

APPLICATION # A-2022-0264  
WARD 4

### APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **GURPREET UBHI AND KULJEET UBHI** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 5, Concession 4 WHS (severed parcel) from the land municipally known as **8884 CREDITVIEW ROAD**, Brampton;

AND WHEREAS the applicants are proposing construction of a 2 storey dwelling and are requesting the following variance(s):

1. To permit interior side yard setbacks of 2.66m (8.73 ft.) and 2.89m (9.48 ft.) whereas the by-law requires a minimum interior side yard setback of 7.5m (24.60 ft.);
2. To permit 56% of the required front yard to be landscaped open space whereas the by-law requires a minimum 70% of the required front yard to be landscaped open space.

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: \_\_\_\_\_  
Application for Consent: NO File Number: \_\_\_\_\_

The Committee of Adjustment has appointed **TUESDAY, September 13, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT.** This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 1st Day of September, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer  
Committee of Adjustment, City Clerk's Office,  
Brampton City Hall, 2 Wellington Street West,  
Brampton, Ontario L6Y 4R2  
Phone: (905)874-2117  
Fax: (905)874-2119  
[jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca)

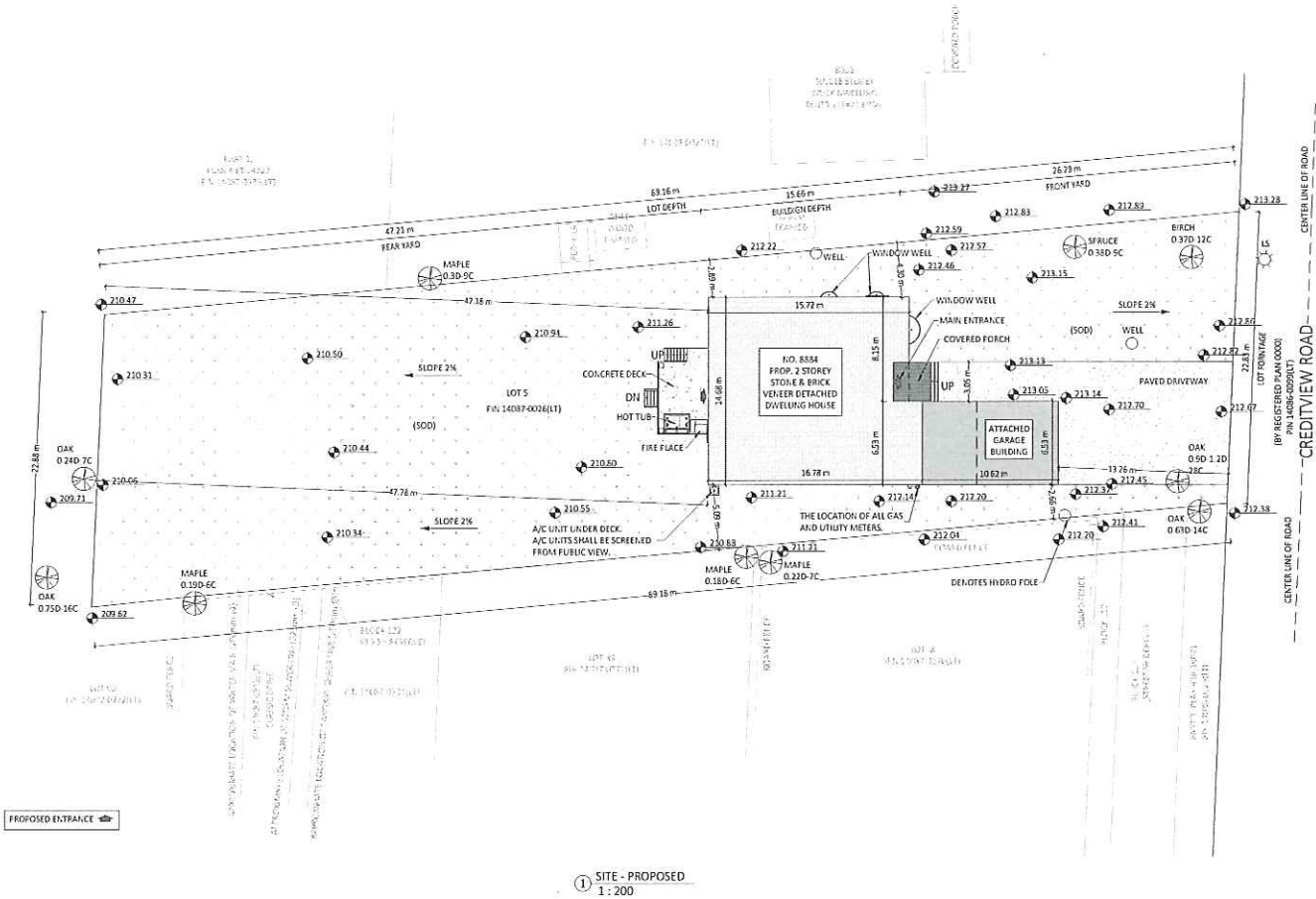
ZONING INFO (METRIC)									
LOT AREA: 2016.14		LOT No.: 5		LOT FRONTAGE: 22.83		LOT DEPTH (AVE.): 89.17			
GROSS FLOOR AREA	EXISTING	PROPOSED	TOTAL	%	ALLOWED	%	SETBACKS	EXISTING	PROPOSED
1 <sup>ST</sup> FLOOR		214.04					FRONT	17.41	19.76
2 <sup>ND</sup> FLOOR		241.27					REAR	51.65	49.18
POOF TOP							SIDE (H)	2.02	2.89
TOTAL GFA		455.31					SIDE (S)	3.31	2.66
LOT COVERAGE	214.16	105.27	319.43	15.84%					

NOTE

UTILITY METERS SHALL NOT BE LOCATED ON BUILDING FACADES THAT FACE PUBLIC STREETS AND SHALL BE LOCATED DISCREETLY, AWAY FROM PEDESTRIAN TRAVEL ROUTES AND SCREENED FROM PUBLIC VIEW.

FRONT YARD AREA: 462.21 M<sup>2</sup>  
PROPOSED DRIVEWAY AREA: 157.58 M<sup>2</sup>  
PROPOSED PORCH AND STEPS AREA: 19.30 M<sup>2</sup>  
PROPOSED LAWN AREA: 296.37 M<sup>2</sup>  
PROPOSED LANDSCAPING PERCENTAGE: 165.84 M<sup>2</sup>/462.21 M<sup>2</sup> = 35.87 %  
PROPOSED SOFT LANDSCAPING PERCENTAGE: 296.37 M<sup>2</sup>/462.21 M<sup>2</sup> = 64.12 %

REAR YARD AREA: 1083.49 M<sup>2</sup>  
PROPOSED CONCRETE DECK & STEPS: 27.82 M<sup>2</sup>  
PROPOSED LAWN AREA: 1055.66 M<sup>2</sup>  
PROPOSED SOFT LANDSCAPING PERCENTAGE: 1055.66 M<sup>2</sup>/1083.49 M<sup>2</sup> = 97.43 %



① SITE - PROPOSED  
1:200



GENERAL NOTE:  
1. THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF DEERING DRAFTING SERVICES LTD.  
2. THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY ENGINEER AND OBTAINED PERMISSION BY THE AUTHORITIES.  
3. DO NOT SCALE THESE DRAWINGS.  
4. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.  
5. ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.

No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

CLIENT:

PROJECT NAME:

NEW CONSTRUCTION

PROJECT ADDRESS:  
8884 CREDITVIEW RD., BRAMPTON, ON L6Y 0G4

SHEET NAME:

SITE PLAN PROPOSED

DATE:	PROJECT No.:
SCALE: As Indicated	21-02-10
DRAWN BY: P. FOROZAN	SHEET No.:
CHECKER: Checker	A0-04



Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures  
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **September 13, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, September 8, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
  1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, September 8, 2022.**
  2. To participate in-person, please email the Secretary–Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, September 8, 2022.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, September 8, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:  
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or  
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

***The City of Brampton is reviewing its Committee of Adjustment process. As a participant in this process, if you have comments or input you would like to share about your experience with the Committee of Adjustment, please email [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) to indicate your interest and you will be contacted with more information.***

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION  
Minor Variance or Special Permission  
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Gurpreet Ubhi, KULJEET UBHI  
**Address** 8884 Creditview RD Brampton, ON L6Y0G4

**Phone #** 416-737-0544 **Fax #**  
**Email** reese@medikaplastics.com

2. **Name of Agent** Elen Abunahla  
**Address** 74 Guelph St Georgetown, ON L7G3Z5

**Phone #** 416-602-9367 **Fax #**  
**Email** elen@antaradesign.ca

3. **Nature and extent of relief applied for (variances requested):**  
1. he Proposed Site Plan you are providing an interior side yard setback of 2.66m on one side and 2.89m on the other proposed 2 storey dwelling, whereas the Zoning By-law requires a side yard setback 7.5m  
2. To permit 56% of the required front yard to be landscaped open space, whereas the Zoning By-law requires a minimum 70% of the required front yard to be landscaped open space.

4. **Why is it not possible to comply with the provisions of the by-law?**  
The Property Width is 22.83m ( very Narrow)it will be hard to comply with the zoning and regarding the Landscaping Small area for the front yard to comply with 70% to be landscaped open space.

5. **Legal Description of the subject land: Lot Number** Part of Lot 5, Concession 4 WHs, Part 3, Plan 43R-40144.  
**Plan Number/Concession Number**

**Municipal Address** 8884 Creditview RD Brampton, ON L6Y0G4

6. **Dimension of subject land (in metric units)**  
**Frontage** Frontage 22.83m and 22.88m from the back  
**Depth** 81.80m from left & 89.16m from the right  
**Area** 2016.14m2

7. **Access to the subject land is by:**  
**Provincial Highway** ☐ **Seasonal Road** ☐  
**Municipal Road Maintained All Year** ☒ **Other Public Road** ☐  
**Private Right-of-Way** ☐ **Water** ☐



8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

Ground Floor Area	162.6m2
Gross Floor Area	162.6m2
Number of Storeys	1
Width	11.05m
Length	14.72m
Height	4.87m
the existing structure will be demolished.	

