

**APPLICATION # A-2022-0270**  
**WARD 4**

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **ALOK GOYAL AND MANISHA GOYAL** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 371, Plan 43M-1883 municipally known as **28 ANGELGATE ROAD**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a deck to encroach 2.43m (7.97 ft.) into a required rear yard, resulting in a rear yard setback of 5.07m (16.63 ft.) whereas the by-law permits a maximum deck encroachment of 1.8m (5.91 ft.) into a required rear yard, resulting in a rear yard setback of 5.7m (18.70 ft.).

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: \_\_\_\_\_ **NO** \_\_\_\_\_

File Number: \_\_\_\_\_

Application for Consent: \_\_\_\_\_ **NO** \_\_\_\_\_

File Number: \_\_\_\_\_

The Committee of Adjustment has appointed **TUESDAY, September 13, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT.** This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

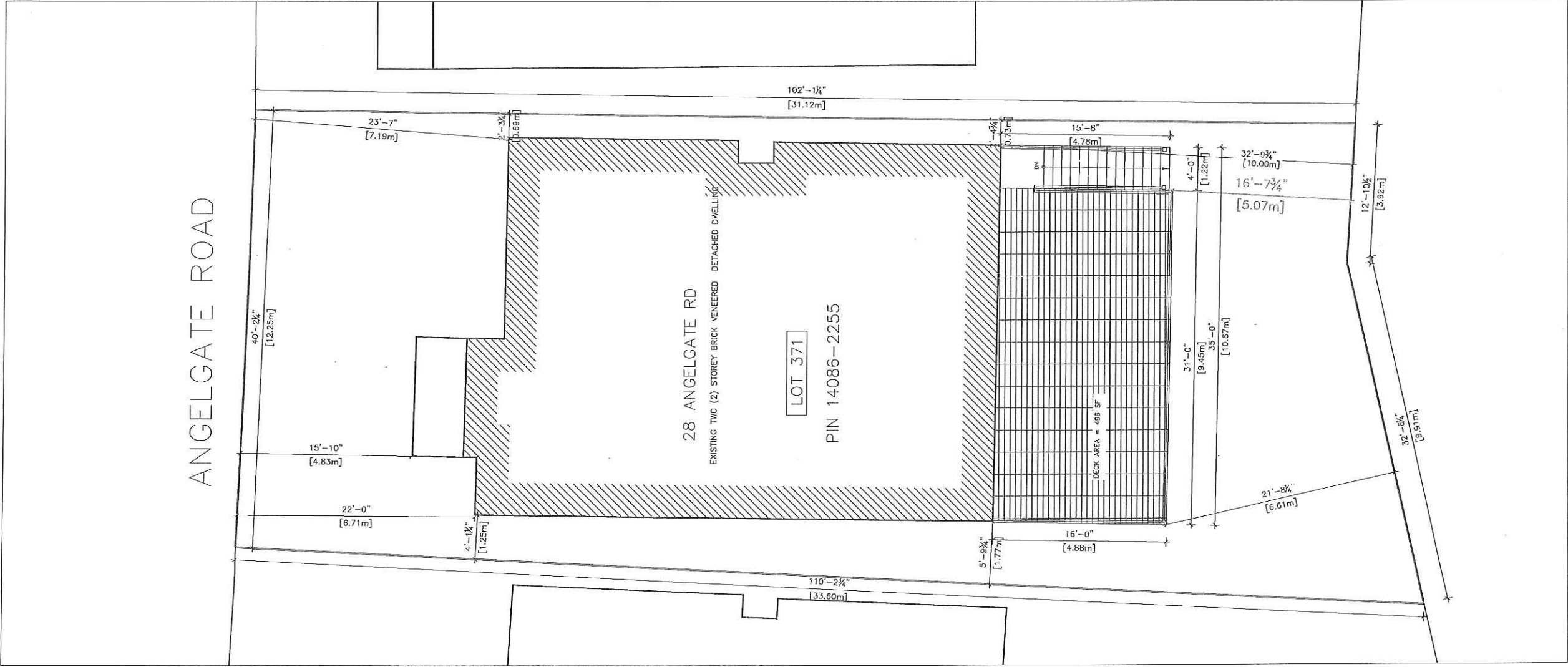
**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 1st Day of September, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer  
Committee of Adjustment, City Clerk's Office,  
Brampton City Hall, 2 Wellington Street West,  
Brampton, Ontario L6Y 4R2  
Phone: (905)874-2117  
Fax: (905)874-2119  
[jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca)



