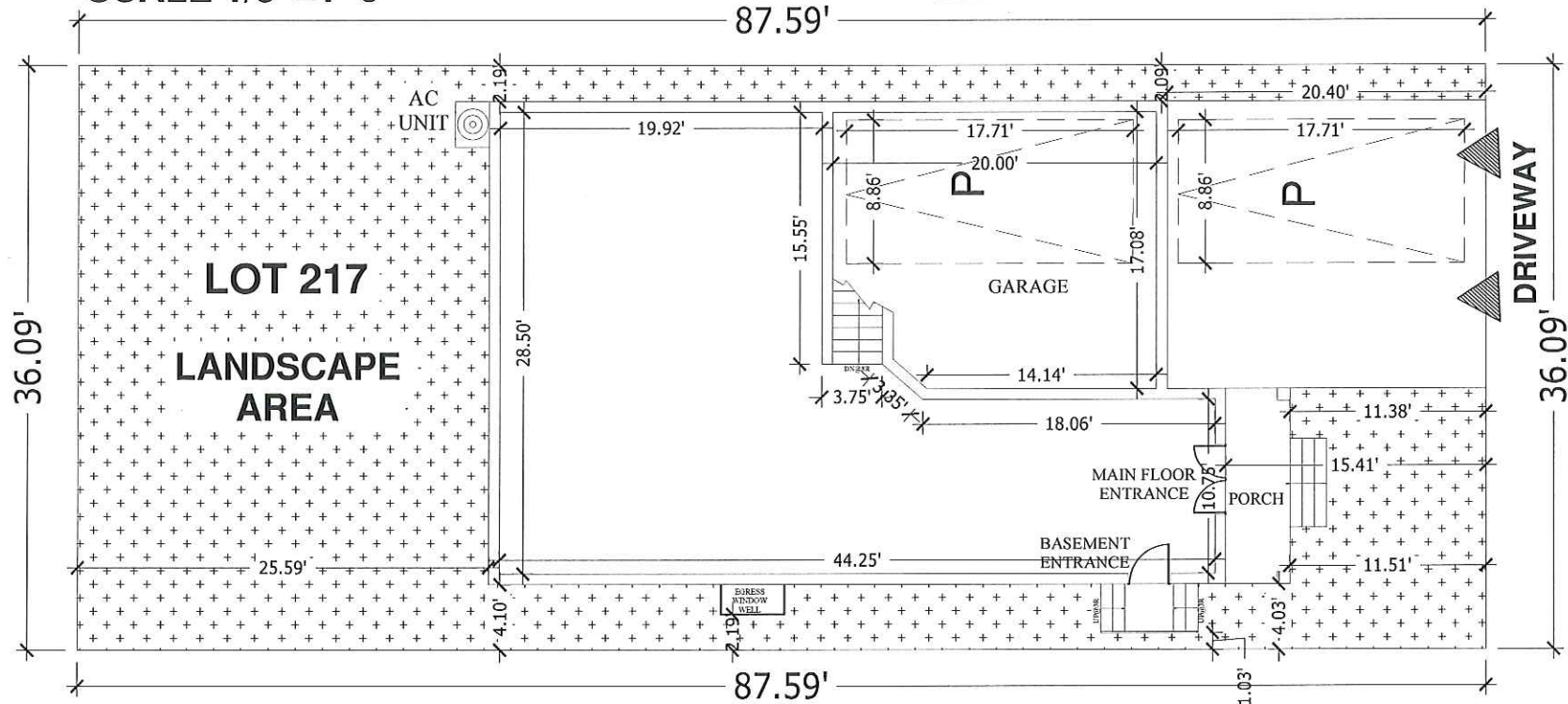
**fp** RADY-PENTEK & EDWARD SURVEYING LTD.  
ONTARIO LAND SURVEYORS  
465 WILSON AVENUE, DOWNSVIEW, ONTARIO  
(416) 635-5000  
DRAWN: V.K. CHECKED: T.S.  
ACAD No. 1426-217 JOB No. 00-167



**SCALE 1/8"=1'-0"**



209 VAN SCOTT DRIVE



DO NOT SCALE DRAWINGS  
PROPERTY RIGHTS RETAINED BY:  
BG CONSTRUCTION DESIGN  
AND REPRODUCTION IN WHOLE OR IN PART  
UNDER THE RULES AND BY LAWS OF THE  
CORPORATION IS STRICTLY FORBIDDEN.  
ANY REPRODUCTIONS MUST BE  
AUTHORIZED BY  
ALL DRAWINGS ARE IN METRIC SCALE

PROPOSAL TO CONSTRUCT  
SECONDARY UNIT  
INCLUDING SIDE DOOR  
ENTRANCE.