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

Ground Floor Area	214.04m	Second Floor	241.07m
Gross Floor Area	455.31 m2		
Number of Storeys	2		
Width	14.68	Length	16.78 house +Garage 10.62
Building Height	9.17m		

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING** the existing structure will be demolished.

Front yard setback	17.41m
Rear yard setback	51.66m
Side yard setback	2.02m
Side yard setback	3.31m from the Garage side and 8.27m from the house

**PROPOSED**

Front yard setback	13.26m
Rear yard setback	47.78m
Side yard setback	2.89m
Side yard setback	2.66m

10. Date of Acquisition of subject land: March 30, 2022
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 1990
15. Length of time the existing uses of the subject property have been continued: 32 years

16. (a) What water supply is existing/proposed?
- |           |                                     |                       |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Well      | <input type="checkbox"/>            |                       |
- (b) What sewage disposal is/will be provided?
- |           |                                     |                       |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Septic    | <input type="checkbox"/>            |                       |
- (c) What storm drainage system is existing/proposed?
- |         |                                     |                       |
|---------|-------------------------------------|-----------------------|
| Sewers  | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Ditches | <input type="checkbox"/>            |                       |
| Swales  | <input type="checkbox"/>            |                       |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☒ No ☐ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Ela  
\_\_\_\_\_  
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON

THIS Aug 15 DAY OF 10 August, 2022.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, GURPREET UBH, OF THE CITY OF BRAMPTON  
IN THE Region OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 15<sup>th</sup> DAY OF

August, 20 22.

Jeanie Myers  
\_\_\_\_\_  
A Commissioner etc.

Jeanie Cecilia Myers  
a Commissioner, etc.,  
Province of Ontario  
for the Corporation of the  
City of Brampton  
Expires April 8, 2024. J.M.

Ela  
\_\_\_\_\_  
Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: Agricultural

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L Barbuto  
\_\_\_\_\_  
Zoning Officer

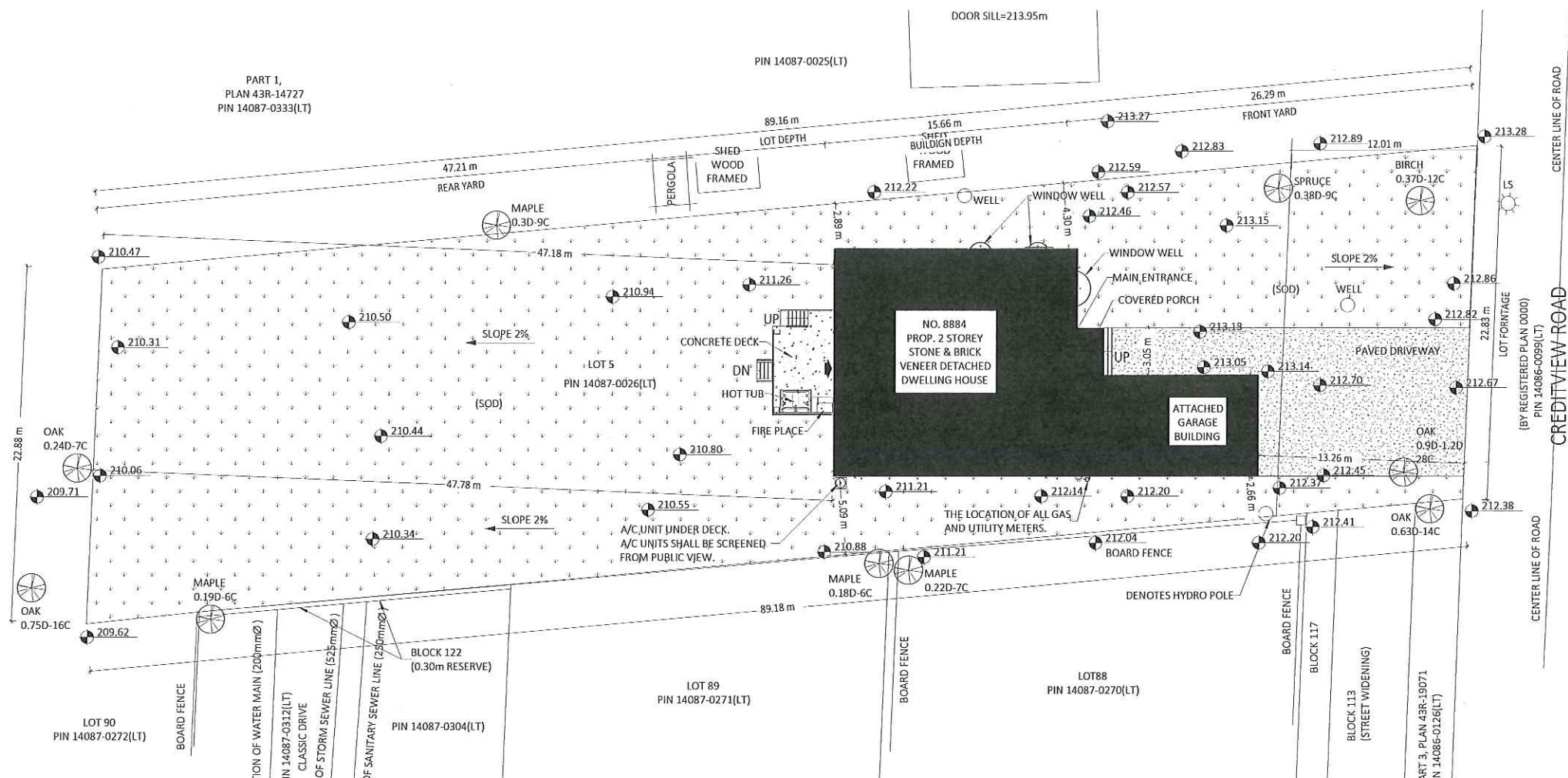
August 15, 2022  
\_\_\_\_\_  
Date

DATE RECEIVED August 15, 2022  
Date Application Deemed Complete by the Municipality \_\_\_\_\_

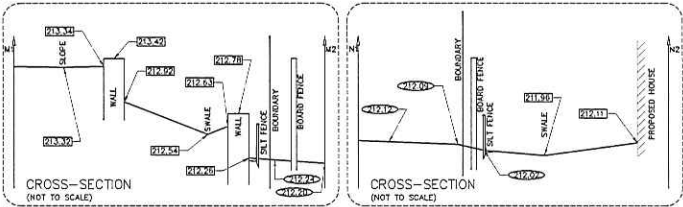
PART 1,  
PLAN 43R-14727  
PIN 14087-0333(LT)

PIN 14087-0025(LT)

DOOR SILL=213.95m







EXISTING SANITARY LATERAL PLUG, PROPOSED TEST FITTING, DEPTH OF PLUG = 200.10 (IF PROPOSED BASEMENT FLOOR ELEVATION DOES NOT WORK, A CRINDER PUMP WILL BE REQUIRED AS PER ONTARIO BUILDING CODE REQUIREMENTS)

### CONSTRUCTION STANDARDS AS SET BY REGIONAL MUNICIPALITY OF PEEL:

1. ALL MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT PEEL PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
2. WATERMANS AND/OR WATER SERVICE MATERIALS 100 MM (4") AND LARGER MUST BE PVC 200-300 MM (2") AND SMALLER TO BE TYPE A SOFT COPPER ASTM B88-49 STD DWG 1-7-1.
3. WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM COVER OF 1.7M (5'6") WITH A MINIMUM HORIZONTAL SPACING OF 1.2M (4'0") FROM THEMSELVES AND OTHER UTILITIES.
4. PROVISIONS FOR FLUSHING WATER LINE PRIOR TO TESTING, ETC. MUST BE PROVIDED WITH AT LEAST A 50MM (2") OUTLET ON 100MM (4") AND LARGER LINES. COPPER LINES ARE TO BE FLUSHING POINTS AT THE END, THE SAME SIZE AS THE LINE. THEY MUST ALSO BE HOSED OR PIPED TO ALLOW THE WATER TO DRAIN OFF AN ADJACENT LOT OR DOWN A DRAIN ON FIRE LINES. FLUSHING OUTLET TO BE 100MM (4") DIAMETER ON A HYDRANT.
5. ALL CURB STOPS TO BE 3.0M (10') OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
6. HYDRANT AND VALVE SET TO REGION STANDARD 1-6-1 DIMENSION A AND B, 0.7M (2') AND 0.6M (2') AND TO HAVE PUMP NOZZLE.
7. WATERMANS TO BE INSTALLED TO GRADES AS SHOWN ON APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK, WHERE REQUESTED BY INSPECTOR.
8. WATERMAIN MUST HAVE A MIN. VERTICAL CLEARANCE OF 0.30M (12") OVER OR 0.5M (20") UNDER SEWERS AND ALL OTHER UTILITIES WHEN CROSSING.
9. ALL PROPOSED WATER PIPING MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND DISCONNECTING FROM EXISTING SYSTEMS.
10. ALL LIVE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTACTING THE OPERATIONS AND MAINTENANCE DIVISION.
11. LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR(S).
12. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATING, EXPOSING, SUPPORTING AND PROTECTING OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF HIS WORK. WHERE SHOWN ON THE PLAN OR NOT, AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.
13. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO UTILITIES PRIOR TO CROSSING SUCH UTILITIES. FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DURATION OF THE CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH WORK.
14. ALL PROPOSED WATER PIPING MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL INCLUDE AN APPROPRIATE CROSS-CONNECTION CONTROL DEVICE, CONSISTENT WITH THE DEGREE OF HAZARD, FOR BACKFLOW PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM, CONFORMING TO REGION OF PEEL STANDARDS 1-7-7 OR 1-7-8.