28 ANGELGATE ROAD, BRAMPTON

SITE PLAN

SCALE : 3/32"=1'0" DATE: 2022-08-10



Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures**  
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **September 13, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, September 8, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
  1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, September 8, 2022.**
  2. To participate in-person, please email the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, September 8, 2022.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, September 8, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:  
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or  
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

***The City of Brampton is reviewing its Committee of Adjustment process. As a participant in this process, if you have comments or input you would like to share about your experience with the Committee of Adjustment, please email [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) to indicate your interest and you will be contacted with more information.***



FILE NUMBER: A-2022-0270

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

**APPLICATION**

**Minor Variance or Special Permission**

(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) ALOK GOYAL & MANISHA GOYAL  
Address 28 ANGELGATE ROAD, BRAMPTON, ON

Phone # 4167284347, 4165701491 Fax # \_\_\_\_\_  
Email ALOK1407@GMAIL.COM; MANISHA.RISHIT@GMAIL.COM

2. Name of Agent LAXMAN PATEL  
Address 1601-21 MARKBROOK LANE, TORONTO, ON, M9V 5E4

Phone # 6479677937 Fax # \_\_\_\_\_  
Email laxman@kalparchitect.com

3. Nature and extent of relief applied for (variances requested):  
1. REAR YARD SETBACK RELIEF REQUIRED FROM THE PROPOSED DECK = 5.07 m

4. Why is it not possible to comply with the provisions of the by-law?  
1. SLIGHTLY LARGER DECK SIZE IS REQUIRED TO ACCOMODATE FAMILY ENTERTAINMENT FUNCTIONS

5. Legal Description of the subject land:  
Lot Number 371  
Plan Number/Concession Number PLAN M1883  
Municipal Address 28 ANGELGATE ROAD, BRAMPTON

6. Dimension of subject land (in metric units)  
Frontage 12.25 M  
Depth 31.12, 33.60 M  
Area 413 SQ.M.

7. Access to the subject land is by:  
Provincial Highway ☐ Seasonal Road ☐  
Municipal Road Maintained All Year ☒ Other Public Road ☐  
Private Right-of-Way ☐ Water ☐



8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

1. HOUSE - GROUND COVERAGE AREA = 157.3 SQ.M. GFA= 262.17 SQ. M.

WIDTH= 10.6 m, LENGTH =14.6 m, HEIGHT= 2 STOREY AND WALKOUT BASEMENT

PROPOSED BUILDINGS/STRUCTURES on the subject land:

PROPOSED DECK - WIDTH =4.88m, LENGTH =10.67 m, HEIGHT = 2.75 m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 4.90m, 67.23m

Rear yard setback 10.0 m

Side yard setback 1.25m, 1.31m

Side yard setback 0.67m, 0.64m

PROPOSED

Front yard setback 4.25m, 6.45m

Rear yard setback 5.07m

Side yard setback 1.25m, 1.31m

Side yard setback 0.67m, 0.64m

10. Date of Acquisition of subject land: N/A
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: MARCH 12, 2015
15. Length of time the existing uses of the subject property have been continued: OCT 19, 2020

16. (a) What water supply is existing/proposed?

Municipal ☒

Well ☐

Other (specify) \_\_\_\_\_

- (b) What sewage disposal is/will be provided?

Municipal ☒

Septic ☐

Other (specify) \_\_\_\_\_

- (c) What storm drainage system is existing/proposed?

Sewers ☒

Ditches ☐

Swales ☐

Other (specify) \_\_\_\_\_

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?


Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

  
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON  
THIS 16th DAY OF AUGUST, 20 22.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, LAXMAN PATEL, OF THE CITY OF TORONTO  
IN THE PROVINCE OF ONTARIO SOLEMNLY DECLARE THAT:

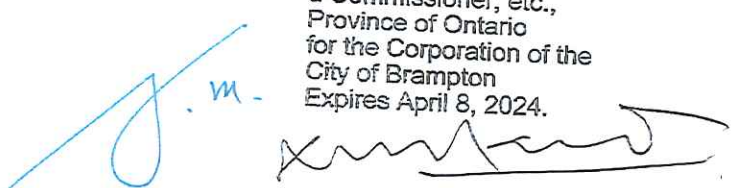
ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton  
IN THE Region OF  
Reel THIS 16th DAY OF  
August, 20 22

  
A Commissioner etc.

Jeanie Cecilia Myers  
a Commissioner, etc.,  
Province of Ontario  
for the Corporation of the  
City of Brampton  
Expires April 8, 2024.

  
Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

R1F - 2102

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

HOTHU S.  
Zoning Officer

AUGUST 16 2022  
Date

DATE RECEIVED August 16, 2022



SURVEYOR'S REAL PROPERTY REPORT - PART 1  
 PLAN OF  
 LOTS 370 to 374 INCLUSIVE  
 REGISTERED PLAN 43M-1883  
 CITY of BRAMPTON  
 REGIONAL MUNICIPALITY OF PEEL  
 SCALE 1 : 300  
 YOUNG & YOUNG SURVEYING  
 (ETOBICOKE 2006) INC.  
 © COPYRIGHT 2014



Lot 374C

LOT 378

LOT 378

REGISTERED

REVISION NOTE  
 REVISED APRIL 22, 2015 TO SHOW  
 FOUNDATIONS ON LOTS 373 and 374

# SURVEYOR'S CERTIFICATE

- I CERTIFY THAT :
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
  2. THE SURVEY WAS COMPLETED ON THE 27th DAY OF JUNE, 2014.

SEPTEMBER 12, 2014  
 DATE

CHRIS BERESHEWICZ  
 ONTARIO LAND SURVEYOR

- LEGEND
- DENOTES SURVEY MONUMENT SET
  - SURVEY MONUMENT FOUND
  - N, S, E, W — NORTH, SOUTH, EAST, WEST
  - M — MEASURED
  - SSIB — SHORT STANDARD IRON BAR
  - P.I.N. — PROPERTY IDENTIFIER NUMBER
  - DUC — DWELLING UNDER CONSTRUCTION
  - RP — REGISTERED PLAN 43M-1883
  - P — PORCH

BEARING NOTE  
 BEARINGS ARE GPID AND ARE REFERRED TO THE SOUTH LIMIT OF ANGELGATE ROAD, HAVING A BEARING OF N70°29'40"W ACCORDING TO REGISTERED PLAN 43M-1883.

METRIC  
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTE  
 ALL FOUND SURVEY MONUMENTS ARE BY J.D. BARNES LTD., O.L.S.  
 ALL SET SURVEY MONUMENTS ARE IRON BARS.

THIS PLAN WAS PREPARED FOR FIELDGATE HOMES

ANGELGATE ROAD  
 (By By-Law 123-2012, Registered as PR2198461)  
 PART 17  
 PART OF LOT 5, CONCESSION 3  
 WEST OF HURONTARIO STREET

ASSOCIATION OF ONTARIO  
 LAND SURVEYORS  
 PLAN SUBMISSION FORM  
 1919934  
  
 THIS PLAN IS NOT VALID  
 UNLESS IT IS AN EMBOSSED  
 ORIGINAL COPY  
 ISSUED BY THE SURVEYOR  
 IN ACCORDANCE WITH  
 Regulation 1026, Section 29(3).