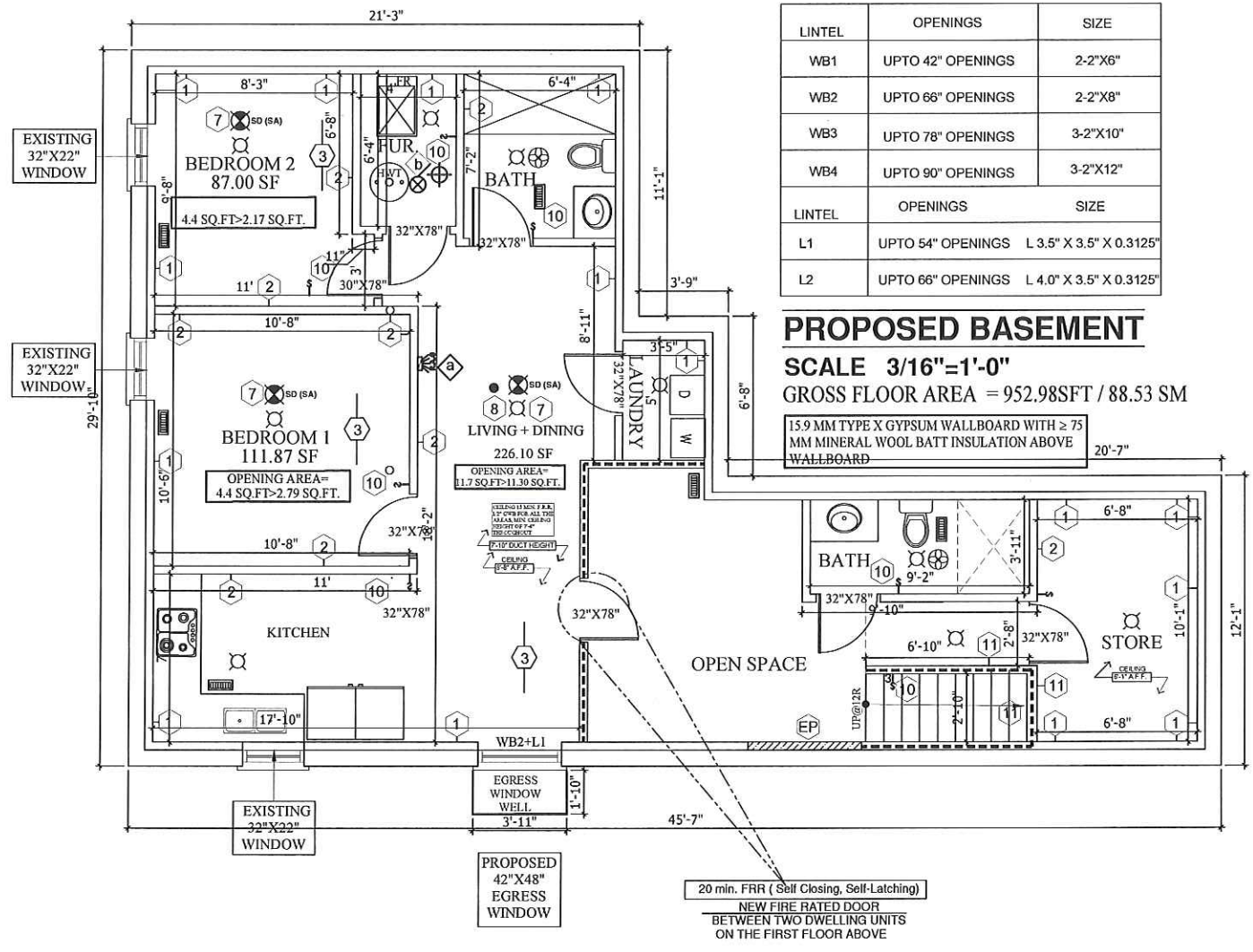
QUALIFICATION INFORMATION  
REQUIRED UNLESS DESIGN IS EXEMPT  
UNDER DIV. C-325.1 OF THE BUILDING CODE

## SHIVANG TARIFA

NO	REVISION / ISSUE	DATE

EXISTING DWELLING

A1



LINTEL	OPENINGS	SIZE
WB1	UPTO 42" OPENINGS	2-2"x6"
WB2	UPTO 66" OPENINGS	2-2"x8"
WB3	UPTO 78" OPENINGS	3-2"x10"
WB4	UPTO 90" OPENINGS	3-2"x12"
LINTEL	OPENINGS	SIZE
L1	UPTO 54" OPENINGS	L 3.5" X 3.5" X 0.3125"
L2	UPTO 66" OPENINGS	L 4.0" X 3.5" X 0.3125"

**PROPOSED BASEMENT**

SCALE 3/16"=1'-0"  
GROSS FLOOR AREA = 952.98SFT / 88.53 SM

15.9 MM TYPE X GYPSUM WALLBOARD WITH ≥ 75 MM MINERAL WOOL BATT INSULATION ABOVE WALLBOARD

GENERAL NOTES

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SCOPE OF WORK

PROPOSAL TO CONSTRUCT  
SECONDARY UNIT AND  
SIDE DOOR ENTRANCE  
FROM LEFT SIDE

THE UNDERSIGNED HAS REVIEWED AND  
TAKES RESPONSIBILITY FOR THIS DESIGN,  
AND HAS THE QUALIFICATIONS AND  
MEETS THE REQUIREMENTS SET OUT  
IN THE ONTARIO BUILDING CODE  
TO BE A DESIGNER.