### SITE PLAN NOTES:

1. ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF A BUILDING PERMIT APPLICATION SHALL BE CONFORMITY WITH THE APPROVED SITE PLAN DRAWINGS APPROVED BY THE DEVELOPMENT SERVICES DIVISION.
2. THE OWNER IS RESPONSIBLE FOR ENSURING THAT TREE PROTECTION HOARDING PLACED AT THE DRIP LINE OF TREES IS MAINTAINED THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DIVISION. NO MATERIALS (I.E. BUILDING MATERIALS, SOIL, CONSTRUCTION VEHICLES, EQUIPMENT, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING.
3. SHOULD THE INSTALLATION OF BELOW GROUND SERVICES REQUIRE HOARDING TO BE REMOVED, PLANNING STAFF WILL BE CONTACTED PRIOR TO THE COMMENCEMENT OF SUCH WORK. WHERE AN ALTERNATE SERVICE ROUTE NOT BE POSSIBLE, STAFF WILL INSPECT AND DOCUMENT THE CONDITION OF THE VEGETATION IN ORDER TO MINIMIZE DAMAGE TO THE VEGETATION.
4. THE EXISTING ON-SITE DRAINAGE PATTERN SHALL BE MAINTAINED.
5. GRADES WILL BE SET WITHIN A 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.
6. ALL UTILITY COMPANIES WILL BE NOTIFIED FOR LOCATES PRIOR TO THE INSTALLATION OF THE HOARDING THAT LIES WITHIN THE LIMITS OF THE CITY BOULEVARD AREA.
7. THE APPLICANT WILL BE REQUIRED FOR THE COST OF ANY UTILITIES RELOCATIONS NECESSARY BY THE SITE PLAN AND AN APPROVAL AND BUILDING PERMIT.
8. THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.6M (2.00') IN HEIGHT OR ANY RETAINING WALL LOCATED ON PROPERTY LINE IS SHOWN ON THE SITE GRADING PLAN AND IS TO BE APPROVED BY THE CONSULTING ENGINEERING FOR THE PROJECT.
9. THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE OWNER AT THEIR EXPENSE.
10. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTIGUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
11. ALL PROPOSED CURBING AT THE ENTRANCE TO THE SITE IS TO TERMINATE AT THE PROPERTY LINE OR AT THE MUNICIPAL SIDEWALK.
12. CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR GARBAGE COLLECTION.
13. ALL DAMAGED LANDSCAPE AREAS WILL BE RESTORED WITH TOPSOIL AND 500 FOLLOWING CONSTRUCTION ACTIVITY. ANY CITY BOULEVARD TREES DAMAGED OR REMOVED ARE TO BE REPLACED WITH A MORE CALIPER DECIDUOUS TREES TO THE SATISFACTION OF THE CITY AT THE OWNER'S EXPENSE.
14. ALL EXCESS DEBRIS MATERIAL TO BE REMOVED FROM THE SITE AT THE OWNER'S EXPENSE.
15. THERE ARE NO EXISTING OR PROPOSED EASEMENTS ON THE PROPERTY.

### GENERAL NOTES:

1. AT ALL ENTRANCES TO THE SITE, THE ROAD CURB AND SIDEWALK WILL BE CONTIGUOUS THROUGH THE DRIVEWAY. THE DRIVEWAY GRADE WILL BE COMPATIBLE WITH THE EXISTING SIDEWALK, AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
2. SIDEWALK TO BE REMOVED AND REPLACED AS PER O.P.S.D. STD 010.
3. DOWNSPOUTS TO DISCHARGE ONTO THE GROUND VIA SPLASH PADS. DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.
4. DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2% AND NOT GREATER THAN 6%.
5. LAWN AND GRASSES SHALL HAVE A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 6%.
6. WHERE GRADES IN EXCESS OF 6% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 10% ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6M SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
7. ALL DISTURBED AREAS MUST BE SEED OR SOODED, TOPSOIL TO BE AT LEAST 100MM.
8. THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF THE DRIVEWAY AND A UTILITY STRUCTURE IS 1.0M.
9. GRADE DIFFERENCES BETWEEN HOUSING UNITS SHALL BE MINIMIZED, ESPECIALLY WHERE NEW DEVELOPMENTS ADJUT EXISTING DEVELOPMENTS. THE VERTICAL DISTANCE BETWEEN THE GROUND LEVEL AT THE REAR WALL OF HOUSES WHICH BACK ONTO EACH OTHER SHALL NOT BE GREATER THAN THAT ACHIEVED BY STRIKING A 3% GRADE BETWEEN THE UNITS.
10. DRIVEWAY PORTION WITHIN THE MUNICIPAL BOULEVARD MUST BE PAVED.
11. THE SERVICE CONNECTION TRENCH WITHIN THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNCOMPRESSIBLE FILL.
12. WHENEVER POSSIBLE, A 0.5M SEPARATION SHALL BE PROVIDED BETWEEN THE DRIVEWAYS.
13. IN THE EVENT THAT THE GRADING HAS TO EXTEND TO THE ADJACENT PROPERTY, A WRITTEN APPROVAL FROM THE OWNER OF THAT PROPERTY SHALL BE OBTAINED AND ENDORSED BY THE CITY OF BRAMPTON OFFICE OF TRANSPORTATION.
14. ALL SURFACE DRAINAGE SHALL BE SELF CONTAINED, COLLECTED, AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. DRAINAGE OF ADJUTING PROPERTIES SHALL NOT BE ADVERSELY AFFECTED.
15. THE GRADIENT FROM THE FINISHED FIRST FLOOR ELEVATION OF THE PROPOSED HOUSE TO THE CENTRELINE OF THE FRONTAGE ROAD SHALL HAVE A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 6%.
16. ALL THE CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE STANDARD DRAWINGS AND SPECIFICATIONS OF THE CITY OF BRAMPTON AND THE ONTARIO PROFESSIONAL STANDARDS AND SPECIFICATIONS.
17. THIS IS MEANT TO BE READ IN CONNECTION WITH CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA.

### ESTABLISHED GRADE CALCULATIONS

LINE	START	END	SEGMENT	LENGTH	IIA-BU/2MSL
AB	213.42	213.91	0.49	0.00	
BC	213.91	213.91	0.00	0.00	
CD	213.91	213.91	0.00	0.00	
DE	213.91	213.91	0.00	0.00	
EF	213.91	213.91	0.00	0.00	
FG	213.91	213.91	0.00	0.00	
GH	213.91	213.91	0.00	0.00	
HI	213.91	213.91	0.00	0.00	
IJ	213.91	213.91	0.00	0.00	
TOTALS	102.28	2174.99			
ESTABLISHED GRADE		212.28			

### DRAINAGE CERTIFICATE

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF THE PROPOSED TWO STOREY RESIDENTIAL DWELLING LOCATED AT 8884 CREDITVIEW ROAD AND I HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSED TO THE EXISTING ADJUTING PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERING TO THE PROPOSED GRADES AS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJUTING PROPERTIES.

THE SURVEY WAS COMPLETED ON THE 9TH DAY OF JUNE 2020  
DATE: FEBRUARY 02, 2022  
C DRAFTER: 2022-07-02  
C REVISOR: 2022-07-02

TED VAN LANKVELD  
ONTARIO LAND SURVEYORS

110 GOLDCREST ROAD  
BRAMALEA, ONTARIO  
L5S 1H4  
TEL: (905) 792-6641  
eMAIL: VLO-SO@UT.DOC.COM

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FIELD: M.V.DRAWM, M.V. CHECKED: T.V. JOB No: 21-2516-5  
DWG NAME: 21-2516-5.DWG/LOT DATE: 2022-07-02

### KEY PLAN (NOT TO SCALE)

APPLICATION No: PROPOSED TWO STOREY RESIDENTIAL DWELLING No: 8884 CREDITVIEW ROAD BRAMPTON, ONTARIO  
GRADING PLAN OF PART OF LOT 5 CONCESSION 4 WEST OF HURONTARIO STREET CITY OF BRAMPTON (GEOGRAPHIC TOWNSHIP OF CHINGUACOUSY) REGIONAL MUNICIPALITY OF PEEL  
SCALE 1:150

TED VAN LANKVELD, O.L.S. 2022

METRIC: DISTANCES SHOWN HEREIN ARE IN METRES AND CAN BE CONVERSED TO FEET BY DIVIDING BY 0.3048

BENCH MARK ELEVATIONS SHOWN HEREIN ARE GEODETIC AND ARE REFERRED TO CITY OF BRAMPTON CONTROL MONUMENT #42010231, WITH AN ELEVATION OF 205.337M.

NOTE: BOUNDARY INFORMATION HAVE NOT BEEN VERIFIED BY FIELD MEASUREMENTS. BUSHES, TREES LESS THAN 0.150M AND DEAD TREE WERE NOT LOCATED UNLESS NOTED OTHERWISE.

### LEGEND

- DN DENOTES DECIDUOUS TREE WITH TRUNK (D) AND CANOPY (C) DIMENSIONS INDICATED
- CF DENOTES CONIFEROUS TREE WITH TRUNK (C) AND CANOPY (C) DIMENSIONS INDICATED
- TS DENOTES TREE STUMP WITH TRUNK (D) DIMENSIONS INDICATED
- IN DENOTES INVERT
- TH DENOTES TOP OF LOOSE ROCK WALL
- BT DENOTES BOTTOM OF LOOSE ROCK WALL
- HP DENOTES HYDRO POLE
- ST DENOTES LIGHT STANDARD
- LP DENOTES LIGHT POLE
- GW DENOTES GUY WIRE
- Tw DENOTES TOP OF WALL
- BTW DENOTES BOTTOM OF WALL
| CE | DENOTES EXISTING GRADE ELEVATION |
| A/C | DENOTES AIR CONDITIONER |
| GM | DENOTES GAS METER |
| HM | DENOTES HYDRO METER |
| EP | DENOTES ESTABLISHED GRADE POINT |
| OW | DENOTES OVERHEAD WIRES |
| WV | DENOTES WATER VALVE |
| BB | DENOTES BELL BOX |
| PS | DENOTES POST |
| PG | DENOTES PROPOSED GRADE ELEVATION |
| CG | DENOTES EXISTING GROUND ELEVATION |
| FF | DENOTES FIRST FINISHED FLOOR ELEVATION |
| BS | DENOTES BASEMENT SLAB |
| USP | DENOTES UNDERGROUND OF FOOTING |
| DS | DENOTES DOWNSPOUT |
| SI | DENOTES SHALE INVERT |
| R | DENOTES RIVER |
| E | DENOTES ENTRANCE |
| F | DENOTES FENCE |
| V | DENOTES SILT FENCE |
| D | DENOTES TREE PROTECTION FENCE |