LOT 366

LOT 369

43M-1883

BLOCK 442

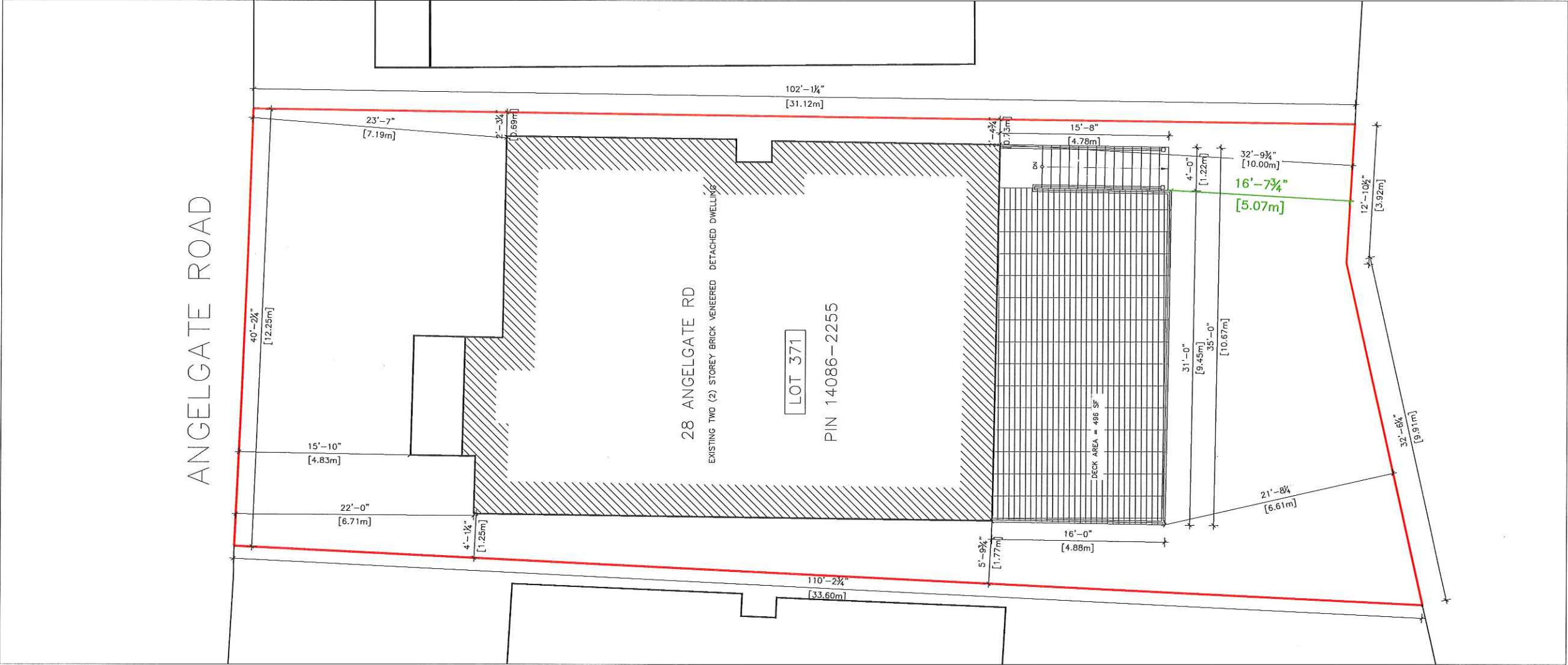
28 ANGELGATE RD

# PART 2 - SURVEY REPORT

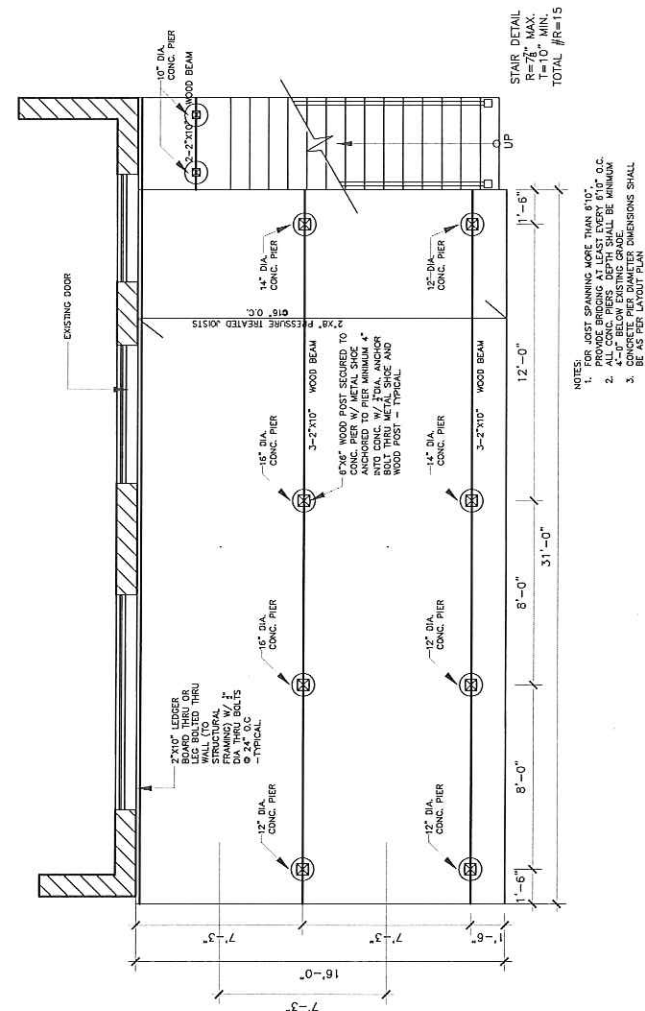
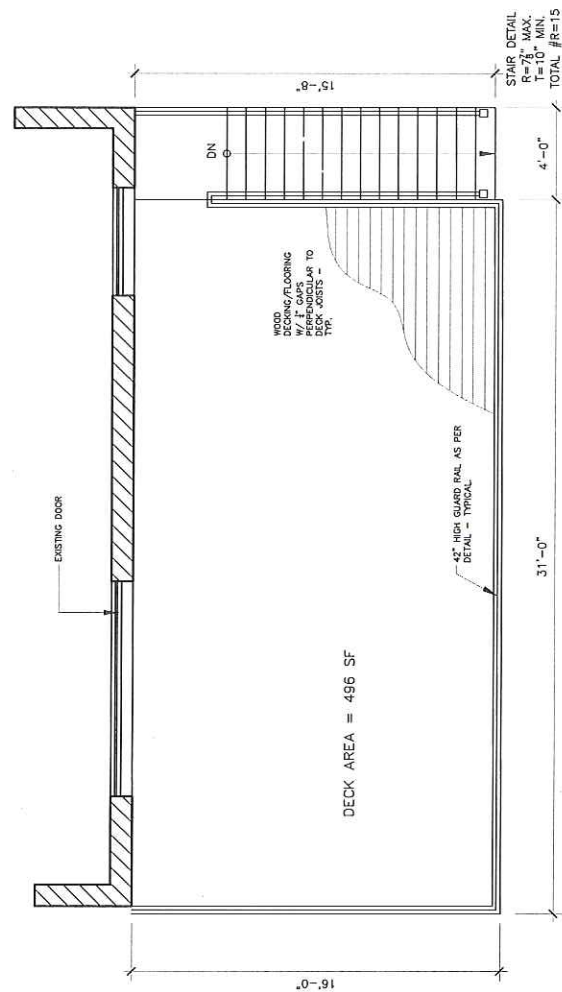
- 1) REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY : NONE
- 2) THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

Young & Young Surveying  
 (ETOBICOKE 2006) INC.  
 310 North Queen St., Suite 102, Toronto ON M9C 5K4  
 Tel: (416) 621-2676 - Fax: (416) 621-3360  
 E-MAIL : yytoronto@bellnet.ca

DRAWN BY: R.J.M. CHECKED BY: R.T./C.B. PROJECT 11-T7989 CN







NOTES:

1. FOR JOIST SPANNING MORE THAN 8'10".
2. PROVIDE BRIDGING AT LEAST EVERY 6'10" O.C.
3. ALL CONC. PIERS DEPTH SHALL BE MINIMUM 4'-0" BELOW EXISTING GRADE.
4. CONCRETE PIER DIAMETER DIMENSIONS SHALL BE AS PER LAYOUT PLAN