QUALIFICATION INFORMATION  
REQUIRED UNLESS DESIGN IS EXEMPT  
UNDER DIV.C3.2.5.1 OF THE BUILDING CODE

SHIVANG TARIKA 106440  
NAME SIGNATURE BCIN

SHIVANG TARIKA

NO	REVISION / ISSUE	DATE

BASEMENT PLAN

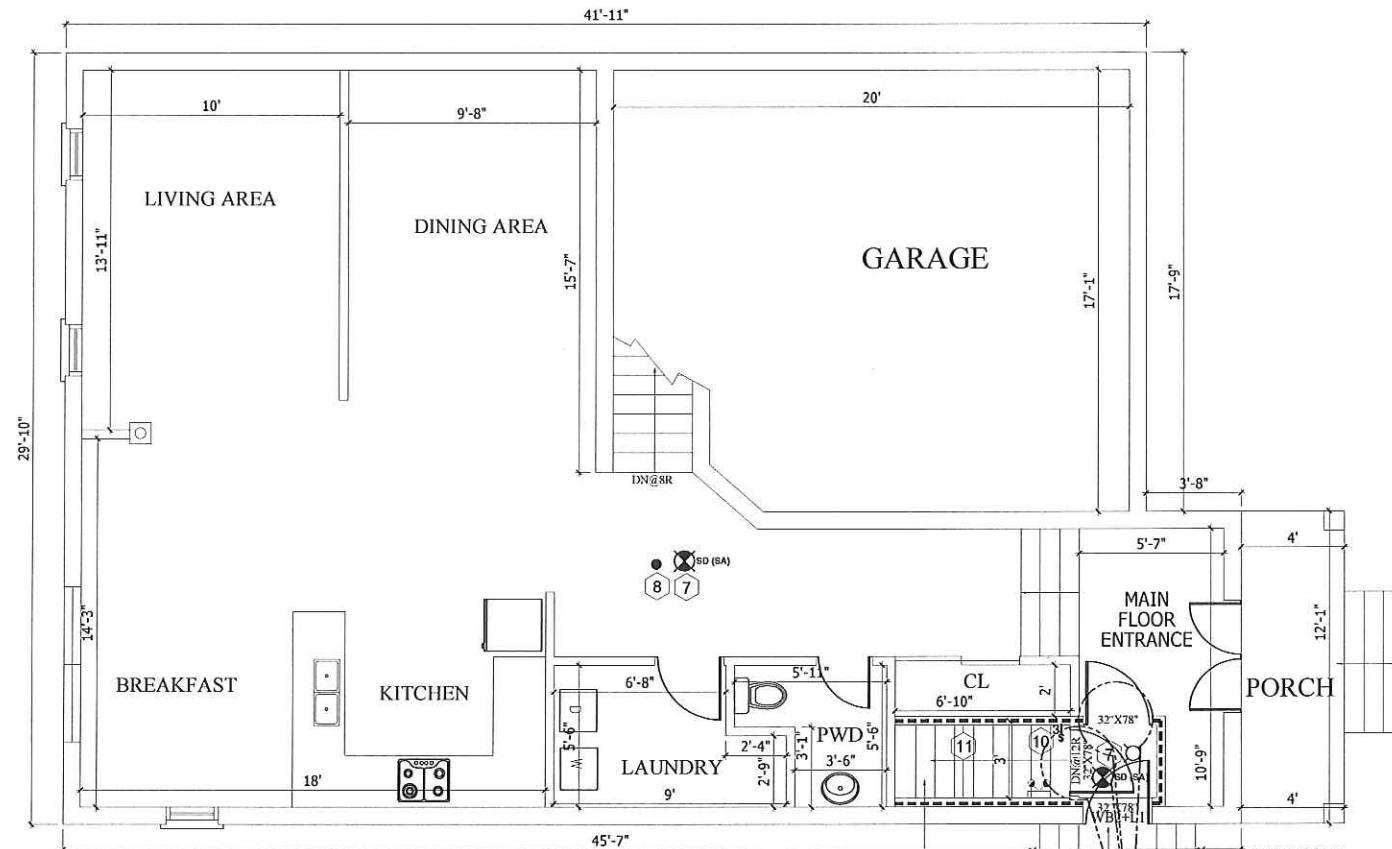
CITY : BRAMPTON

209 VAN SCOTT DRIVE

EXISTING DWELLING

PROJECT	SHEET
NOV 2021	A2
SCALE 3/16"=1'-0"	