8884 CREDITVIEW RD , BRAMPTON, ON L6Y 0G4



SHEET LIST	
SHEET NUMBER	SHEET NAME
A0-01	COVER PAGE
A0-02	SURVEY PLAN
A0-03	SITE PLAN EXISTING
A0-04	SITE PLAN PROPOSED
A1-01	BASEMENT PROP. PLAN
A1-02	MAIN FLOOR PROP. PLAN
A1-03	2ND FLOOR PROP. PLAN
A1-04	ROOF PROP. PLAN
A2-01	EAST & WEST ELEVATION
A2-02	NORTH & SOUTH ELEVATION
A3-01	SECTION 1 & 2
A3-02	SECTION 3 & 4
A3-05	SCHEDULE & LEGEND

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No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

CLIENT:

PROJECT NAME:  
NEW CONSTRUCTION

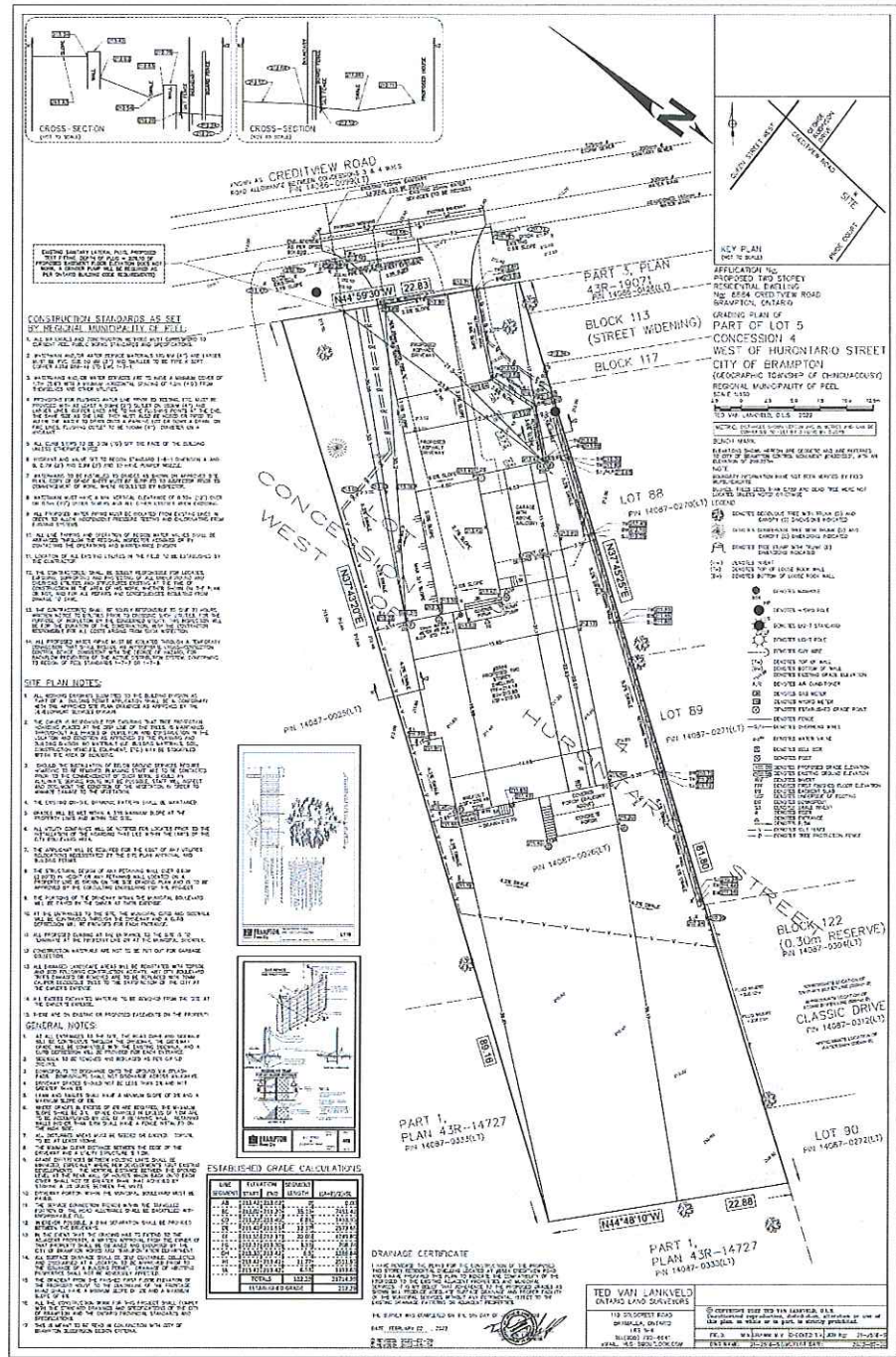
PROJECT ADDRESS:  
8884 CREDITVIEW RD , BRAMPTON, ON L6Y 0G4  
SHEET NAME:

COVER PAGE

DATE:	PROJECT No.:
SCALE:	21-02-10
DRAWN BY: P. GORDON	SHEET No.:
CHECKER: Checker	A0-01



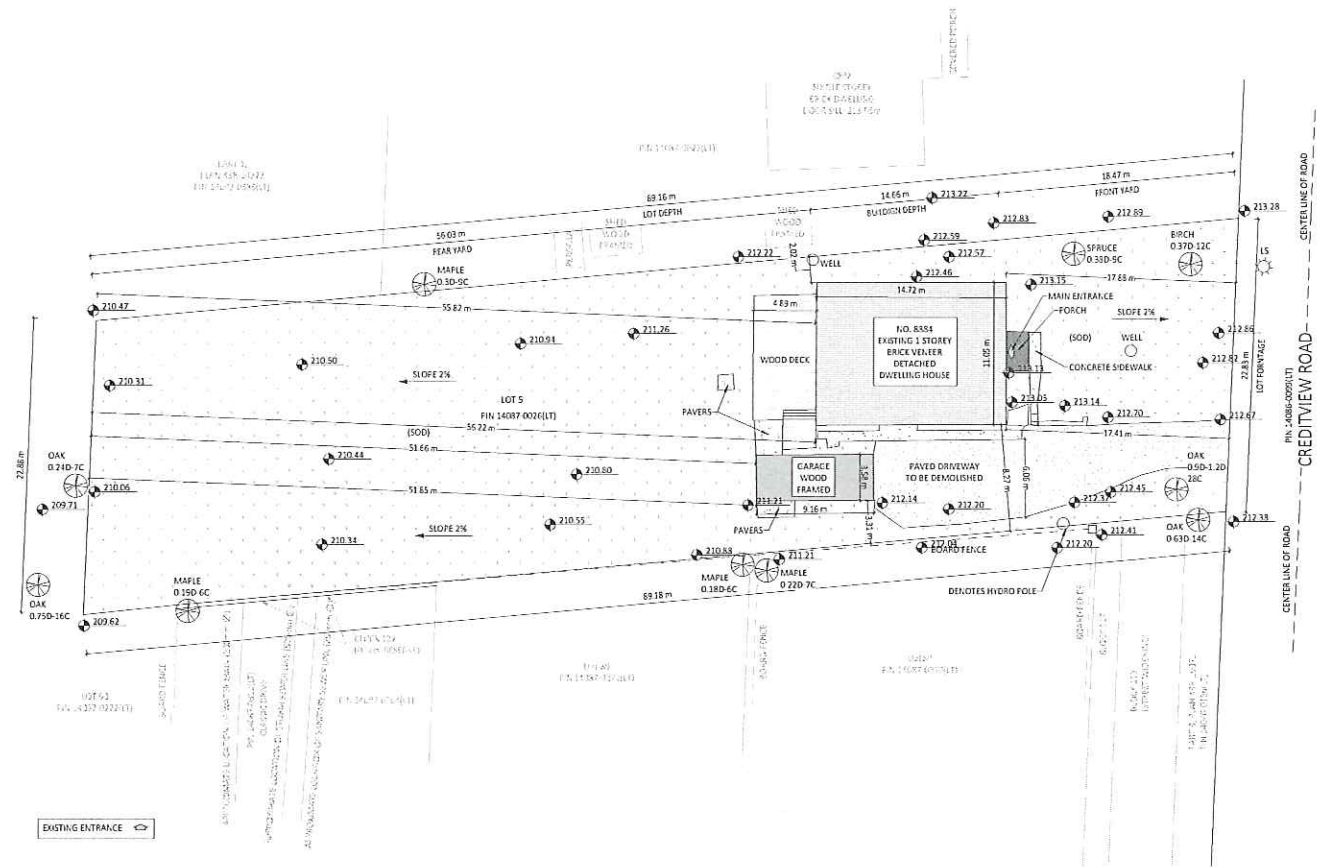
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① SITE - EXISTING  
1:200

NOTE  
UTILITY METERS SHALL NOT BE LOCATED ON BUILDING FACADES THAT FACE PUBLIC STREETS AND SHALL BE LOCATED DISCREETLY, AWAY FROM PEDESTRIAN TRAVEL ROUTES AND SCREENED FROM PUBLIC VIEW.