## MAIN FLOOR PLAN

SCALE 3/16"=1'-0"

GROSS FLOOR AREA = 935.24 SFT / 86.88 SM

15.9 MM TYPE X GYPSUM WALLBOARD WITH ≥ 75 MM MINERAL WOOL BATT INSULATION ABOVE WALLBOARD

PROPOSED  
32"X78"  
WB2+L1  
SIDE DOOR  
20 min. FRR ( Self Closing, Self-Latching)  
NEW FIRE RATED DOOR  
BETWEEN TWO DWELLING UNITS  
ON THE FIRST FLOOR ABOVE

### GENERAL NOTES

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### SCOPE OF WORK

PROPOSAL TO CONSTRUCT  
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ENTRANCE.

THE UNDERSIGNED HAS REVIEWED AND  
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IN THE ONTARIO BUILDING CODE  
TO BE A DESIGNER.

QUALIFICATION INFORMATION  
REQUIRED UNLESS DESIGN IS EXEMPT  
UNDER DIV. C3.2.5.1 OF THE BUILDING CODE

SHIVANG TARIKA 106440  
NAME SIGNATURE BCIN

SHIVANG TARIKA

NO	REVISION / ISSUE	DATE

MAIN FLOOR PLAN

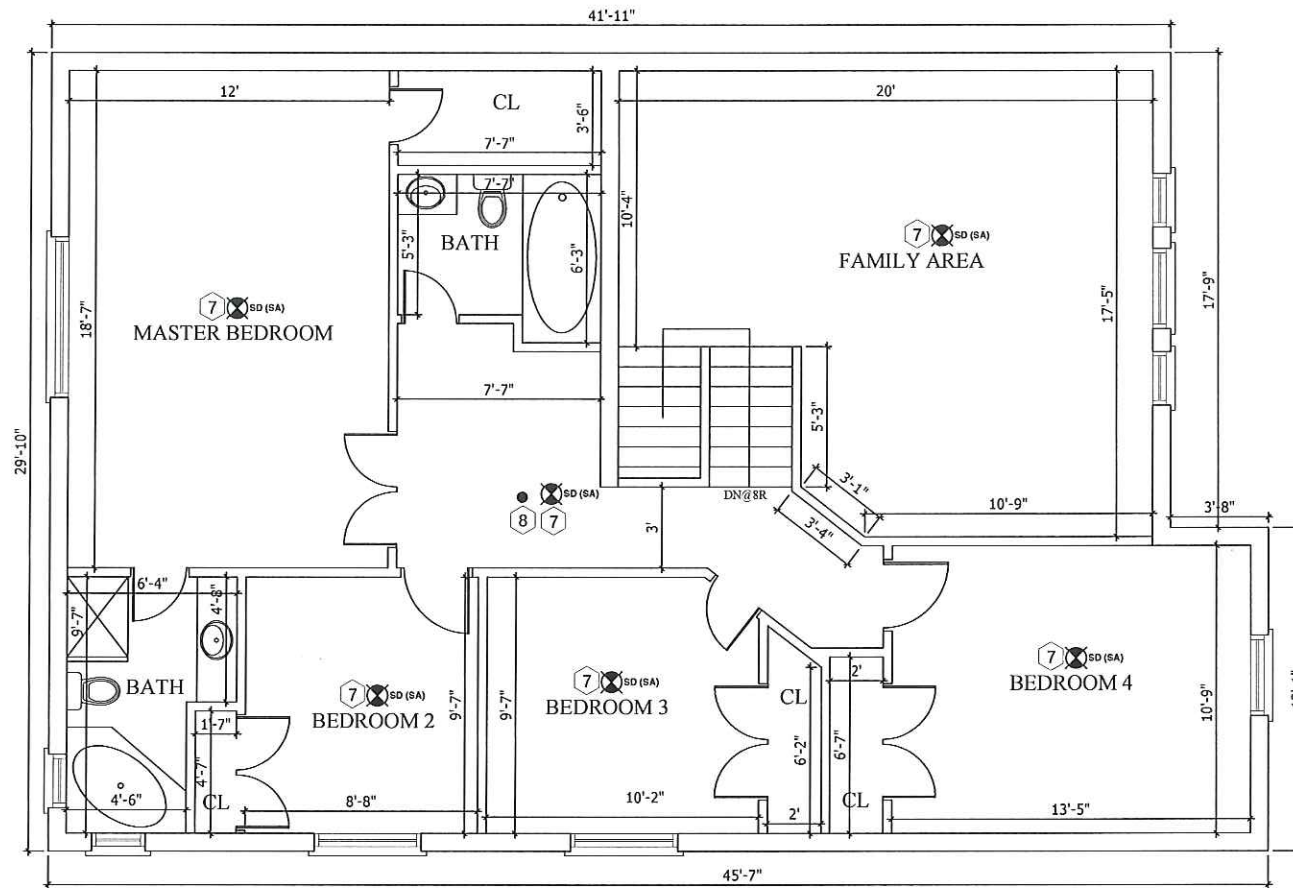
CITY : BRAMPTON

209 VAN SCOTT DRIVE

EXISTING DWELLING

PROJECT  
NOV 2021  
SCALE 3/16"=1'-0"

SHEET  
**A3**



## SECOND FLOOR PLAN

SCALE 3/16"=1'-0"

GROSS FLOOR AREA = 1294.81 SFT / 120.29 SM

### GENERAL NOTES

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### SCOPE OF WORK

PROPOSAL TO CONSTRUCT  
SECONDARY UNIT  
INCLUDING SIDE DOOR  
ENTRANCE.

THE UNDERSIGNED HAS REVIEWED AND  
TAKES RESPONSIBILITY FOR THIS DESIGN,  
AND HAS THE QUALIFICATIONS AND  
MEETS THE REQUIREMENTS SET OUT  
IN THE ONTARIO BUILDING CODE  
TO BE A DESIGNER.

QUALIFICATION INFORMATION  
REQUIRED UNLESS DESIGN IS EXEMPT  
UNDER DIV. C.32.5.1 OF THE BUILDING CODE

SHIVANG TARIKA 106440  
NAME SIGNATURE BCIN

SHIVANG TARIKA

NO	REVISION / ISSUE	DATE

### SECOND FLOOR PLAN

CITY : BRAMPTON

209 VAN SCOTT DRIVE

EXISTING DWELLING

PROJECT	SHEET
NOV 2021	A4
SCALE 3/16"=1'-0"	



DOOR SCHEDULE

1- ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS ARE 80"

2- EGRESS DOOR - EXISTING AT GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE

WINDOW SCHEDULE

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m2 W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1 M ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS SEE NOTE-1 ON BASEMENT FLOOR PLAN

- 1

FOUNDATION WALL INSULATION  
FOUNDATION WALL, MOISTURE BARRIER, R12 INSULATION, 2 BY 4 STUDS @ 16" O.C., 6 MIL POLYETHYLENE V.B., 1/2" GYPSUM DRYWALL JOINTS TAPED AND SEALED
- 2

INTERNAL WALLS  
NEW WOOD FRAMED WALL CONSISTING OF 2 BY 4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED. WATER RESISTANT GWB ON BATHROOMS WALLS.
- 3

ALL CEILING 1/2" GYPSUM BOARD  
PROVIDE MINIMUM 15 MIN. HORIZONTAL FIRE SEPARATION  
\* ENSURE MINIMUM 15 MINUTES FIRE SEPARATION AROUND ALL STRUCTURE COLUMNS AND BEAMS
- 4

20 MIN. RATED DOOR BETWEEN BASEMENT APARTMENT AND PRINCIPAL RESIDENCE
- 5

EXISTING DUCT WORK LOCATED IN THE CEILING SHALL BE RELOCATED SO THAT THE DIRECTION OF THE HEAT FLOW IS TOWARDS THE FLOOR
- 6

INSTALL MECHANICAL VENTILATION PER OBC DIV B 9.32.1.3(3) REQ'S. EXHAUST FAN SHALL DISCHARGE DIRECTLY TO OUTSIDE. SEPARATE ANY INTAKE FROM BUILDING ENVELOPE PENETRATIONS THAT ARE POTENTIAL SOURCES OF CONTAMINANTS( GAS VENTS, OIL FILL PIPES, ETC, BY MIN 900MM ( 2FT 11 IN)
- 7

IN COMPLIANCE WITH C152(b) SMOKE ALARMS TO BE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING
- 8

HARD WIRE CONNECTED CARBON MONOXIDE DETECTOR AS PER CAN/CSA-6.19
- 9


FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY
- 10

LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCH RECEPTACLE MAY BE PROVIDED INSTEAD OF LIGHT IN BEDROOMS AND LIVING ROOMS.
- 11

PROVIDE 30 MIN FIRE SEPERATION 1/2" GYPSUM BOARD 2" X 4" WOOS STUD AT 16" O.C 3 1/2" ROXULL SAFE "N" SOUND INSULATION 1/2" GYPSUM BOARD