No.	DATE	ISSUED FOR	APVD
REVISIONS			
 ANTARA PROFESSIONAL ENGINEERS REGISTERED PROFESSIONAL ENGINEERS 100-1000 Highway 100, Suite 100, Brampton, ON L6Y 0G4 (905) 874-1111			
ENGINEER:			
CLIENT:			
PROJECT NAME: NEW CONSTRUCTION			
PROJECT ADDRESS: 6884 CREDITVIEW RD., BRAMPTON, ON L6Y 0G4			
SHEET NAME: SITE PLAN EXISTING			
DATE:	PROJECT No.:		
SCALE: As indicated	21-02-10		
DRAWN BY: P. FORZAN	SHEET No.:		
CHECKER: Checker	A0-03		

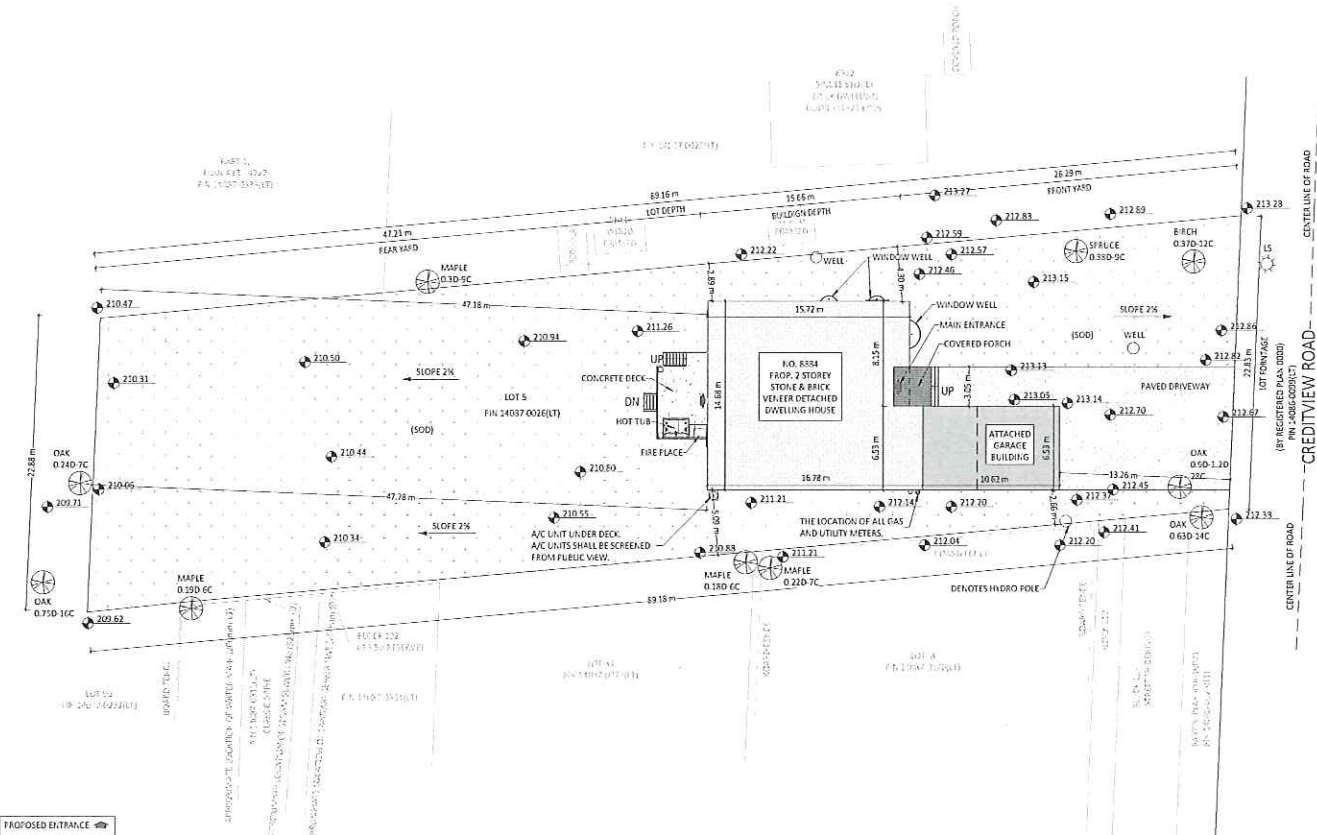
ZONING INFO									
(METRIC)									
LOT No.: 5		LOT FRONTAGE: 22.81		LOT DEPTH (AVE.): 89.17					
GROSS FLOOR AREA	EXISTING	PROPOSED	TOTAL	% ALLOWED	%	STREACHS	EXISTING	PROPOSED	ALLOWED
1 <sup>ST</sup> FLOOR	214.04					FRONT	17.41	13.26	
2 <sup>ND</sup> FLOOR	241.27					REAR	51.66	47.18	
ROOF TOP						SIDE (W)	7.02	2.69	
TOTAL GFA	455.31					SIDE (S)	3.31	2.65	
LOT COVERAGE	214.16	105.27	319.43	15.81%					

NOTE

UTILITY METERS SHALL NOT BE LOCATED ON BUILDING FACADES THAT FACE PUBLIC STREETS AND SHALL BE LOCATED DISCREETLY, AWAY FROM PEDESTRIAN TRAVEL ROUTES AND SCREENED FROM PUBLIC VIEW.

FRONT YARD AREA: 462.21 M<sup>2</sup>  
PROPOSED DRIVEWAY AREA: 157.58 M<sup>2</sup>  
PROPOSED PORCH AND STEPS AREA: 19.30 M<sup>2</sup>  
PROPOSED LAWN AREA: 296.37 M<sup>2</sup>  
PROPOSED LANDSCAPING PERCENTAGE: 165.84 M<sup>2</sup>/462.21 M<sup>2</sup> = 35.87 %  
PROPOSED SOFT LANDSCAPING PERCENTAGE: 296.37 M<sup>2</sup>/462.21 M<sup>2</sup> = 64.12 %

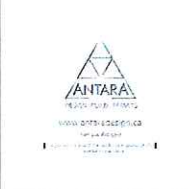
REAR YARD AREA: 1083.49 M<sup>2</sup>  
PROPOSED CONCRETE DECK & STEPS: 27.82 M<sup>2</sup>  
PROPOSED LAWN AREA: 1055.66 M<sup>2</sup>  
PROPOSED SOFT LANDSCAPING PERCENTAGE: 1055.66 M<sup>2</sup>/1083.49 M<sup>2</sup> = 97.43 %



① SITE - PROPOSED  
1:200

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No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

CLIENT:

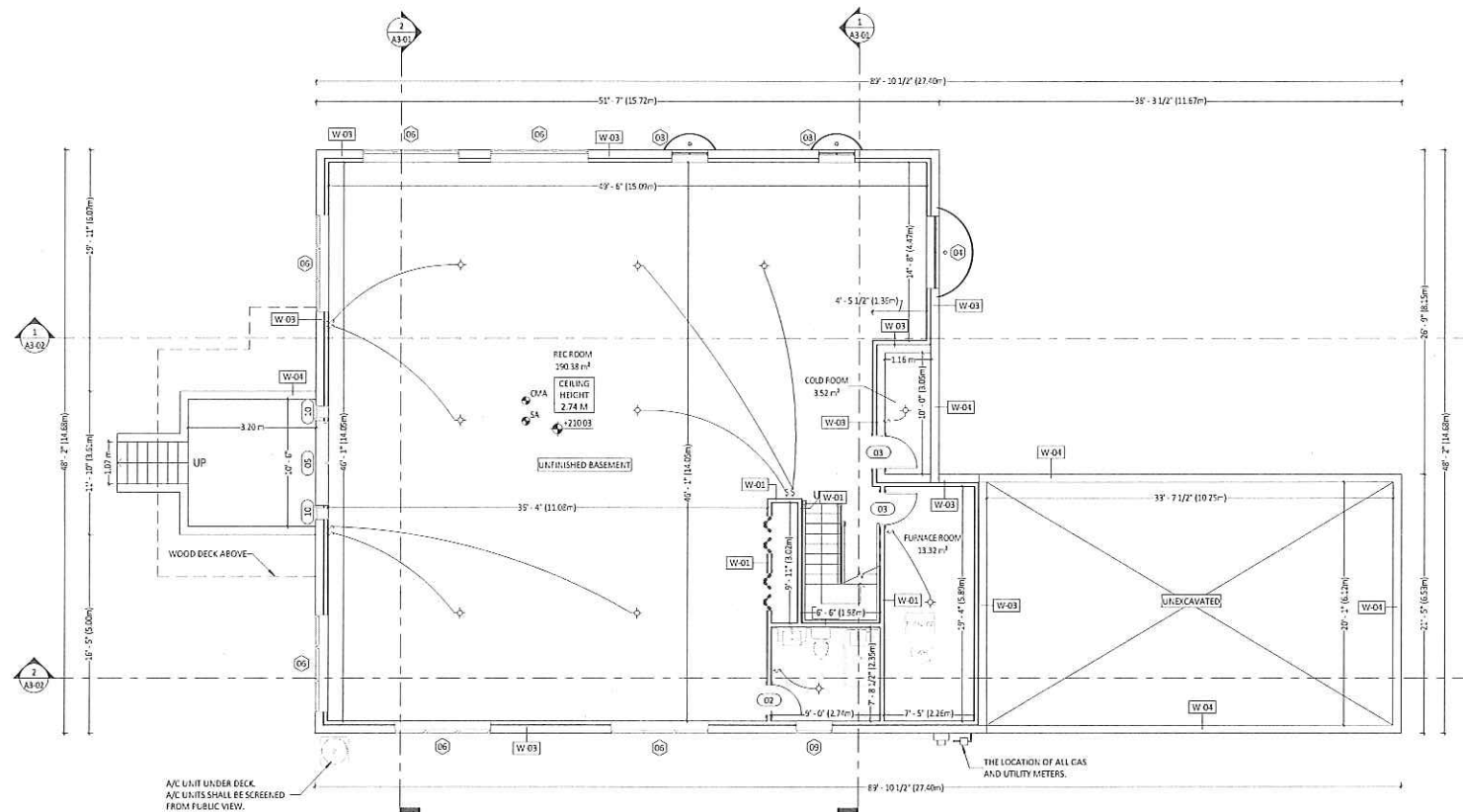
PROJECT NAME:  
NEW CONSTRUCTION

PROJECT ADDRESS:  
8824 CREDITVIEW RD., BRANTFORD, ON L6Y 0G4

SHEET NAME:  
SITE PLAN PROPOSED

DATE:	PROJECT No.:
SCALE: As indicated	21-02-10
DRAWN BY: P. FOROZAN	SHEET No.:
CHECKER: checker	A0-04





① BASEMENT- PROPOSED  
1:64

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No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

CLIENT:

PROJECT NAME:

NEW CONSTRUCTION

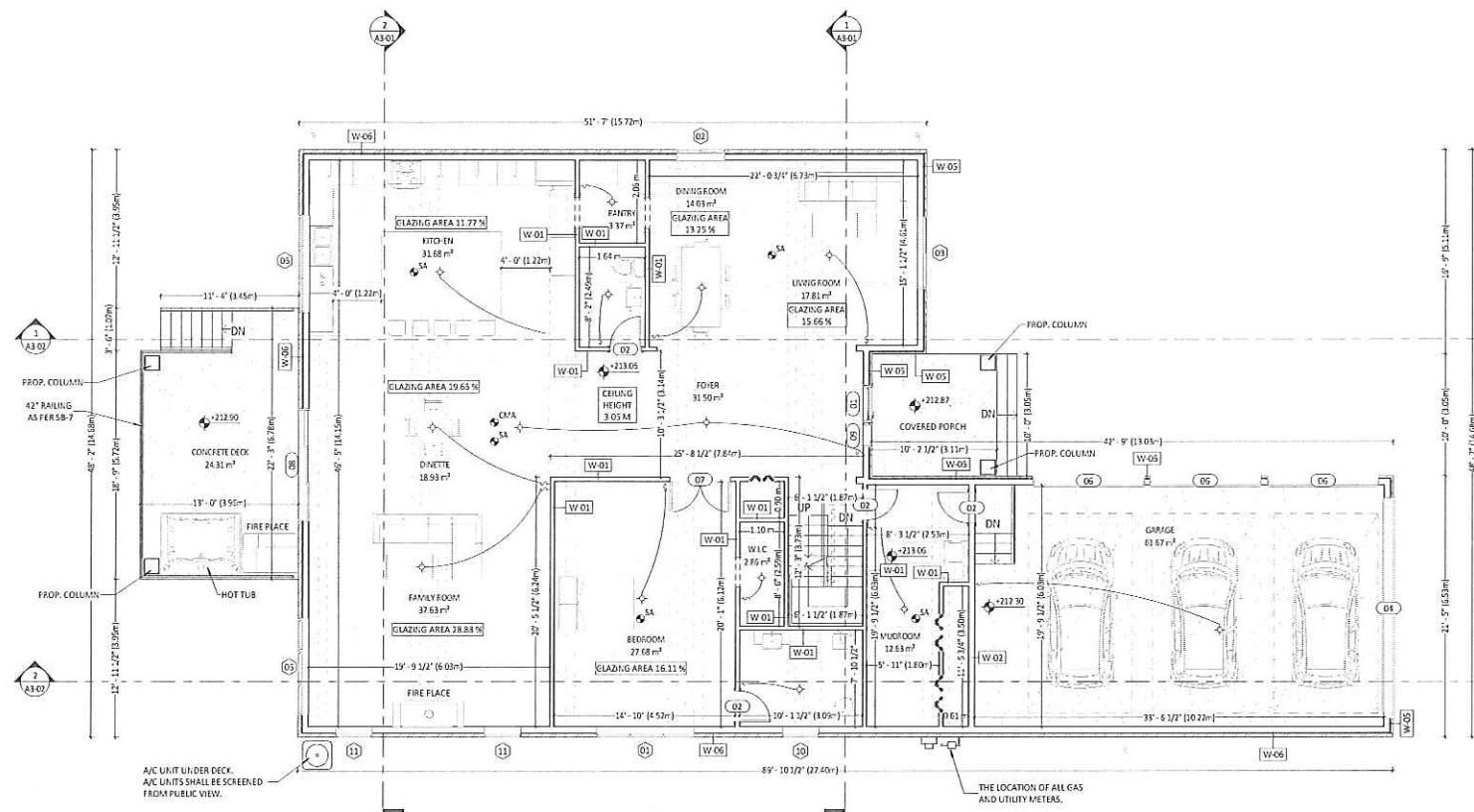
PROJECT ADDRESS:  
8884 CEDARVIEW RD., BRANTFORD, ONTARIO L6A 4G4

SHEET NAME:

BASEMENT PROP. PLAN

DATE:	PROJECT No.:
SCALE: 1:64	21-02-10
DRAWN BY: P. FORZAN	SHEET No.:
CHECKER: Checker	A1-01

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1 MAIN FLOOR- PROPOSED  
1:64

No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

CLIENT:

PROJECT NAME:

NEW CONSTRUCTION

PROJECT ADDRESS:  
8884 CREDITVIEW RD., BRAMPTON, ON L6Y 0G4

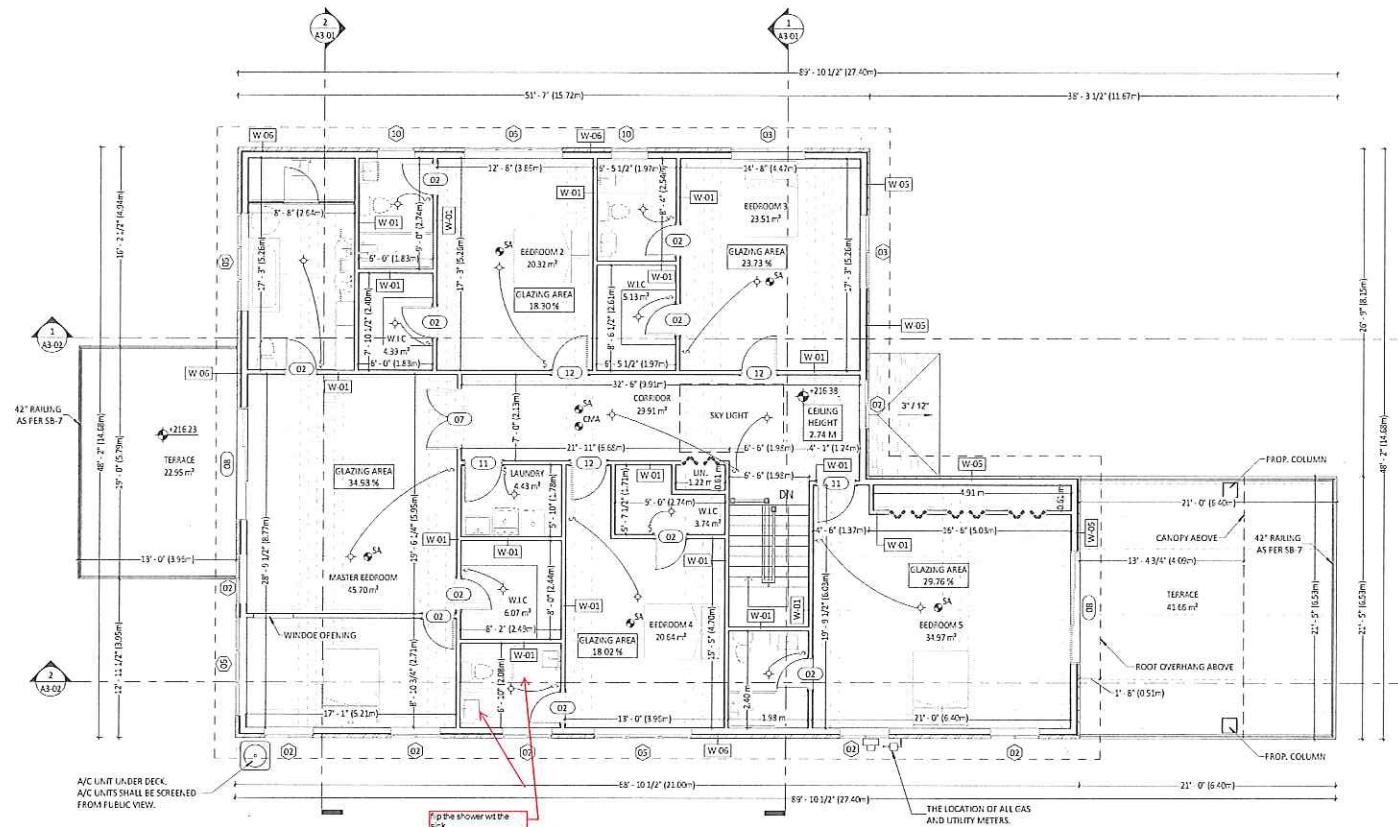
SHEET NAME:

MAIN FLOOR PROP. PLAN

DATE:	PROJECT No.:
SCALE: 1:64	21-02-10
DRAWN BY: P. FORDEAN	SHEET No.:
CHECKER: Checker	A1-02



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1 UPPER FLOOR- PROPOSED  
1: 64

No.	DATE	ISSUED FOR	APVD
REVISIONS			



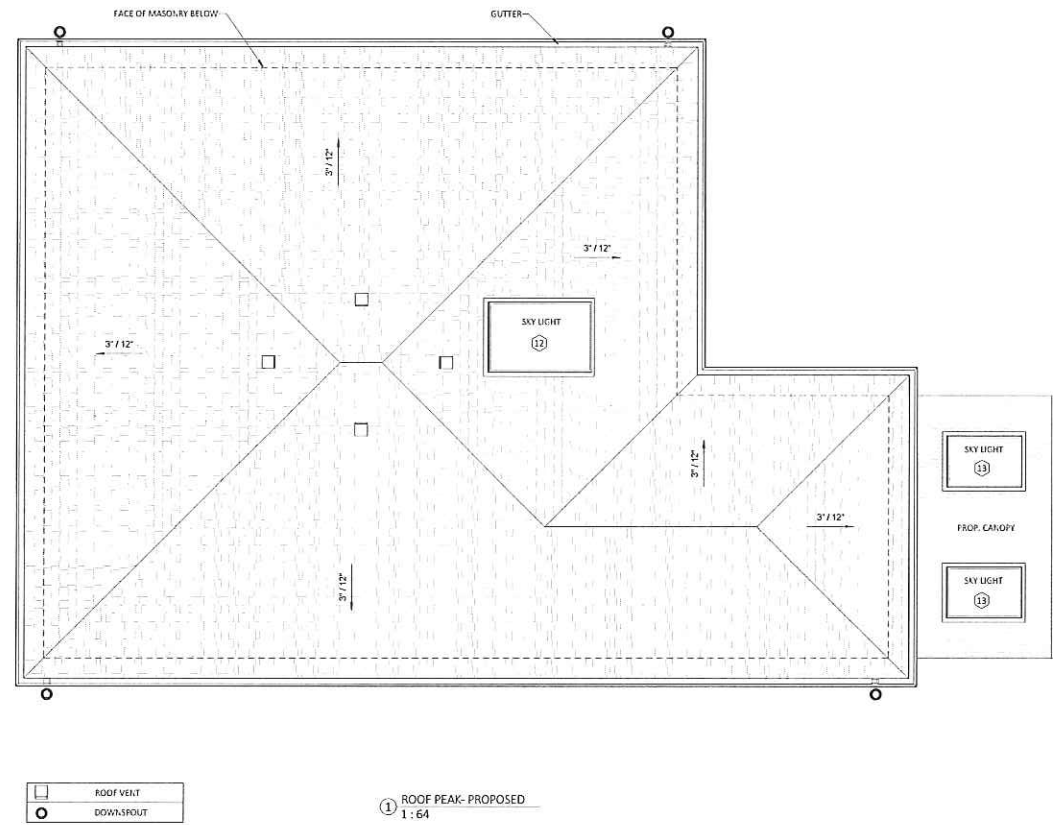
ENGINEER:


CLIENT:

PROJECT NAME:  
NEW CONSTRUCTION  
PROJECT ADDRESS:  
6884 CEDARVIEW RD., BRAMPTON, ON L6Y 6G4  
SHEET NAME:  
2ND FLOOR PROP. PLAN

DATE: PROJECT No.:  
SCALE: 1: 64 21-02-10  
DRAWN BY: P.FORCZAK SHEET No.:  
CHECKER: Checker A1-03

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No.	DATE	ISSUED FOR	APVD
REVISIONS			
 ANTARA DESIGN & CONSTRUCTION ENGINEERING & ARCHITECTURE 10000 100th Ave SE, Suite 100 Bellevue, WA 98004			
ENGINEER:			
CLIENT:			
PROJECT NAME: NEW CONSTRUCTION			
PROJECT ADDRESS: 8884 CEDARVIEW RD., BRANFTON, ON L6Y 0G1			
SHEET NAME: ROOF PROP. PLAN			
DATE: SCALE: 1:64		PROJECT No.: 21-02-10	
DRAWN BY: P.FOROZAN		SHEET No.: A1-04	
CHECKER: Checker			

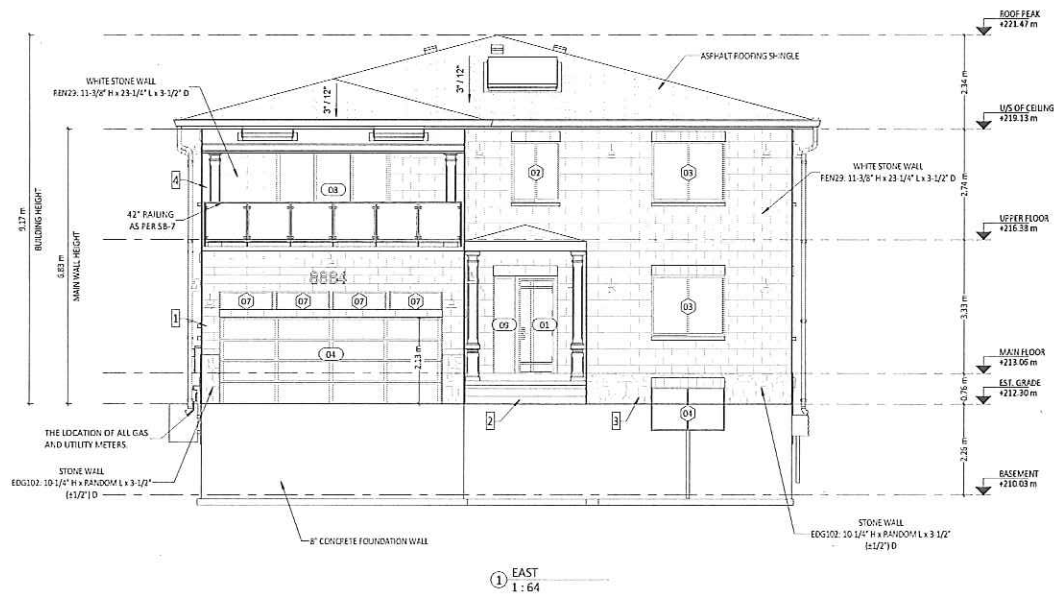


1  
BUILDING FACE: 24.87 M<sup>2</sup>  
OPENING: 2.41 M<sup>2</sup> (9.69%)  
LIMITING DISTANCE: 13.26 M  
ALLOWED OPENING: N/A

2  
BUILDING FACE: 11.61 M<sup>2</sup>  
OPENING: 1.21 M<sup>2</sup> (10.42%)  
LIMITING DISTANCE: 26.43 M  
ALLOWED OPENING: N/A

3  
BUILDING FACE: 44.09 M<sup>2</sup>  
OPENING: 8.18 M<sup>2</sup> (18.55%)  
LIMITING DISTANCE: 25.18 M  
ALLOWED OPENING: N/A

4  
BUILDING FACE: 19.73 M<sup>2</sup>  
OPENING: 6.69 M<sup>2</sup> (33.90%)  
LIMITING DISTANCE: 19.66 M  
ALLOWED OPENING: N/A



BUILDING FACE: 114.85 M<sup>2</sup>  
OPENING: 35.32 M<sup>2</sup> (30.75%)  
LIMITING DISTANCE: 47.18 M  
ALLOWED OPENING: N/A



NOTE  
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No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

CLIENT:

PROJECT NAME:

NEW CONSTRUCTION

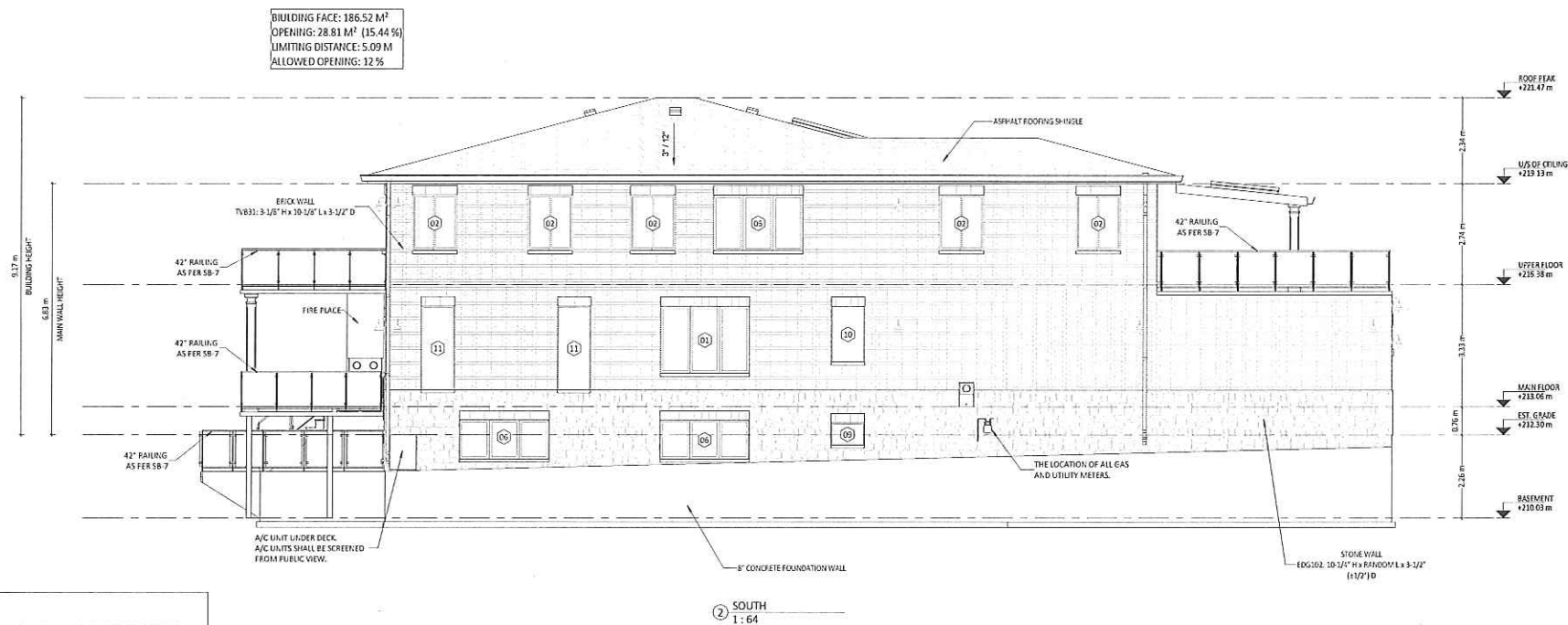
PROJECT ADDRESS:

8884 CREDITVIEW RD., BRAMPTON, ONTARIO L6G 4G4

SHEET NAME:

EAST & WEST ELEVATION

DATE:	PROJECT No.:
SCALE: As indicated	21-02-10
DRAWN BY: P. FORZAN	SHEET No.:
CHECKER: P. FORZAN	A2-01



**NOTE**

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No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

CLIENT:

PROJECT NAME:

**NEW CONSTRUCTION**

PROJECT ADDRESS:

8884 CREDITVIEW RD., BRAYLETON, ON L6Y 0G4

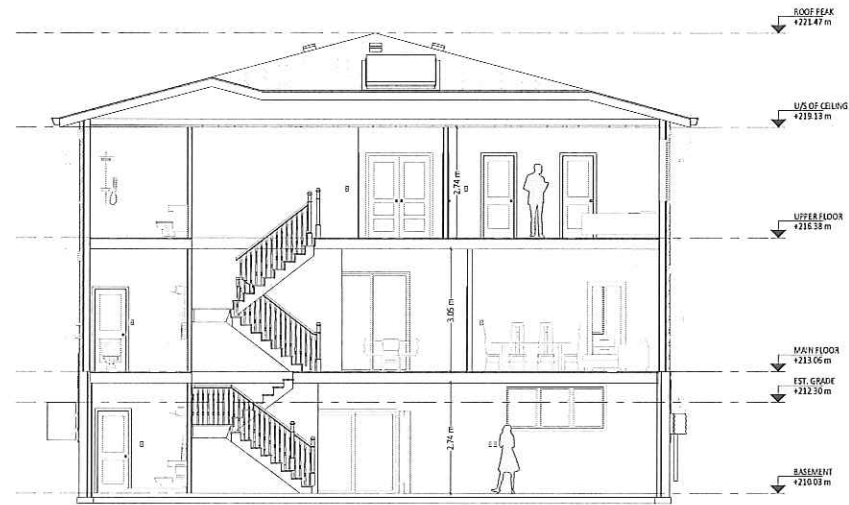
SHEET NAME:

**NORTH & SOUTH  
 ELEVATION**

DATE:	PROJECT No.:
SCALE: As Indicated	21-02-10
DRAWN BY: P. P. P. P. P.	SHEET No.:
CHECKER: Checker	A2-02



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① SECTION 1  
1 : 64



② SECTION 2  
1 : 64

No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

CLIENT:

PROJECT NAME:

NEW CONSTRUCTION

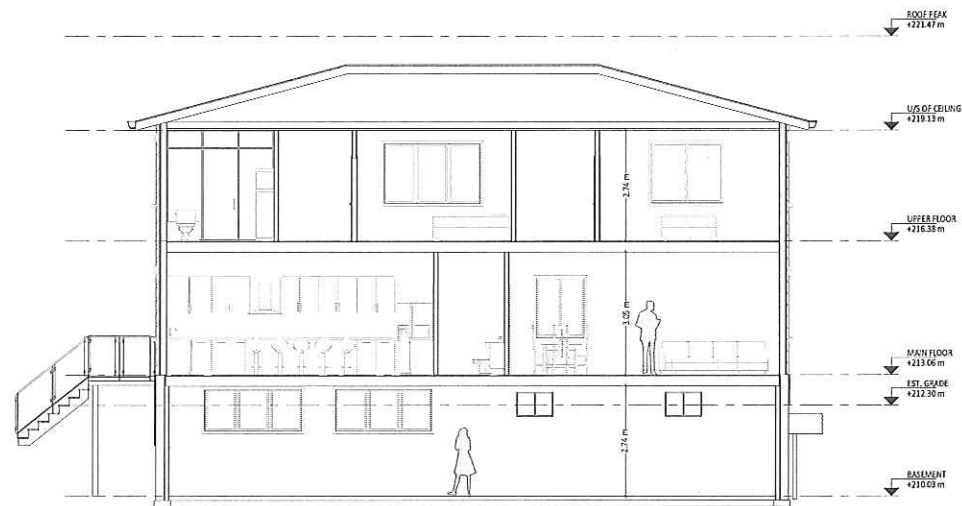
PROJECT ADDRESS:  
8881 CEDARVIEW RD., BRANTFORD, ON L6Y 0G4

SHEET NAME:

SECTION 1 & 2

DATE:	PROJECT No.:
SCALE: 1 : 64	21-02-10
DRAWN BY: P. FOROZAN	SHEET No.:
CHECKER: Checker	A3-01

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① SECTION 3  
1: 64



② SECTION 4  
1: 64

No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

CLIENT:

PROJECT NAME:

NEW CONSTRUCTION

PROJECT ADDRESS:  
6884 CEDERVILLE RD., BRANFTON, ON L6Y 0G4

SHEET NAME:

SECTION 3 & 4

DATE:	PROJECT No.:
SCALE: 1: 64	21-02-10
DRAWN BY: P. FOROZAN	SHEET No:
CHECKER: O. J. O. J.	A3-02



DOOR SCHEDULE					
TYPE MARK	LEVEL	COUNT	WIDTH	HEIGHT	AREA(SM)
BASEMENT					
D2	BASEMENT	1	0.76 m	2.03 m	1.55 m²
D3	BASEMENT	2	0.81 m	2.03 m	1.65 m²
D5	BASEMENT	1	2.13 m	2.03 m	4.34 m²
D10	BASEMENT	2	0.25 m	2.03 m	0.52 m²
BASEMENT: 6					

EST. GRADE					
D4	EST. GRADE	1	5.49 m	2.13 m	11.71 m²
D6	EST. GRADE	3	2.74 m	2.13 m	5.85 m²
EST. GRADE: 4					

MAIN FLOOR					
D1	MAIN FLOOR	1	0.80 m	2.26 m	1.81 m²
D2	MAIN FLOOR	4	0.76 m	2.03 m	1.55 m²
D7	MAIN FLOOR	1	1.52 m	2.03 m	3.10 m²
D8	MAIN FLOOR	1	2.74 m	2.44 m	6.69 m²
D9	MAIN FLOOR	1	0.51 m	2.40 m	1.22 m²
MAIN FLOOR: 8					

UPPER FLOOR					
D2	UPPER FLOOR	10	0.76 m	2.03 m	1.55 m²
D7	UPPER FLOOR	1	1.52 m	2.03 m	3.10 m²
D8	UPPER FLOOR	2	2.74 m	2.44 m	6.69 m²
D11	UPPER FLOOR	2	0.91 m	2.03 m	1.86 m²
D12	UPPER FLOOR	3	0.86 m	2.03 m	1.75 m²
UPPER FLOOR: 18					

16

WINDOW SCHEDULE					
TYPE MARK	LEVEL	COUNT	WIDTH	HEIGHT	AREA (SM)

BASEMENT					
W4	BASEMENT	1	1.83 m	1.07 m	1.95 m²
W6	BASEMENT	6	2.44 m	1.07 m	2.60 m²
W3	BASEMENT	2	0.91 m	0.61 m	0.56 m²
W7	BASEMENT	1	0.91 m	0.61 m	0.56 m²
BASEMENT: 10					

EST. GRADE					
W7	EST. GRADE	10	1.32 m	0.46 m	0.60 m²
EST. GRADE: 10					

MAIN FLOOR					
W1	MAIN FLOOR	1	2.44 m	1.83 m	4.46 m²
W2	MAIN FLOOR	1	1.22 m	1.52 m	1.86 m²
W3	MAIN FLOOR	1	1.83 m	1.52 m	2.79 m²
W5	MAIN FLOOR	2	2.44 m	1.52 m	3.72 m²
W10	MAIN FLOOR	1	0.91 m	1.52 m	1.39 m²
W11	MAIN FLOOR	2	0.91 m	2.29 m	2.09 m²
MAIN FLOOR: 8					

UPPER FLOOR					
W2	UPPER FLOOR	7	1.22 m	1.52 m	1.86 m²
W3	UPPER FLOOR	2	1.83 m	1.52 m	2.79 m²
W5	UPPER FLOOR	4	2.44 m	1.52 m	3.72 m²
W10	UPPER FLOOR	2	0.91 m	1.52 m	1.39 m²
UPPER FLOOR: 15					

U/S OF CEILING					
W12	U/S OF CEILING	1	1.70 m	2.60 m	4.42 m²
W13	U/S OF CEILING	2	1.22 m	1.83 m	2.23 m²
U/S OF CEILING: 3					

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SYMBOL LEGEND	
	A/R RETURN
	EXHAUST FAN SOCKET/W 5" DUCT
	HEAT REGISTER
	LIGHT FIXTURE
	SINGLE SWITCH
	SMOKE ALARM
	CARBON MONOXIDE ALARM
	WATER HEATER
	EXISTING
	PROPOSED

WALL LEGEND	
	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW CONSTRUCTION

CEILING SCHEDULE	
	FULL HEIGHT CEILING - EXISTING WOOD JOISTS - SOUND INSULATION (OPTIONAL) - 1/2" GYPSUM
	LOWERED CEILING - 2" x 4" @ 16" O/C CEILING JOISTS - SOUND INSULATION (OPTIONAL) - 1/2" GYPSUM

WALL LEGEND	
INTERIOR WALL	
	W-01 2x4 STUD PARTITION - 1/2" GYPSUM WALL BOARD - 2x4" @ 16" O/C WOOD STUDS - 1/2" GYPSUM WALL BOARD
	W-02 2x6 STUD PARTITION - 1/2" GYPSUM WALL BOARD - 2x6" @ 16" O/C WOOD STUDS /W R19 BATT INSULATION - 1/2" GYPSUM WALL BOARD
FOUNDATION WALL	
	W-03 8" CONCRETE + INSULATION WALL, 2X4 STUDS - DIM. FLOORING LAYER - 1/2" PAROSING - 1/2" FOUNDED CONCRETE - 1" AIR GAP - 2x4" @ 16" O/C WOOD STUDS /W R14 BATT INSULATION - 1/2" POLY AIR/VAPOR BARRIER - 1/2" GWS FINISH
	W-04 8" CONCRETE, POURED - 8" POURED CONCRETE
EXTERIOR WALLS	
	W-05 2x6 STONE VENEER WALL - 3/4" STONE VENEER - 1" AIR GAP - AIR BARRIER - 1/2" PLYWOOD - 2x6" @ 16" O/C SIPS STUDS /W MIN SPECIFIED R VALUE - 1/2" POLY AIR/VAPOR BARRIER - 1/2" GYPSUM WALL BOARD
	W-06 2x6 BRICK VENEER WALL - 3/4" BRICK VENEER - 1" AIR GAP - AIR BARRIER - 1/2" PLYWOOD - 2x6" @ 16" O/C SIPS STUDS /W MIN SPECIFIED R VALUE - 1/2" POLY AIR/VAPOR BARRIER - 1/2" GYPSUM WALL BOARD

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No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

CLIENT:

PROJECT NAME:

NEW CONSTRUCTION

PROJECT ADDRESS:

6884 CPENTVIEW RD., BRAMPTON, ON L6Y 0G4

SHEET NAME:

SCHEDULE & LEGEND

DATE:	PROJECT No.:
SCALE: As Indicated	21-02-10
DRAWN BY: P. FOROZAN	SHEET No:
CHECKER: Checker	A3-05