 NEW WALL

 EXISTING WALL

 3 OR 4 WAY SWITCH

INSTALL AT 3'-3" AFF  
3 DENOTES 3-WAY SWITCH  
SPECIFICATION GRADE  
WHITE, WITH WHITE COVER  
PLATE4 DENOTES 4-WAY  
SWITCHSHALL BE  
INSTALLED AT THEENDS OF  
EACH STAIRWAYS

LINTEL SCHEDULES:-

LINTEL NO.	HEADER	STEEL ANGLE FOR BRICK/STONE VENEER SUPPORT
1	2-2" X 8"	3 1/2" X 3 1/2" X 1/4" STEEL ANGLE
2	3-2" X 8"	3 1/2" X 3 1/2" X 3/8" STEEL ANGLE

NOTE: PROVIDE MIN 6" BEARING OF LINTEL AT B/S OF WALL

GENERAL NOTES

- ALL WORK ACCORDING TO ONTARIO BUILDING CODE 2012 AND CITY OF BRAMPTON BY-LAWS AND STANDARDS
- ALL DIMENSIONS AND LOCATIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION.
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION


WOOD MEMBERS TO BE IN CONTACT WITH CONCRETE TO BE PROTECTED FROM DECAY AND DAMPNESS WITH MIN. 0.05 MM POLYETHYLENE FILM OR TYPE"S" ROLL ROOFING AS PER OBC DIV "B" 9.23.2.2 AND 9.23.2.3


THE RETURN AIR GRILL SHALL BE INSTALLED NEAR THE FLOOR LEVEL (HRAI REQ'S). UNDERCUT BY 1" THE DOOR TO ANY ROOM WITH OUT RETURN GRILL

ENSURE ADEQUATE VENTILATION AND COMBUSTION AIR FOR THE OPTIMUM OPERATION OF THE FURNACE, PER MANUFACTUR'S RECOMMENDATIONS.

PROVIDE MINIMUM 30 MINUTE FIRE RATED, 1/2" THICK DRYWALL OR 5/8" TYPE X DRY WALL UNDER THE STAIR SOFFIT/CEILING AND ON THE WALLS ENCLOSING STAIRWAYS CONNECTING BASEMENT TO MAIN FLOOR

DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION

 15A, 120V DUPLEX RECEPTACLE  
SPECIFICATION GRADE, WHITE  
C/W WHITE COVER PLATE  
GFI- GROUND FAULT TYPE  
WP- WEATHERPROOF COVER  
C - ABOVE COUNTER

 RECEPTACLE 50A, 208V, STOVE OR DRIER OUTLET.

 EXHAUST FAN

 FD: FLOOR DRAIN

 SPRINKLER

 SUPPLY AIR REGISTER

 EMERGENCY LIGHT WITH BATTERY BACK UP 4 HRS

 DRY EXHAUST FAN

 SD: SMOKE DETECTOR

 CO: CARBON MONOXIDE DETECTOR


 LIGHT

 SPOT LIGHT

 RETURN AIR REGISTER

 ELECTRICAL PANEL

 SMOKE ALARM

 CARBON MONO OXIDE DETECTOR

 ELECTRICAL PANEL

 SWITCH

PROJECT  
NOV 2021  
SCALE N.T.S.

EXISTING DWELLING

209 VAN SCOTT DRIVE

CITY : BRAMPTON

GENERAL NOTES

NO	REVISION/ISSUE	DATE

*Shravan Narika*

SILVANG JARIRIA  
NAME  
SIGNATURE  
106440  
ID/N

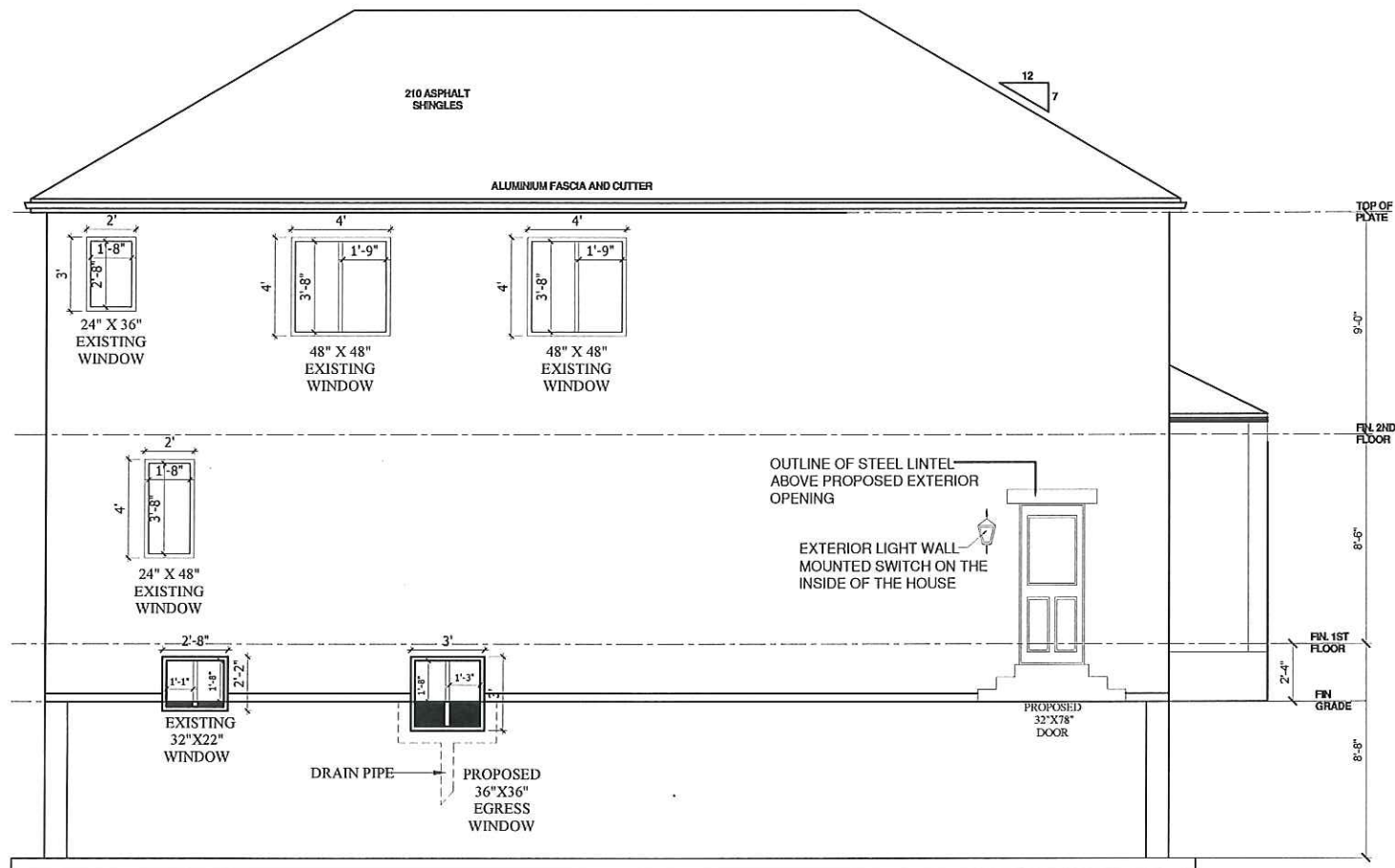
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C3.2.51 OF THE BUILDING CODE

SCOPE OF WORK  
PROPOSAL TO CONSTRUCT SECONDARY UNIT INCLUDING SIDE DOOR ENTRANCE.

DO NOT SCALE DRAWINGS  
PROPERTY RIGHTS RETAINED BY:  
DESIGNER  
NO REPRODUCTION OR TRANSMISSION IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.  
ANY REPRODUCTIONS MUST BE AUTHORIZED BY THE DESIGNER.  
ALL DRAWINGS ARE IN METRIC SCALE

GENERAL NOTES



ALLOWABLE UNPROTECTED OPENINGS  
(EXPOSED BUILDING)

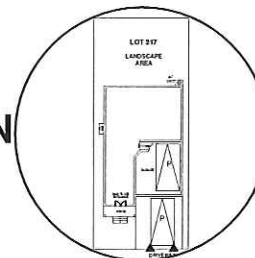
LIMITING DISTANCE	4.06 FT(1.24 M)
MAX PERCENTAGE	7.13 %
TOTAL WALL AREA	904.06 SF (84.02 SM)
ALLOWABLE OPENINGS	64.45 SF (5.98 SM)
ACTUAL OPENINGS	49.60 SF (4.60 SM) (5.39) %

### LEFT SIDE ELEVATION

SCALE 3/16"=1'-0"

### LEFTSIDE ELEVATION

### KEY PLAN



#### GENERAL NOTES

DO NOT SCALE DRAWINGS.  
PROPERTY RIGHTS RETAINED BY:  
BG CONSTRUCTION DESIGN  
ANY REPRODUCTION IN WHOLE OR IN PART  
UNDER THE RULES AND BY-LAWS OF THE  
CORPORATION IS STRICTLY FORBIDDEN.  
ANY REPRODUCTIONS MUST BE  
AUTHORIZED BY  
ALL DRAWINGS ARE IN METRIC SCALE

#### SCOPE OF WORK

PROPOSAL TO CONSTRUCT  
SECONDARY UNIT  
INCLUDING SIDE DOOR  
ENTRANCE.

THE UNDERSIGNED HAS REVIEWED AND  
TAKES RESPONSIBILITY FOR THIS DESIGN,  
AND HAS THE QUALIFICATIONS AND  
MEETS THE REQUIREMENTS SET OUT  
IN THE ONTARIO BUILDING CODE  
TO BE A DESIGNER.

QUALIFICATION INFORMATION  
REQUIRED UNLESS DESIGN IS EXEMPT  
UNDER DIV. C.3.2.5.1 OF THE BUILDING CODE

SHIVANG TARIKA 106440  
NAME SIGNATURE BCIN

SHIVANG TARIKA

NO	REVISION / ISSUE	DATE

LEFT SIDE ELEVATION

CITY : BRAMPTON

209 VAN SCOTT DRIVE

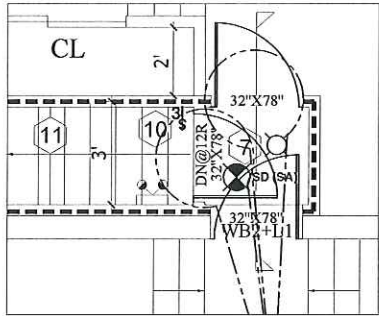
EXISTING DWELLING

PROJECT  
NOV 2021  
SCALE 3/16"=1'-0"

SHEET  
**A6**



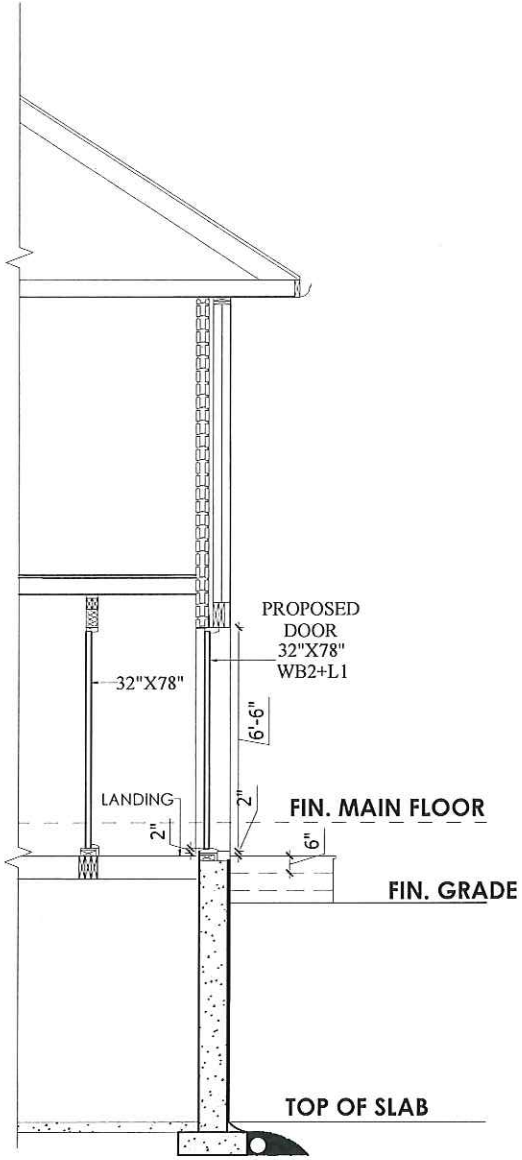
LINTEL	OPENINGS	SIZE
L1	UPTO 54" OPENINGS	L 3.5" X 3.5" X 0.3125"
LINTEL	OPENINGS	SIZE
WB2	UPTO 66" OPENINGS	2-2"X8"



PROPOSED  
32"X78"  
WB2+L1  
SIDE DOOR

**FLOOR PLAN FOR  
EXTERIOR OPENINGS**

**SCALE 1/4"=1'-0"**



## CROSS SECTION

## GENERAL NOTES

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AUTHORIZED BY  
ALL DRAWINGS ARE IN METRIC SCALE

## SCOPE OF WORK

PROPOSAL TO CONSTRUCT  
SECONDARY UNIT  
INCLUDING SIDE DOOR  
ENTRANCE.

THE UNDERSIGNED HAS REVIEWED AND  
TAKES RESPONSIBILITY FOR THIS DESIGN,  
AND HAS THE QUALIFICATIONS AND  
MEETS THE REQUIREMENTS SET OUT  
IN THE ONTARIO BUILDING CODE  
TO BE A DESIGNER.

**QUALIFICATION INFORMATION  
REQUIRED UNLESS DESIGN IS EXEMPT  
UNDER DIV. C-325.1 OF THE BUILDING CODE**

SHIVANG TARIKA		106440
NAME	SIGNATURE	BCIN

SHAWANG TARIKU

NO	REVISION / ISSUE	DATE

## CROSS SECTION

CITY : BRAMPTON

209 VAN SCOTT DRIVE

EXISTING DWELLING

PROJECT	SHEET <b>A7</b>
NOV 2021	
SCALE 3/16"=1'-0"	

F2